

SOUTHERN VILLAGE HOTEL & APARTMENTS or OFFICE

SPECIAL USE PERMIT Chapel Hill, North Carolina

developer:
Bryan Properties
400 Market Street, Suite 115
Chapel Hill, NC 27615
(919) 933-4422

owners:
PIN # 9787-15-3532
Janet Allen
620 Sugarberry Road
Chapel Hill, NC 27516

PIN # 9787-15-4615
James Paliouras
PO Box 715
Chapel Hill, NC 27514

PIN # 9787-15-4766
Timothy & Ann Holleman
124 Cobblestone Drive
Chapel Hill, NC 27516

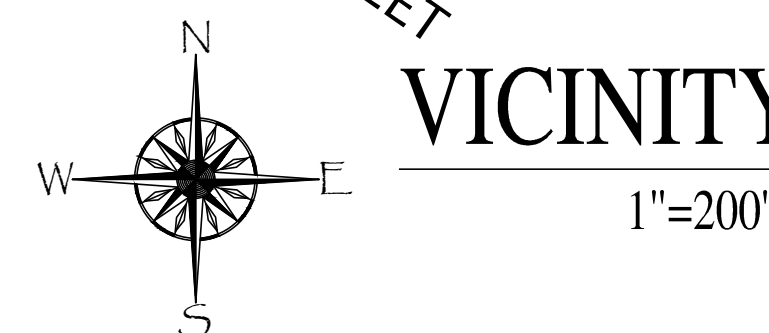
PIN # 9787-15-6928
Redwing Land, LLC
400 Market Street, Suite 115
Chapel Hill, NC 27615
(919) 933-4422

PIN # 9787-05-9854 (portion)
Southern Village Apartments, LLC
701 Green Valley Road
Greensboro, NC 27408

landscape architect:
Tony M. Tate Landscape Architecture P.A.
5011 Southpark Drive Suite 200
Durham, North Carolina 27713
(919) 484-8880
(919) 484-8881
tony@tmtla.com

consulting engineers:
B&F Consulting Engineers
2805 Tobermory Lane
Raleigh, NC 27606
(919) 618-0180
rbriggs@nc.rr.com

architects:
RBA Group
1414-A S. Tryon Street
Charlotte, NC 28203
(704)344-9098
sfinch@therbagroup.com



SITE DATA

PIN 9787-15-3532	9787-15-6928
9787-15-4615	9787-05-9854 a portion
9787-15-4766	

EXISTING ZONING	R-2	R-5-C
PROPOSED ZONING	MU-V ARTERIAL	
EXISTING USE	SINGLE FAMILY RES. MULTI FAMILY RES.	

SITE AREA	3.48 ACRES
PROPOSED USE	115 UNIT HOTEL

PARKING REQUIRED	68 UNIT APARTMENT or OFFICE
	HOTEL 104 SPACES
	M-F RES. 72 SPACES
	TOTAL 176 SPACES

BICYCLE PARKING REQ'D.	25 SPACES
BICYCLE PARKING PROVIDED	25 SPACES
PARKING PROVIDED	181 SPACES
EXISTING PARKING AVAILABLE	76 SPACES
TOTAL PARKING PROVIDED	240 SPACES
SETBACKS (MUV-ARTERIAL):	STREET - 0'
	INTERIOR - 0'
	SOLAR - 20'

EXISTING IMPERVIOUS AREA	8,616 SF
PROPOSED IMPERVIOUS AREA	61,103.58 (40.32%)
FLOOR AREA ALLOWED (GLA * FAR)	160,913.75 SF
	133,820.41 SF x 1.20 160,584.49 SF
	32,925.59 SF x 0.01 329.26 SF

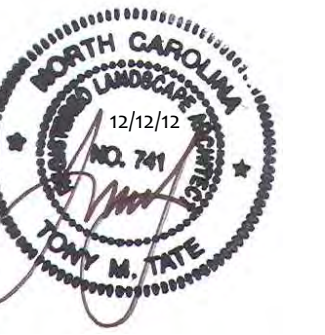
- NOTES:
- Boundary information taken from field survey by Sullivan Surveying, August 2012.
 - Topographic information taken from field survey by Sullivan Surveying, November 2012.
 - FEMA Floodplain information taken from FIRM Panel 3710978700J Dated Feb. 2,2007
 - Soil information taken from Orange County NC GIS data.
 - All construction shall be in conformance with Town of Chapel Hill and NCDOT standards and specifications.
 - Perennial stream determination provided by the Town of Chapel Hill dated 5/08/2012.

SUBMITTALS

Concept Plan Submittal	08/15/12
SUP/Rezoning Submittal	12/12/12

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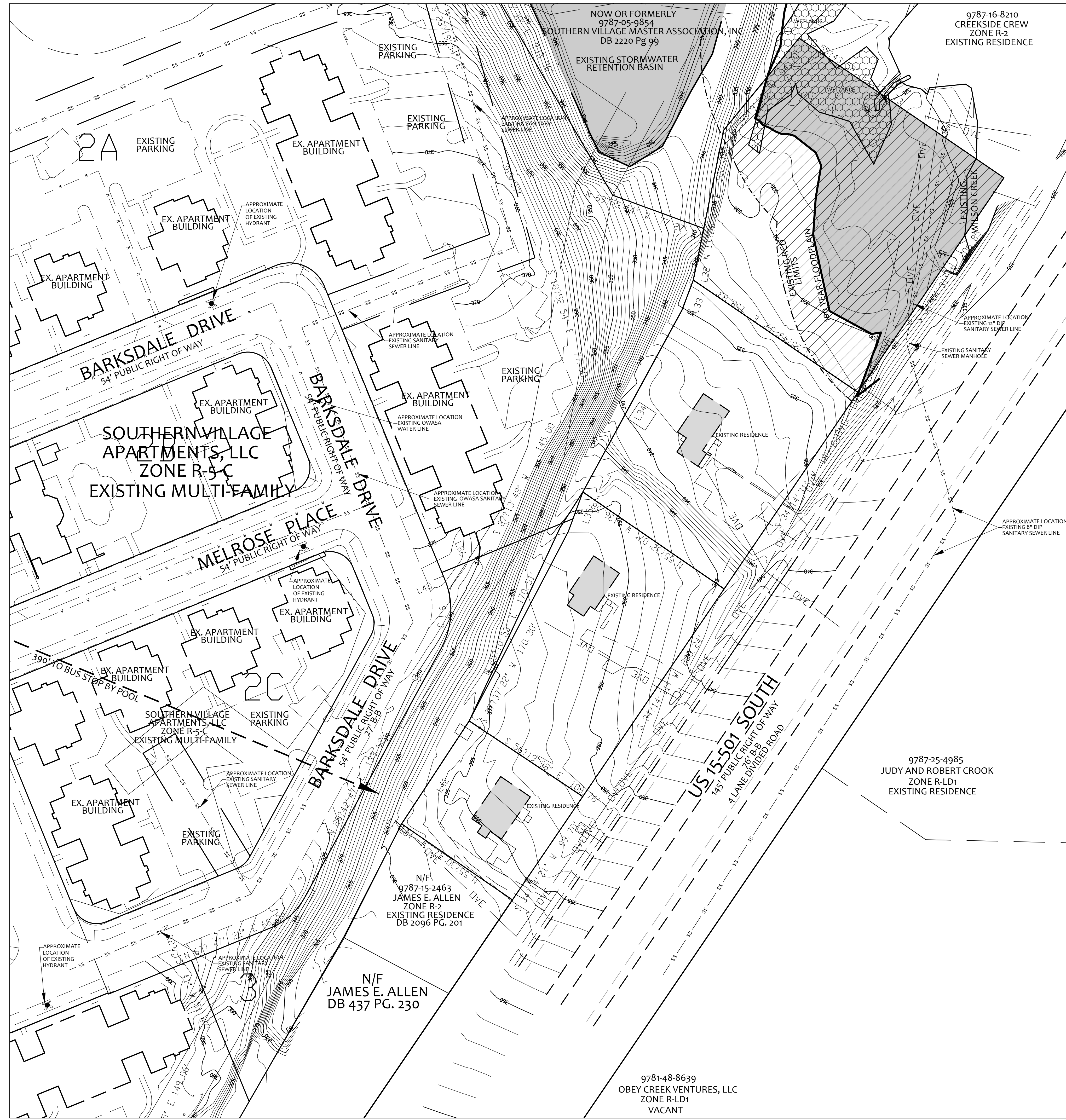


REVISIONS:

SPECIAL USE PERMIT
Southern Village Hotel & Apartments
Southern Village Chapel Hill, NC

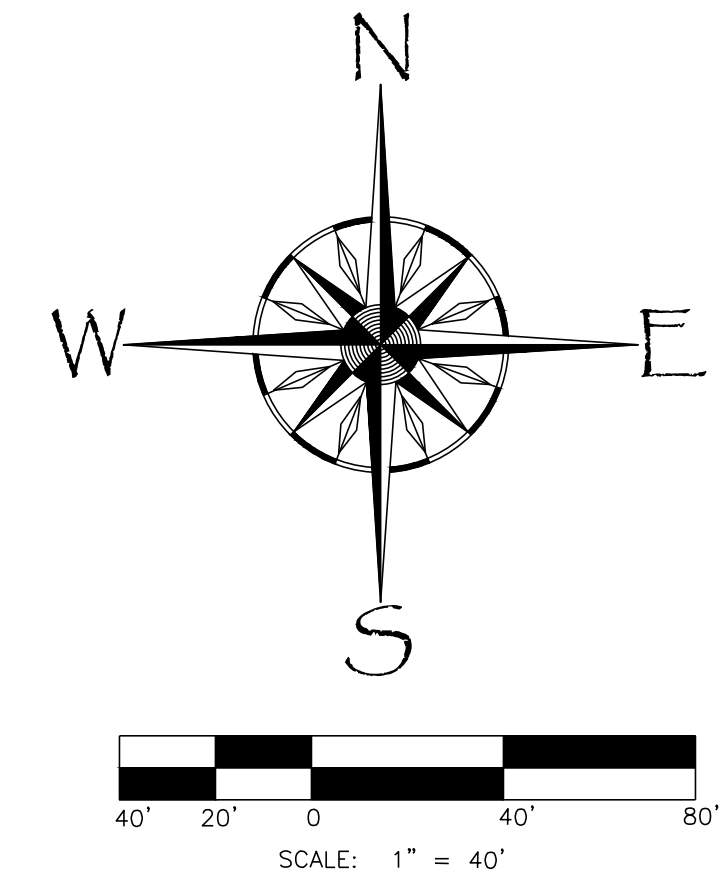
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1"=40'
DRAWN BY:
T.M.T.
PROJECT #
09007
DATE:
06/04/12
SHEET

COVER
OF



L32	S 11°26' 57" W	42.01
L33	S 20°41' 32" W	25.48
L34	S 28°35' 12" W	165.19
L35	S 20°10' 04" W	33.70
L42	S 33°17' 03" W	98.18
L46	N 22°19' 26" W	6.23
L53	S 67°44' 27" W	47.80

CURVE	ARC	RADIUS	CHORD LENGTH	CHORD BEARING
C16	57.01	64.00	55.14	N 03°11' 41" E

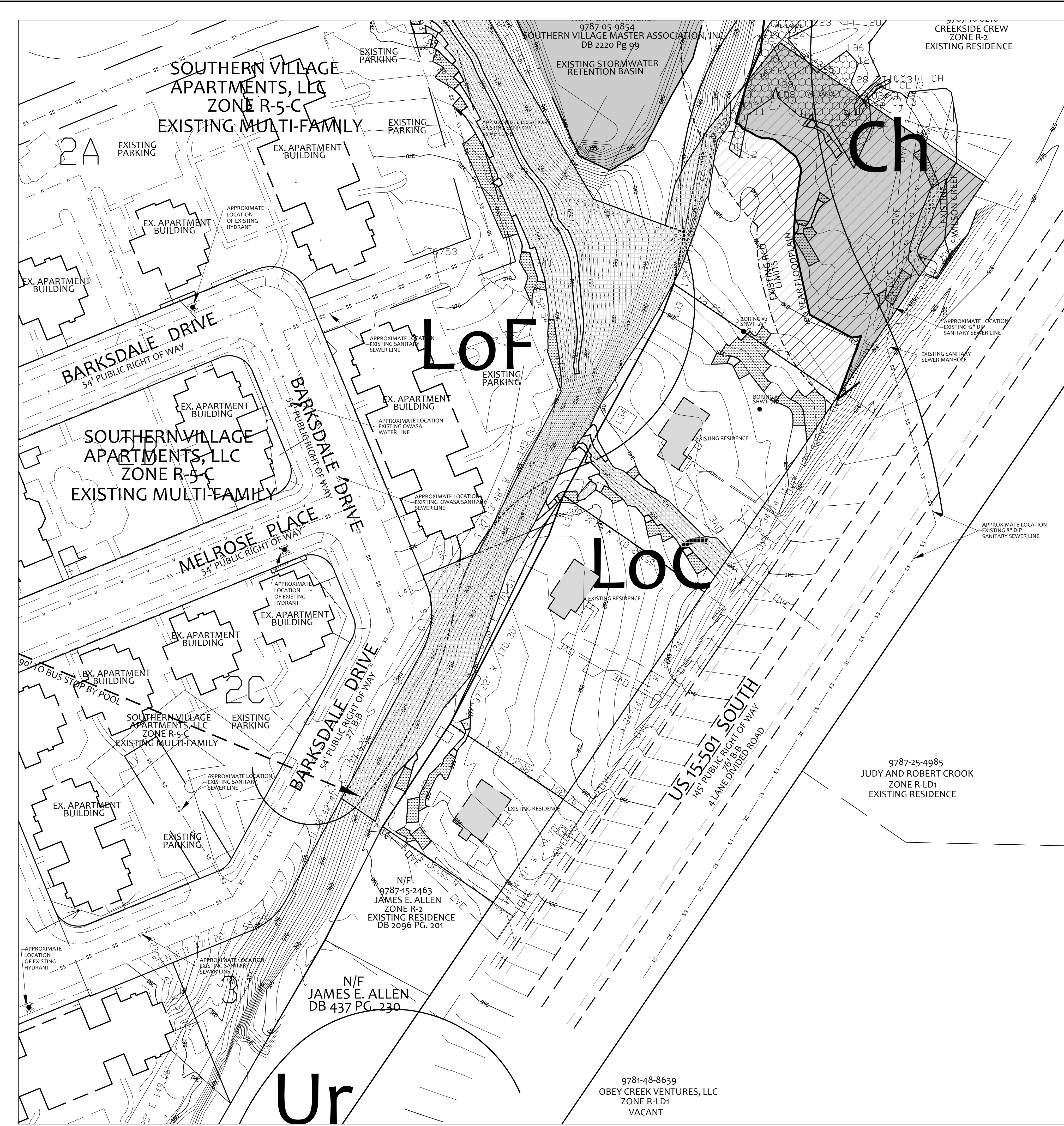


REVISIONS:
10/04/12

EXISTING CONDITIONS
Southern Village Hotel & Apartments
Southern Village Chapel Hill, NC

SCALE:
1"=40'
DRAWN BY:
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06/04/12

SHEET
SUP-1
OF



SOILS

Ch Chewacla Series-The Chewacla series consists of somewhat poorly drained, moderately permeable soils that formed in recent alluvium. These soils are in long flat areas parallel to the major streams. Slope is 0-2%.

