



Community Design Commission Final Plan Application

This application should be used to submit Final Plan applications to the Community Design Commission including building elevations, site lighting, and alternative buffers. For assistance with this application, please contact the Chapel Hill Planning Department at (919) 968-2728 or at planning@townofchapelhill.org.

Section A: Property Information

Property Address: 209 East Franklin Street, Chapel Hill, NC 27514

Zoning: O&I-1 & TC-2

Type of Application

Building Elevation Site Lighting Alternative Buffers

Section B: Applicant Information (for contact purposes)

Name: DTW Architects -- Robert Sotolongo

Address: 229 North Gregson Street

City: Durham State: NC Zip Code: 27701

Phone Number: 919-317-4020 E-mail: rsotolongo@dtwarch.com

Any persons intending to construct, install, remodel, repair, or alter any property in Chapel Hill, may be required to obtain a Business/Privilege License. The application can be found on the web at the following address: <http://www.townofchapelhill.org/index.aspx?page=1199>. Please contact the Revenue Collector, 919-968-2759, if you have any questions. The undersigned applicant hereby certifies that: a) the property owner authorizes the filing of this application; b) authorizes on-site review by authorized staff; and c) to the best of his knowledge and belief, all information supplied with this application is true and accurate.

Signature:  Date: _____

Parcel Identifier Number (PIN): 9788-47-3839 & 9788-47-4800

The Community Design Commission meets regularly on the third Wednesday of each month. For confirmation of a meeting date and the placement of your request on the agenda, please contact the Planning Department at (919) 968-2728.

Final Plan Application

Please submit 3 sets of all materials, no later than the fourth Tuesday of the month prior to the meeting by 4 p.m. Materials must be collated and folded to fit into a 12" x 15" envelope. The Application Fee shall be submitted with this Application Form.

DETAILED SUMMARY OF REQUIRED INFORMATION

- | | | |
|---|--|---|
| x | 1. Application fee (Refer to fee schedule) | Fee Paid (\$): <input style="width: 100px; height: 20px;" type="text"/> |
| x | 2. Digital Files – provide digital files of all plans and documents | |
| x | 3. Approved Site Plan | |

The site plan for the development, as approved by the Town Council, or when applicable the Planning Board, clearly indicating all building footprints, parking areas, sidewalks and buffers. In particular, the site plan shall clearly indicate the specific buildings that are included in the application for building elevations approval. Finished first floor elevation (height above sea level) information shall also be provided for each building, including any applicable cross-section elevation changes.

- | | |
|---|---|
| x | 4. Detailed Exterior Building Elevations: The detailed exterior elevations shall include the following |
|---|---|

a) Detailed Building Elevations

- A detailed list including all materials, textures, and colors for each building. If all buildings are the same, a combined list of materials, texture, and colors is acceptable. All windows, doors, light fixtures, and other appurtenant features must indicate type, style, and color.
- A straight-on, one-dimensional view of each building façade including front, side, and rear elevations.
- Color renderings, sketches, or perspective drawings.

The applicant should bring samples of all colors and materials to the Design Commission Meeting.

b) Cross-Sections

- Provide simple, typical cross-section(s) indicating how the buildings are placed on the site in relationship to topography, public access, existing vegetation, or other significant site features.

c) Floor Plans

- Show the general interior layout of the building (this aids in understanding window locations, etc.) and the relationship of pedestrian circulation and entryways.

d) Other

- Indicate the location of all HVAC, chiller, and/or ventilation units. Show how these units will be screened from the view of any relevant public rights-of-way.

All detailed building elevation plans must be the final versions. Any subsequent elevation modifications, or changes in materials, color, etc., must be resubmitted for approval. If the Design Commission makes decisions based on any renderings, sketches or artists drawings presented at the meeting, these graphics will become the property of the Town and will need to be submitted for the formal record.

x

5. **Lighting Plans**

- a) Site Lighting Plan: A detailed lighting plan for all proposed lighting fixtures on the site (including parking areas, pedestrian paths, building facades, landscape uplighting, etc.). The lighting plan should clearly indicate the locations of all light fixtures. The lighting plan shall also provide isographs with foot-candle and uniform ratios, candlepower of lamps, and types of illumination for all proposed lighting fixtures. The isographs shall be provided for the full extent of the site lighting (to the point where the lighting reaches 0.0 foot-candles), even if this includes off-site areas. The isograph shall be calculated with 100% lighting, and shall also identify and incorporate a site's topography.

- b) Cut Sheets: A detailed drawing and description shall be provided for each type of light fixture proposed on the site. The number, height, colors and materials for each type of fixture shall be clearly indicated.

Please note that in accordance with Section 5.11 (Lighting Standards) of the Town's Land Use Management Ordinance, lighting sources shall be shielded or arranged so as not to produce, within any public right-of-way, glare that interferes with the safe use of such right-of-way or constitutes a nuisance to the occupants of adjacent properties.

For information on illuminating canopies, please refer to the Community Design Commission's "Design Standards for Canopies," which is available from the Chapel Hill Planning Department.

x

6. **Alternative Buffer**

- a) Landscaping Plan: A detailed planting plan, including a plant materials table that indicates the number, size and spacing for each plant type.

- b) Other: If a fence or wall is proposed as part of the alternative buffer, a scaled drawing or rendering shall be submitted, along with a list including all materials, textures and colors. The applicant should bring samples of such materials to the Design Commission meeting.

**TOWN OF CHAPEL HILL
HISTORIC DISTRICT COMMISSION
UNIVERSITY PRESBYTERIAN CHURCH – CHAPEL HILL, NC
WRITTEN DESCRIPTION**

March 11, 2015

- A. The height of the roof peak is 26'-8" above the first floor. This is shown on sheet A8.
- B. The building was setback from Franklin Street to match the existing setback as shown on Sheet C403.
- C. The exterior construction materials are shown on the attached sheet.

The primary exterior materials are as follows:

Building Elements:

- Brick will match the existing brick in color, texture and pattern of the existing building including jack arches.
- Brick mortar to match existing brick mortar in color and pattern.
- Aluminum clad windows will match the new aluminum clad replacement of the existing building that the HDC approved last year with historic aluminum trim and fypon sill.
- New slate shingle roofing to match existing slate roof.
- New copper gutters and downspouts will match the existing copper gutters and downspouts in shape and profile.
- New wood trim and fascia will match the existing wood trim and fascia.
- New aluminum curtainwall will be feature butt glazed joints and clear insulated glass at lobby entrances.
- New projecting canopies at the lobby entrances will be finished stucco with fine texture and the color will match the existing wood trim color (off-white).
- New single-ply roofing membrane will be a TOP product white in color and not visible from the exterior pedestrian as it is on the flat part of the roof.
- New translucent skylight over the main lobby is made of white fiberglass panels and white aluminum trim.

Site Materials:

- A new stone wall along Rosemary Street will be constructed of existing stone wall that is being removed from the existing Robertson Lane.
- New brick, low height walls with blue-stone sills will match similar existing walls on the UPC campus.
- Other courtyard and sidewalk materials include brick pavers and concrete as shown on Sheet SD1. Slate pavers are used from Rosemary Street to the main entrances.
- The new black aluminum railing will match, in style and size, the existing playground railing along Rosemary Street.

D. **Architectural Detailing:**

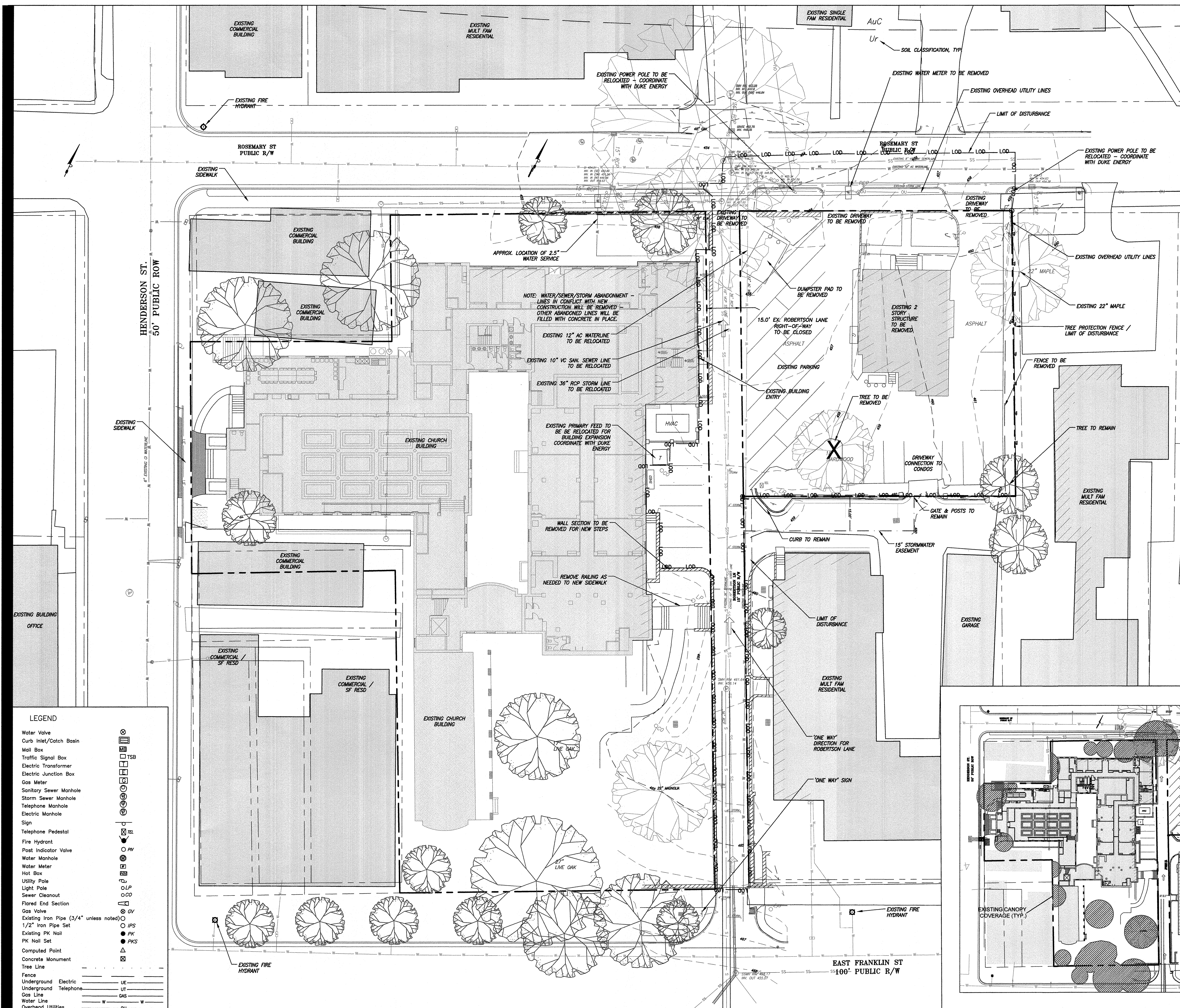
- The jack arch brick lintels over the new windows will match the ones on the existing building.
- The wood trim and fascia at the gable roof will match the same features of the existing building.
- The brick bond of the new addition will match the existing building brick bond.

- E. The new gable roof shape size and slope will match the existing building roof gables along Rosemary Street.
- New slate shingle roofing to match existing slate roof.
 - New copper gutters and downspouts will match the existing copper gutters and downspouts in shape and profile.
- F. The proportion, size and shape of the new aluminum clad windows match the replacement aluminum clad windows of the existing building elevation along Rosemary Street. The new wood panel exterior doors at the Rosemary Street elevation are similar to the wood panel replacement doors on the existing building Rosemary Street elevation approved by the HDC in 2014.
- G. The size and proportion of the gable roof building element of the addition matches the two existing gable roof bookends of the existing Rosemary Street building elevation. A flat roofed, clear-glazed lobby building element provides a clear separation between the new addition and the existing building.
- H. The exterior lighting fixtures are shown on Sheet 403. The new pole light shown matches the existing pole light on the UPC campus. Discreet recessed step lights are used to light exterior stairs, walks and courtyard areas. Two historic surface-mounted lantern fixtures flank the exterior courtyard door as shown on Sheet A7.

The exterior door hardware will match existing door hardware.

Wrought iron railings as shown on Sheet SD1 at new stairs and ramp match existing railings on the UPC campus.

- I. The architectural scale of the 2-story addition matches the scale of the 2-story existing building along Rosemary Street.
- J. The new addition will have a new steel and masonry structure and will be sound.



DEMOLITION NOTES

1. ENSURE ALL EROSION CONTROL MEASURES ARE IN PLACE AND IN WORKING ORDER PRIOR TO THE START OF ANY DEMOLITION AND CONSTRUCTION.
2. SEE SITE PLAN SHEET C100 FOR LAYOUT DIMENSIONS OF EXTENT OF DEMOLISHED AREAS. PAVED AREAS NOT INDICATED TO BE DEMOLISHED, ARE TO REMAIN. ALL CONCRETE SAW CUTS ARE TO BE CLEAN, STRAIGHT AND NEAT.
3. UTILITIES: SEE UTILITY PLAN C500. CONTRACTOR TO COORDINATE WITH UTILITY COMPANIES FOR LOCATION, REMOVAL AND RELOCATION OF ANY UTILITIES. CONTRACTOR RESPONSIBLE FOR DETERMINING EXTENT AND LOCATION OF UTILITIES. THIS MAY INCLUDE CONTACTING "NO-CUTS" TO HELP LOCATE SOME UTILITIES.
4. CONTRACTOR TO ADJUST ALL MANHOLES, VALVES, JUNCTION BOXES, CATCH BASINS, CLEAN CUTS, ETC., AS NECESSARY TO ACCOMMODATE NEW LAYOUT AND GRADINGS.
5. CONTRACTOR RESPONSIBLE FOR OBTAINING ANY PERMITS FOR WORK IN THE NCDOT AND TOWN OF CHAPEL HILL RIGHTS OF WAY. ANY DAMAGED INFRASTRUCTURE IN THE RIGHT OF WAY CAUSED BY CONSTRUCTION ACTIVITIES MUST BE REPAIRED TO TOWN OF CHAPEL HILL STANDARDS. THIS INCLUDES, BUT IS NOT LIMITED TO UTILITIES, SIDEWALKS, CURB AND GUTTER, ASPHALT.
6. CONTRACTOR RESPONSIBLE FOR REMOVING EVERYTHING WITHIN THE CLEARING LIMITS AND OFF-SITE WORK ZONE INCLUDING TREES, STUMPS, TRASH, FENCING, OR BUILDING MATERIALS.
7. CONTRACTOR TO USE CAUTION WORKING AROUND AND NEAR EXISTING STORM, WATER AND SEWER. CONTRACTOR RESPONSIBLE FOR DAMAGE TO EXISTING UTILITIES.
8. ABANDONMENT OF WATER SERVICES SHALL INCLUDE EXCAVATING DOWN TO CORPORATION, TURNING IT OFF AND CUTTING SERVICE LINE FREE FROM CORPORATION. THE METER, IF PRESENT, SHALL BE RETURNED TO OWASA.
9. ABANDONMENT OF SANITARY SEWER SERVICE LINES SHALL CONSIST OF PLUGGING THE LATERAL AT THE RIGHT-OF-WAY LINE.
10. ALL PAVEMENT PATCHING SHALL BE PERFORMED PER CITY SPECIFICATIONS AND STANDARDS.
11. A DECONSTRUCTION ASSESSMENT WILL BE REQUIRED BEFORE A DEMOLITION PERMIT WILL BE ISSUED FOR THE EXISTING 2 STORY STRUCTURE.
12. BY ORANGE COUNTY ORDINANCE, CLEAN WOOD WASTE, SCRAP METAL AND CORRUGATED CARDBOARD, ALL PRESENT IN CONSTRUCTION WASTE, MUST BE RECYCLED.
13. BY ORANGE COUNTY ORDINANCE, ALL HAULERS OF CONSTRUCTION WASTE MUST BE PROPERLY LICENSED.
14. PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE THE APPLICANT WILL HOLD A PRE-DEMOLITION/PRE-CONSTRUCTION CONFERENCE WITH THE COUNTY'S SOLID WASTE STAFF. THIS MAY BE THE SAME MEETING HELD WITH OTHER DEVELOPMENT OFFICIALS.
15. THE PRESENCE OF ANY ASBESTOS CONTAINING MATERIAL (ACM) OR OTHER HAZARDOUS MATERIALS IN CONSTRUCTION AND DEMOLITION WASTE SHALL BE HANDLED IN ACCORDANCE WITH ANY AND ALL LOCAL, STATE, AND FEDERAL REGULATIONS AND GUIDELINES.
16. DECONSTRUCTION/DEMOLITION: THE APPLICANT SHALL HOLD A DECONSTRUCTION ASSESSMENT MEETING WITH ORANGE COUNTY'S SOLID WASTE MANAGEMENT STAFF (919-888-2800) CONCERNING THE BUILDINGS TO BE REMOVED FROM THIS SITE, WITH THE FOLLOWING NOTE ON PLANS: "PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE THE APPLICANT WILL HOLD A DECONSTRUCTION ASSESSMENT CONFERENCE WITH THE COUNTY'S SOLID WASTE STAFF CONCERNING BUILDINGS TO BE REMOVED FROM THIS SITE. PRIOR TO ISSUANCE OF A DEMOLITION PERMIT, THE DEVELOPER SHALL PROVIDE A DEMOLITION WASTE MANAGEMENT PLAN."

TOPOGRAPHY/SLOPES:
THE SITE SLOPES FROM EAST TO WEST, AND DROPS APPROXIMATELY 5 FEET OVER THE WIDTH OF THE SITE.

THE SITE HAS SLOPES OF 1% TO OVER 25%. THE MAJORITY OF THE SITE HAS SLOPES UNDER 10%.

EXISTING SLOPES:
THERE ARE NO STEEP SLOPES TO NOTE ON THIS SITE.

HYDROLOGICAL FEATURES/DRAINAGE:
THE SITE GENERALLY DRAINS FROM EAST TO WEST.

SOIL TYPES:
THE USDA / NRCS WEB SOIL SURVEY CLASSIFIES ONE SOIL TYPE ON THIS SITE - Ur (Urban Land).

SUN/SHADE PATTERNS:
THE SUN WILL PASS AROUND THE SOUTH SIDE OF THE STRUCTURE DURING THE COURSE OF THE DAY. THE FRONT ENTRY WILL GET MORNING SUN. EXISTING TREES WILL BE RETAINED SOUTH OF THE BUILDING TO PROVIDE SHADE FOR THIS SIDE OF THE BUILDING.

TREES WILL BE ADDED TO THE NEW PARKING TO PROVIDE SHADE AND MEET MINIMUM REQUIREMENTS. TREES AND SHRUBS WILL BE ADDED TO ALL UNPAVED AREAS TO PROVIDE AS MUCH SHADE AND LANDSCAPING AS POSSIBLE.

FEMA FLOODPLAIN INFORMATION:
THERE IS NO MAPPED FLOODPLAIN ON SITE PER FEMA PANEL 3710978800J - FEB 2, 2007.

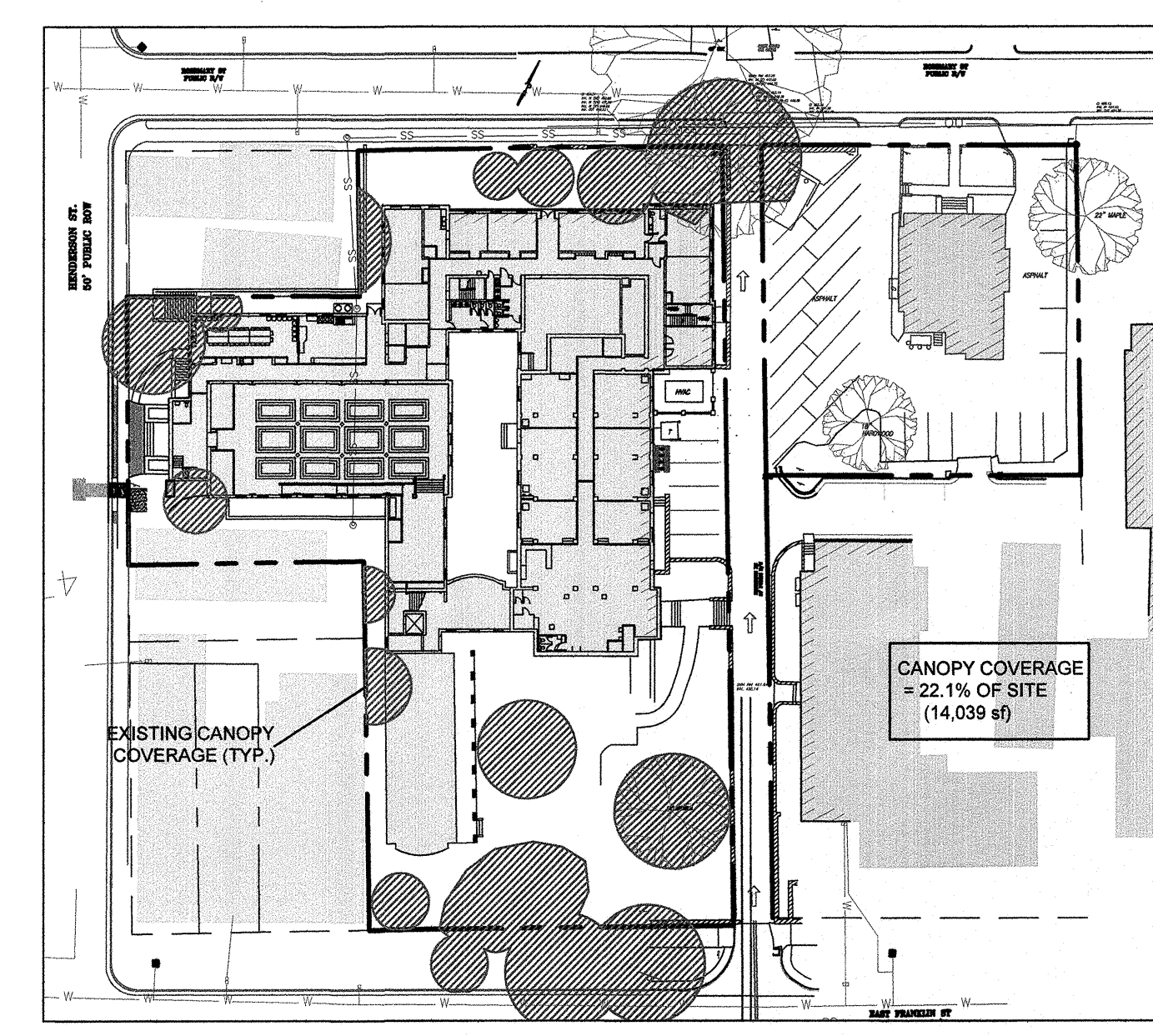
SPECIAL FEATURES:
THIS PROPERTY HAS FRONTAGE ON FRANKLIN STREET, HENDERSON STREET, AND ROSEMARY STREET.

VEGETATION:
THE SITE CONTAINS HARDWOODS AND SHRUBS.

LEGEND

Water Valve	⊗
Curb Inlet/Catch Basin	⊠
Mail Box	⊞
Traffic Signal Box	⊡
Electric Transformer	⊞
Electric Junction Box	⊞
Gas Meter	⊞
Sanitary Sewer Manhole	⊞
Storm Sewer Manhole	⊞
Telephone Manhole	⊞
Electric Manhole	⊞
Sign	⊞
Telephone Pedestal	⊞
Fire Hydrant	⊞
Post Indicator Valve	⊞
Water Manhole	⊞
Water Meter	⊞
Hot Box	⊞
Utility Pole	⊞
Light Pole	⊞
Sewer Cleanout	⊞
Flared End Section	⊞
Gas Valve	⊞
Existing Iron Pipe (3/4" unless noted)	⊞
1/2" Iron Pipe Set	⊞
Existing PK Nail	⊞
PK Nail Set	⊞
Computed Point	⊞
Concrete Monument	⊞
Tree Line	⊞
Fence	⊞
Underground Electric	UE
Underground Telephone	UT
Gas Line	GAS
Water Line	W
Overhead Utilities	OU
Storm Sewer	S
Sanitary Sewer	SS
Guard Rail	⊞

1/C100 - EXISTING CONDITION / DEMOLITION PLAN
Scale: 1" = 20'



2/C100 - EXISTING TREE CANOPY COVERAGE
Scale: 1" = 60'

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RENOVATIONS & ADDITIONS TO:
UNIVERSITY PRESBYTERIAN CHURCH
19 FEB 2015

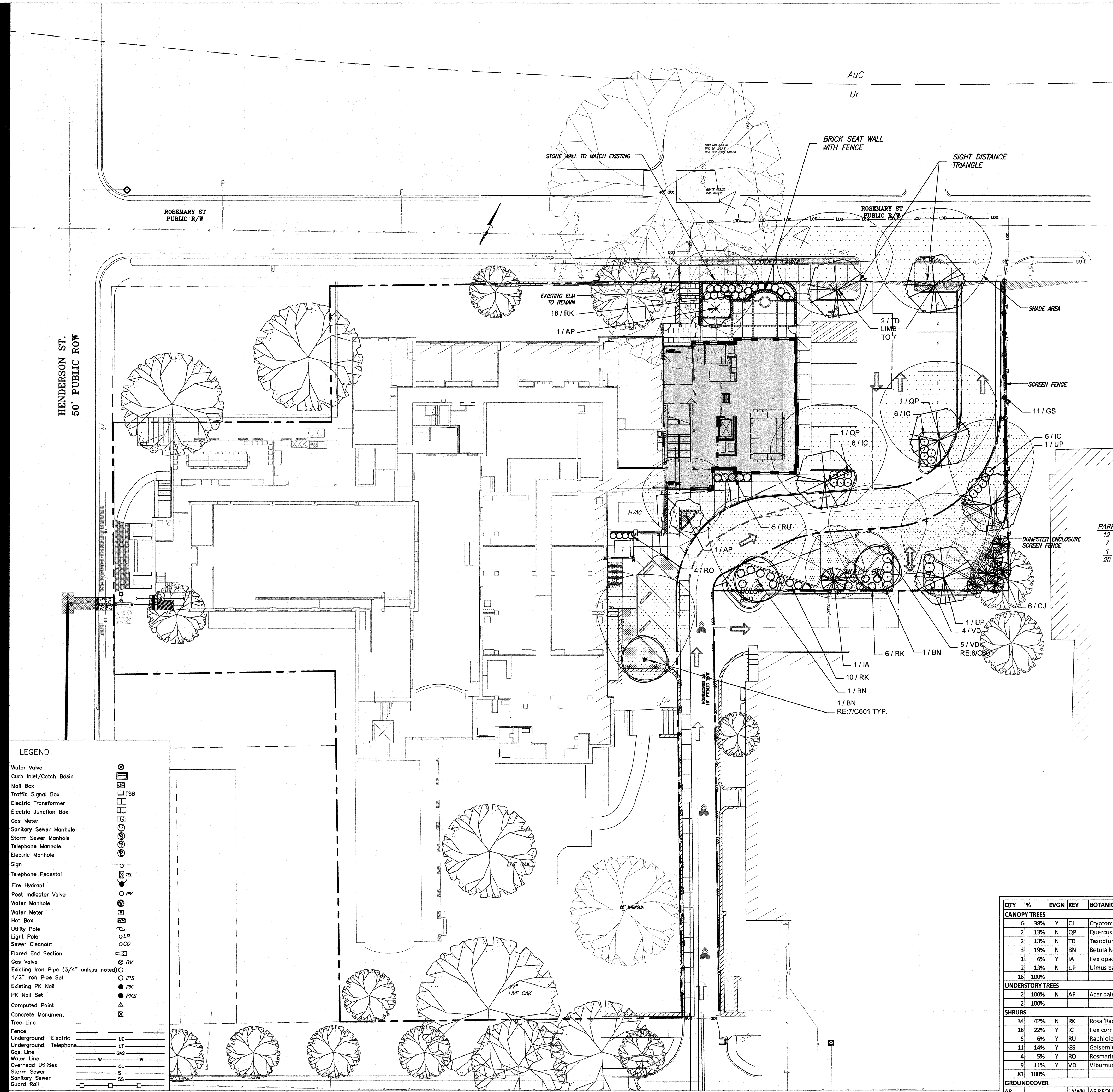
University Presbyterian Church
Chapel Hill, NC

EXISTING CONDITIONS / DEMOLITION PLAN
ZONING COMPLIANCE PERMIT
NOT FOR CONSTRUCTION
DTW
Architects & Planners, Ltd.
2400 Broad Street
PO Box 3636
Durham, NC 27702
919.317.4020

CJT PROJECT NUMBER: 1119

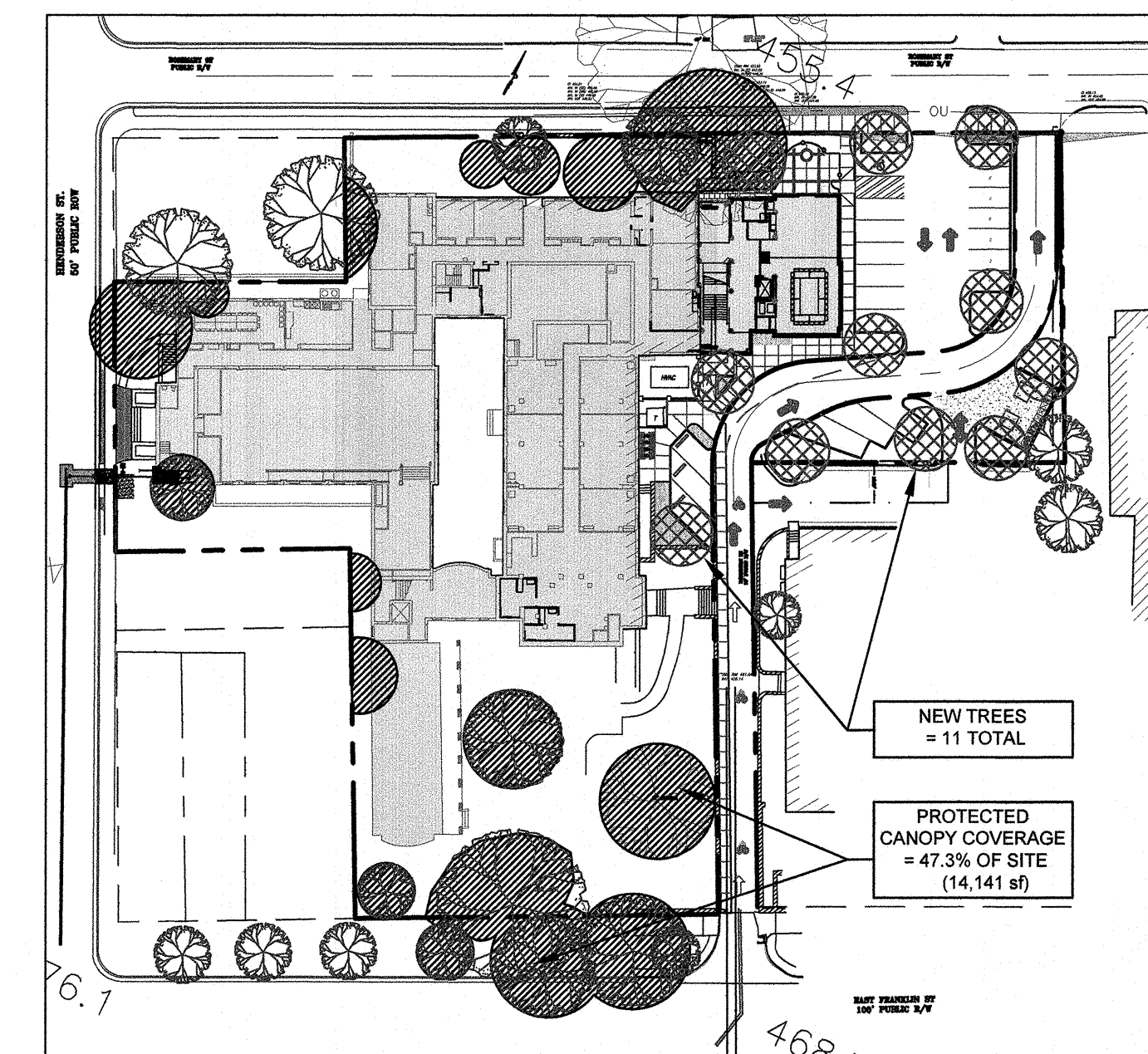
Revisions

Drawn	JSA
Checked	DAJ, CH
Date	FEB. 13, 2015
Sheet	



LANDSCAPE NOTES

1. LANDSCAPING MUST BE IN PLACE PRIOR TO REQUEST FOR A CERTIFICATE OF OCCUPANCY OR CERTIFICATE OF COMPLIANCE.
2. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, DEPTHS, QUANTITIES, DISTANCES, ANGLES AND SLOPES PRIOR TO ORDERING MATERIALS OR INSTALLING PROJECT.
3. IN AREAS OF GROUND COVER, MAINTAIN A 12" MINIMUM DISTANCE BETWEEN PLANTS AND HARD IMPROVEMENTS.
4. BED LINES SHALL CONFORM TO CONFIGURATION SHOWN ON THE PLANS. BED LINES SHALL MEET CURBS, WALKS, BUILDINGS, ETC. AT RIGHT ANGLES UNLESS SHOWN OTHERWISE.
5. CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH ACTUAL CONDITIONS AND VERIFY EXISTING CONDITIONS IN THE FIELD. CONTRACTOR SHALL REPORT ALL DISCREPANCIES TO LANDSCAPE ARCHITECT.
6. CONTRACTOR SHALL ACCEPT ACTUAL CONDITIONS AT SITE AND PERFORM THE WORK SPECIFIED INCLUDING FINE GRADING AND INCORPORATION OF TOP SOIL INTO PLANTING AREAS, WITHOUT ADDITIONAL COMPENSATION FOR POSSIBLE VARIATION FROM GRADES AND CONDITIONS SHOWN, WHETHER SURFACE OR SUBSURFACE, EXCEPT AS PROVIDED FOR IN CONTRACT DOCUMENTS.
7. IN LAWN AREAS, 2" TOPSOIL SHALL BE TILLED INTO THE TOP 5" OF GROUND PRIOR TO SEEDING.
8. CONTRACTOR WILL OBTAIN WRITTEN APPROVAL FROM LANDSCAPE ARCHITECT FOR ANY PLANT SUBSTITUTIONS OF SPECIES, SIZE, OR TYPE OF CONTAINER.
9. CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF THESE UTILITIES DURING INSTALLATION, AND SHALL PROMPTLY REPAIR AND RESTORE SERVICES AT NO ADDITIONAL COST TO THE OWNER IF DAMAGE OCCURS DURING INSTALLATION. CONTRACTOR SHALL BECOME THOROUGHLY FAMILIAR WITH THE FULL SET OF CONSTRUCTION DRAWINGS AND SPECIFICATIONS FOR COORDINATION WITH UTILITIES, ARCHITECTURAL FEATURES, ETC.
10. CONTRACTOR WILL LEAVE DISTURBED AREAS LEVEL AND RAKED SMOOTH, REMOVING ALL ROCKS AND DEBRIS.
11. MULCH IS TO BE A 3" LAYER OF TRIPLE SHREDDED HARDWOOD MULCH. MULCH IS TO BE KEPT AWAY FROM TREE TRUNKS.
12. ANY DAMAGE TO EXISTING CONDITIONS OUTSIDE THE CONTRACT LIMITS, INCLUDING CURBS, SIDEWALKS, TURF AREAS AND PAVING, SHALL BE RESTORED TO ORIGINAL CONDITION BY THE CONTRACTOR WITHOUT EXTRA COST TO THE OWNER.
13. IN CASE OF DISCREPANCY BETWEEN THE QUANTITY OF PLANTS ON THE PLANS COMPARED TO THE PLANT LIST, THE CONTRACTOR SHALL SUPPLY QUANTITIES AS SHOWN ON THE PLANS.
14. ALL UNPAVED SURFACES ARE TO BE COVERED IN PLANTS, MULCH, OR GRASS.



USE CLASSIFICATION: INSTITUTIONAL

LOT SIZE IN TC2: 9,021 sf (EXEMPT FROM TREE CANOPY REQUIREMENTS)

LOT SIZE IN TC1: 19,708 sf (EXEMPT FROM TREE CANOPY REQUIREMENTS) PENDING REZONING

LOT SIZE IN O&I: 35,947 sf

ACTIVE RECREATION: -2,877 sf

UTILITY EASEMENTS: -3,198 sf

NET LOT SIZE: 29,872 sf

MINIMUM TREE CANOPY COVERAGE FOR INSTITUTIONAL USE = 40% = 11,949 sf

EXISTING TREE CANOPY PROTECTED = 14,141 sf = 47.3%

OVERALL TREE CANOPY PROTECTED = 14,141 sf = 47.3%

TREE CANOPY SURPLUS = 2,192 sf = 7.3%

REPLACEMENT TREES REQUIRED = 0

2/C500 - PROPOSED TREE CANOPY COVERAGE
Scale: 1" = 60'

SHADING CALCULATIONS

PARKING LOT OUTSIDE ROW

TOTAL PAVED AREA: 5,396 SF

TOTAL SHADED AREAS: 3,701 SF = 68.5%

3/C500 - PROPOSED SHADING CALCULATIONS
Scale: NO SCALE

QTY	%	EVGN	KEY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	REMARKS
CANOPY TREES								
6	38%	Y	CJ	Cryptomeria japonica	Japanese Cedar	2" CAL. 8' HT.	AS SHOWN	SINGLE TRUNK & LEADER
2	13%	N	QP	Quercus Phellos	Willow Oak	2.5" CAL. 12' HT.	AS SHOWN	SINGLE TRUNK & LEADER
2	13%	N	TD	Taxodium distichum	Bald Cypress	2.5" CAL. 12' HT.	AS SHOWN	SINGLE TRUNK & LEADER
3	19%	N	BN	Betula Nigra	River Birch	12" HT.	AS SHOWN	MULTI-TRUNK
1	6%	Y	JA	Ilex opaca	American Holly	2" CAL. 8' HT.	AS SHOWN	SINGLE TRUNK & LEADER
2	13%	N	UP	Ulmus parvifolia	Lace bark Elm	2.5" CAL.	AS SHOWN	SINGLE TRUNK & LEADER
16	100%							
UNDERSTORY TREES								
2	100%	N	AP	Acer palmatum 'Autumn Glory'	Autumn Glory Japanese Maple	10' HT.	AS SHOWN	SINGLE TRUNK & LEADER
2	100%							
SHRUBS								
34	42%	N	RK	Rosa 'Radrazz'	Knock Out Rose	15" HT.	36" O.C.	FULL AND MATCHING
18	22%	Y	IC	Ilex cornuta 'carissa'	Carissa Holly	15" HT.	36" O.C.	FULL AND MATCHING
5	6%	Y	RU	Raphiolepis umbellata	Indian Hawthorn	18" HT.	36" O.C.	FULL AND MATCHING
11	14%	Y	GS	Gelsemium sempervirens	Carolina Jasmine	60" HT.	AS SHOWN	FULL AND MATCHING
4	5%	Y	RO	Rosmarinus 'officinalis'	Rosemary	15" HT.	36" O.C.	FULL AND MATCHING
9	11%	Y	VD	Viburnum davidii	David's Viburnum	15" HT.	36" O.C.	FULL AND MATCHING
81	100%							
GROUND COVER								
AR				LAWN	AS REQUIRED TO MATCH EXISTING			

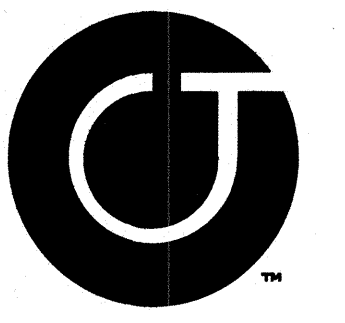
4/C500 - PROPOSED LANDSCAPE PLANTING SCHEDULE
Scale: NO SCALE

- LEGEND**
- Water Valve
 - Curb Inlet/Catch Basin
 - Mail Box
 - Traffic Signal Box
 - Electric Transformer
 - Electric Junction Box
 - Gas Meter
 - Sanitary Sewer Manhole
 - Storm Sewer Manhole
 - Telephone Manhole
 - Electric Manhole
 - Sign
 - Telephone Pedestal
 - Fire Hydrant
 - Post Indicator Valve
 - Water Manhole
 - Water Meter
 - Hot Box
 - Utility Pole
 - Light Pole
 - Sewer Cleanout
 - Flared End Section
 - Gas Valve
 - Existing Iron Pipe (3/4" unless noted)
 - 1/2" Iron Pipe Set
 - Existing PK Nail
 - PK Nail Set
 - Computed Point
 - Concrete Monument
 - Tree Line
 - Fence
 - Underground Electric
 - Underground Telephone
 - Gas Line
 - Water Line
 - Overhead Utilities
 - Storm Sewer
 - Sanitary Sewer
 - Guard Rail

1/C500 - LANDSCAPE PLAN
Scale: 1" = 20'



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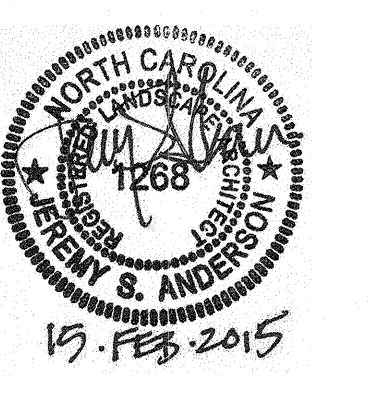


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License No. C-104

RENOVATIONS & ADDITIONS TO:



University Presbyterian Church
Chapel Hill, NC

LANDSCAPE PLAN

ZONING COMPLIANCE PERMIT

NOT FOR CONSTRUCTION

DTW
Architects & Planners, Ltd.