LoF Louisburg Sandy Loam Series- The Louisburg series consists of well drained to excessively drained, rapidly permeable soils that formed in weathering granite and gneiss. These soils are on side slopes adjacent to major drainageways. Slope is 6-45%.

LoC Louisburg Sandy Loam-This series slope is 6-15%.

HYDROLOGY

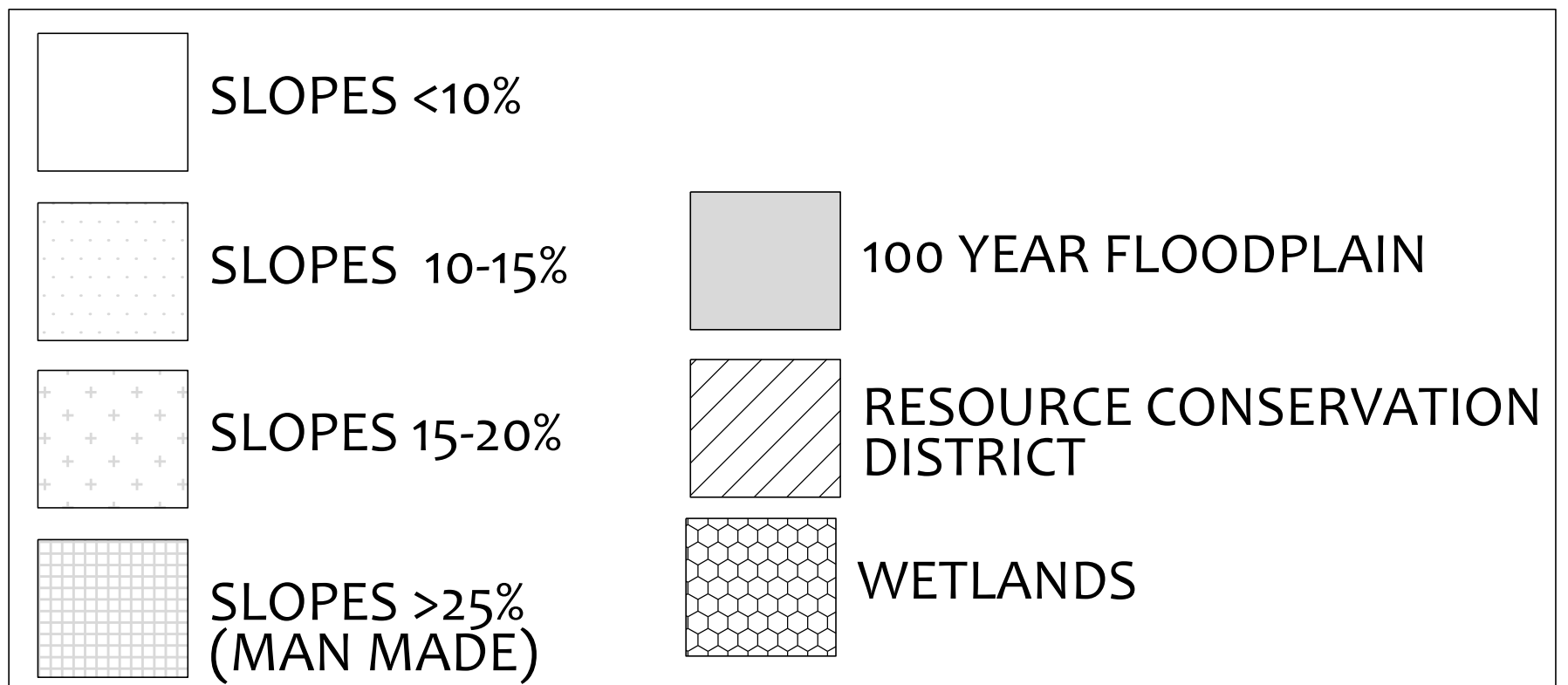
Wilson Creek, a perennial stream, is located on the northern end of the property traversing thru the Creekside Crew Property. A 150 foot Resource Conservation District buffer from the top of bank has been established. North of this site exists an existing stormwater retention basin constructed for a portion of the Southern Village development. A 100 year floodplain exists on Wilson Creek as found on FEMA FIRM Panel 3710978700J dated February 2, 2007.

VEGETATION

Existing vegetation for this site is mixed consisting of hardwood forest on the banks of Wilson Creek, hardwoods adjacent to cleared areas for existing structures, ornamental planted vegetation associated with residential habitation, and evergreen ornamental screening shrubs planted in association with the Southern Village Apartment Complex planted in the mid 1990's.

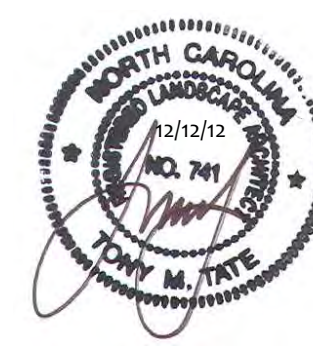
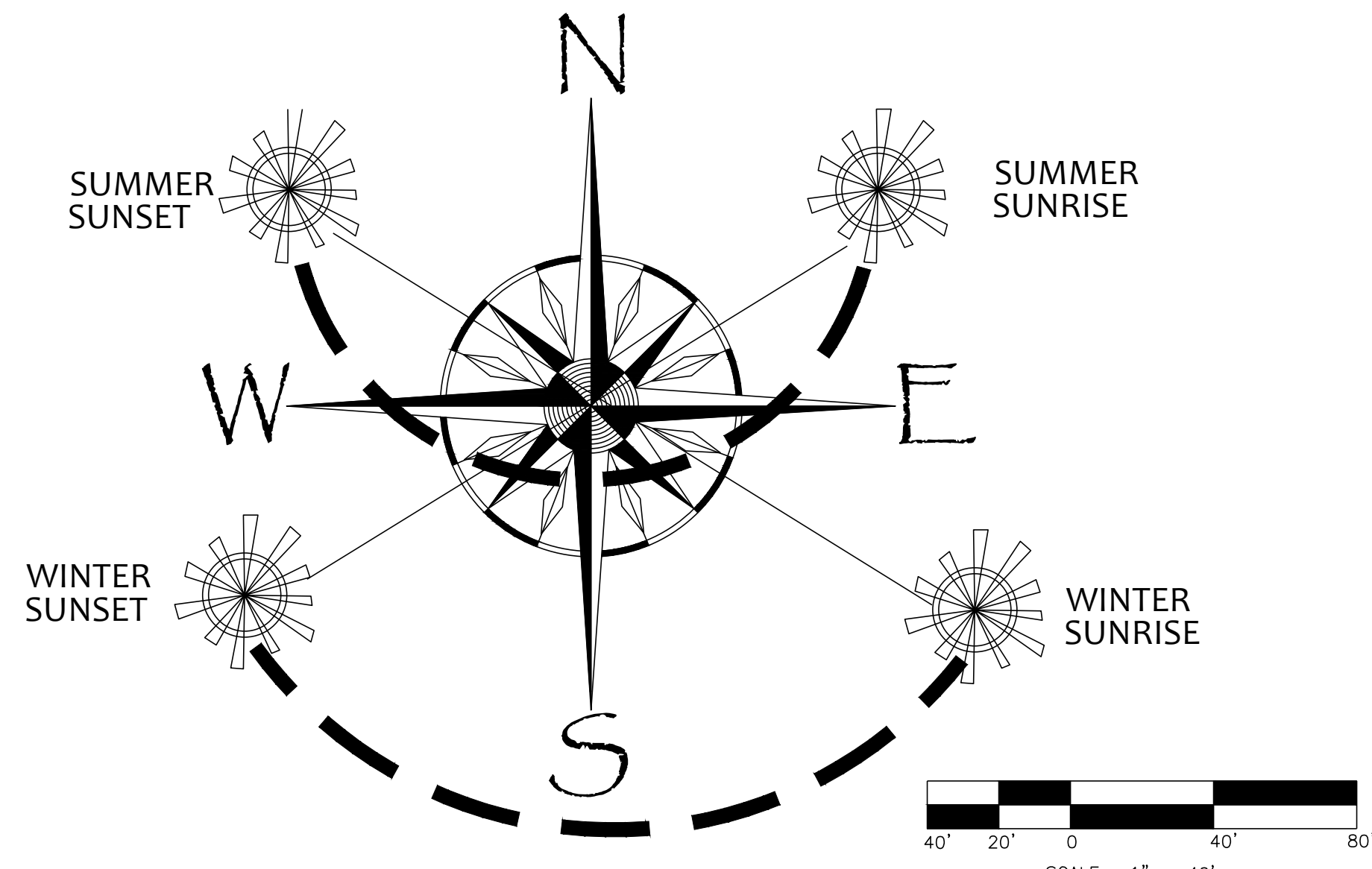
SLOPES

This site consists of slopes of natural and man made origin. The areas near and adjacent to Wilson Creek are flat to gently sloping typically found adjacent to streams. The majority of the site where the existing structures lie consists of gentle slopes the remnants of a previous location for Highway 15-501. There are man made fill slopes greater than 25% constructed during the development of the Southern Village Apartments.



SPECIAL FEATURES

This site is narrow in depth from US Highway 15-501 to Barksdale Drive. Depths range from 145' deep on the southern end to 200' deep on the northern end near Wilson Creek. Water and sanitary sewer are readily available in the right of way of 15-501. Transportation accessibility is being provided via 15-501 for vehicular and bicycle traffic. Pedestrian and bicycle access is available via Barksdale Drive.



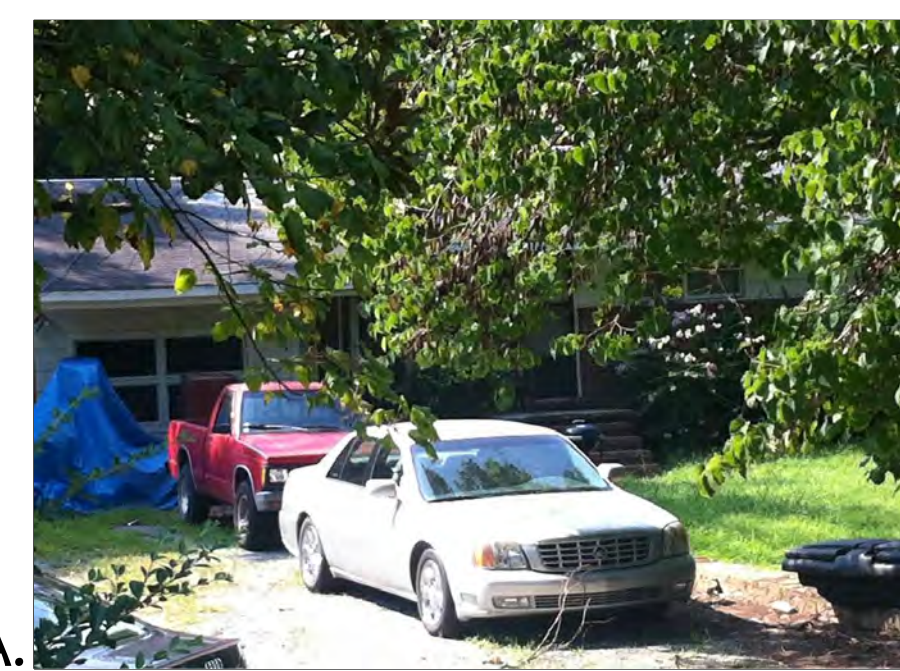
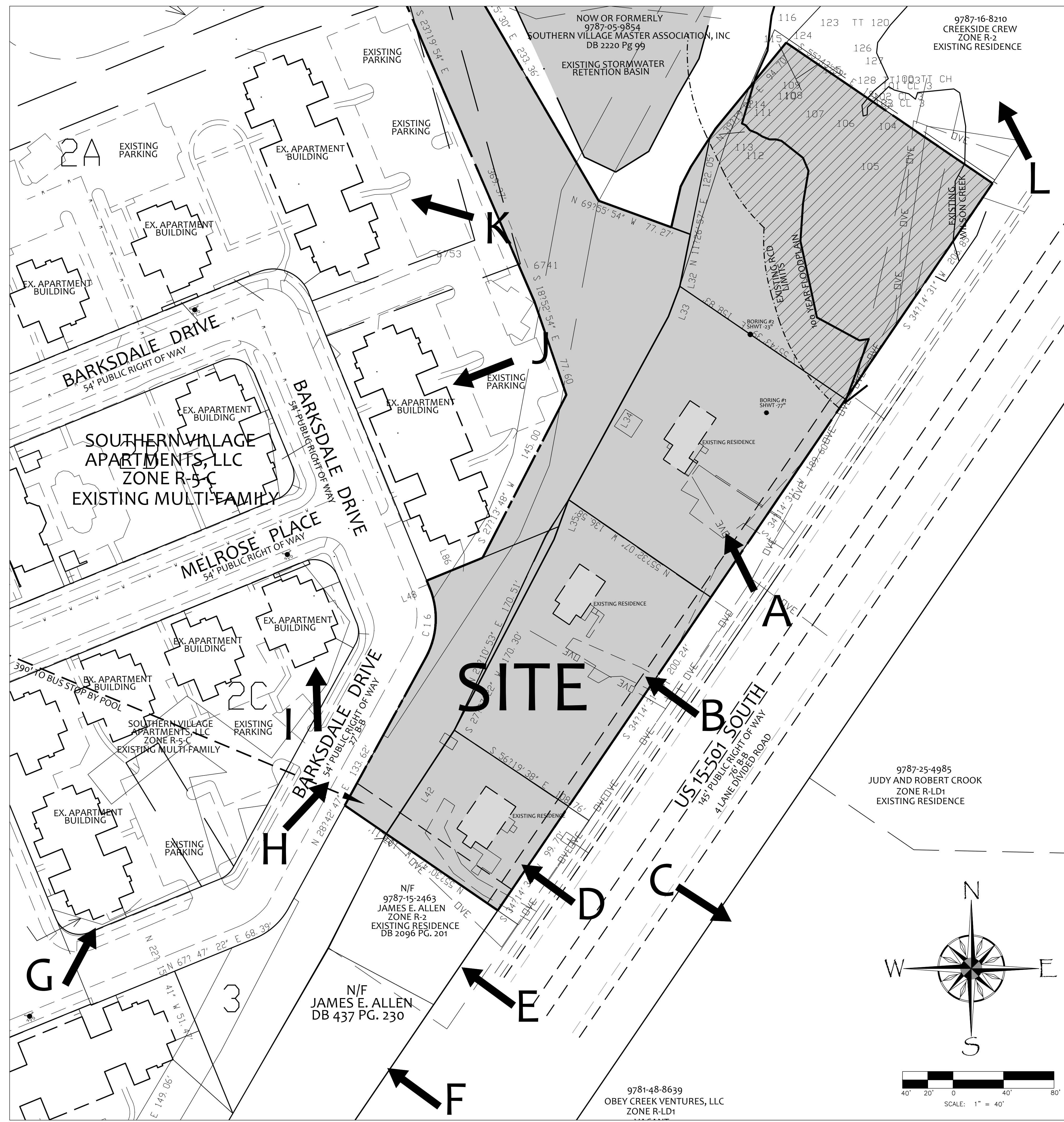
REVISIONS:
10/04/12

SITE ANALYSIS
Southern Village Hotel & Apartments
Southern Village Chapel Hill, NC

SCALE:
1"=40'
DRAWN BY:
T.M.T.
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09007
DATE:
06/04/12

SHEET
SUP-2
OF

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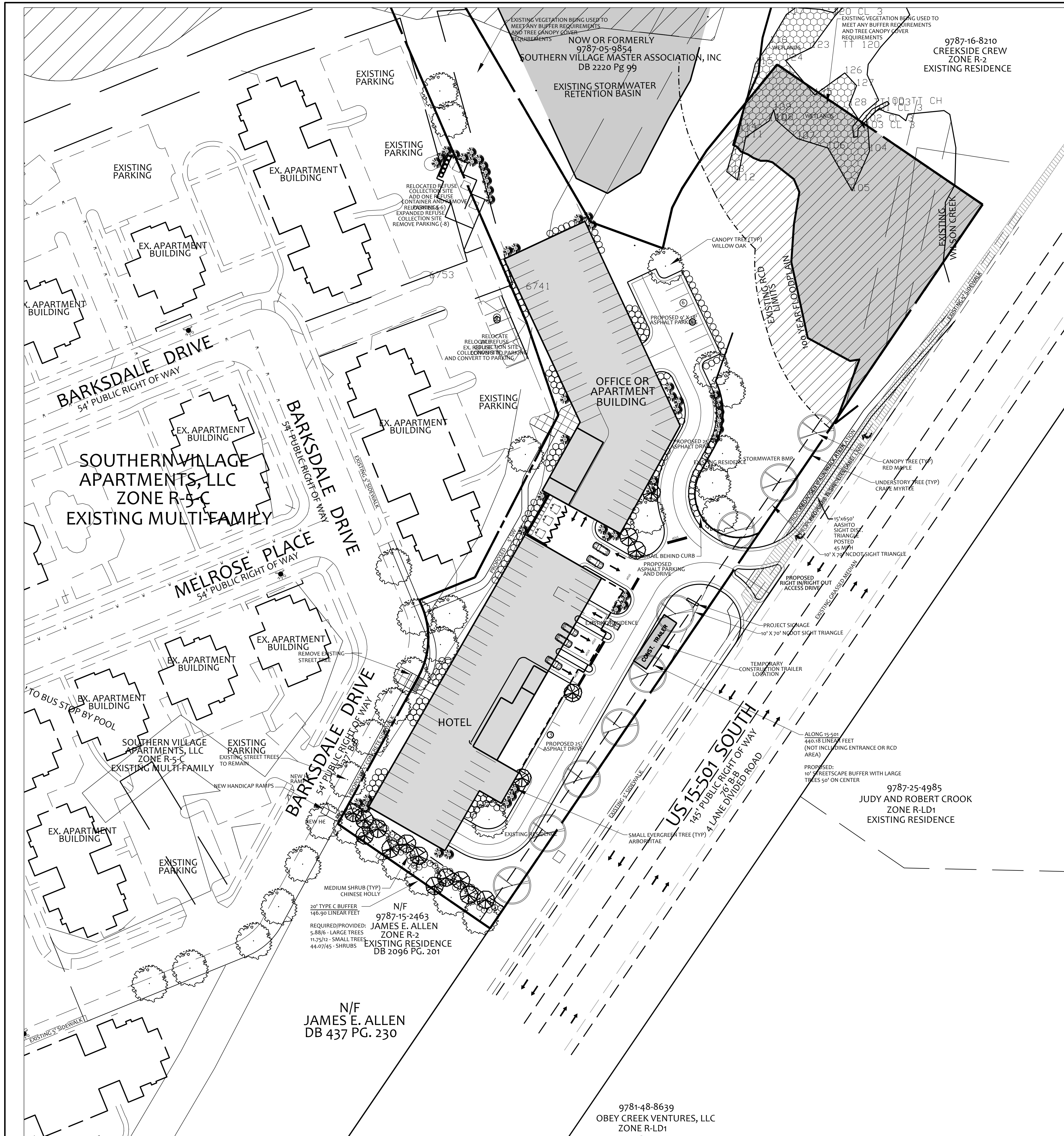
REVISIONS:

10/04/12	
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SITE CONTEXT PHOTO'S
Southern Village Hotel & Apartments
Southern Village Chapel Hill, NC

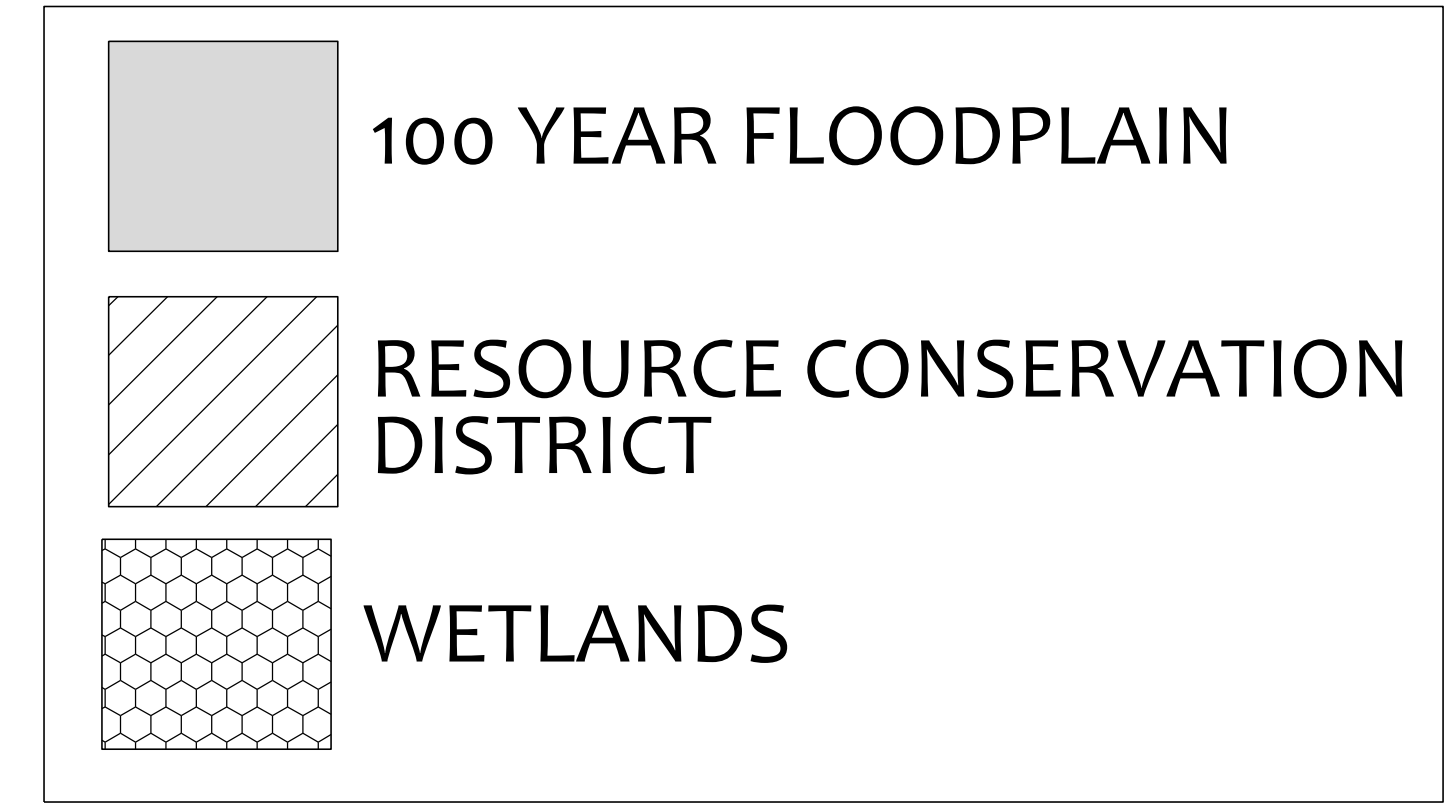
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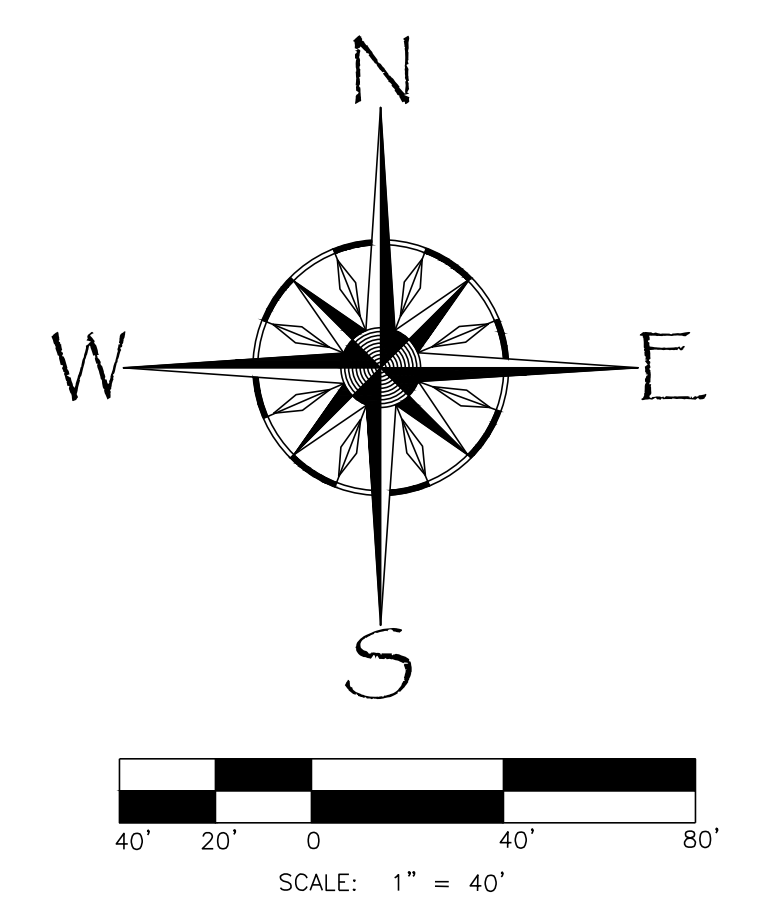


- NOTES:**
1. Boundary information taken from field survey by Sullivan Surveying, August 2012.
 2. FEMA Floodplain information taken from FIRM Panel 3710978700J Dated Feb. 2, 2007
 3. Topographic and soil information taken from Orange County NC GIS data.
 4. All construction shall be in conformance with Town of Chapel Hill and NCDOT standards and specifications.
 5. Perennial stream determination provided by the Town of Chapel Hill dated 5/08/2012.
 6. Propose parking is being designed to be concealed underneath the proposed buildings.
 7. Handicap parking shall be provided in accordance with State and local requirements.
 8. Existing refuse and recycling containers in parking lot to be relocated and upgraded to meet the needs of the new apartment building. Hotel collection by private contractor.
 9. Prior to any construction on this site, the applicant shall hold a pre-construction and pre-demolition conference with the Town's solid waste planner, urban forester and OWASA.
 10. A 5 foot concrete sidewalk shall be installed along Barksdale Drive & relocated on 15/501.
 11. Driveway access to US 15/501 shall be approved and constructed in accordance with NCDOT and the Town of Chapel Hill standards and specifications.
 12. Any landscape or street tree plantings proposed inside the right of way shall be approved by NCDOT and Town of Chapel Hill.

- GENERAL PLANTING NOTES:**
1. Verification of total quantities shown in the plant list shall be the responsibility of the landscape contractor, and the total quantities shall be required on the planting plan.
 2. All trees, shrubs, and plants shall conform to the accepted standards established by the American Nursery and Landscape Association.
 3. All saucers shall be soaked with water and mulched immediately following planting.
 4. All plants shall bear the same relation to finish grade as it bore to previous existing grade.
 5. The size of all root balls shall conform to ANLA standards.
 6. Fertilize all plants with Agriform fertilizer tablets or equal to be applied at manufacturers recommended rate.
 7. Guying, if necessary, shall be removed after one (1) growing season.
 8. All root balls removed from containers shall be scarified prior to backfilling.
 9. All trees have been located with respect to proposed or existing facilities and structures.
 10. Owners shall maintain all plant beds and plant material in good health, and any dead, unhealthy, or missing plants shall be replaced with locally adapted vegetation which conforms to initial planting standards of the Landscape Ordinance.
 11. 95% of parking located beneath the buildings therefore we are meeting the 35% shading requirement.
 12. Stormwater BMP shall be planted to the specifications of the Town of Chapel Hill and NCDENR.



RECREATION AREA
 PROPOSED ZONING: MUV-ARTERIAL
 REQUIRED RATIO: 0.046
 151,557.78 SQ. FT. * 0.046 = 6,971.66
 REQUIRED: 6,971.66 SQ FT OF RECREATION SPACE
 PROVIDED: 1,125 SQ FT OF RECREATION SPACE (LOCATED WITHIN THE BUILDING AS THE FITNESS CENTER)
 *THE REMAINING RECREATION SPACE IS PROPOSED TO BE ADDITIONAL ACTIVE AND/OR PASSIVE RECREATION SPACE WITHIN SOUTHERN VILLAGE. LOCATION AND DESIGN TO BE APPROVED BY TOWN OF CHAPEL HILL PARKS AND RECREATION.