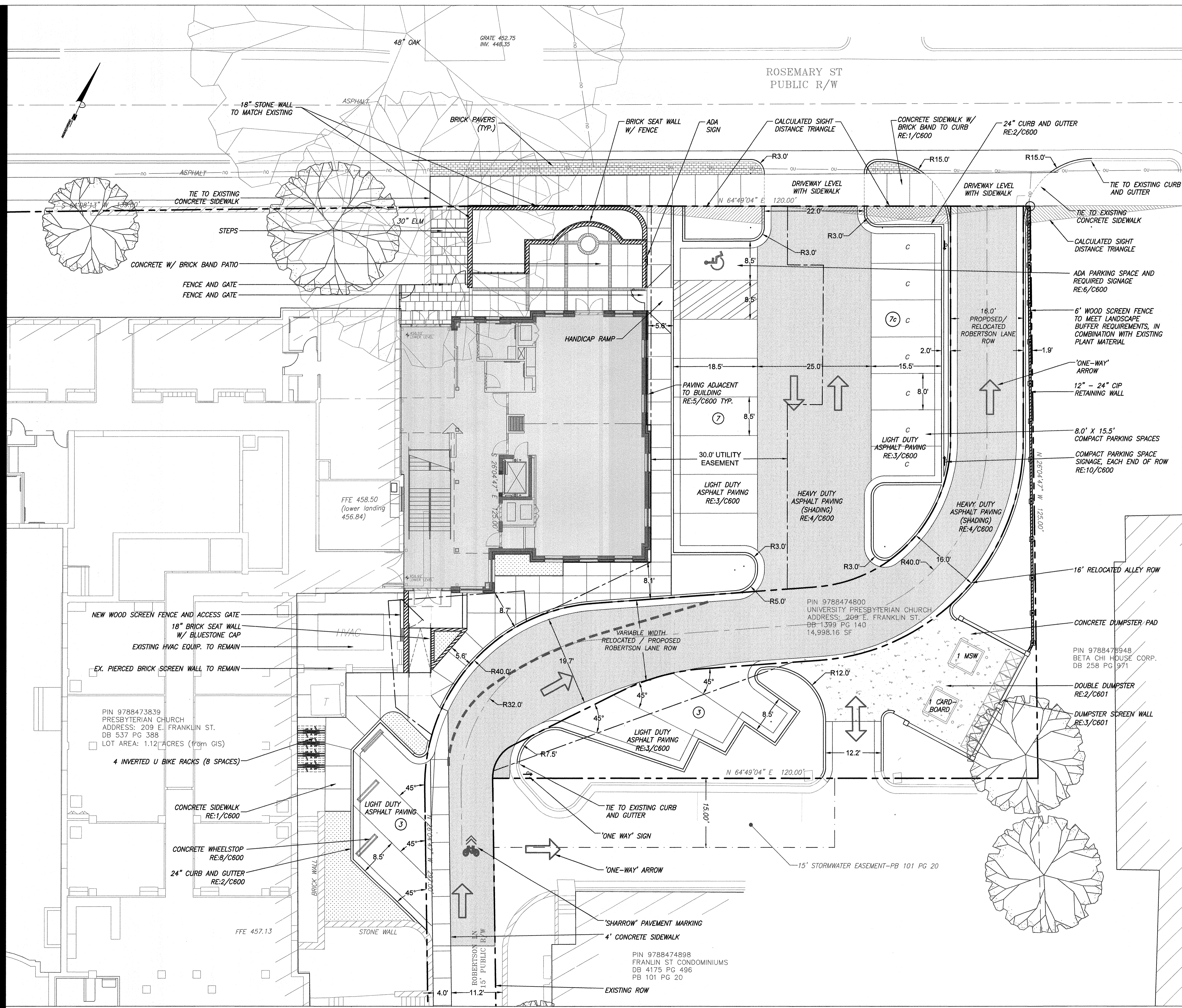
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CJT PROJECT NUMBER: 1119

Revisions

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Sheet

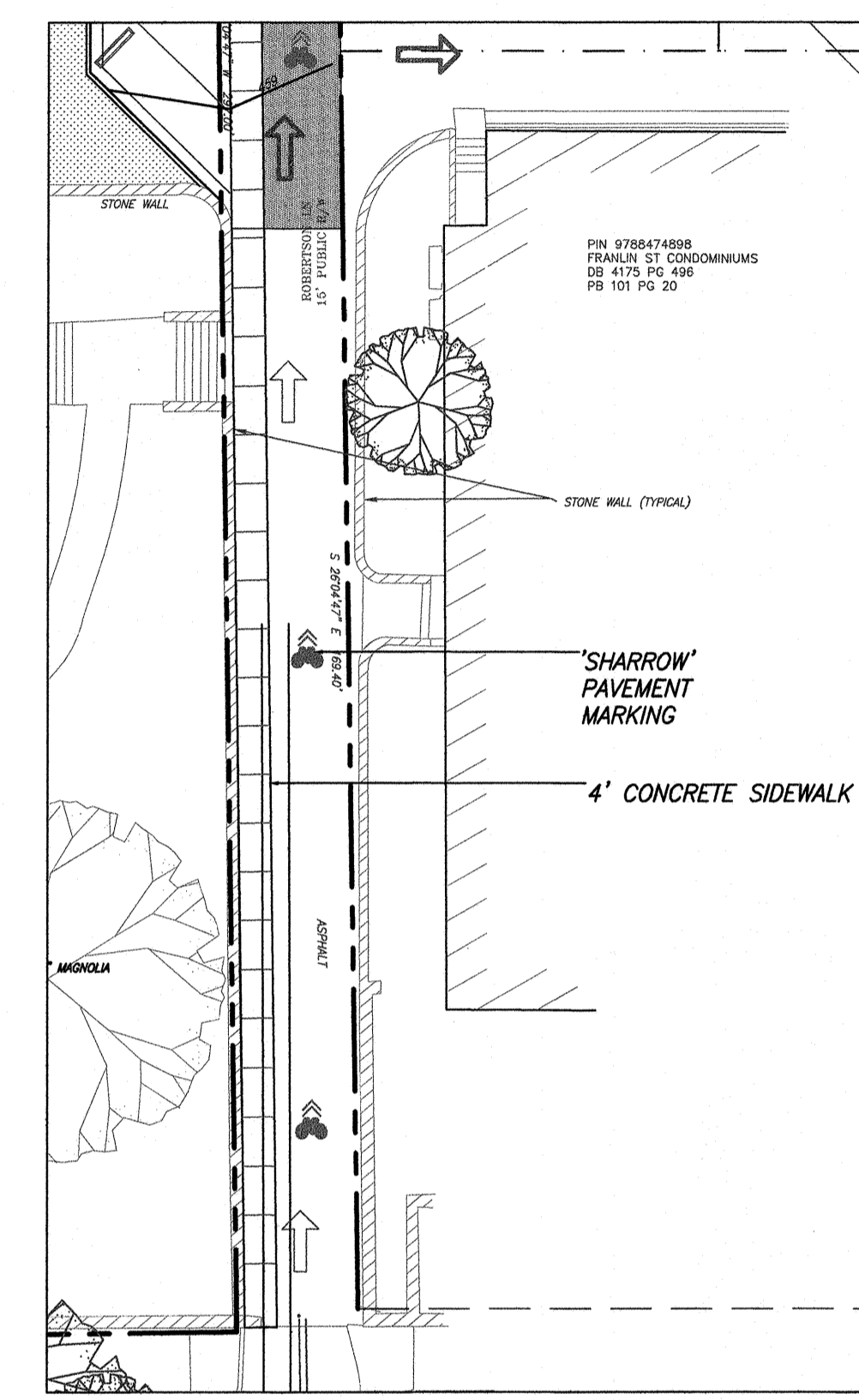
of **C500**



1/C200 - SITE LAYOUT PLAN
Scale: 1" = 10'

SITE PLAN NOTES

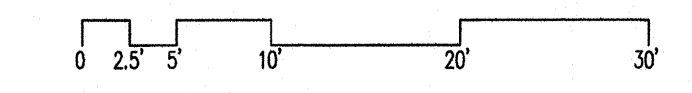
- ALL ANGLES ARE 90 DEGREES UNLESS OTHERWISE NOTED.
- DIMENSIONS TO BUILDING WALL ARE TO FACE OF WALL AT FINISH GRADE. DIMENSIONS TO CURB ARE TO FACE OF CURB.
- LAY OUT IMPROVEMENTS FOR THE CIVIL ENGINEER'S OR LANDSCAPE ARCHITECT'S REVIEW PRIOR TO BEGINNING CONSTRUCTION.
- REFERENCE ARCHITECTURAL DRAWINGS FOR BUILDING LAYOUT INFORMATION.
- ADA PARKING SPACES SHALL BE SIGNED WITH TYPE R7-8 OR R7-8A RESERVED PARKING SIGN AND R7-8D MAXIMUM FINE SIGN PER GS 20-37.6 OF THE NORTH CAROLINA HANDICAP CODE. ADA RAMPS SHALL HAVE RAMP SURFACES COVERED WITH DETECTABLE WARNING PATTERN PER ADA STANDARDS.
- REFERENCE EXISTING CONDITION / DEMOLITION PLAN SHEETS C100 FOR EXTENT OF DEMOLITION AND REMOVAL OF CURB AND GUTTER, DRIVEWAYS, PAVEMENT, BOLLARDS, WALKWAYS, UTILITIES, AND VEGETATION.
- BY ORANGE COUNTY ORDINANCE, CLEAN WOOD WASTE, SCRAP METAL AND CORRUGATED CARDBOARD, ALL PRESENT IN CONSTRUCTION WASTE, MUST BE RECYCLED.
- BY ORANGE COUNTY ORDINANCE, ALL HAULERS OF CONSTRUCTION WASTE MUST BE PROPERLY LICENSED.
- PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE THE APPLICANT WILL HOLD A PRE-DEMOLITION/PRE-CONSTRUCTION CONFERENCE WITH THE COUNTY'S SOLID WASTE STAFF. THIS MAY BE THE SAME MEETING HELD WITH OTHER DEVELOPMENT OFFICIALS.
- THE PRESENCE OF ANY ASBESTOS CONTAINING MATERIAL (ACM) OR OTHER HAZARDOUS MATERIALS IN CONSTRUCTION AND DEMOLITION WASTE SHALL BE HANDLED IN ACCORDANCE WITH ANY AND ALL LOCAL, STATE, AND FEDERAL REGULATIONS AND GUIDELINES.
- MASONRY WALLS WILL NOT BE REPAIRED BY THE TOWN RESULTING FROM MAINTENANCE ON TOWN OF CARY AND OWAS MAINTAINED UTILITIES.



2/C200 - SITE LAYOUT PLAN
Scale: 1" = 20'

LEGEND

Water Valve	⊕
Curb Inlet/Catch Basin	⊕
Mail Box	MB
Traffic Signal Box	T/SB
Electric Transformer	⊕
Electric Junction Box	⊕
Gas Meter	⊕
Sanitary Sewer Manhole	⊕
Storm Sewer Manhole	⊕
Telephone Manhole	⊕
Electric Manhole	⊕
Sign	⊕
Telephone Pedestal	⊕
Fire Hydrant	⊕
Post Indicator Valve	⊕
Water Manhole	⊕
Water Meter	⊕
Hot Box	⊕
Utility Pole	⊕
Light Pole	⊕
Sewer Cleanout	⊕
Flored End Section	⊕
Gas Valve	⊕
Existing Iron Pipe (3/4" unless noted)	⊕
1/2" Iron Pipe Set	⊕
Existing PK Nail	⊕
PK Nail Set	⊕
Computed Point	⊕
Concrete Monument	⊕
Tree Line	⊕
Fence	⊕
Underground Electric	UE
Underground Telephone	UT
Gas Line	GAS
Water Line	W
Overhead Utilities	OU
Storm Sewer	S
Sanitary Sewer	SS
Guard Rail	⊕

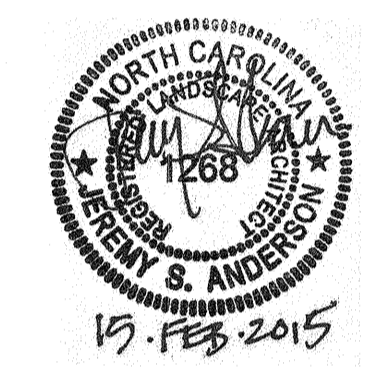


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Chapel Hill, NC

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C200



PHOTO 5



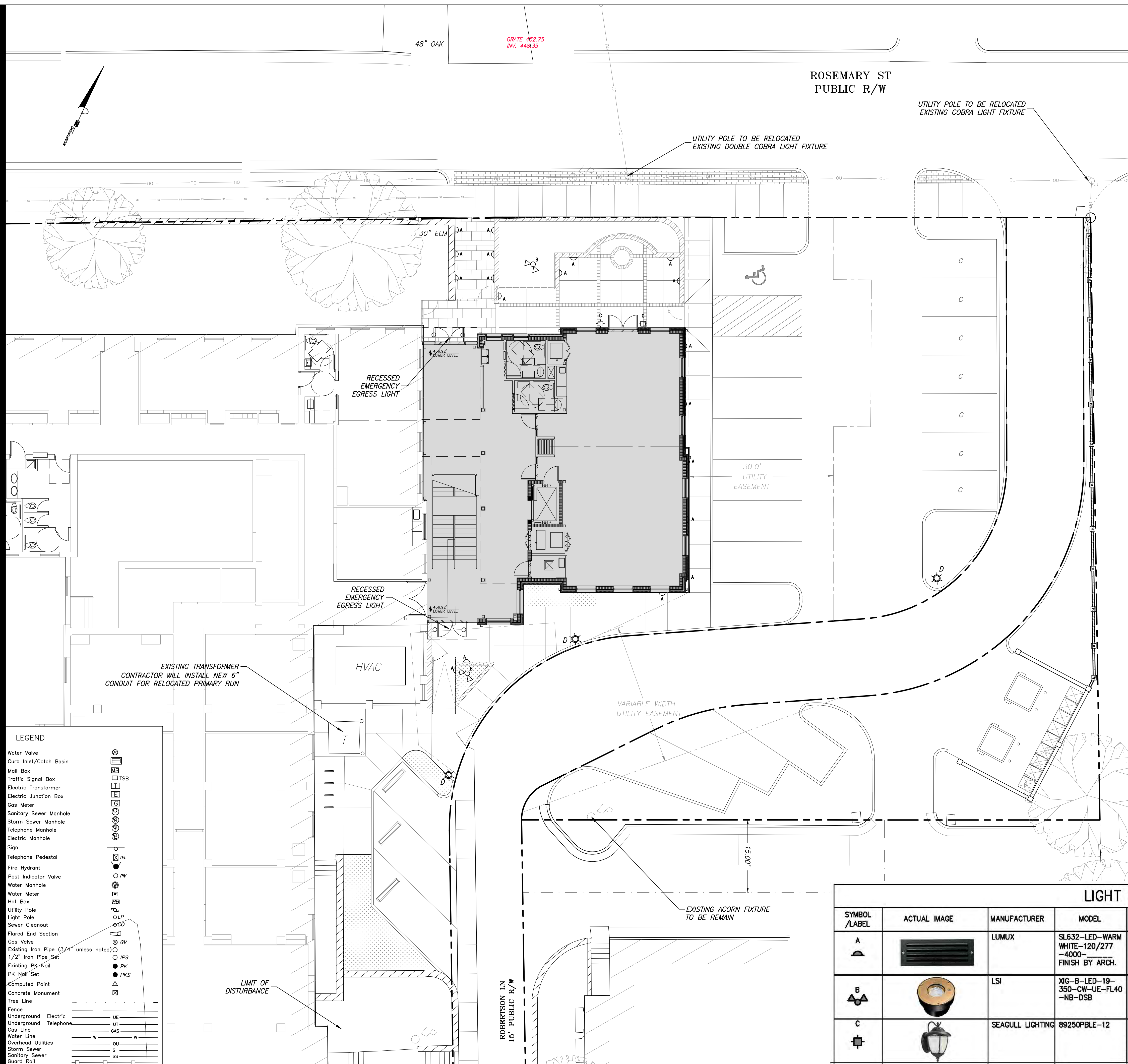
PHOTO 6



PHOTO 7



PHOTO 8



LIGHTING CONDUIT

LIGHTING CONDUIT SHALL MEET THE FOLLOWING GUIDELINES.

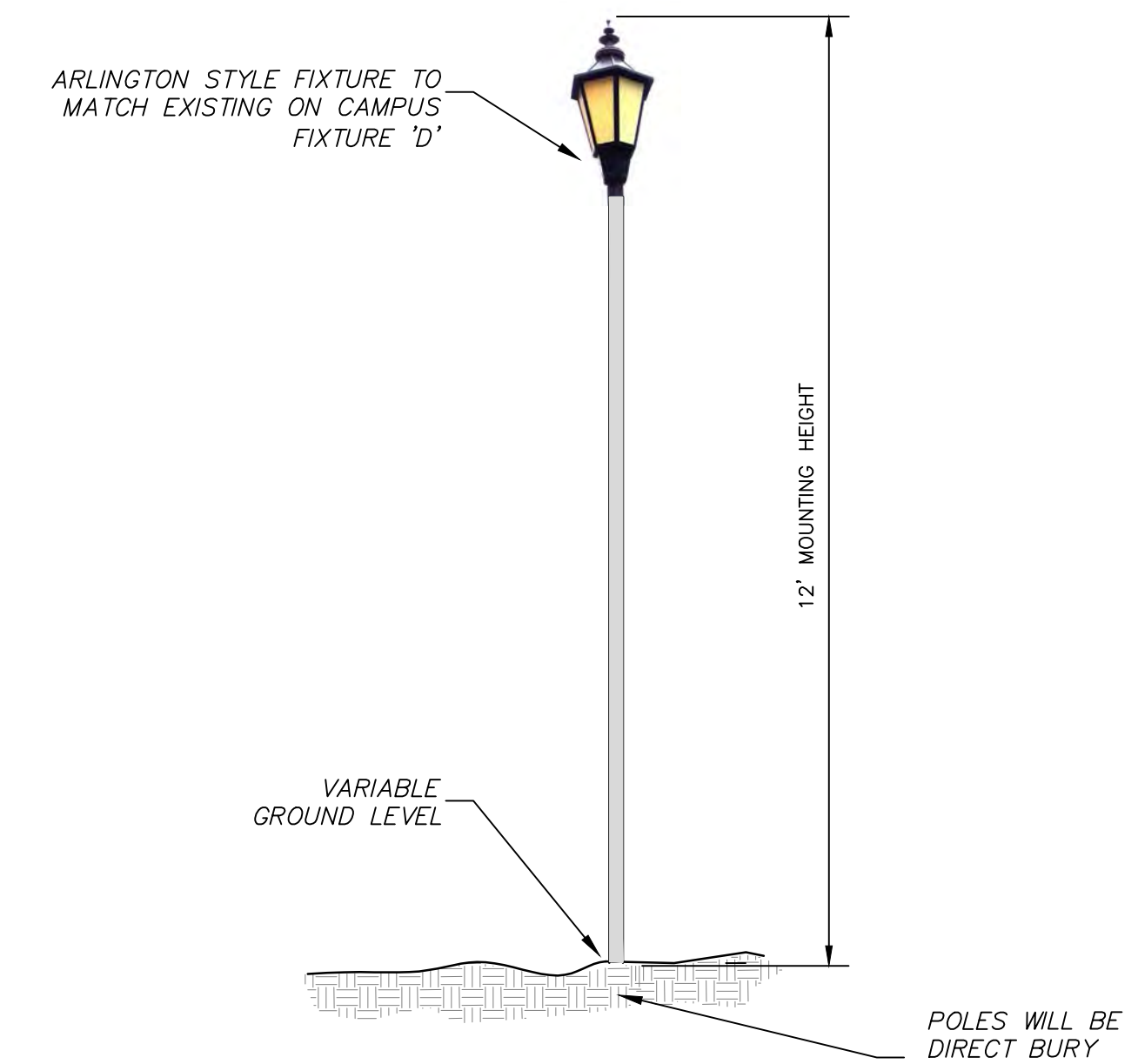
1. CONDUITS ARE TO BE INSTALLED AS INDICATED ON PRINT; CONDUITS THAT MUST VARY FROM THE PRINT DESIGN MUST BE APPROVED BY DUKE ENERGY PRIOR TO INSTALLATION. CHANGING THE CONDUIT LAYOUT CAN CAUSE CONDUITOR LENGTH TO EXCEED ACCEPTABLE VOLTAGE LEVEL WHICH WILL AFFECT THE LIGHT'S ABILITY TO OPERATE.
2. ALL CONDUITS ARE TO BE 2" SCHEDULE 40 GRAY ELECTRICAL PVC.
3. ALL JOINTS ARE TO BE GLUED.
4. ALL ENDS ARE TO BE MARKED WITH SCRAPE CONDUIT OR A BOARD (PAINTING THE GROUND WITH MARKING PAINT IS NOT ACCEPTABLE). IT IS STRONGLY SUGGESTED THAT THE ENDS SHOULD BE IDENTIFIED BY GPS COORDINATES.
5. ALL ENDS ARE TO BE CAPPED TO PREVENT ENTRY OF DEBRIS.
6. ALL CONDUITS MORE THAN 30' IN LENGTH SHALL HAVE A STRING INSTALLED.
7. TO COMPLY WITH NESC; ALL CONDUIT ARE TO BE INSTALLED AT A MINIMUM DEPTH OF 30" FROM FINISH GRADE TO TOP OF CONDUIT. CONDUITS THAT CAN NOT MEET THIS CRITERIA MUST BE INCASED IN 3" MINIMUM CONCRETE ENVELOPE. (FLOWABLE FILL IS ACCEPTABLE IN PLACE OF CONCRETE). SEE DIAGRAM.
8. IF CONCRETE ENCASED CONDUIT IS REQUIRED AT ANY POINT, IT MUST BE ENCASED IN CONCRETE UNTIL PIPE IS BACK DOWN TO REQUIRED DEPTH. SEE DIAGRAM.
9. PEDESTAL AREAS WHERE MULTIPLE CONDUIT ENDS TERMINATE ARE TO HAVE THE CONDUIT ENDS WITHIN 12" OF EACH OTHER. SEE DIAGRAM.
10. DIRECT BURIED LIGHT POLE AREAS ARE TO HAVE CONDUITS TERMINATE 36" APART AND 12" BACK OF POLE LOCATION. SEE DIAGRAM.
11. CONDUITS SERVING LIGHTS ON CONCRETE REVEALS ARE TO BE CONTINUOUS FROM REVEAL TO REVEAL.