REVISIONS:

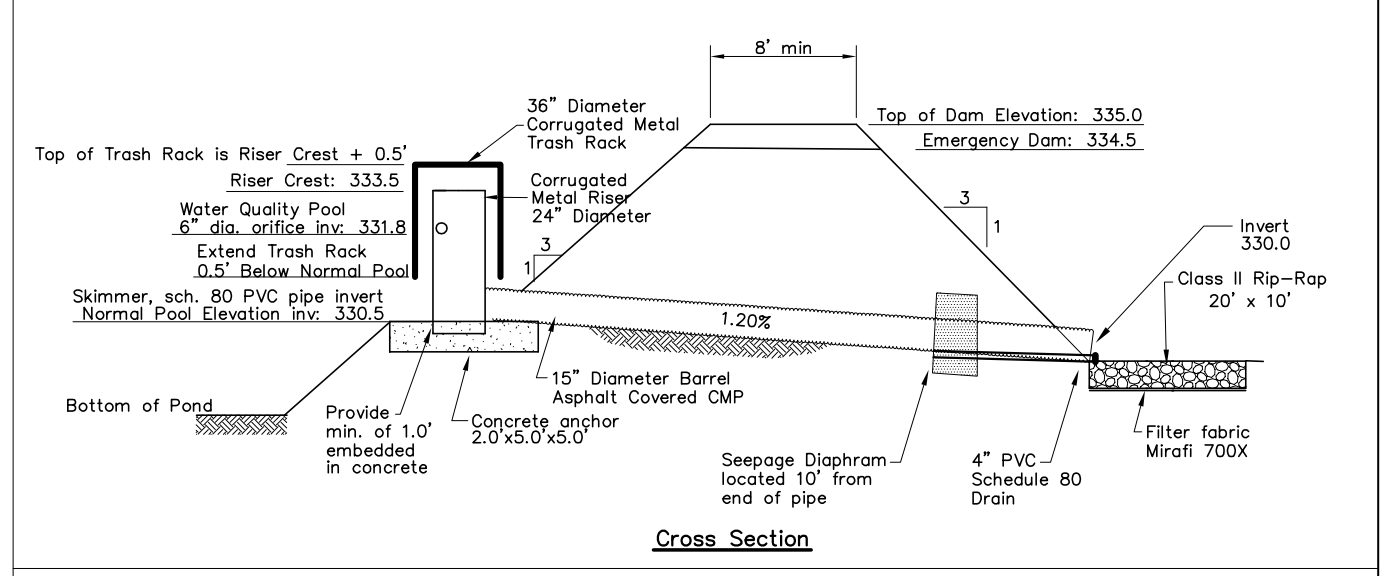
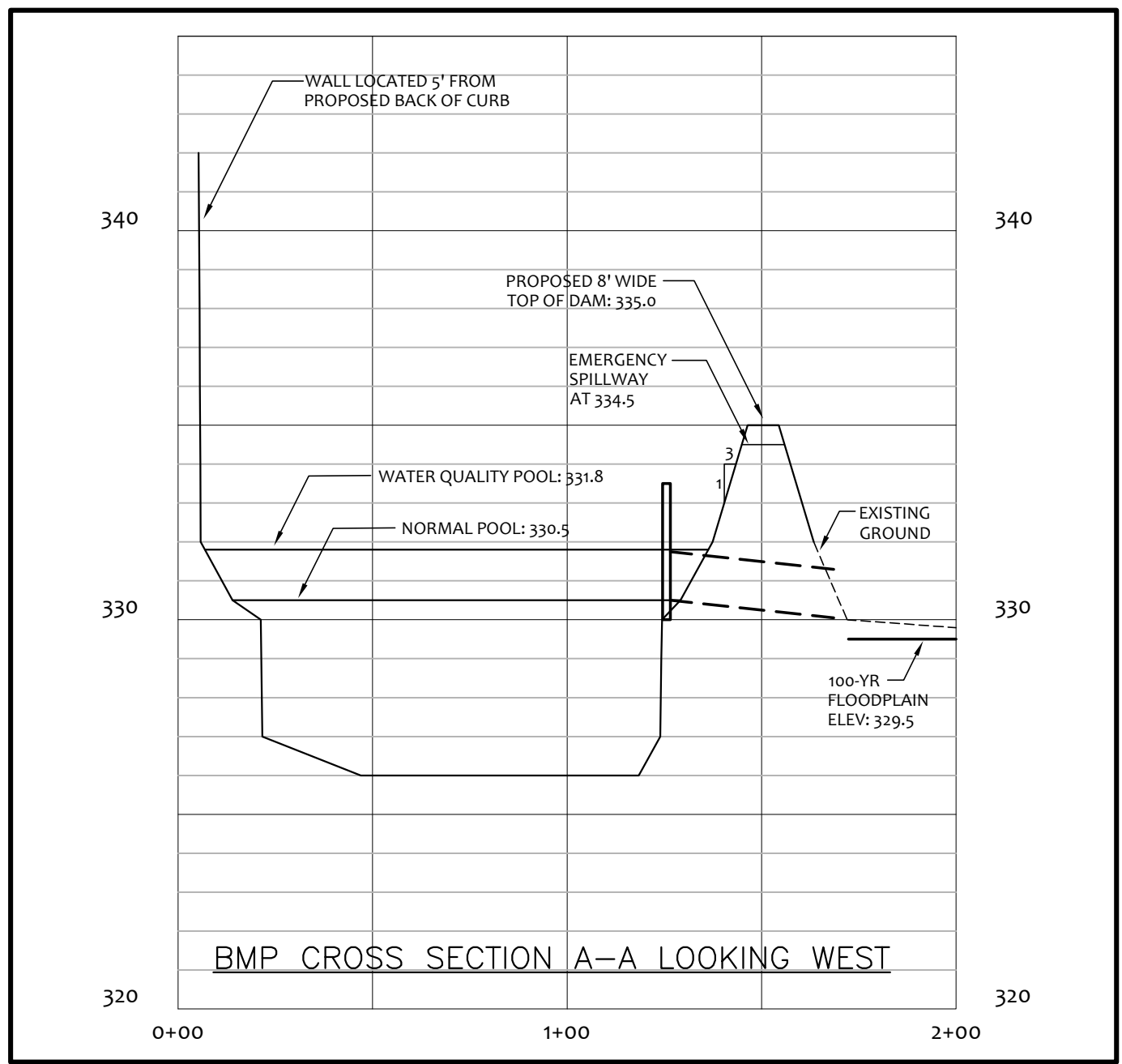
CONCEPTUAL SITE PLAN
Southern Village Hotel & Apartments
 Southern Village Chapel Hill, NC

SCALE:
 1"=40'
 DRAWN BY:
 T.M.T.
 PROJECT #
 09007
 DATE:
 12/01/12

SHEET
SUP-4
 OF



- NOTES:**
1. ALL WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "STANDARD SPECIFICATIONS FOR WATER DISTRIBUTION AND WASTEWATER COLLECTION SYSTEMS" OF THE ORANGE WATER AND SEWER AUTHORITY.
 2. ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH TOWN OF CHAPEL HILL AND NCDOT STANDARDS AND SPECIFICATIONS.
 3. PRIOR TO ANY CONSTRUCTION ON THIS SITE, THE APPLICANT SHALL HOLD A PRE-CONSTRUCTION AND PRE-DEMOLITION CONFERENCE WITH THE TOWN'S SOLID WASTE PLANNER, URBAN FORESTER AND OWASA.
 4. OPEN BURNING OF TREES, LIMBS, STUMPS AND CONSTRUCTION DEBRIS ASSOCIATED WITH THIS CONSTRUCTION IS PROHIBITED.
 5. PLANTING PLANS AND NOTES ARE SHOWN ON PLANTING SHEET, STABILIZATION OF POND AREA TO BE IN ACCORDANCE TO NCDENR AND TOWN OF CHAPEL HILL EROSION CONTROL SPECIFICATIONS.



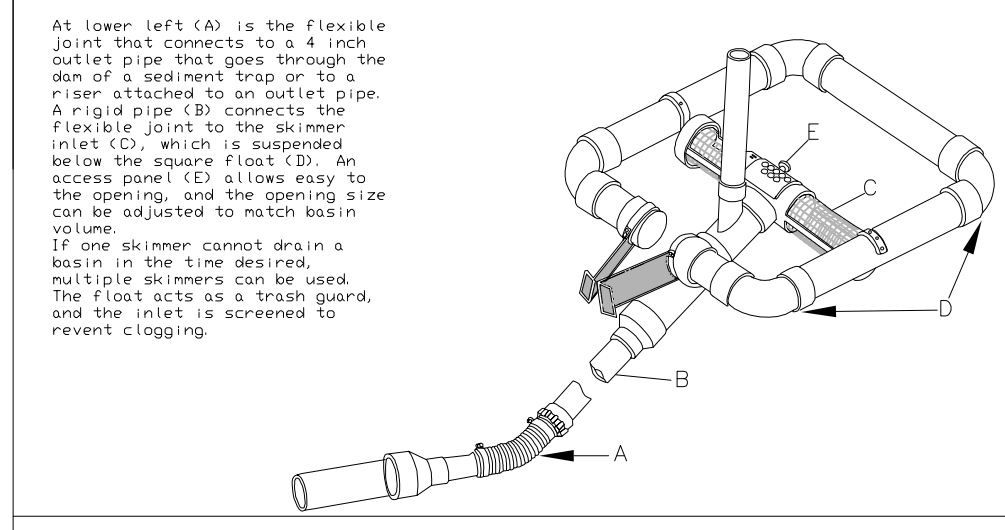
Storm Drainage Summary - Southern Village Hotel/Apartments
Summary of Pipes - 11/29/2012

From	To	Rational C	Intensity (in/hr)	Area (ac)	Q (cfs)	Q (ft³/s)	Length (ft)	Diameter (inches)	DIA. (inches)	Slope (%)	Invert (From)	Invert (To)	
FES1	RB1	0.90	7.2	0.33	2.2	13.8	42	15	RCP	19.2	1.20%	330.00	330.50
FES2	CB1	0.95	7.2	0.04	0.3	4.2	8	12	RCP	10.4	3.00%	332.00	332.24
CB1	CB2	0.95	7.2	0.04	0.3	4.2	64	12	RCP	10.1	3.00%	332.44	334.36
CB2	DS1	0.99	7.2	0.23	1.6	11.8	30	12	RCP	6.2	7.00%	334.56	336.66
CB2	CB3	0.90	7.2	0.13	0.9	2.1	90	12	RCP	9.8	1.00%	334.56	335.46
CB3	DS2	0.99	7.2	0.17	1.2	1.2	26	12	RCP	8.0	1.00%	335.66	335.92
FES3	CB4	0.95	7.2	0.09	0.6	7.4	15	12	RCP	10.2	10.00%	332.00	333.50
CB4	CB5	0.95	7.2	0.24	1.6	6.8	30	12	RCP	10.1	9.00%	333.70	336.40
CB5	FES4	0.70	7.2	0.26	1.3	1.3	40	12	RCP	5.5	9.00%	336.60	340.20
CB5	CB6	0.95	7.2	0.03	0.2	0.3	88	12	RCP	3.1	9.00%	336.60	344.52
CB6	GI1	0.95	7.2	0.01	0.1	0.1	41	6	RCP	3.0	1.00%	347.82	347.93
CB5	DS3	0.99	7.2	0.26	1.9	3.5	136	12	RCP	8.3	7.00%	336.60	348.12
DS3	DS4	0.99	7.2	0.23	1.7	1.7	98	12	RCP	6.0	9.00%	346.32	355.14
FES5	CB7	0.95	7.2	0.06	0.38	69.3	104	42	RCP	22.0	15.00%	333.61	349.21
CB7	CB8	0.95	7.2	0.51	3.45	66.9	123	42	RCP	36.4	1.00%	349.41	350.64
CB8	DS2	0.90	7.2	0.11	0.68	0.7	13	12	RCP	7.3	0.50%	350.84	350.91
CB8	EXCB1	0.90	7.2	10.00	64.80	64.8	35	42	RCP	37.6	0.75%	351.25	351.51
FES6	CB9	0.95	7.2	0.21	1.46	3.4	44	18	RCP	13.4	0.50%	335.00	339.22
CB9	SMH1	0.95	7.2	0.01	0.07	1.0	14	15	RCP	10.8	0.50%	329.42	329.49
SMH1	EXCB2	0.95	7.2	0.07	0.50	1.8	149.3	15	RCP	7.3	3.72%	329.59	335.14
EXCB2	CB10	0.95	7.2	0.20	1.34	1.3	44	15	RCP	6.4	4.00%	335.34	337.10

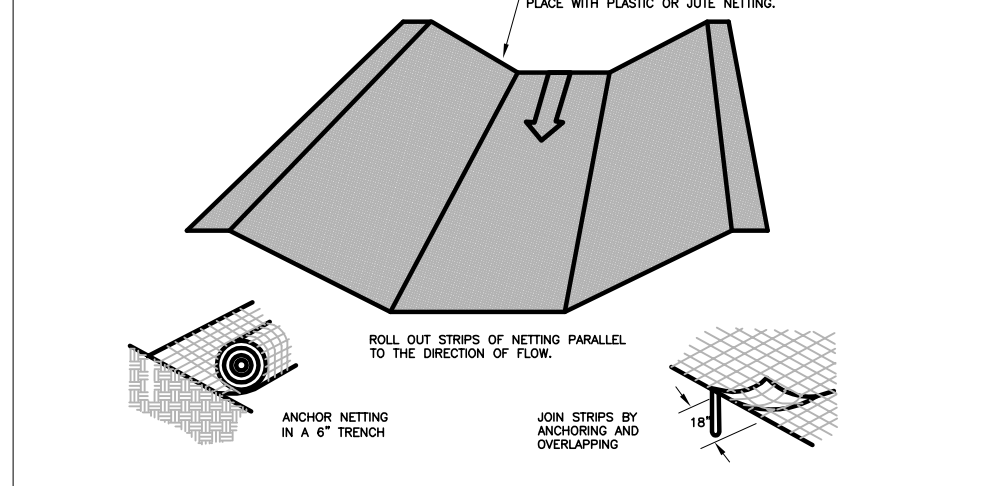
Storm Drainage Summary
Summary of Structures

Structure	Type	Rational C	Intensity (in/hr)	Area (ac)	Q (cfs)	Reference Elevation BOOTOP	Depth (ft)
RB1	RISER	0.90	7.20	0.33	2.2	334.00	3.5
CB1	CB	0.95	7.20	0.04	0.3	343.50	11.3
CB2	CB	0.95	7.20	0.04	0.3	341.00	6.6
DS1	DS	0.99	7.20	0.23	1.6	341.00	4.5
CB3	CB	0.90	7.20	0.13	0.9	339.50	4.0
DS2	DS	0.99	7.20	0.17	1.2	340.00	4.1
CB4	CB	0.95	7.20	0.09	0.6	342.10	8.6
CB5	CB	0.95	7.20	0.24	1.6	342.80	6.4
FES4	FES	0.70	7.20	0.26	1.3	343.50	22.3
CB6	CB	0.95	7.20	0.03	0.2	349.00	4.5
GI1	GI	0.95	7.20	0.01	0.1	348.90	1.0
DS3	DS	0.99	7.20	0.26	1.9	350.60	4.5
DS4	DS	0.99	7.20	0.23	1.7	359.20	22.3
CB7	CB	0.95	7.20	0.06	0.4	371.50	22.3
CB8	CB	0.95	7.20	0.51	3.5	366.90	22.3
GI2	GI	0.90	7.20	0.11	0.7	363.50	16.3
EXCB1	CB	0.90	7.20	10.00	64.8	366.34	12.6
CB9	CB	0.95	7.20	0.21	1.5	335.50	6.3
SMH1	MH	0.95	7.20	0.01	0.1	335.54	6.3
EXCB2	CB	0.95	7.20	0.07	0.5	339.89	6.1
CB10	CB	0.95	7.20	0.20	1.3	342.50	4.7