LIGHTING NOTES

1. MEASURES SHALL BE PROVIDED TO PREVENT LIGHT SPILLOVER ONTO ADJACENT PROPERTIES AND GLARE TOWARD MOTOR VEHICLE OPERATORS. EXTERIOR LIGHTS SHALL BE SHIELDED SO THEY DO NOT CAST DIRECT LIGHT BEYOND THE PROPERTY LINE.
2. PROVIDE 2" PVC CONDUIT UNDER PAVEMENT, UNDER HEAVILY LANDSCAPED AREAS AS NECESSARY, AND AS DETERMINED BY DUKE ENERGY TO PROVIDE ACCESS TO ALL LIGHT FIXTURES. CONDUIT LOCATIONS SHOWN ON PLANS ARE CONCEPTUAL. COORDINATE WITH DUKE ENERGY TO FINALIZE CONDUIT LOCATIONS AND LENGTHS.

SPECIAL COORDINATION NOTES:

1. CONTRACTOR IS TO COORDINATE LIGHT POLE AND CONDUIT LOCATIONS WITH DUKE ENERGY PRIOR TO INSTALLATION OF WALLS AND PAVING.
2. ABOVE GROUND PEDESTALS AND LIGHT POLES WILL BE PROVIDED AND INSTALLED BY DUKE ENERGY.
3. CONTRACTOR IS TO REFER TO DUKE ENERGY SPECIFICATIONS IN DETAILS 4 AND 5 ON THIS SHEET, FOR CONDUIT INSTALLATION.
4. CONDUIT IS TO BE FURNISHED AND INSTALLED BY CONTRACTOR.



HOLOPHANE - ARLINGTON LED
12' MOUNTING HEIGHT
ARE-100W-5K-AS-A3-B-S

2/C403 - LIGHT POLE 'D'
NO SCALE

LIGHT FIXTURE SCHEDULE

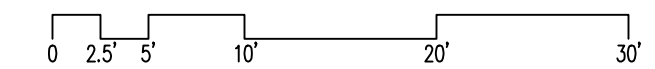
SYMBOL / LABEL	ACTUAL IMAGE	MANUFACTURER	MODEL	LAMPING	VOLTAGE	VA	GENERAL DESCRIPTION
A		LUMUX	SL632-LED-WARM WHITE-120/277-4000-FINISH BY ARCH.	4000K COOL WHITE LEDs	120-277V	SEE MANUF.	10" X 4" X 4" RECESSED STEP LIGHT WITH SLANTED LOUVERS, VANDAL RESISTANCE SS SCREWS, SILICON GASKETED FOR WEATHER TIGHT OPERATION, 1/2" CONDUIT ENTRY IN LOW COPPER DIE CAST ALUMINUM HOUSING AND TRIM. INTEGRAL LED DRIVER. FROSTY GLASS DIFFUSER. CPX BOXES REQUIRED FOR CONCRETE/BRICK INSTALLATION. BLACK, SILVER OR BRONZE FINISH.
B		LSI	XIG-B-LED-19-350-CW-UE-FL40-NB-DSB	(19) LEDs	120-277V	22W	9.5" DIA. BRASS HOUSING INGROUND LIGHT WITH (19) HIGH-BRIGHTNESS COOL WHITE (5400K) LEDs, 40' FLOOD OPTICS, COMPOSITE ROUGH-IN HOUSING, UNIVERSAL BALLAST, DRIVE OVER RATED TO 4,000 LB. +/- 15" OPTIC TILTING VIA EXTERNAL AIMING SCREW WITH TAMPER-RESISTANT TOOL.
C		SEAGULL LIGHTING	89250PBLE-12	(1) GU24 26W MAX 1800 LUMEN 2700K 81 CRI	120V	26W	10" X 16" X 12" WALL EXTEND SINGLE LIGHT WALL MOUNT LANTERN WITH 6-1/2" WIRE, BLACK DIE-CAST ALUMINUM HOUSING BODY WITH POWDERCOATED FINISH AND SWIRLED, MARBELIZED GLASS DIFFUSER. PROVIDE WITH REMOTE BATTERY PACK BACKUP POWER SUPPLY. INTEGRAL PHOTOCCELL AND WET LOCATION LISTED.

3/C401 - SITE LIGHTING SCHEDULE 'A,B,C'
NO SCALE

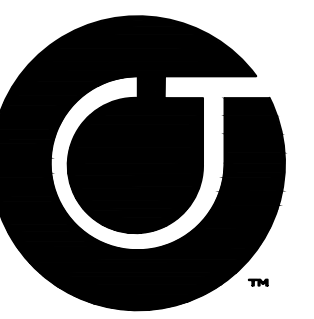
LEGEND

Water Valve	
Curb Inlet/Catch Basin	
Mail Box	
Traffic Signal Box	
Electric Transformer	
Electric Junction Box	
Gas Meter	
Sanitary Sewer Manhole	
Storm Sewer Manhole	
Telephone Manhole	
Electric Manhole	
Sign	
Telephone Pedestal	
Fire Hydrant	
Post Indicator Valve	
Water Manhole	
Water Meter	
Hot Box	
Utility Pole	
Light Pole	
Sewer Cleanout	
Flared End Section	
Gas Valve	
Existing Iron Pipe (3/4" unless noted)	
1/2" Iron Pipe Set	
Existing PK Nail	
PK Nail Set	
Computed Point	
Concrete Monument	
Tree Line	
Fence	
Underground Electric	
Underground Telephone	
Gas Line	
Water Line	
Overhead Utilities	
Storm Sewer	
Sanitary Sewer	
Guard Rail	

1/C403 - LIGHTING PLAN
Scale: 1" = 10'



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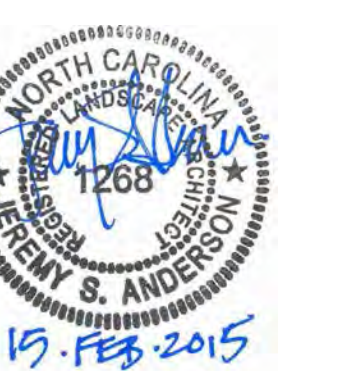


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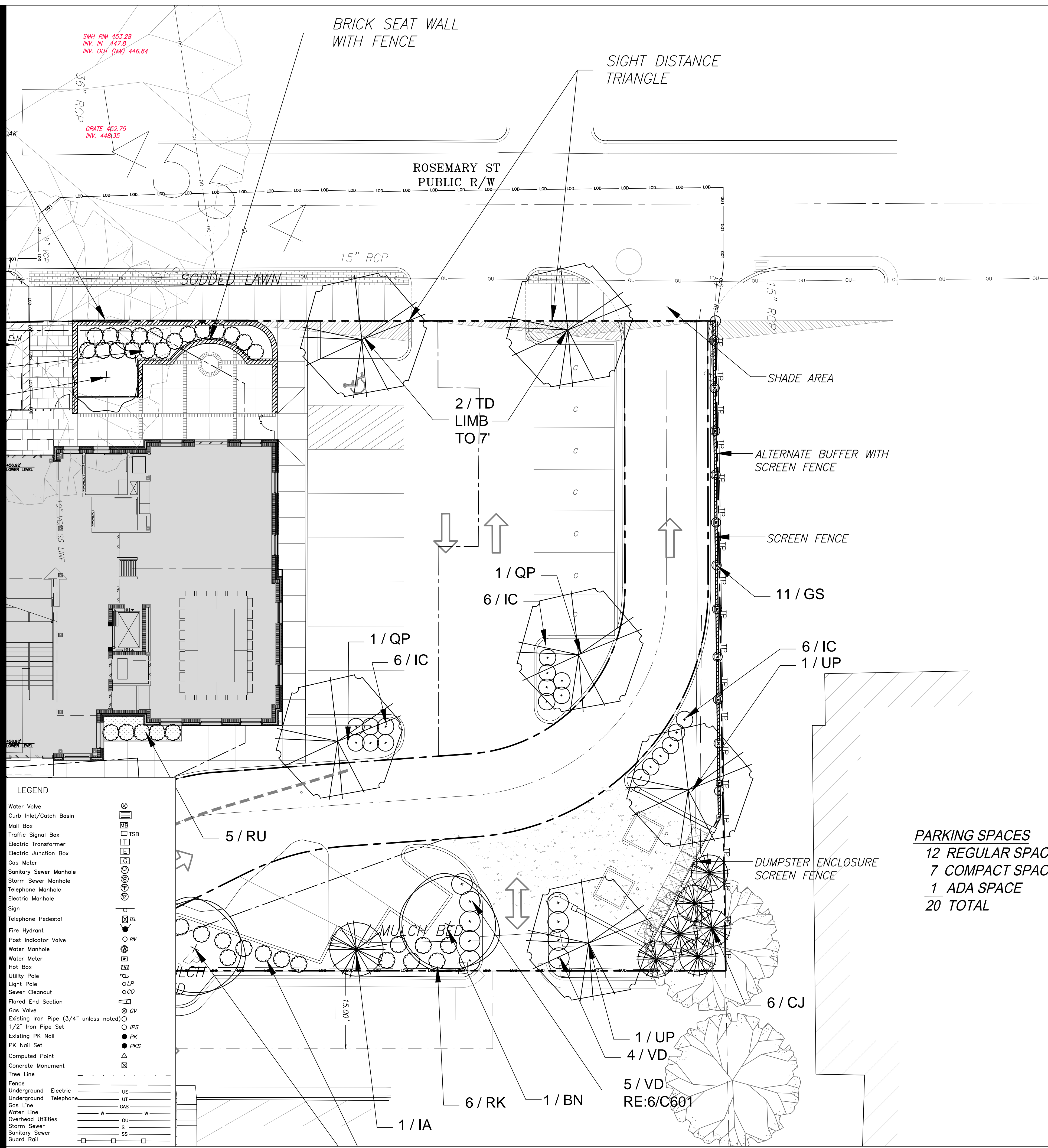
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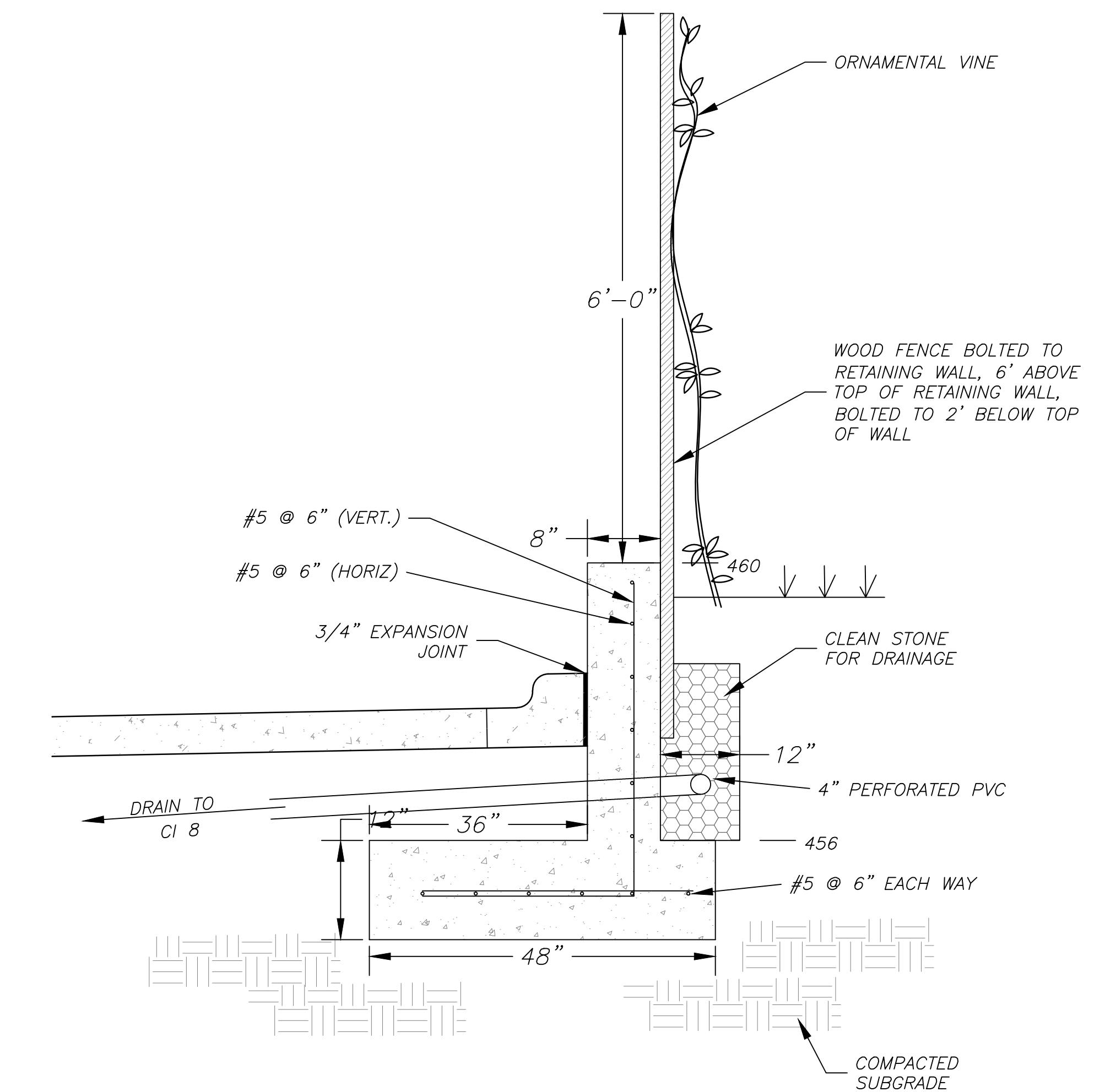
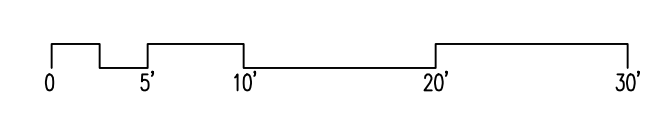
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C403



- LEGEND**
- Water Valve
 - Curb Inlet/Catch Basin
 - Mail Box
 - Traffic Signal Box
 - Electric Transformer
 - Electric Junction Box
 - Gas Meter
 - Sanitary Sewer Manhole
 - Storm Sewer Manhole
 - Telephone Manhole
 - Electric Manhole
 - Sign
 - Telephone Pedestal
 - Fire Hydrant
 - Post Indicator Valve
 - Water Manhole
 - Water Meter
 - Hot Box
 - Utility Pole
 - Light Pole
 - Sewer Cleanout
 - Flored End Section
 - Gas Valve
 - Existing Iron Pipe (3/4" unless noted)
 - 1/2" Iron Pipe Set
 - Existing PK Nail
 - PK Nail Set
 - Computed Point
 - Concrete Monument
 - Tree Line
 - Fence
 - Underground Electric
 - Underground Telephone
 - Gas Line
 - Water Line
 - Overhead Utilities
 - Storm Sewer
 - Sanitary Sewer
 - Guard Rail

ALT-BUF - LANDSCAPE PLAN
Scale: 1" = 10'



5/C606
SCREEN FENCE FOR ALTERNATE BUFFER
NTS

PARKING SPACES
12 REGULAR SPACES
7 COMPACT SPACES
1 ADA SPACE
20 TOTAL

QTY	%	EVGN	KEY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	REMARKS
CANOPY TREES								
6	38%	Y	CJ	Cryptomeria japonica	Japanese Cedar	2" CAL. 8' HT.	AS SHOWN	SINGLE TRUNK & LEADER
2	13%	N	QP	Quercus Phellos	Willow Oak	2.5" CAL. 12' HT.	AS SHOWN	SINGLE TRUNK & LEADER
2	13%	N	TD	Taxodium distichum	Bald Cypress	2.5" CAL. 12' HT.	AS SHOWN	SINGLE TRUNK & LEADER
3	19%	N	BN	Betula Nigra	River Birch	12' HT.	AS SHOWN	MULTI-TRUNK
1	6%	Y	IA	Ilex opaca	American Holly	2" CAL. 8' HT.	AS SHOWN	SINGLE TRUNK & LEADER
2	13%	N	UP	Ulmus parvifolia	Lace bark Elm	2.5" CAL.	AS SHOWN	SINGLE TRUNK & LEADER
16	100%							
UNDERSTORY TREES								
2	100%	N	AP	Acer palmatum 'Autumn Glory'	Autumn Glory Japanese Maple	10' HT.	AS SHOWN	SINGLE TRUNK & LEADER
2	100%							
SHRUBS								
34	42%	N	RK	Rosa 'Radrazz'	Knock Out Rose	15" HT.	36" O.C.	FULL LAND MATCHING
18	22%	Y	IC	Ilex cornuta 'carissa'	Carissa Holly	15" HT.	36" O.C.	FULL LAND MATCHING
5	6%	Y	RU	Raphiolepis umbellata	Indian Hawthorn	18" HT.	36" O.C.	FULL LAND MATCHING
11	14%	Y	GS	Gelsemium sempervirens	Carolina Jasmine	60" HT.	AS SHOWN	FULL LAND MATCHING
4	5%	Y	RO	Rosmarinus 'officinalis'	Rosemary	15" HT.	36" O.C.	FULL LAND MATCHING
9	11%	Y	VD	Viburnum davidii	David's Viburnum	15" HT.	36" O.C.	FULL LAND MATCHING
81	100%							
GROUND COVER								
AR				LAWN	AS REQUIRED TO MATCH EXISTING			

4/C500 - PROPOSED LANDSCAPE PLANTING SCHEDULE
Scale: NO SCALE

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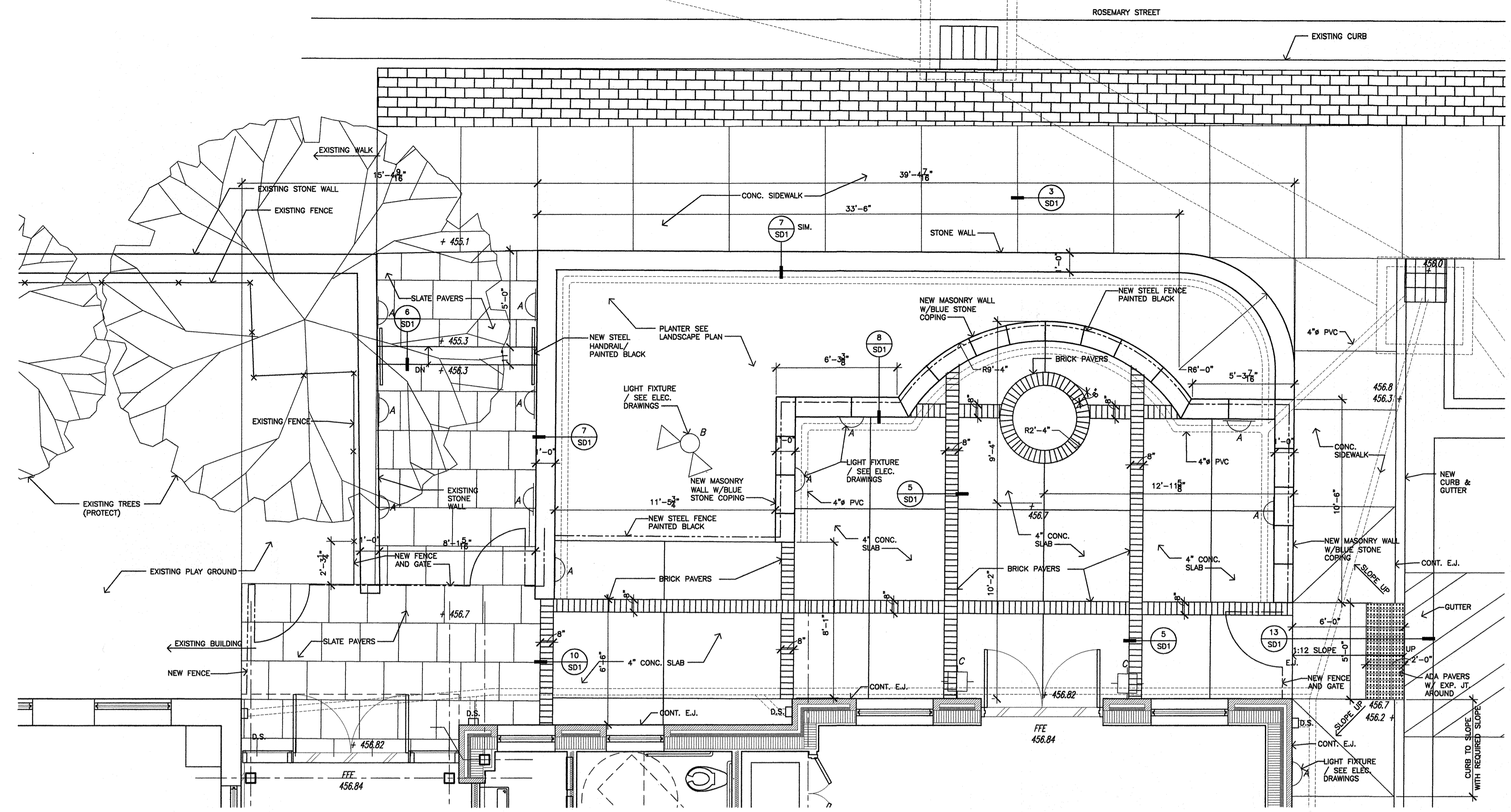
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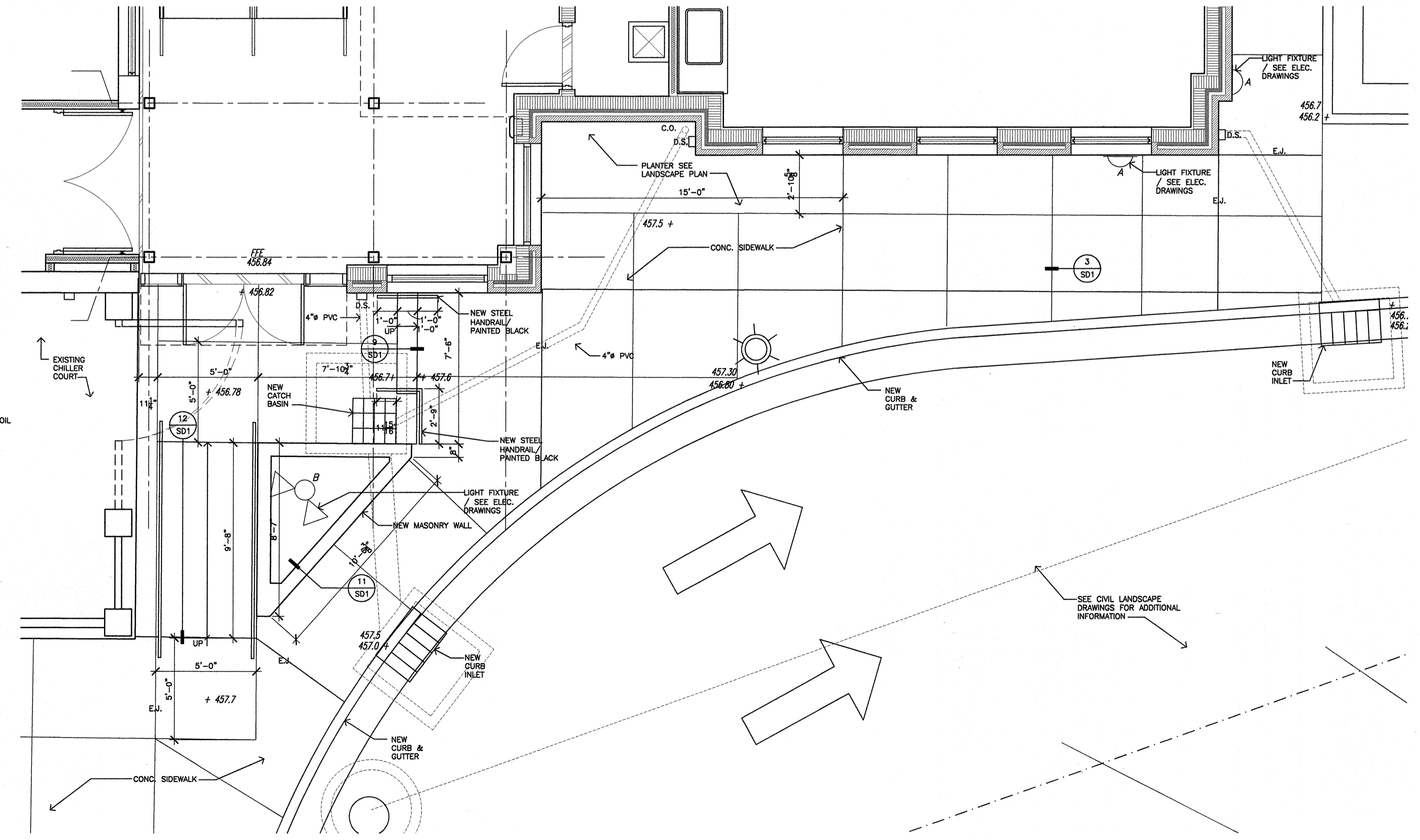
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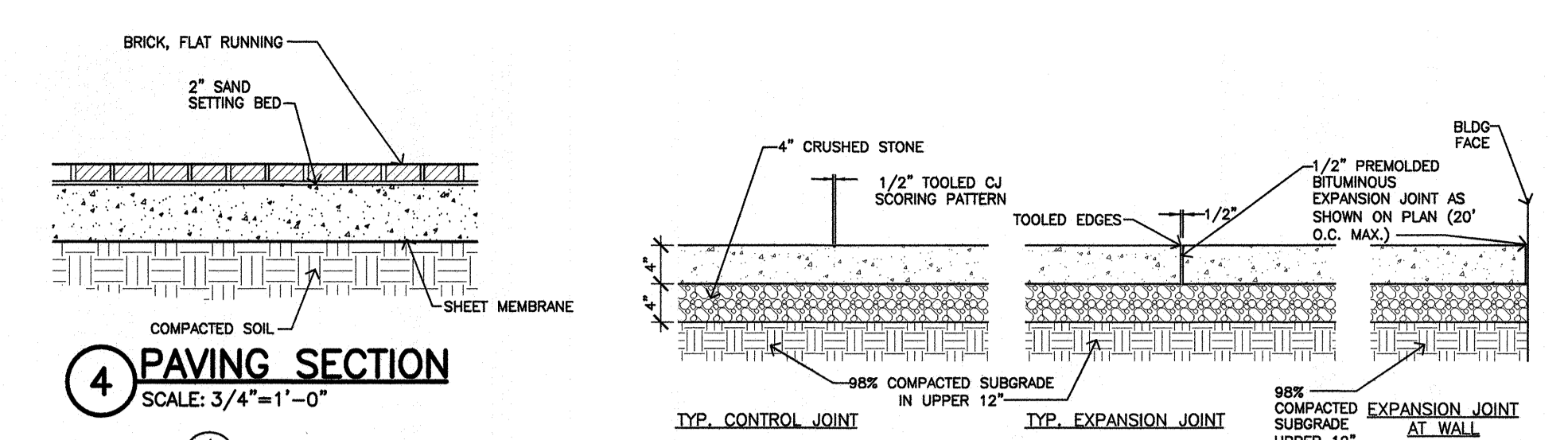
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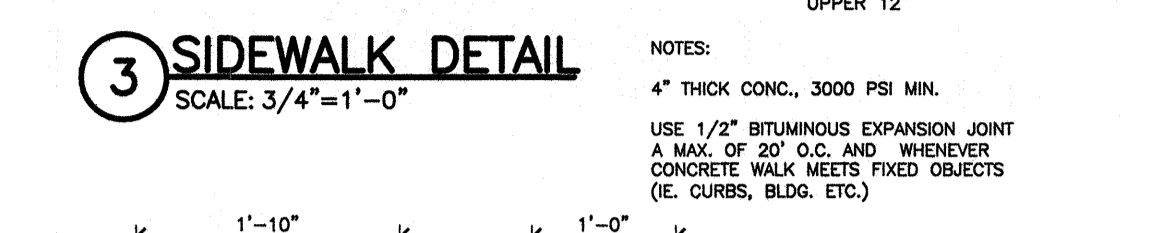
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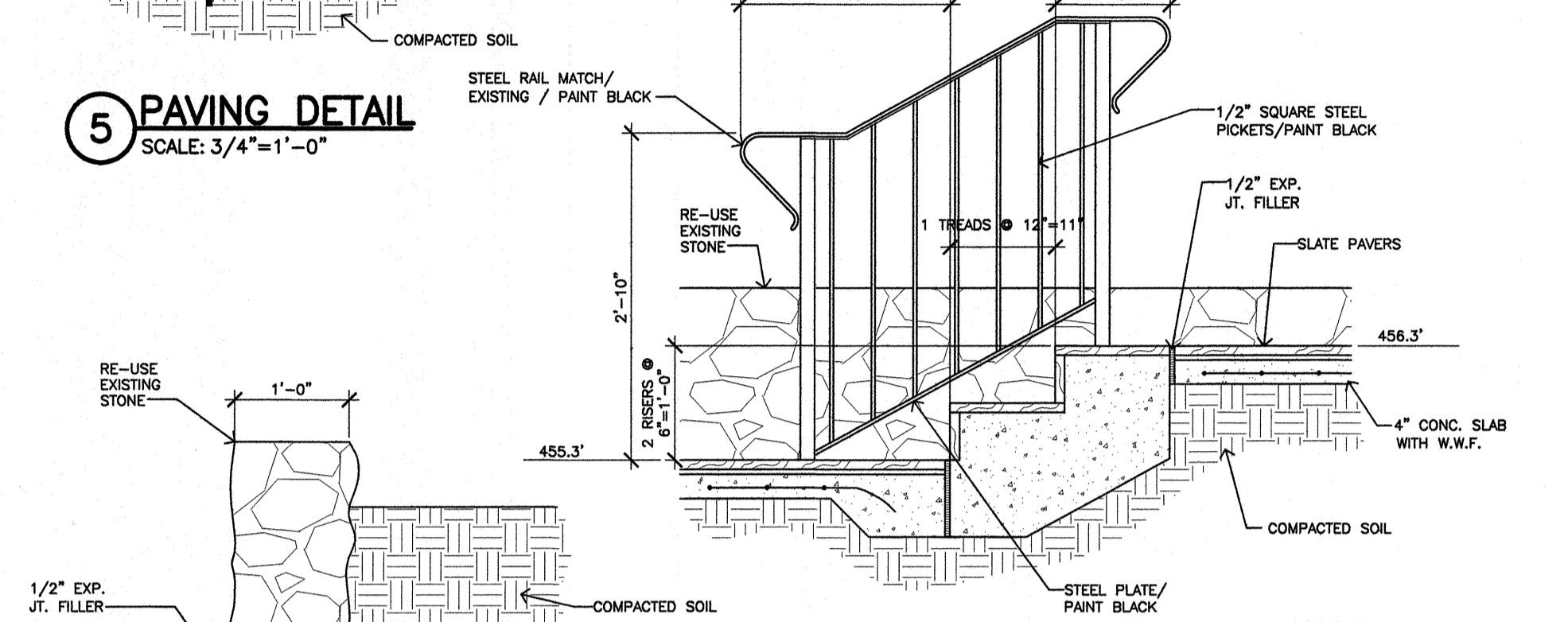
1 PLAZA AT FRANKLIN STREET
SCALE: 1/4"=1'-0"



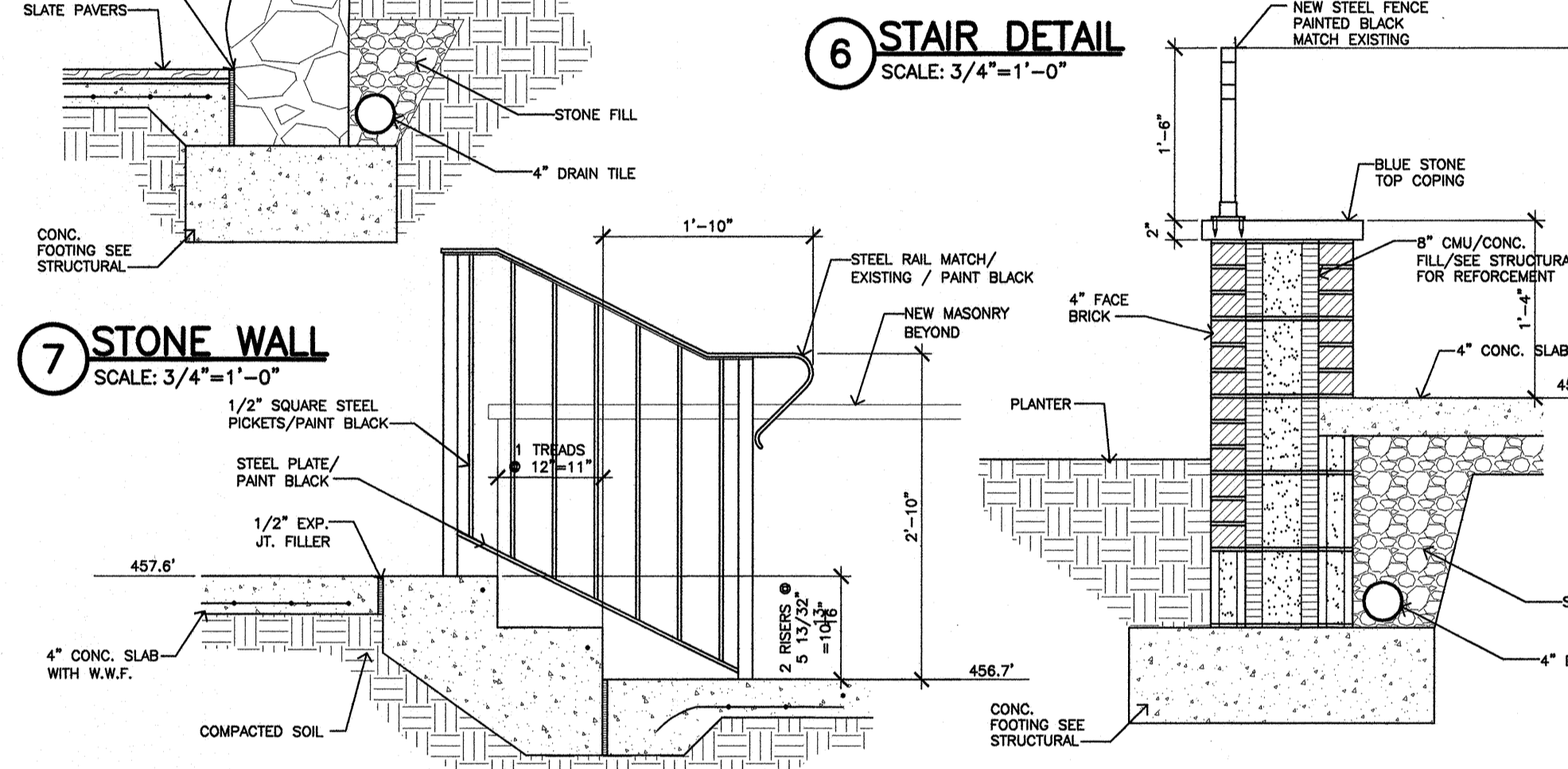
4 PAVING SECTION
SCALE: 3/4"=1'-0"



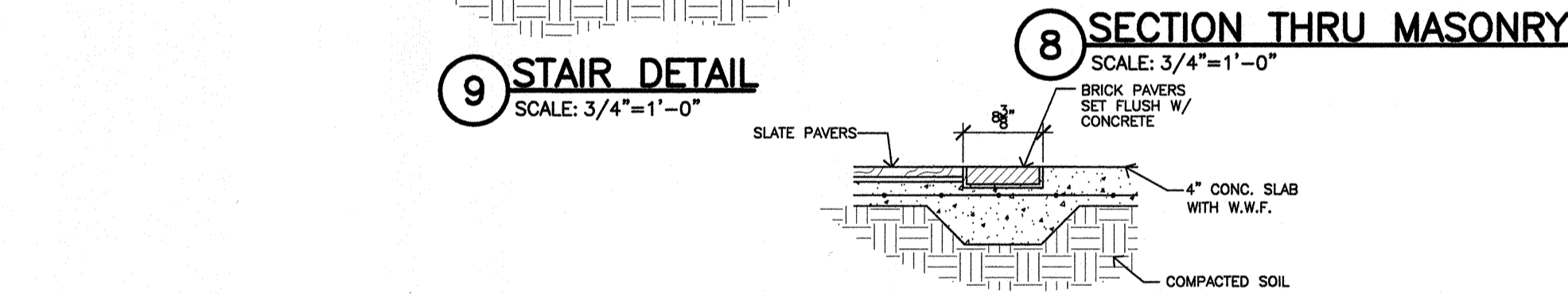
3 SIDEWALK DETAIL
SCALE: 3/4"=1'-0"