WATER QUALITY POND/SED BASIN CONFIGURATION NTS



FAIRCLOTH SKIMMER NTS



CONCENTRATED FLOW STABILIZATION NTS

SITE NOTES

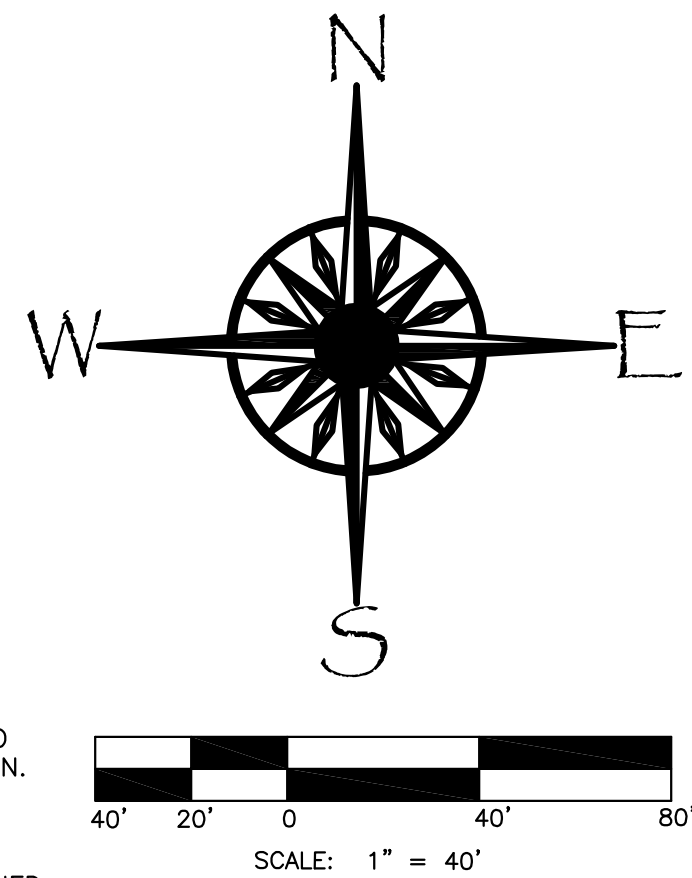
UTILITIES POSSIBLY LOCATED ON SITE:
 TIME WARNER CABLE
 ORANGE COUNTY WATER/SEWER
 DUKE POWER
 PUBLIC SERVICE NC ENERGY
 VERIZON SOUTH, INC.
 BELLSOUTH
 PUBLIC STORMWATER DRAINAGE PIPES

ALL UNDERGROUND UTILITY LOCATIONS ON SURVEY ARE APPROXIMATE. ULOGO SERVICE 1-800-632-4949 SHOULD BE CONTACTED PRIOR TO ANY EXCAVATION.

SUBJECT PROPERTY LIES PARTIALLY WITHIN ZONE "X" INSIDE THE 500 YEAR FLOOD AREA PER FIRM PANEL 3710978700J DATED FEBRUARY 2, 2007.
 SUBJECT PROPERTY LIES WITHIN THE JORDAN LAKE PROTECTED AREA WATERSHED.

- LEGEND:**
- CURB INLET
 - FLARED END SECTION
 - OPEN PIPE
 - STORM MANHOLE
 - WATER BLOW OFF VALVE
 - SANITARY MANHOLE
 - UTILITY POLE
 - ATT. VAULT
 - LIGHT POLE
 - IRON FOUND
 - IRON SET
 - GRATED INLET

- ABBREVIATION LEGEND**
- GI GRATED INLET
 - CB CATCH BASIN
 - FES FLARED END SECTION
 - DS DOWNSPOUT
 - RB RISEK/BARREL



PRELIMINARY
 DO NOT USE FOR
 CONSTRUCTION

REVISIONS:

STORMWATER MANAGEMENT PLAN
Southern Village Hotel & Apartments
 Redwing Land, LLC 400 Market Street, Suite 115, Chapel Hill, NC 27516
 Southern Village, Chapel Hill, LLC

SCALE:
 1"=40'
 DRAWN BY:
 A.R.F.
 CHECKED BY:
 R.J.B.
 DATE:
 12-7-2012

SHEET



NOTES:

1. ALL WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "STANDARD SPECIFICATIONS FOR WATER DISTRIBUTION AND WASTEWATER COLLECTION SYSTEMS" OF THE ORANGE WATER AND SEWER AUTHORITY.
2. ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH TOWN OF CHAPEL HILL AND NCDOT STANDARDS AND SPECIFICATIONS.
3. PRIOR TO ANY CONSTRUCTION ON THIS SITE, THE APPLICANT SHALL HOLD A PRE-CONSTRUCTION AND PRE-DEMOLITION CONFERENCE WITH THE TOWN'S SOLID WASTE PLANNER, URBAN FORESTER AND OWASA.
4. OPEN BURNING OF TREES, LIMBS, STUMPS AND CONSTRUCTION DEBRIS ASSOCIATED WITH THIS CONSTRUCTION IS PROHIBITED.

HOURS OF CONSTRUCTION

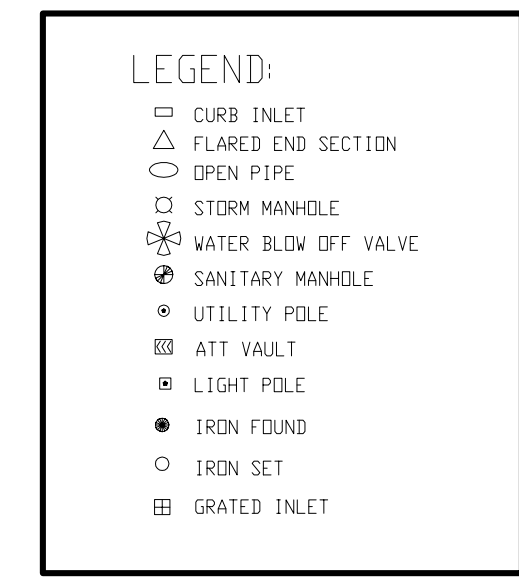
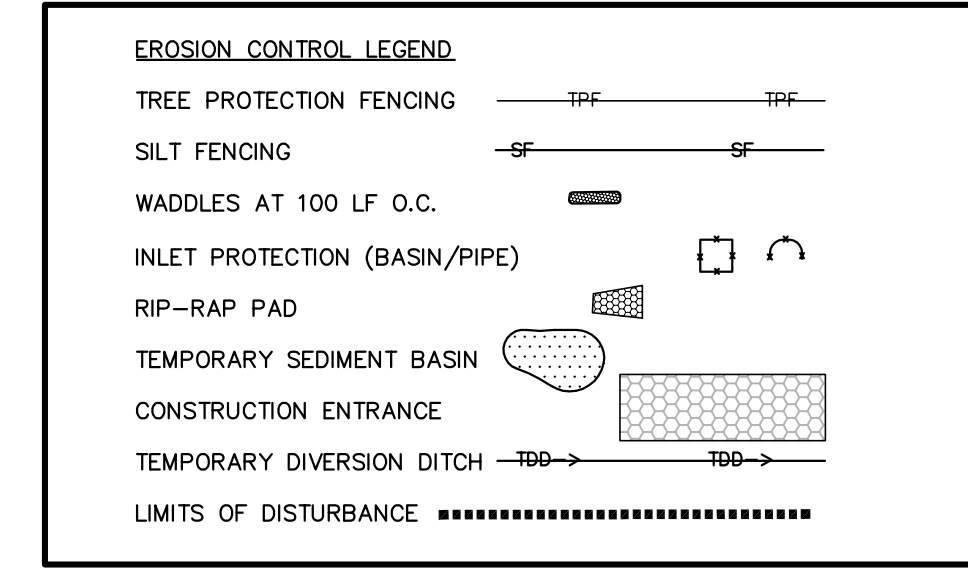
1. WEEKDAY HOURS OF CONSTRUCTION SHALL NOT START BEFORE 7:30 AM AND SHALL END NO LATER THAN 5:00 PM. SATURDAY HOURS OF CONSTRUCTION SHALL NOT START BEFORE 10:00 AM AND SHALL END NO LATER THAN 5:00 PM. NO SUNDAY HOURS OF CONSTRUCTION SHALL BE PERMITTED.
2. THE FOLLOWING HOLIDAYS SHALL BE RESTRICTED:
 DECEMBER 25TH
 DECEMBER 26TH IF DECEMBER 25TH IS A SUNDAY
 NEW YEAR'S DAY
 JANUARY 2ND IF NEW YEAR'S DAY IS A SUNDAY
 MARTIN LUTHER KING JR. DAY
 MEMORIAL DAY
 JULY 4TH
 LABOR DAY
 THANKSGIVING
3. NOISE GENERATING CONSTRUCTION ACTIVITIES WILL BE MINIMIZED ON SATURDAYS WHEREVER POSSIBLE.
4. OPERATIONS THAT DO NOT GENERATE OBJECTIONABLE NOISE WILL NOT BE RESTRICTED.
5. THE EXTENSION OF THESE HOURS, FOR SPECIFIC OPERATIONS, SHALL BE APPROVED BY THE TOWN MANAGER.

CLEARING LIMITS:

106,302 SQ. FT. (2.44 AC) ON SITE PROPERTY
 41,279 SQ.FT. (0.95 AC) OFF SITE (SIDEWALK, NCDOT, UTILITIES)
 147,581 SQ.FT. (3.39 AC) TOTAL

CONSTRUCTION SEQUENCE

1. OBTAIN GRADING PERMIT FROM THE ORANGE COUNTY DEPARTMENT OF PLANNING AND INSPECTIONS. HAVE THE RISER/BARRELS DELIVERED FOR PROPOSED POND.
2. SET UP A PRECONSTRUCTION CONFERENCE WITH THE EROSION CONTROL INSPECTOR OF ORANGE COUNTY (919-245-2586).
3. HOLD A PRE-CONSTRUCTION MEETING WITH EACH OF THE FOLLOWING:
 A REPRESENTATIVE OF THE TOWN'S LANDSCAPE PROTECTION DEPARTMENT, THE TOWN'S URBAN FORESTER, AND A REPRESENTATIVE FROM ORANGE COUNTY SOLID WASTE MANAGEMENT, AND OWASA.
4. INSTALL SILT FENCE, INLET PROTECTION, SEDIMENT TRAPS, TEMPORARY DIVERSION DITCHES, TREE PROTECTION AND OTHER MEASURES SHOWN ON THE PLANS, CLEARING ONLY AS NECESSARY TO INSTALL THESE DEVICES.
5. EXCAVATE PORTIONS OF PERMANENT DETENTION POND FOR TEMPORARY STORAGE. INSTALL THE RISER/BARREL AND TEMPORARY SKIMMER.
6. CALL SPENCE WRIGHT IN THE ORANGE COUNTY SOLID WASTE DEPARTMENT AT 919-968-2800 FOR A PRE-DEMOLITION CONFERENCE.
7. CALL THE ORANGE COUNTY EROSION INSPECTOR AT 919-245-2586 FOR AN ON-SITE INSPECTION. CONTINUE DAM CONSTRUCTION AND INSTALL PERMANENT FAIRCLOTH SKIMMER PIPES IN DAM WHEN FILL IS BEING PLACED.
8. MAINTAIN EROSION CONTROL DEVICES UNTIL INSTRUCTED TO REMOVE.
9. STABILIZE SITE AS AREAS ARE BROUGHT TO FINISHED GRADE. STABILIZE ANY AREAS WITHIN 15 (FIFTEEN) DAYS AFTER THE AREA IS BROUGHT TO FINISHED GRADE.
10. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE ORANGE COUNTY EROSION CONTROL MANUAL SINCE THE PERMANENT BASIN WILL, FOR A TIME, SERVE AS THE TEMPORARY EROSION CONTROL MEASURE, THE BASIN SHALL BE IN ACCORDANCE WITH THE MAINTENANCE AND OPERATION PLAN AS WRITTEN IN THE SOUTHERN VILLAGE HOTEL AND APARTMENT STORMWATER IMPACT STATEMENT BY B&F CONSULTING, INC.
11. FINISH DAM FACE AND STABILIZE WITH GRASS SEED.
12. REMOVE SEDIMENT ACCUMULATED IN THE PERMANENT BASIN AND RESTORE TO DESIGN DIMENSIONS.
13. PROVIDE AS-BUILT SURVEY OF DAM TOP ELEVATION, WIDTH AND BASIN SLOPE AND DEPTH.
14. REMOVE TREE PROTECTION FENCING, SILT FENCING, CONSTRUCTION ENTRANCE AND OTHER EROSION CONTROL MEASURES WHEN INSTRUCTED.



IMPERVIOUS SURFACE TALLIES

EXISTING ON-SITE IMPERVIOUS TO BE REMOVED:	8,600 SF
PROPOSED ON-SITE IMPERVIOUS ADDED:	61,733 SF
TOTAL ON-SITE IMPERVIOUS:	53,133 SF
EXISTING OFF-SITE IMPERVIOUS TO BE REMOVED:	1,782 SF
PROPOSED OFF-SITE IMPERVIOUS ADDED:	7,306 SF
TOTAL ADDITIONAL OFF-SITE IMPERVIOUS:	5,524 SF
TOTAL IMPERVIOUS ADDED WITH THIS PROJECT:	58,657 SF

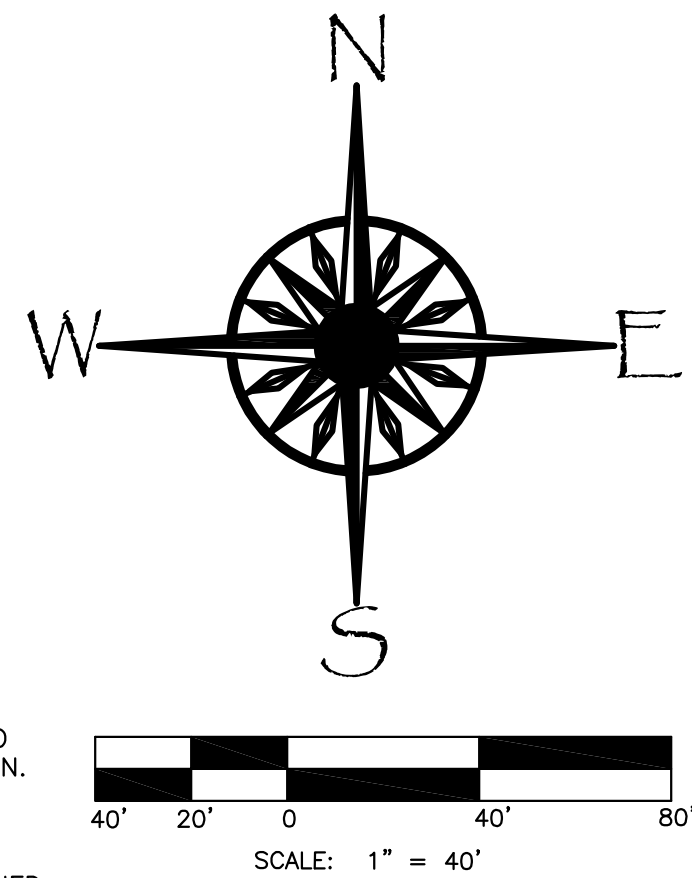
ABBREVIATION LEGEND

GI	GRATED INLET
CB	CATCH BASIN
FES	FLARED END SECTION
DS	DOWNSPOUT
RB	RISER/BARREL

SITE NOTES

- UTILITIES POSSIBLY LOCATED ON SITE:
 TIME WARNER CABLE
 ORANGE COUNTY WATER/SEWER
 DUKE POWER
 PUBLIC SERVICE NC ENERGY
 VERIZON SOUTH, INC.
 BELL SOUTH
 PUBLIC STORMWATER DRAINAGE PIPES

ALL UNDERGROUND UTILITY LOCATIONS ON SURVEY ARE APPROXIMATE. ULOGO SERVICE 1-800-632-4949 SHOULD BE CONTACTED PRIOR TO ANY EXCAVATION.
 SUBJECT PROPERTY LIES PARTIALLY WITHIN ZONE "X" INSIDE THE 500 YEAR FLOOD AREA PER FIRM PANEL 3710978700J DATED FEBRUARY 2, 2007.
 SUBJECT PROPERTY LIES WITHIN THE JORDAN LAKE PROTECTED AREA WATERSHED.