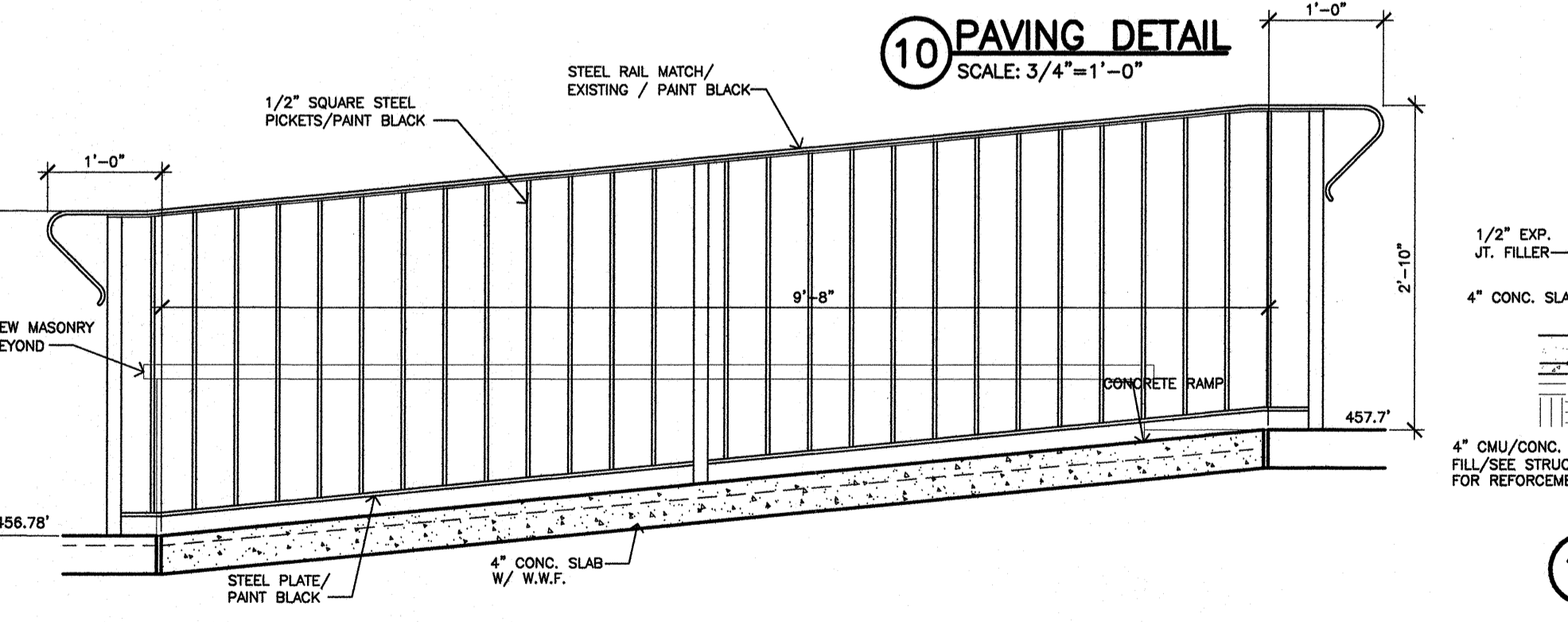
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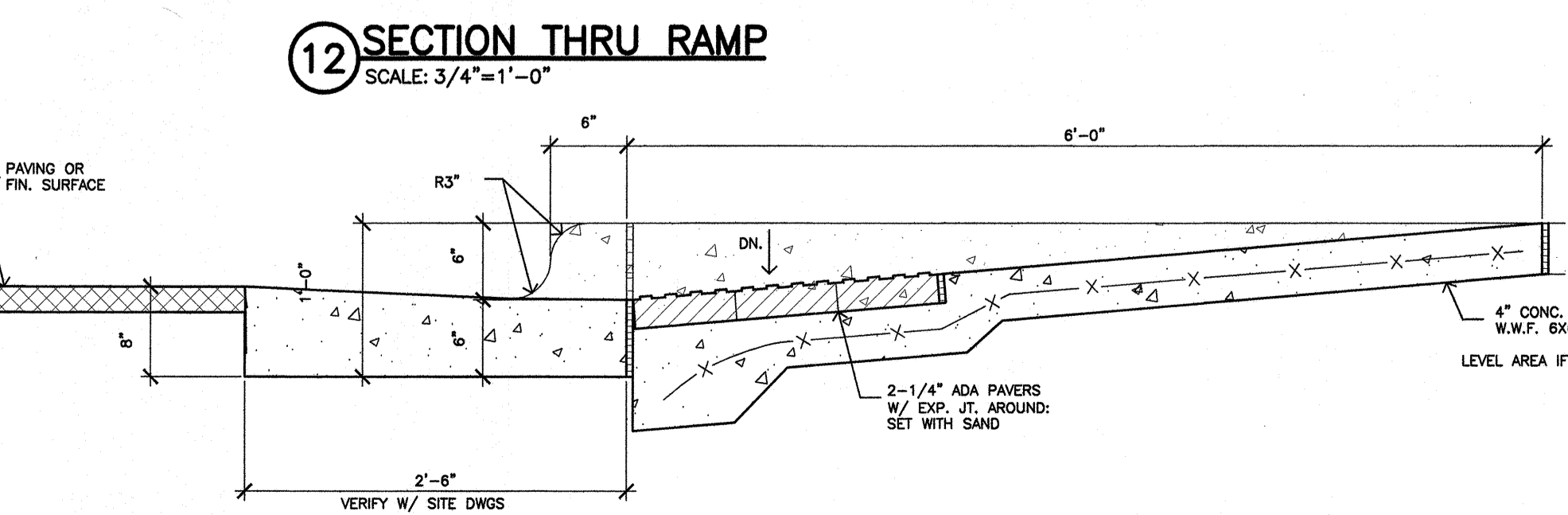
6 STAIR DETAIL
SCALE: 3/4"=1'-0"



7 STONE WALL
SCALE: 3/4"=1'-0"



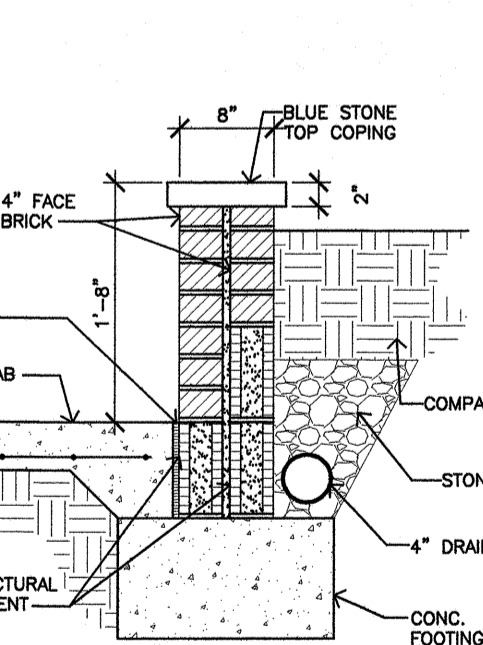
8 SECTION THRU MASONRY WALL
SCALE: 3/4"=1'-0"



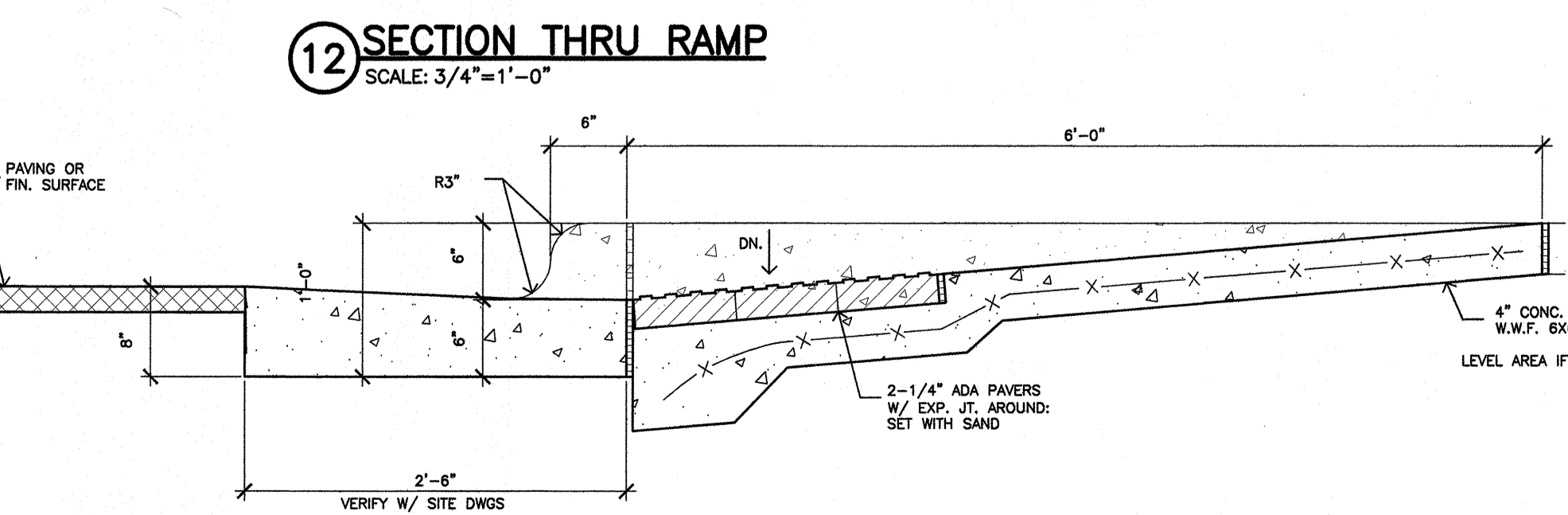
10 PAVING DETAIL
SCALE: 3/4"=1'-0"



13 ADA CURB CUT DETAIL
SCALE: 1/2"=1'-0"



11 MASONRY WALL
SCALE: 3/4"=1'-0"



12 SECTION THRU RAMP
SCALE: 3/4"=1'-0"

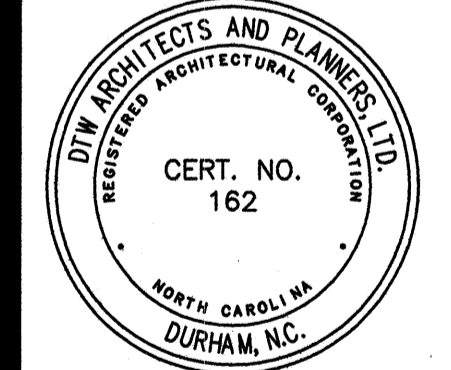
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OVERALL FLOOR PLANS
LOWER LEVEL
UPPER LEVEL

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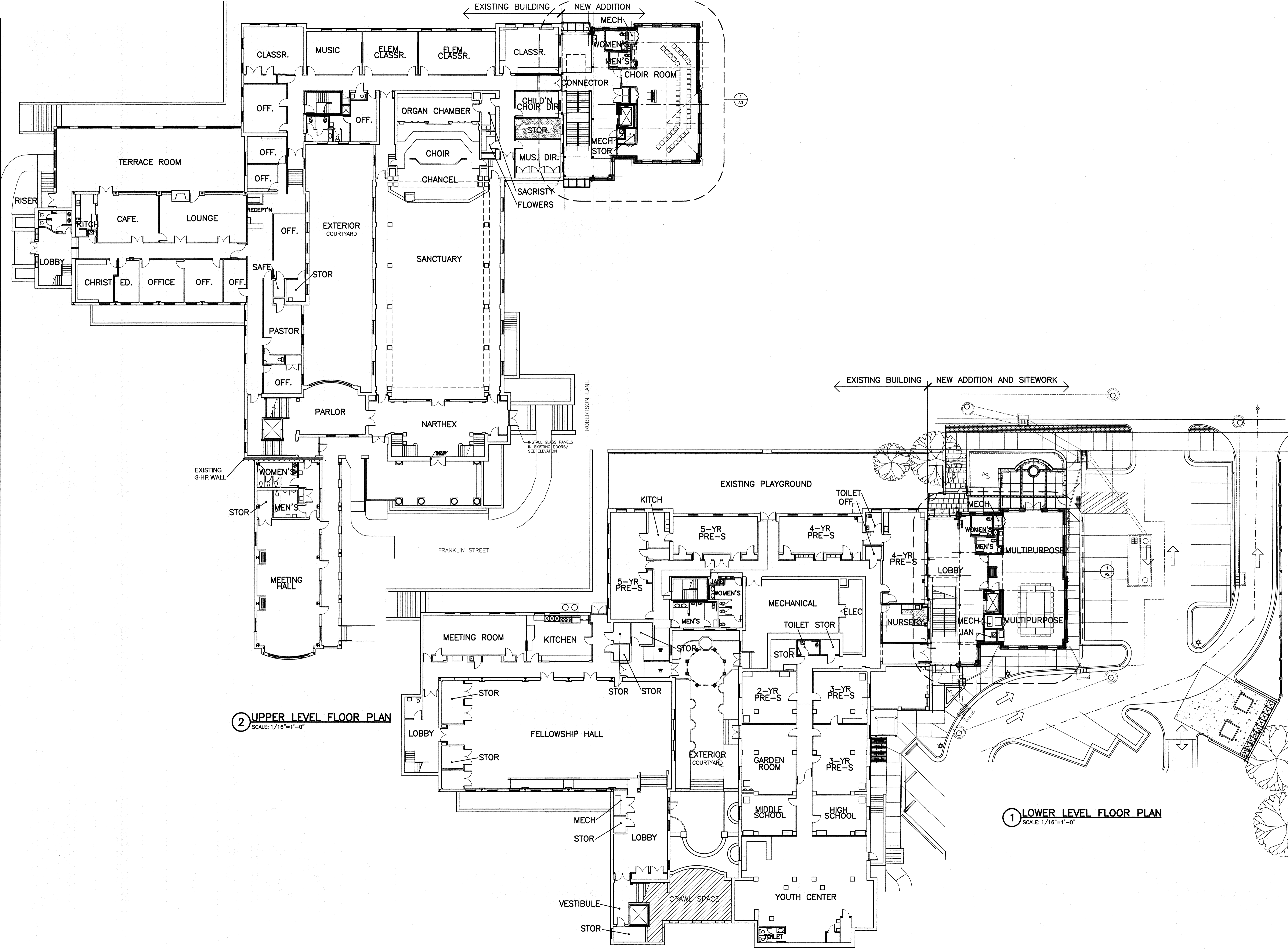


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2 UPPER LEVEL FLOOR PLAN
SCALE: 1/16"=1'-0"

1 LOWER LEVEL FLOOR PLAN
SCALE: 1/16"=1'-0"

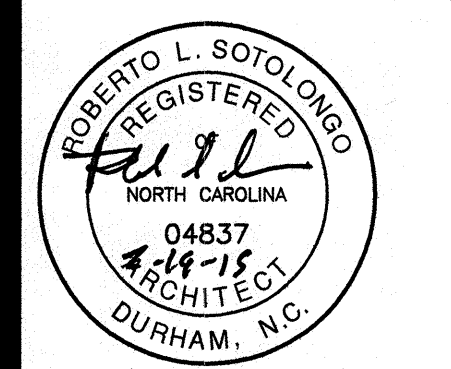
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LOWER LEVEL PLAN

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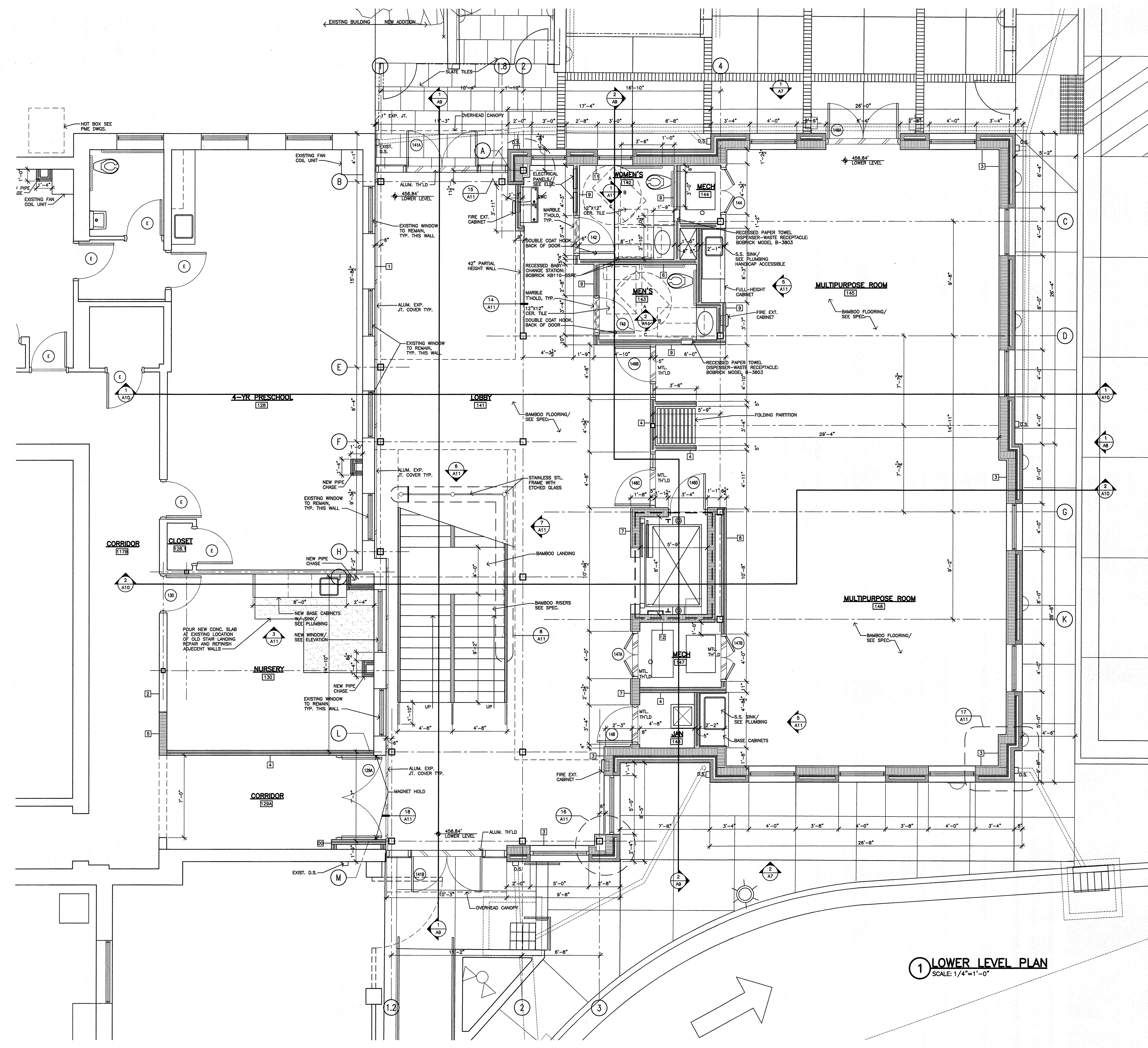
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A2



1 LOWER LEVEL PLAN
SCALE: 1/4"=1'-0"

GENERAL NOTES:

1. ALL C.M.U. WALLS TO EXTEND UP TO FLOOR OR ROOF DECK DEPENDING ON LOCATION.
2. ALL MTL. STUD & GYP. BD. WALLS TO EXTEND TIGHT TO UNDERSIDE OF FLOOR OR ROOF DECK DEPENDING ON LOCATION.
3. ALL RATED WALLS TO BE SEALED TIGHT TO ROOF DECK ABOVE WITH U.L. LISTED FIRE CAULK. FOR LARGER VOIDS AT METAL DECK FLUTES.
4. ALL C.M.U. CORNERS TO HAVE BULLNOSE EDGE.
5. ALL GYP. BD. CORNERS TO HAVE CORNER BEAD, ALL EXPOSED ENDS TO HAVE CASING BEAD.
6. SEE STRUCTURAL PLAN FOR CONCRETE SLAB THICKNESS IN DIFFERENT AREAS.
7. F.E. FIRE EXTINGUISHER CAB/ WITH COORDINATE FINAL LOCATION WITH FIRE MARSHAL