PRELIMINARY
 DO NOT USE FOR
 CONSTRUCTION

REVISIONS:

GRADING AND EROSION CONTROL PLAN
Southern Village Hotel & Apartments
 Redwing Land, LLC 400 Market Street, Suite 115, Chapel Hill, NC 27516
 Southern Village, Chapel Hill, LLC

SCALE:
 1"=40'
 DRAWN BY:
 A.R.F.
 CHECKED BY:
 R.J.B.
 DATE:
 12-7-2012

SHEET



NOTES:

1. ALL WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "STANDARD SPECIFICATIONS FOR WATER DISTRIBUTION AND WASTEWATER COLLECTION SYSTEMS" OF THE ORANGE WATER AND SEWER AUTHORITY.
2. ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH TOWN OF CHAPEL HILL AND NCDOT STANDARDS AND SPECIFICATIONS.
3. PRIOR TO ANY CONSTRUCTION ON THIS SITE, THE APPLICANT SHALL HOLD A PRE-CONSTRUCTION AND PRE-DEMOLITION CONFERENCE WITH THE TOWN'S SOLID WASTE PLANNER, URBAN FORESTER AND OWASA.
4. OPEN BURNING OF TREES, LIMBS, STUMPS AND CONSTRUCTION DEBRIS ASSOCIATED WITH THIS CONSTRUCTION IS PROHIBITED.

UTILITY NOTES:

1. CONTRACTOR TO FIELD LOCATE EXISTING SANITARY SEWER FROM EXISTING BUILDINGS PRIOR TO BEGINNING EXCAVATION.
2. ELECTRICAL SERVICE AND DISTRIBUTION BY DUKE POWER COMPANY.
3. ALL UTILITIES TO BE LOCATED UNDERGROUND WITH THE EXCEPTION OF THREE-PHASE ELECTRIC POWER DISTRIBUTION LINES.
4. UPON COMPLETION, THE CONTRACTOR IS TO ENSURE THAT NO OVERHEAD OBSTRUCTIONS OR UTILITY LINES WILL INTERFERE WITH SERVICE VEHICLE ACCESS OR OPERATION.
5. FINAL CONNECTION TO THE UTILITIES (ROOF COLLECTION, SEWER, WATERLINE) FROM 5' OUTSIDE THE BUILDING WILL BE BY THE SITE CONTRACTOR.
6. EACH BUILDING WILL BE EQUIPPED WITH SPRINKLERS FOR FIRE PROTECTION.
7. THE FOLLOWING CONNECTIONS ARE TO BE LOCATED ON THE 401 SIDE OF EACH BUILDING. SEE PLANS FOR LOCATIONS.
8. FIRE HYDRANT IS TO BE LOCATED WITHIN 50 FEET OF THE FIRE CONNECTIONS ON EACH BUILDING.

HOURS OF CONSTRUCTION

1. WEEKDAY HOURS OF CONSTRUCTION SHALL NOT START BEFORE 7:30 AM AND SHALL END NO LATER THAN 5:00 PM. SATURDAY HOURS OF CONSTRUCTION SHALL NOT START BEFORE 10:00 AM AND SHALL END NO LATER THAN 5:00 PM. NO SUNDAY HOURS OF CONSTRUCTION SHALL BE PERMITTED.
2. THE FOLLOWING HOLIDAYS SHALL BE RESTRICTED:
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 DECEMBER 26TH IF DECEMBER 25TH IS A SUNDAY
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 JANUARY 2ND IF NEW YEAR'S DAY IS A SUNDAY
 MARTIN LUTHER KING JR. DAY
 MEMORIAL DAY
 JULY 4TH
 LABOR DAY
 THANKSGIVING
3. NOISE GENERATING CONSTRUCTION ACTIVITIES WILL BE MINIMIZED ON SATURDAYS WHEREVER POSSIBLE.
4. OPERATIONS THAT DO NOT GENERATE EXCESSIVE NOISE WILL NOT BE RESTRICTED.
5. THE EXTENSION OF THESE HOURS, FOR SPECIFIC OPERATIONS, SHALL BE APPROVED BY THE TOWN MANAGER.

ORANGE COUNTY WATER AND SEWER AUTHORITY UTILITY NOTES

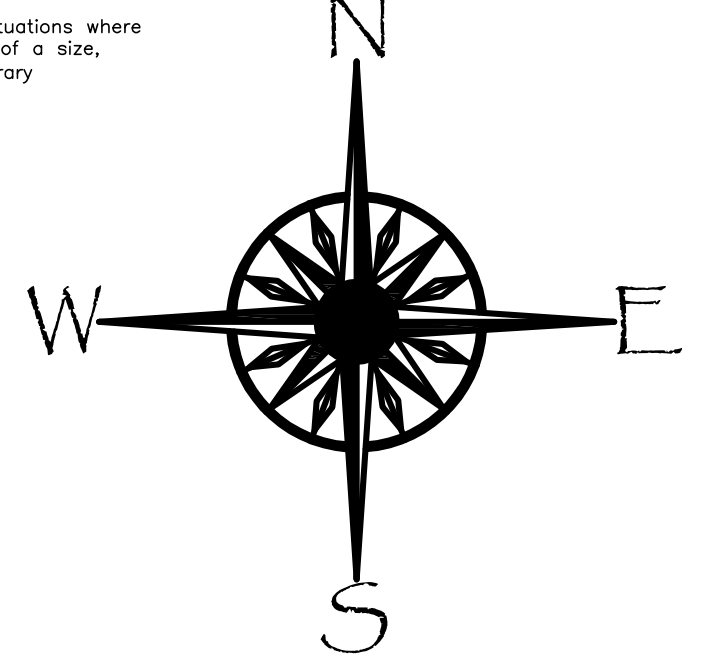
Standards and Specifications - All construction shall be in accordance with OWASA Standards and Specifications dated August, 2003, latest revised edition.
 Please be advised that OWASA approval of this project is for compliance with OWASA Policies, Standards, and Specifications only. All other matters pertaining to this project are the responsibility of the Design Engineer. The issuance of this letter does not preclude the Developer, Project Engineer, Contractor, or other Agents or Parties acting on their behalf from full compliance with OWASA current Standards, Specifications, and Procedures or from complying with any and all statutes, rules, regulations and ordinances which may be imposed by other government agencies (local, state and federal) which may have jurisdiction. Violations will result in the OWASA Project approval being rescinded.
 Preconstruction Conference - A preconstruction conference with the OWASA Construction Inspector is required before beginning any water or sewer utility construction.
 Field Changes are not considered approved by OWASA unless revised plans have been submitted to OWASA for review and approval. Contractors that proceed with construction prior to this approval do so at their own risk.
 Project Acceptance - In addition to a Final Inspection approved by the OWASA Construction Inspector, the following documents must be received and approved by OWASA before acceptance of the project and the setting of meters:
 Engineer's Certification for NODENR permitted water extension - Submit original document to OWASA for submission to NCDENR.
 Asset Letter - Submit original document on OWASA standard form.
 Letter of Dedication - Submit original document on OWASA standard form.
 Record Drawings and Utility - Construction drawings modified to reflect actual field installations.
 And the following Digital Submissions effective January 1, 2004:
 Digital Submissions required by OWASA:
 Water Feature Database (MS Access)
 Manhole Database (MS Access)
 Record Drawing (AutoCAD .dwg format)
 Sewer Statement - Sewer lines under construction shall be plugged with a mechanical plug at the first manhole upstream from the point of connection. Plug shall be placed in the outlet connection and secured with steel cable. Plug shall remain in place until acceptance of lines by OWASA. Before any construction is to begin on the site, Contractor shall protect all existing OWASA sewer manholes with iron fence post and orange tree protection fencing. Water, dirt, or any other debris shall not be allowed to enter the OWASA Sanitary Sewer System during flushing operations or at any other time. Construction taking place in the vicinity of any existing OWASA sewer lines or manholes shall not cause any inflow of surface water or debris to enter the OWASA Sanitary Sewer System. Existing OWASA manholes located in construction sites are to be kept clear and accessible to OWASA personnel at all times. The Owner and/or Contractor shall be responsible for any damages incurred to the OWASA Sanitary Sewer System and any fines imposed by the State of North Carolina Division of Water Quality due to sewer spills or overflows.
 Sewer Use Ordinance - Discharge from this project must be in compliance with the OWASA Sewer Use Ordinance. A grease interceptor shall be provided when in the opinion of OWASA it is necessary for the proper handling of wastewater containing excessive amounts of grease. All interception units must be of the type and capacity which is certified by the Project Engineer as meeting the requirements of OWASA.
 Sewer Services - Each building connected to the sewer system shall be served by a separate building sewer of not less than 4" in diameter. Sewer services located within public right-of-ways or OWASA sewer easements must be constructed of ductile iron pipe from the top up to and including the first cleanout. Except for dead ends and manholes, all 4" sewer services must be tapped into the sewer main. All 6" services must be connected to a manhole.
 OWASA Easements - No grading or encroachments are allowed within OWASA water or sewer easements.
 Proposed easements must have vector access for OWASA maintenance vehicles with slopes no greater than 4:1. Proposed plantings within OWASA easements must come from the OWASA Suggested Plantings for Water and Sewer Easements adopted by the Board of Directors. A landscape plan must be submitted to OWASA clearly showing the water and/or sewer line, its placement within the easement, proposed plantings from the approved list clearly labeled as such, and the distance from the water/sewer line. OWASA will only approve landscaping submitted in this manner. An approval letter will be given for landscaping plans that proposed plantings that do not interfere with OWASA ability to operate and maintain its utilities in accordance with the rules and regulations of the State of North Carolina. Plan approval does not automatically give any approval to any landscaping plan that may be included in the plan set.
 Existing valves - Contractor responsible for verifying that existing valve at the point of connection to the OWASA system is adequate for the proposed use. Contractor, at his expense, may optionally replace valve or install a new valve for the purpose of performing a pressure test for new main installation. If Contractor elects to pressure test against existing valve, Contractor accepts responsibility for ensuring passing pressure testing in accordance with OWASA requirements. In any case, no claim whatsoever shall be made against OWASA for failure of pressure test.
 2" Copper Tubing - 2" type K hard-drawn copper with silver soldered joints ONLY. For 1-1/2" meters install 2"x1/2" reducer at setter.
 NOTE: 2" type K hard-drawn copper joints shall be brazed using Silvoloy, Excel (15% silver), Sil-Fos (15% silver), or approved equal solder comprised of 15% silver. NO EXCEPTIONS. Brazing temperature shall be between 1,500 and 1,550 degrees Fahrenheit. Tin based solder is not acceptable.
 Disinfection Requirements - The Contractor shall be responsible for neutralization of chlorinated water at the point of discharge from the main being tested. This shall occur following chlorination to disinfect a main or any other time when elevated levels of chlorine could potentially be discharged into the environment by the Contractor. At the time the disinfection and purity testing procedures are discussed with the OWASA Construction Inspector, the procedure for disinfection will be covered. Absolutely no flushing, disinfection, or purity sampling is to take place without prior approval of a sampling plan by the OWASA Inspector.
 Cross-Connection Control Ordinance - Backflow Prevention will be required in accordance with OWASA Cross-Connection Control Ordinance and Manual.
 Fire Protection Systems - Pressure testing, chlorination, and purity testing shall be completed before the installation of the DCCA/RPDA unit.
 Remote Read-out Devices - DCCA and/or RPDA devices located inside buildings must be equipped with Neptune T-10 Remote Read-out with Read-pad located outside the building in a location accessible by OWASA.
 Temporary hydrant meters are subject to priority use and are restricted to a 60-day period. For situations where temporary service is needed for a period exceeding 60 days, the user can purchase a meter device of a size, make, and model specified by OWASA and in accordance with OWASA's Administrative Guide on Temporary Water Service from Fire Hydrants.