FIRE RATING LEGEND

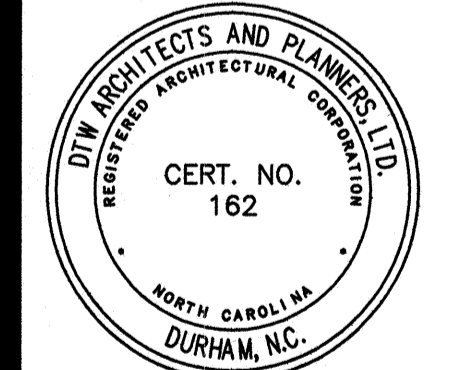
----- 1 HOUR FIRE BARRIER

EXISTING WALLS

- 1 - EXISTING MASONRY WALL W/ BRICK EXTERIOR AND CMU INTERIOR
- 2 - EXISTING CMU, VERIFY THICKNESS IN FIELD

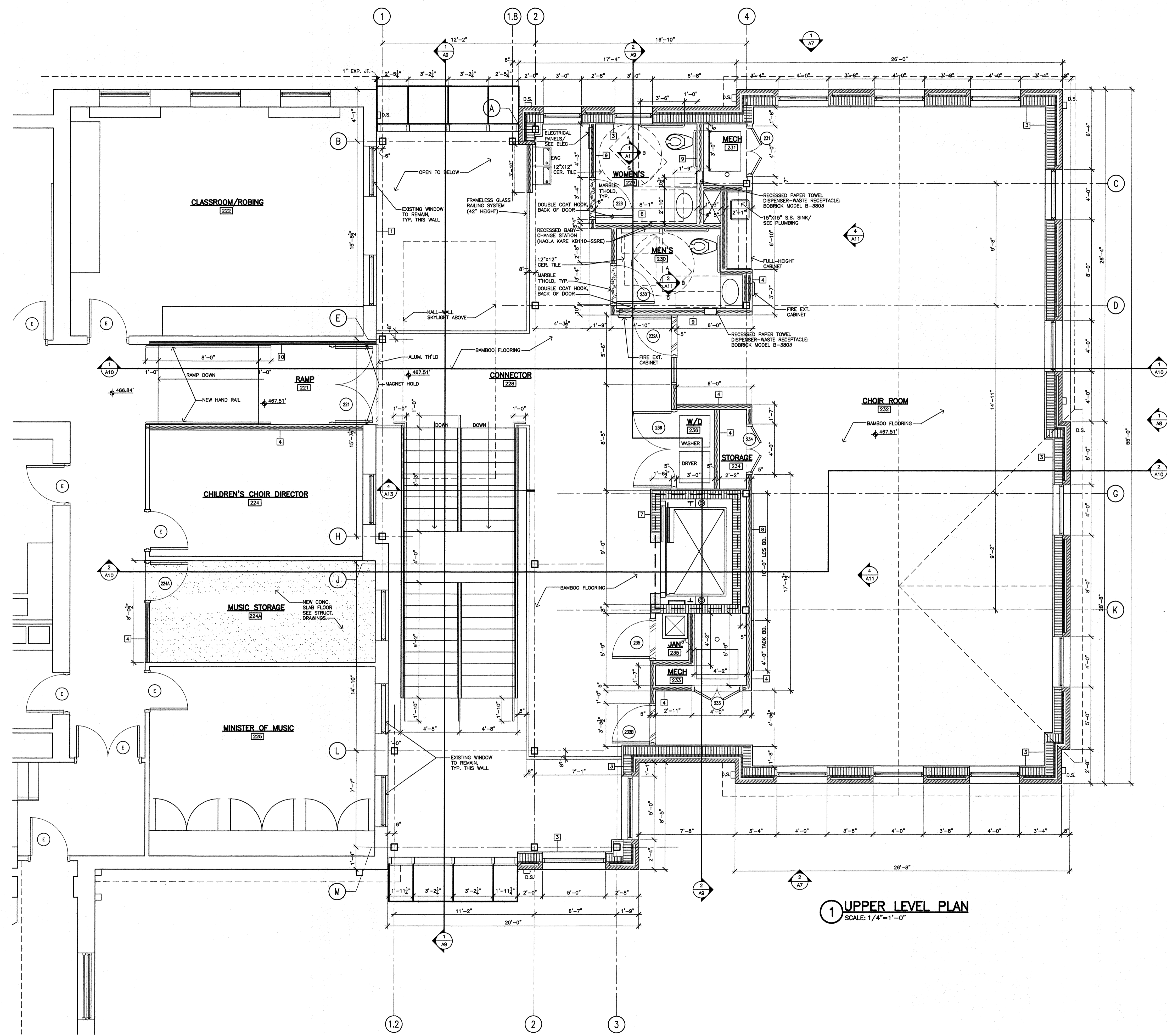
NEW WALLS

- 3 - 4" BRICK FACE EXTERIOR, 2" AIR SPACE, 2" RIGID INSULATION, VAPOR BARRIER, 8" CMU, 7/8" FURRING CHANNELS AND 5/8" GYP. BD., PAINT
- 4 - 4" MTL STUDS @ 16" O.C. W/ S.A. BATTS AND 5/8" GYP. BD. BOTH SIDES, PAINT
- 5 - 8" CMU, PAINT MATCH EXISTING
- 6 - 3 5/8" MTL STUDS @ 16" O.C. W/ S.A. BATTS AND CEMENT BD. W/ CERAMIC TILE, BOTH SIDES
- 7 - 8" CMU, 7/8" FURRING CHANNELS AND 5/8" GYP. BD., PAINT
- 8 - 4" MTL. STUDS @ 16" O.C. / S.A. BATTS 5/8" GYP. BD. PAINT
- 9 - 4" MTL. STUDS @ 16" O.C. / S.A. BATTS 5/8" GYP. BD. PAINT/CEMENT BD. W/CERAMIC TILE ONESIDE
- 10 - FURRING STRIPS AND GYP. BD. TO BE FLUSH WITH EXISTING WALL
- 11 - 4" BRICK FACE EXTERIOR, 2" AIR SPACE, 2" RIGID INSULATION, VAPOR BARRIER, 8" CMU, 7/8" FURRING CHANNELS AND CEMENT BD. W/CERAMIC TILE
- 12 - 8" CMU, PAINT



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GENERAL NOTES:

1. ALL C.M.U. WALLS TO EXTEND UP TO FLOOR OR ROOF DECK DEPENDING ON LOCATION.
2. ALL MTL. STUD & GYP. BD. WALLS TO EXTEND TIGHT TO UNDERSIDE OF FLOOR OR ROOF DECK DEPENDING ON LOCATION.
3. ALL RATED WALLS TO BE SEALED TIGHT TO ROOF DECK ABOVE WITH U.L. LISTED FIRE CAULK. FOR LARGER VOIDS AT METAL DECK FLUTES.
4. ALL C.M.U. CORNERS TO HAVE BULLNOSE EDGE.
5. ALL GYP. BD. CORNERS TO HAVE CORNER BEAD, ALL EXPOSED ENDS TO HAVE CASING BEAD.
6. SEE STRUCTURAL PLAN FOR CONCRETE SLAB THICKNESS IN DIFFERENT AREAS.
7. F.E. FIRE EXTINGUISHER CAB/ WITH COORDINATE FINAL LOCATION WITH FIRE MARSHAL.

FIRE RATING LEGEND

--- 1 HOUR FIRE BARRIER

EXISTING WALLS

- 1 - EXISTING MASONRY WALL W/ BRICK EXTERIOR AND CMU INTERIOR
- 2 - EXISTING CMU, VERIFY THICKNESS IN FIELD

NEW WALLS

- 3 - 4" BRICK FACE EXTERIOR, 2" AIR SPACE, 2" RIGID INSULATION, VAPOR BARRIER, 8" CMU, 7/8" FURRING CHANNELS AND 5/8" GYP. BD., PAINT
- 4 - 4" MTL STUDS @ 16" O.C. W/ S.A. BATTS AND 5/8" GYP. BD. BOTH SIDES, PAINT
- 5 - 8" CMU, PAINT MATCH EXISTING
- 6 - 3 5/8" MTL STUDS @ 16" O.C. W/ S.A. BATTS AND CEMENT BD. W/ CERAMIC TILE, BOTH SIDES
- 7 - 8" CMU, 7/8" FURRING CHANNELS AND 5/8" GYP. BD., PAINT
- 8 - 4" MTL STUDS @ 16" O.C. / S.A. BATTS 5/8" GYP. BD. PAINT
- 9 - 4" MTL STUDS @ 16" O.C. / S.A. BATTS 5/8" GYP. BD. PAINT/CEMENT BD. W/CERAMIC TILE ONESIDE
- 10 - FURRING STRIPS AND GYP. BD. TO BE FLUSH WITH EXISTING WALL
- 11 - 4" BRICK FACE EXTERIOR, 2" AIR SPACE, 2" RIGID INSULATION, VAPOR BARRIER, 8" CMU, 7/8" FURRING CHANNELS AND CEMENT BD. W/CERAMIC TILE
- 12 - 8" CMU, PAINT



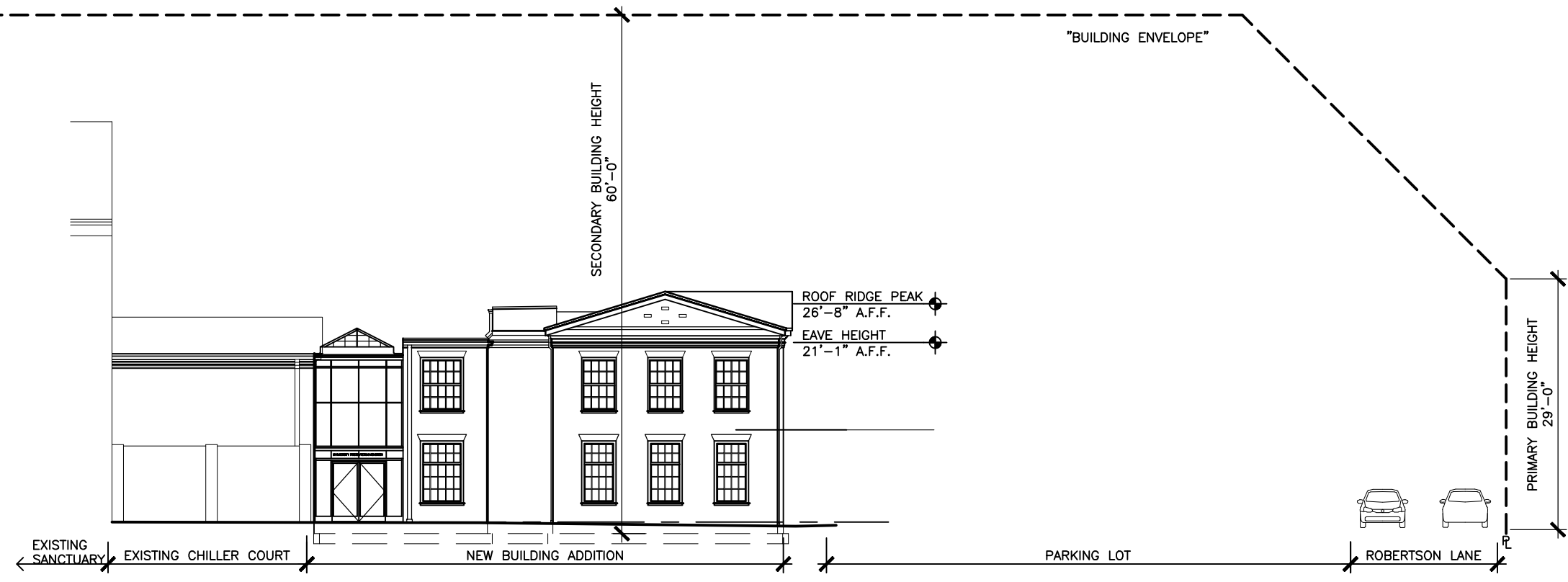
Aerial View from Rosemary Street



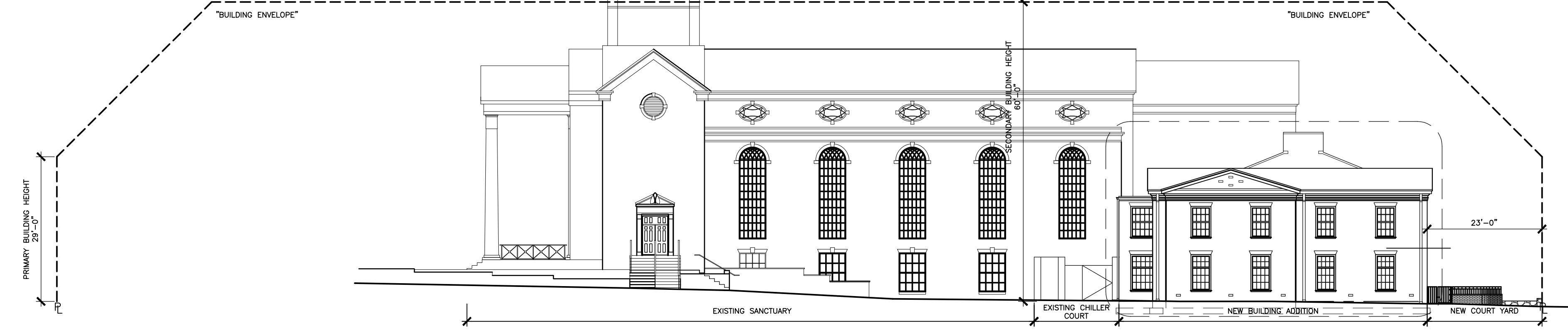
Street View from Rosemary Street

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BUILDING ENVELOPES



2 FRANKLIN STREET SOUTH ELEVATION
 SCALE: 1/16"=1'-0"

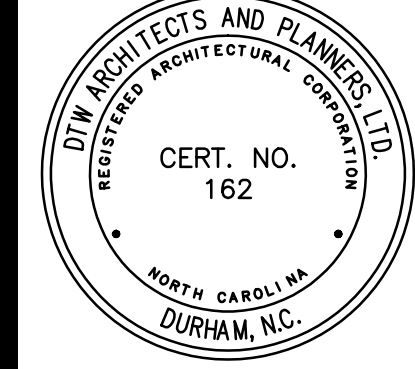


3 ROBERTSON STREET EAST ELEVATION
 SCALE: 1/16"=1'-0"

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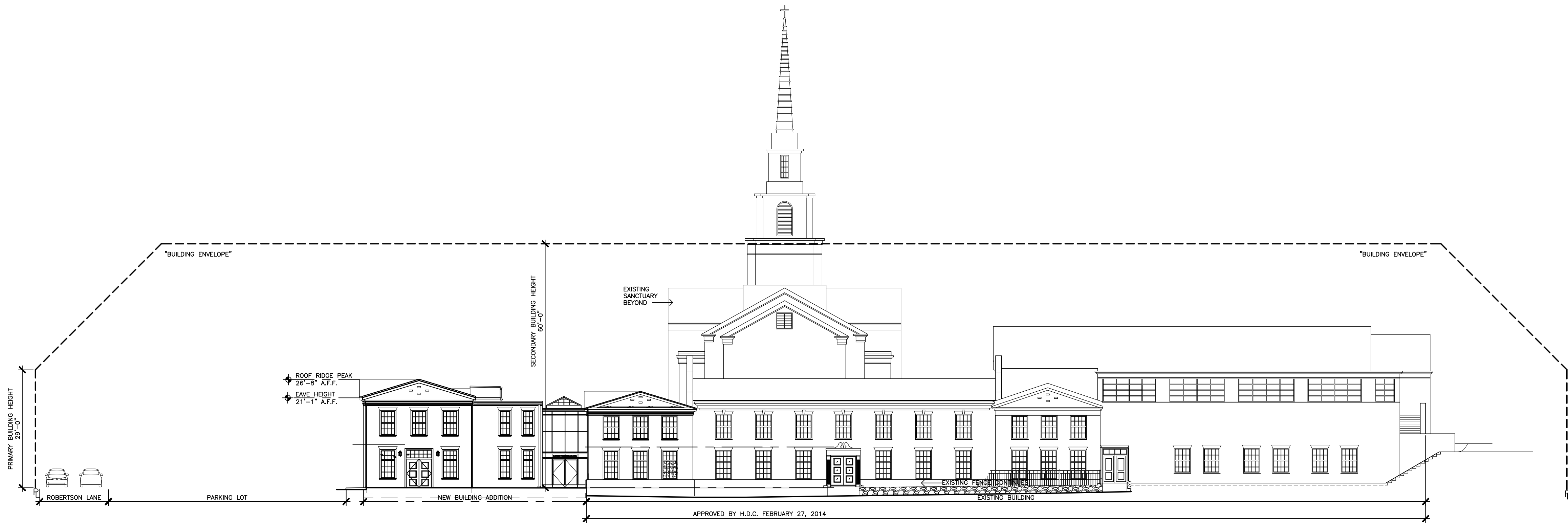


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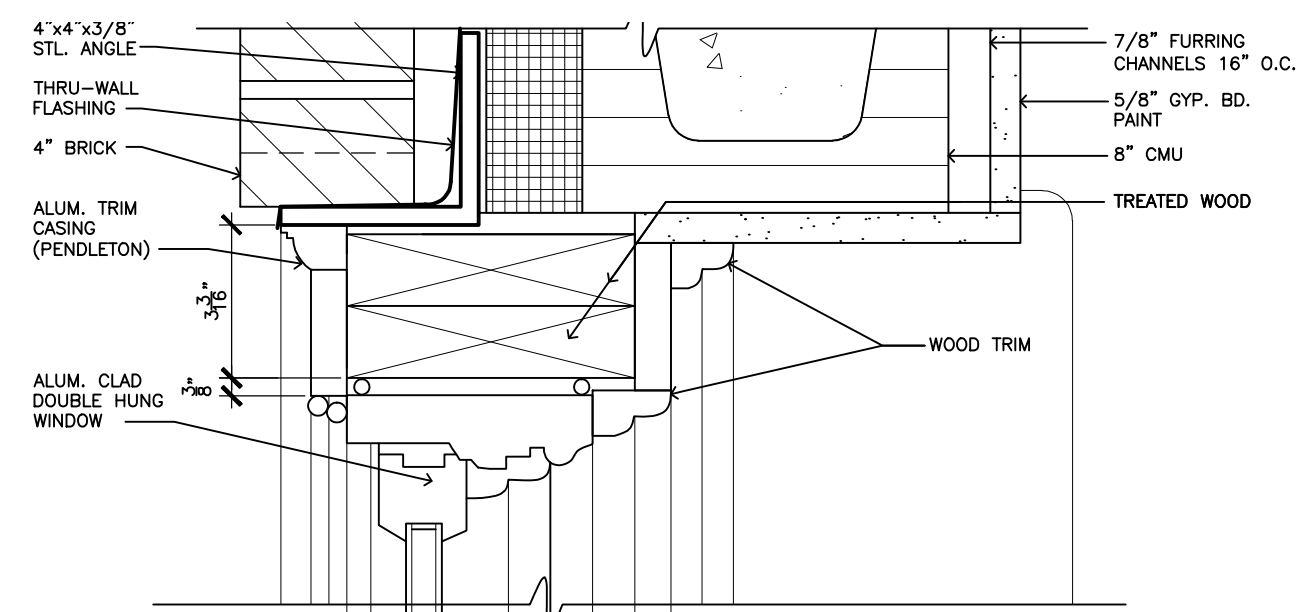
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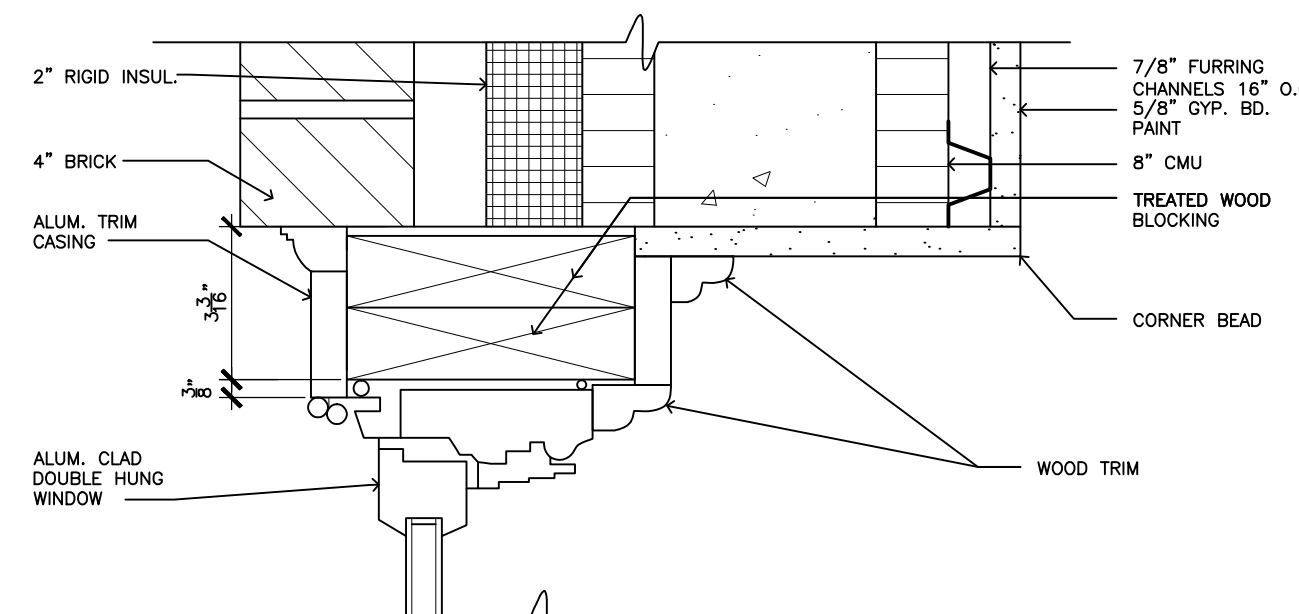