LEGEND:

- CURB INLET
- △ FLARED END SECTION
- OPEN PIPE
- STORM MANHOLE
- WATER BLDG OFF VALVE
- SANITARY MANHOLE
- UTILITY POLE
- ATT VAULT
- LIGHT POLE
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- IRON SET
- GRATED INLET

ABBREVIATION LEGEND

- GI GRATED INLET
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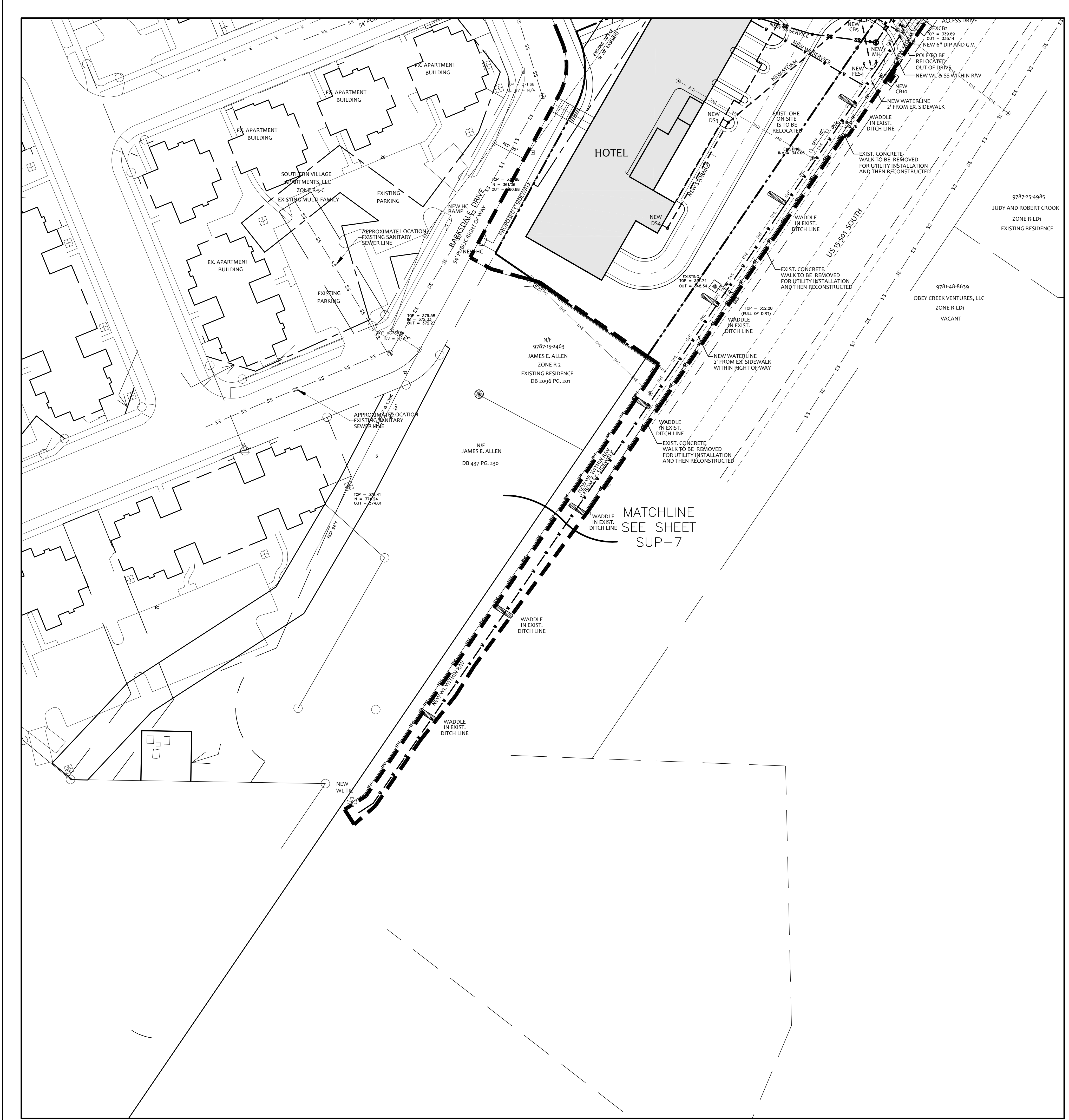
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REVISIONS:

UTILITIES PLAN
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- STORM MANHOLE
- WATER BLOW OFF VALVE
- SANITARY MANHOLE
- UTILITY POLE
- ATT VAULT
- LIGHT POLE
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- IRON SET
- GRATED INLET

ABBREVIATION LEGEND

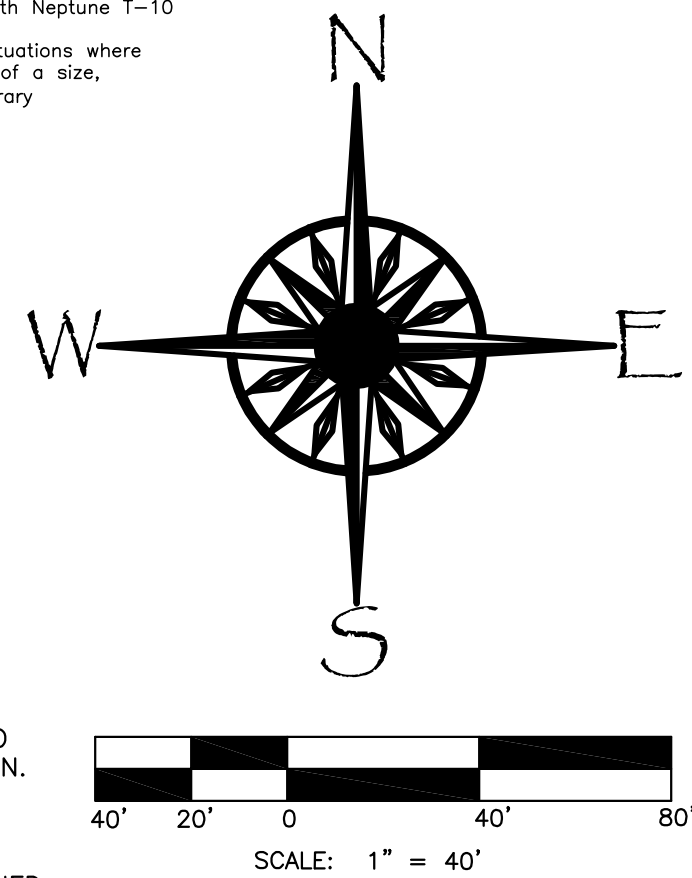
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- DS DOWNSPOUT
- RB RISER/BARREL

SITE NOTES

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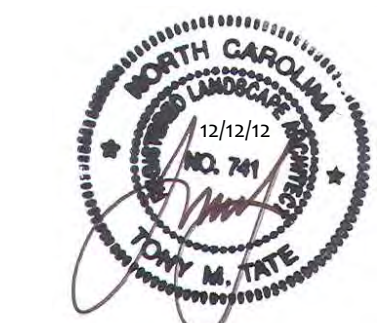
REVISIONS:

UTILITIES PLAN
Southern Village Hotel & Apartments
 Redwing Land, LLC 400 Market Street, Suite 115, Chapel Hill, NC 27516
 Southern Village, Chapel Hill, LLC

SCALE:
 1"=40'
 DRAWN BY:
 A.R.F.
 CHECKED BY:
 R.J.B.
 DATE:
 12-7-2012

SHEET

SUP-8

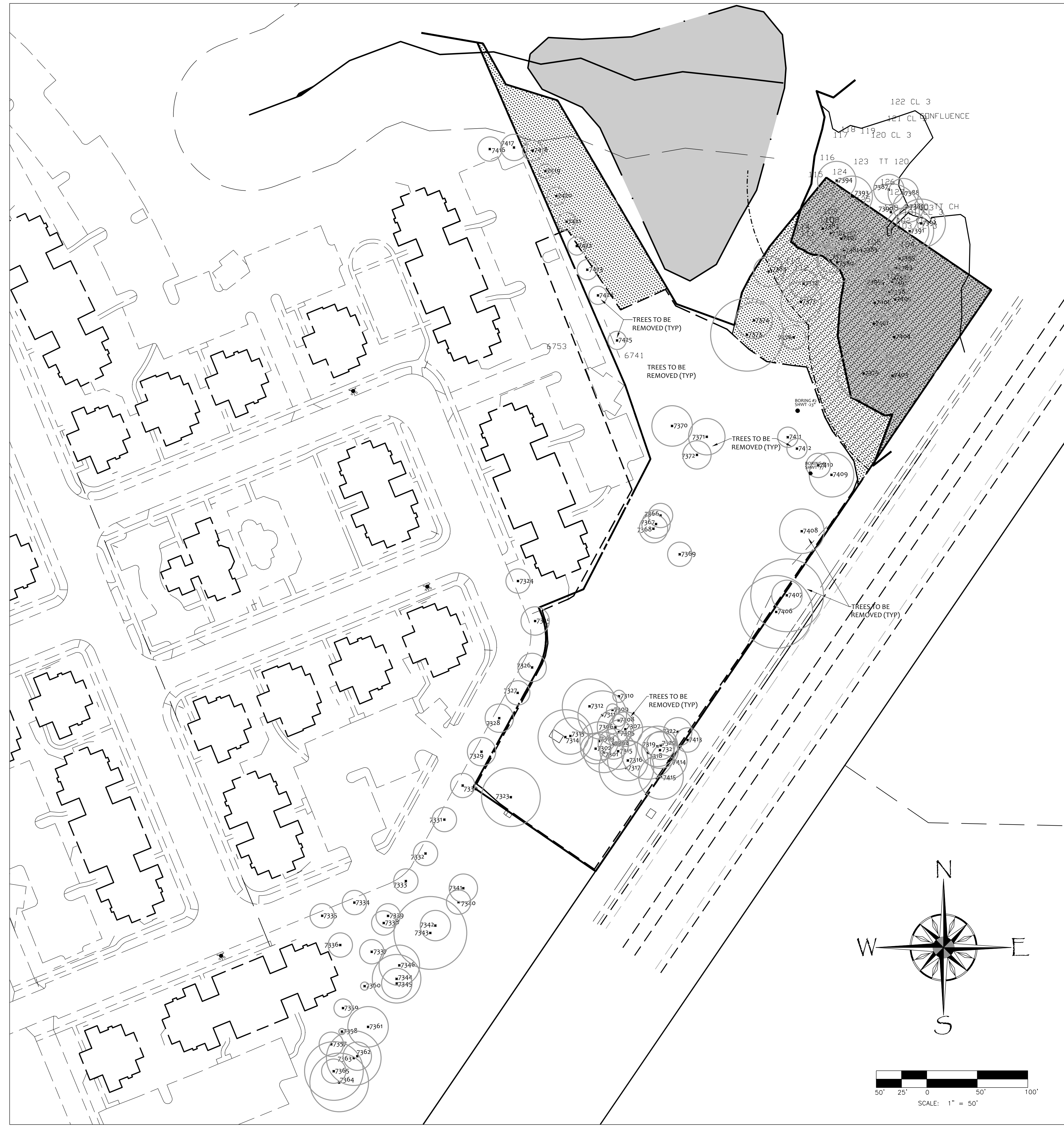


REVISIONS:

LANDSCAPE PROTECTION PLAN
Southern Village Hotel & Apartments
Southern Village Chapel Hill, NC

SCALE:
1" = 50'
DRAWN BY:
T.M.T.
PROJECT #
09007
DATE:
06/04/12

SHEET
SUP-9
OF



RARE AND SPECIMEN TREES

POINT	TREE	POINT	TREE
7301	PINE 20 *	7372	POP 14 *
7302	PINE 15 *	7373	POP 36
7303	PINE 19 *	7374	HW 18
7304	PINE 15 *	7375	SYCM 26DBL
7305	PINE 12 *	7376	POP 12
7306	PINE 18 *	7377	PINE 20
7307	PINE 17 *	7378	SCYM 14
7308	GUM 6 *	7379	POP 12
7309	GUM 6 *	7380	PINE 20
7310	GUM 6 *	7381	PINE 18
7311	PINE 24 *	7382	GUM 14
7312	GUM 27 *	7383	HW 16
7313	GUM 18 *	7384	GUM 15
7314	DBLGUM 27 *	7385	HW 20
7315	PINE 18 *	7386	HW 13
7316	PINE 20 *	7387	CUM 15 DBL
7317	PINE 27 *	7388	HW 15
7318	PINE 26 *	7389	HW 15
7319	PINE 20 *	7390	PINE 28
7320	CEDAR 14 *	7391	PINE 19
7321	FIR 18 *	7392	CUM 24
7322	POP 14 *	7393	PINE 20
7323	GUM 29 *	7394	SYCM 19
7324	HW 12	7395	POP 17
7325	HW 14	7396	POP 13
7326	HW 14	7397	GUM 12
7327	HW 12	7398	POP 24
7328	HW 14	7399	HW 12
7329	HW 14	7400	GUM 15
7330	HW 12	7401	SCYM 12
7331	HW 12	7402	GUM 13
7332	HW 12	7403	GUM 18
7333	HW 15	7404	GUM 19
7334	HW 12	7405	PINE 14
7335	HW 12	7406	XPOP 36 *
7336	MAG 12	7407	CEDAR 15 *
7337	HW 12	7408	MAPLE 22 *
7338	PECAN 12	7409	MAPLE 22 *
7339	OAK 12	7410	MAG 12 *
7340	GUM 12	7411	MAG 10 TRIP *
7341	XGUM 14	7412	MAG 10 *
7342	GUM 15	7413	GUM 12 *
7343	XPINE 36	7414	PINE 18 *
7344	GUM 24	7415	PINE 22 *
7345	GUM 15	7416	MAPLE 12
7346	GUM 20	7417	MAPLE 13
7357	OAK 12	7418	MAPLE 10
7358	DOGW 3	7419	MAPLE 7
7359	MAPLE 9	7420	MAPLE 9
7360	DOGW 4	7421	MAPLE 9
7361	POP 20 DBL	7422	MAPLE 9 *
7362	POP 14	7423	MAPLE 10 *
7363	GUM 27	7424	MAPLE 9 *
7364	ELM 29 DBL	7425	MAPLE 9 *
7365	POP 12		
7366	HW 12 *		
7367	HW 14 *		
7368	HW 14 *		
7369	HW 12 *		
7370	OAK 20 *		
7371	PINE 18 *		

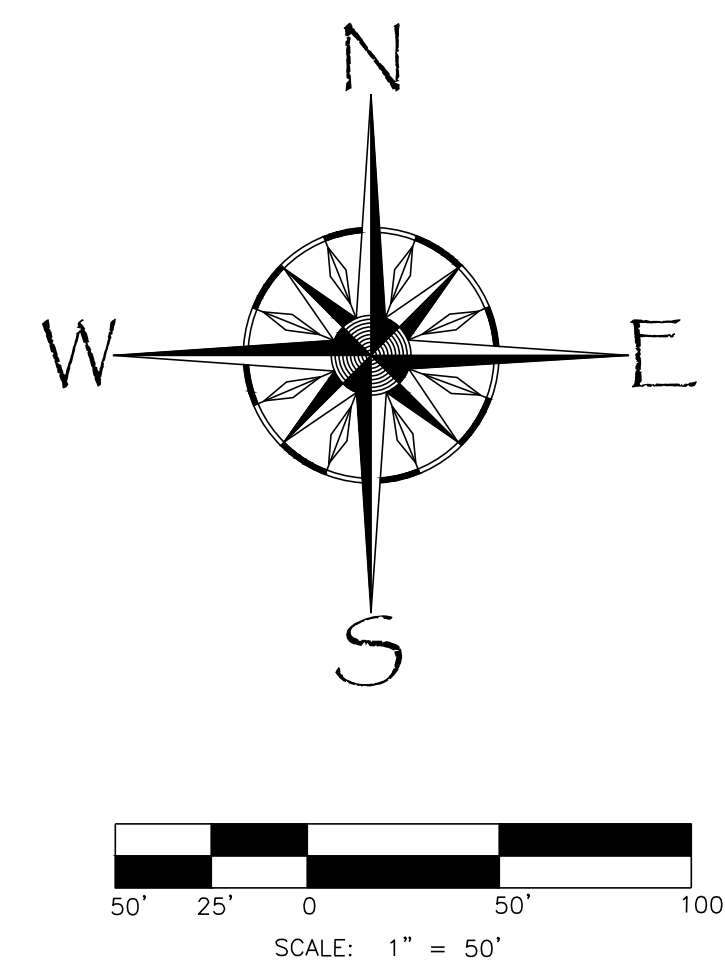
* TREES TO BE REMOVED FOR DEVELOPMENT ACTIVITY

NOTES:

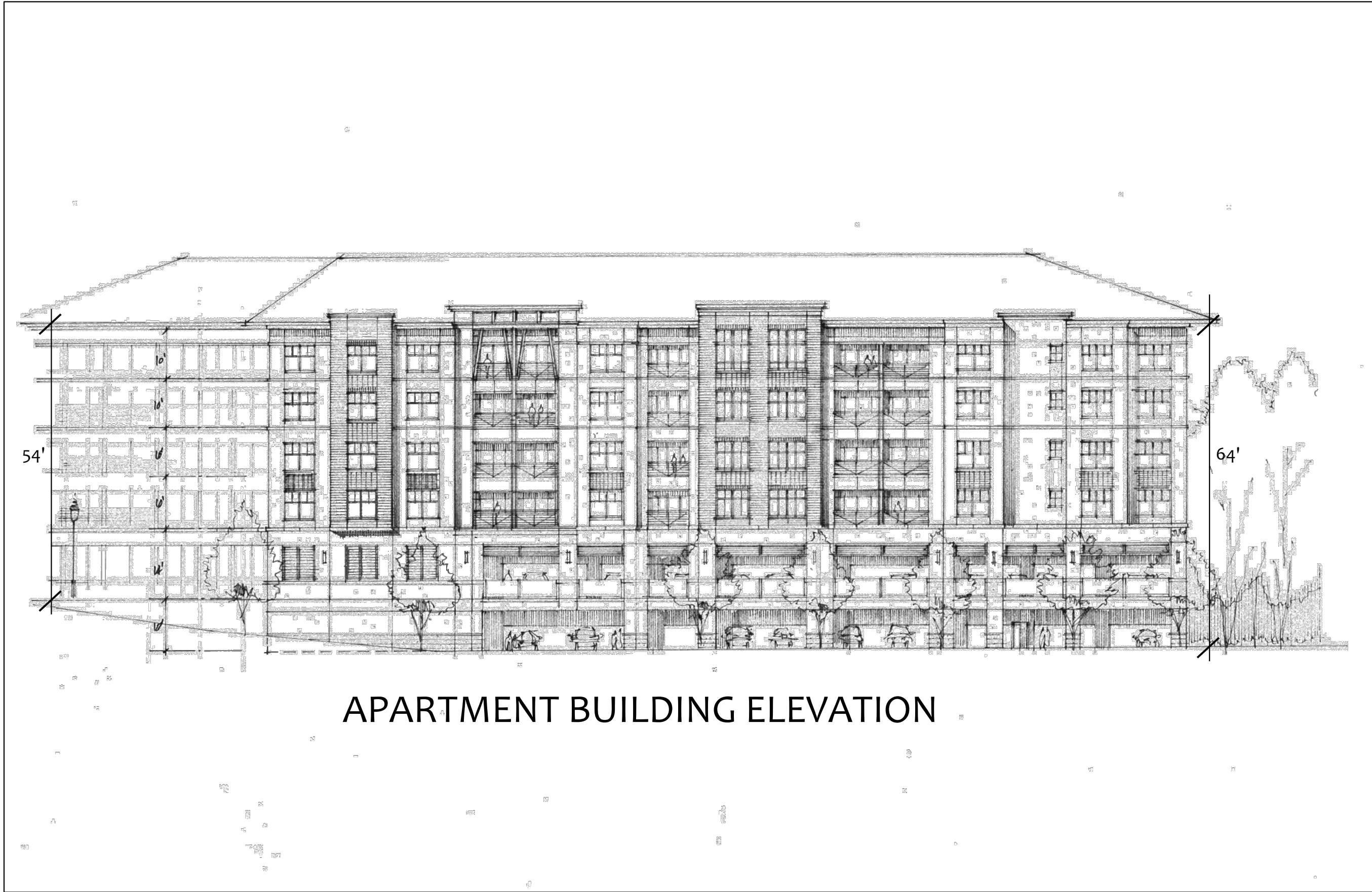
- Rare and specimen tree information taken from field survey by Sullivan Surveying, November 2012.
- Pre-Construction Conference. Prior to the commencement of any activities requiring a Zoning Compliance Permit, a pre-construction conference with the Town's Urban Forester or Landscape Architect shall take place to review procedures for protection and management of all protected landscape elements identified on the Landscape Protection Plan.
- On-site Supervision. For all development other than that related to single-family and two-family dwellings on individual zoning lots, the following on-site supervision is required:
 - The applicant shall designate as Landscape Protection Supervisors one or more persons who have completed instruction in landscape protection procedures with the Town.
 - It shall be the duty of the Landscape Protection Supervisor to ensure the protection of new or existing landscape elements, as defined in the Landscape Protection Plan. The approved Landscape Protection Supervisor shall supervise all site work to assure that development activity conforms to provisions of the approved Landscape Protection Plan. At least one identified Landscape Protection Supervisor shall be present on the development site at all times when activity that could damage or disturb soil and adjacent landscape elements occurs such as:
 - clearing and grubbing;
 - any excavation, grading, trenching or moving of soil;
 - removal, installation, or maintenance of all landscape elements and landscape protection devices; or
 - delivery, transporting, and placement of construction materials and equipment on site.

LANDSCAPE PROTECTION NOTES:

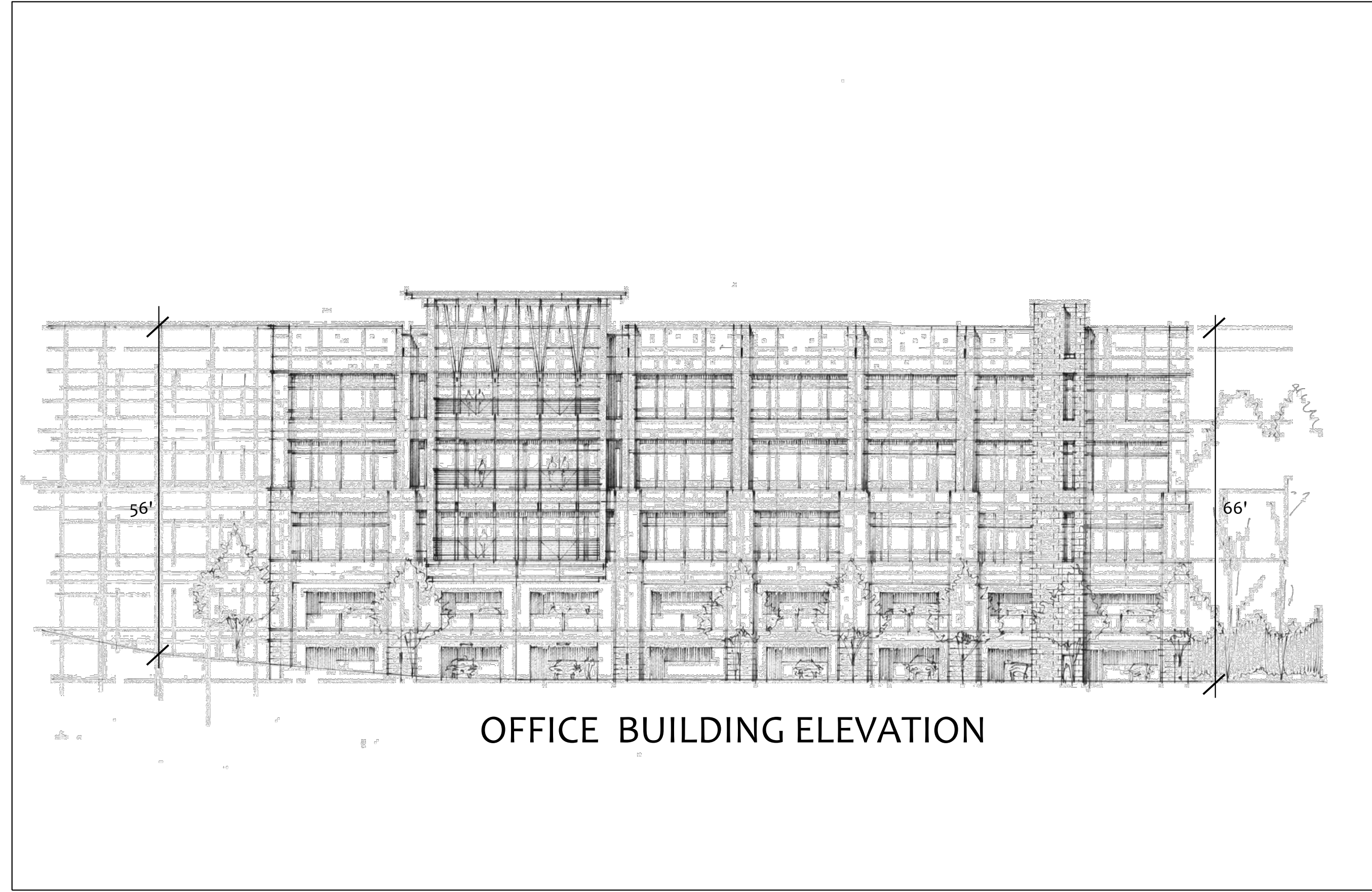
- Any tree roots exposed by construction shall be severed cleanly with a pruning tool.
- Do not dispose of any chemicals or remove any soil outside of the limit of work.
- When installing new landscape plants, do not drive equipment upon or disturb the soil within the critical root zone of existing trees.
- All clearing limit lines not designated as being fenced will be flagged with a continuous strand of survey tape to be installed by the owner and maintained by the owner during all infrastructure construction.
- Any trees damaged by construction activity will, at the recommendation of the Town Manager, be removed by the applicant on all public right-of-ways and commons areas for maintenance by the Town.
- The preparation of a revised Landscape Protection Plan including the installation of additional tree protection fencing may be required of the applicant if rare or specimen trees are located on the site during infrastructure construction that are not shown or shown incorrectly located on the plans.
- Additional tree protection measures and construction sequence shall be approved by the Town's Urban Forester prior to the issuance of a Z.C.P.
- A pre-construction conference must be held by the Town's Urban Forester before any site work begins.
- The critical root zone (CRZ) of rare and specimen trees which may be damaged during construction shall be fenced.



PRELIMINARY ARCHITECTURAL GRAPHICS



APARTMENT BUILDING ELEVATION

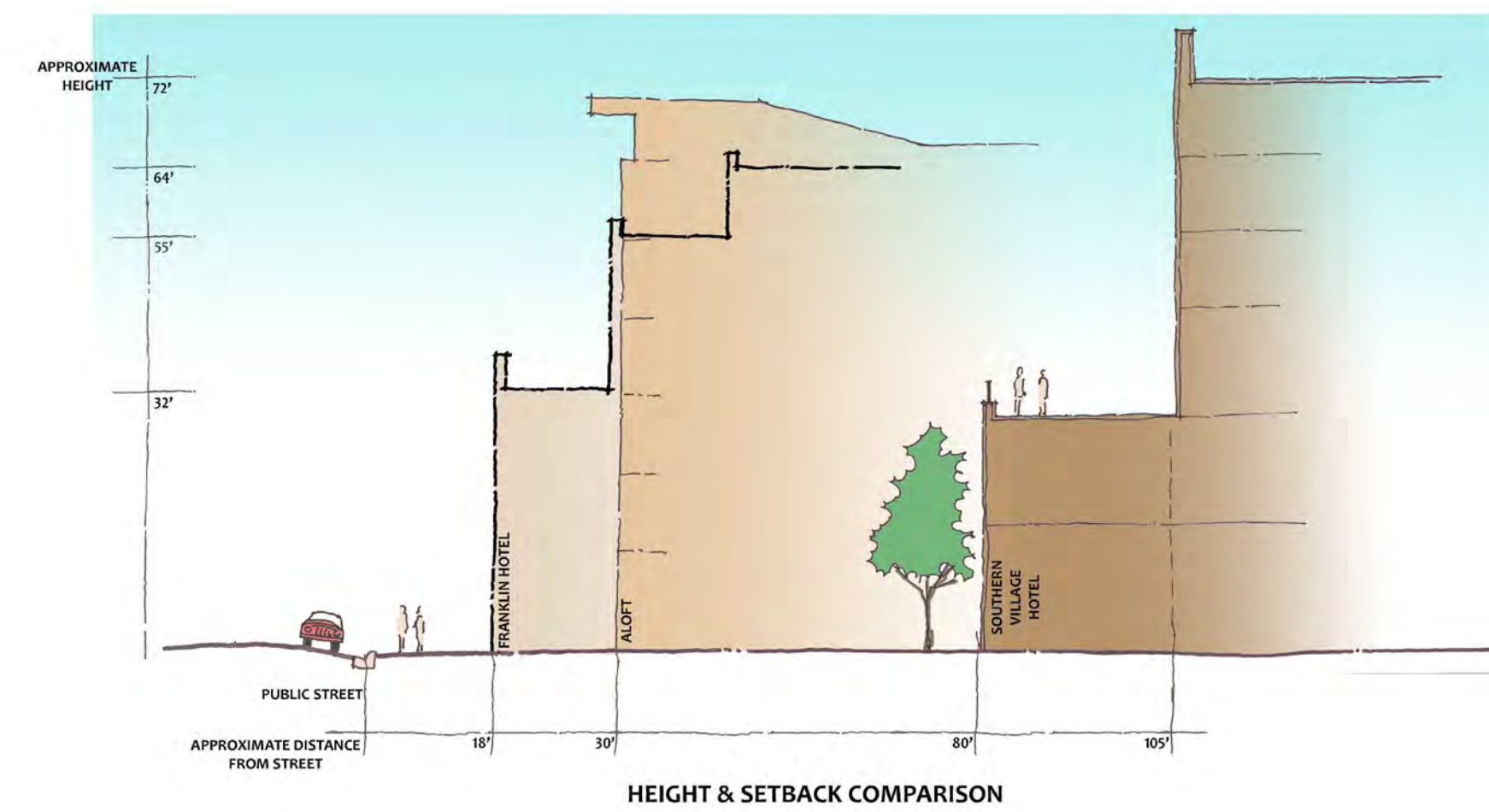


OFFICE BUILDING ELEVATION



HOTEL ELEVATION

* ALL HVAC EQUIPMENT SHALL BE SCREENED FROM VIEW OF 15-501 AND BARKSDALE DRIVE ON ALL BUILDINGS.



RBA Group
1414-A S. Tryon Street
Charlotte, NC 28203

PRELIMINARY ARCHITECTURAL ELEVATIONS/REVISIONS:
Southern Village Hotel & Apartments
Southern Village Chapel Hill, NC

SCALE:
1"=40'
DRAWN BY:
T.M.T.
PROJECT #
09007
DATE:
12/01/12
SHEET

SUP-10
OF

DUKE ENERGY

REVISIONS:

LIGHTING PLAN
Southern Village Hotel & Apartments
Southern Village Chapel Hill, NC

SCALE:
1"=40'
DRAWN BY:
T.M.T.
PROJECT #
09007
DATE:
12/01/12

SHEET

SUP-11

OF