1 ROSEMARY STREET NORTH ELEVATION
 SCALE: 1/16"=1'-0"

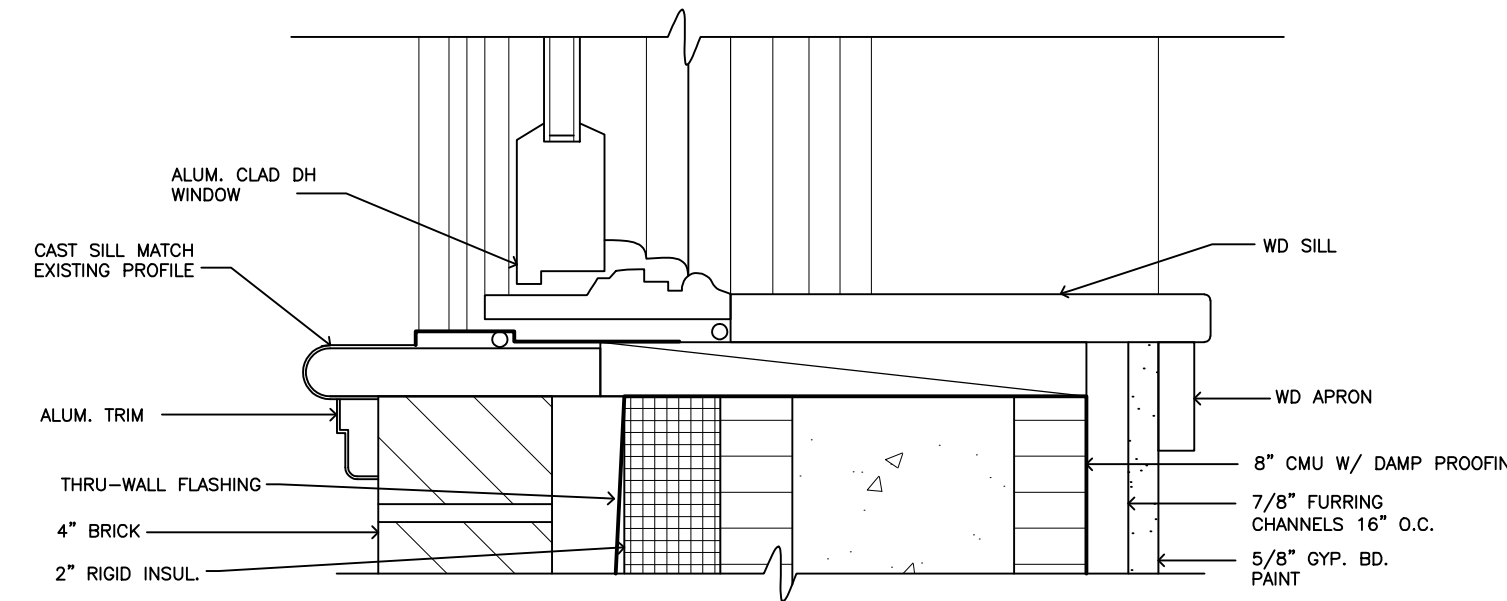
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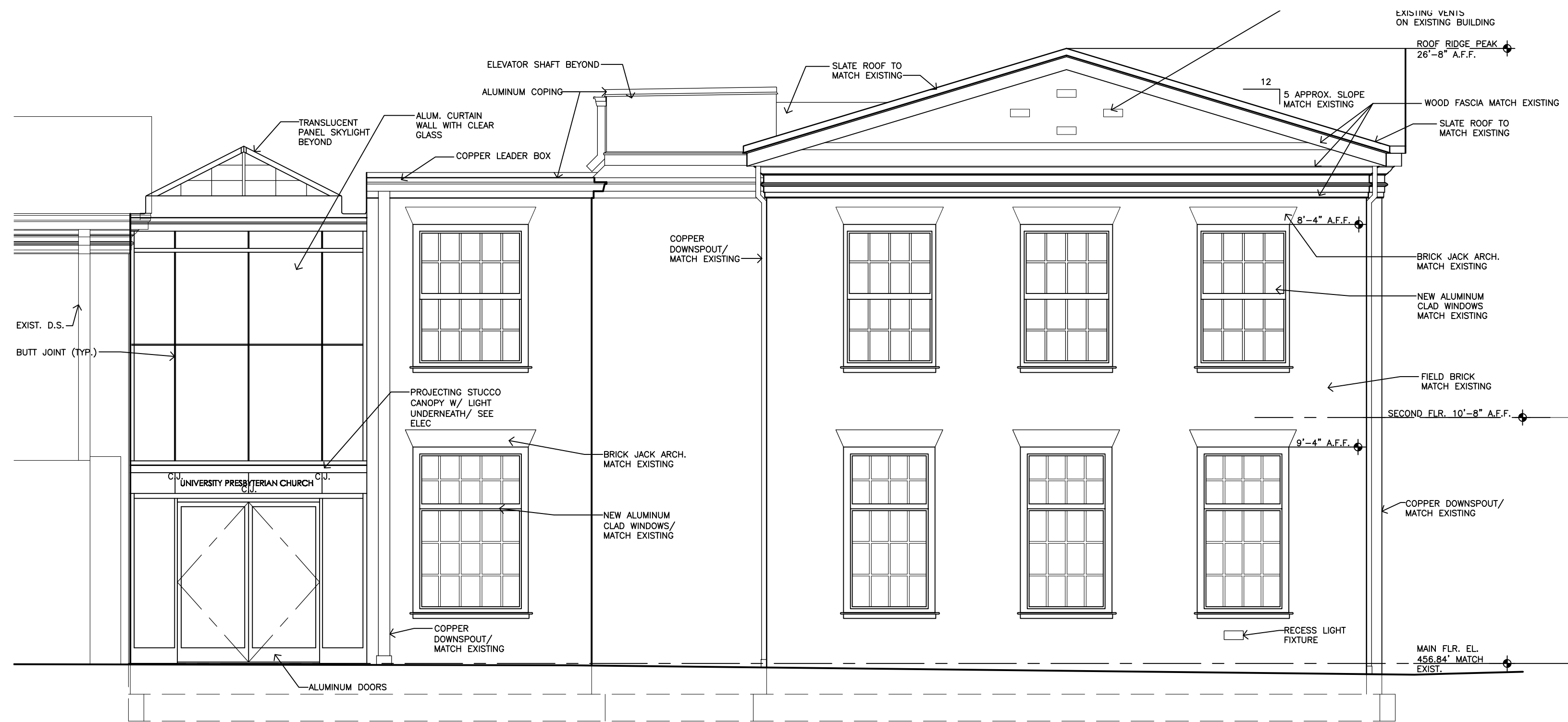
3 WINDOW HEAD DETAIL
SCALE: 3"=1'-0"



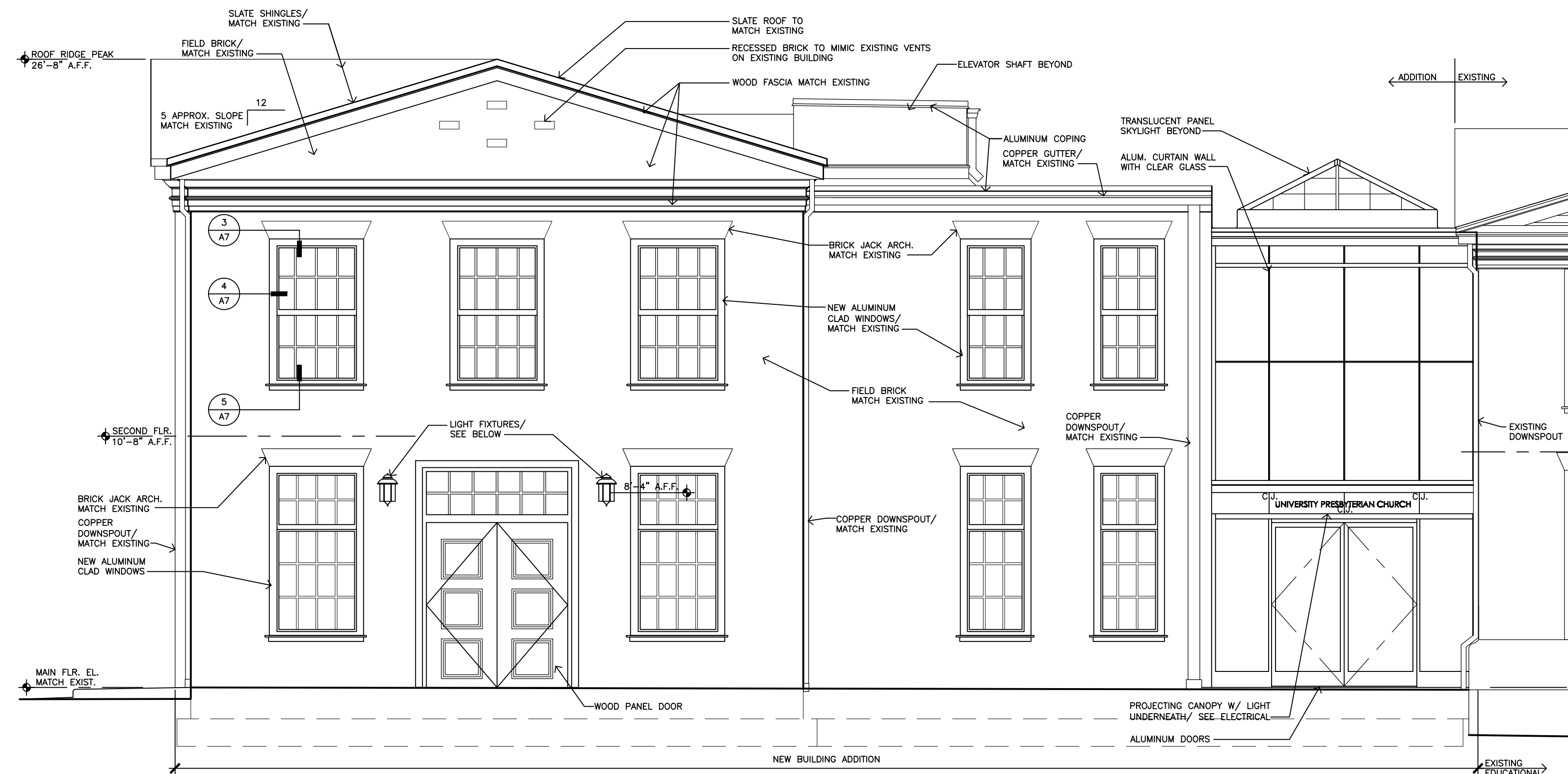
4 WINDOW JAMB DETAIL
SCALE: 3"=1'-0"



5 WINDOW SILL DETAIL
SCALE: 3"=1'-0"



2 FRANKLIN STREET SOUTH ELEVATION
SCALE: 1/4"=1'-0"



1 ROSEMARY STREET NORTH ELEVATION
SCALE: 1/4"=1'-0"

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**ROSEMARY ST, FRANKLIN ST,
ELEVATIONS & DETAILS**

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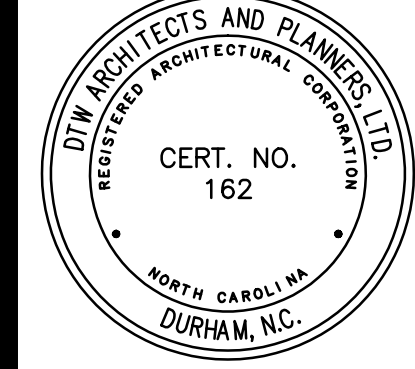
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**ROSEMARY STREET,
ROBERTSON LANE
ELEVATIONS**

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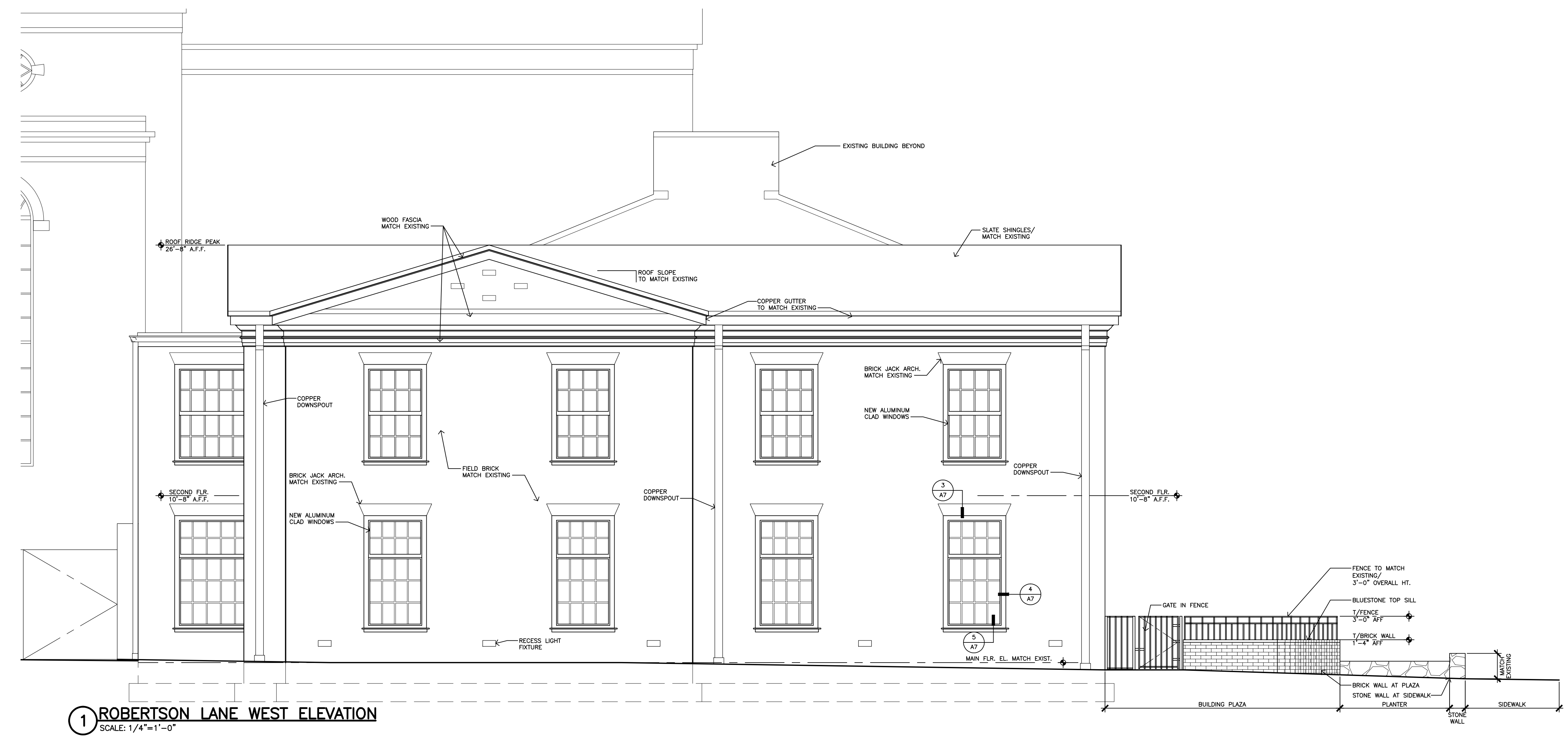
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2 ROSEMARY STREET PLAZA ELEVATION
SCALE: 1/4"=1'-0"



1 ROBERTSON LANE WEST ELEVATION
SCALE: 1/4"=1'-0"

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BUILDING SECTIONS AND WALL SECTION

ADDITION for

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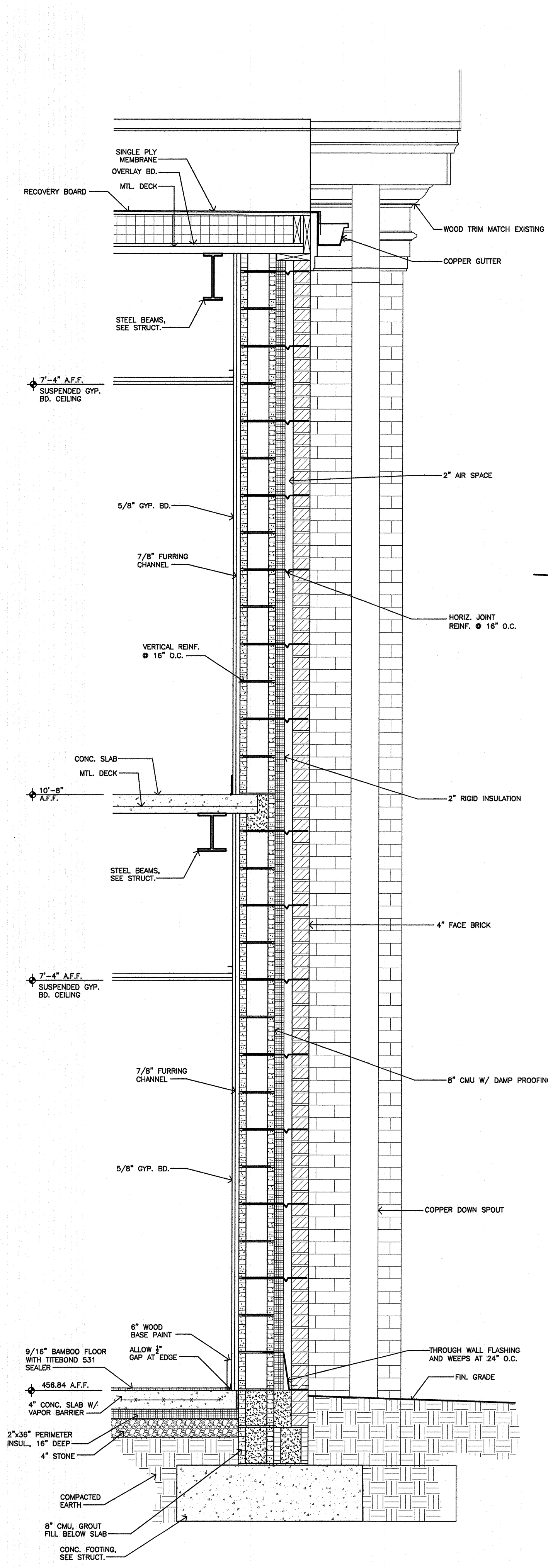
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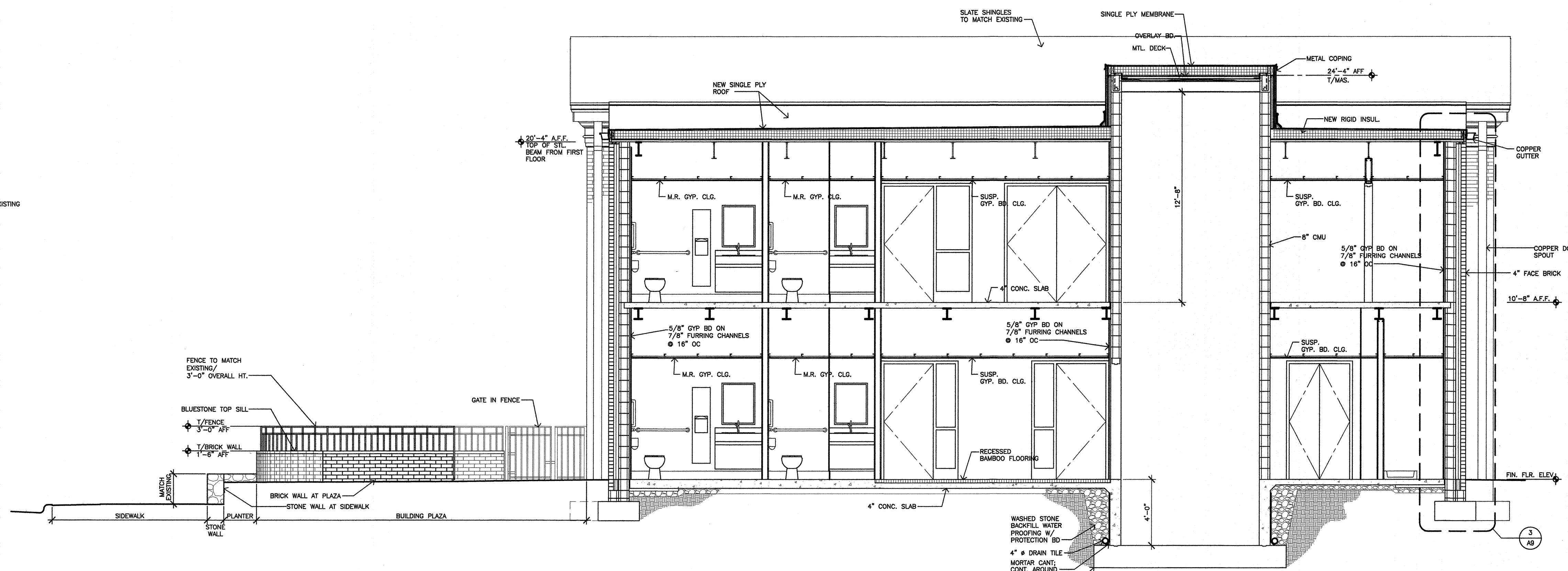


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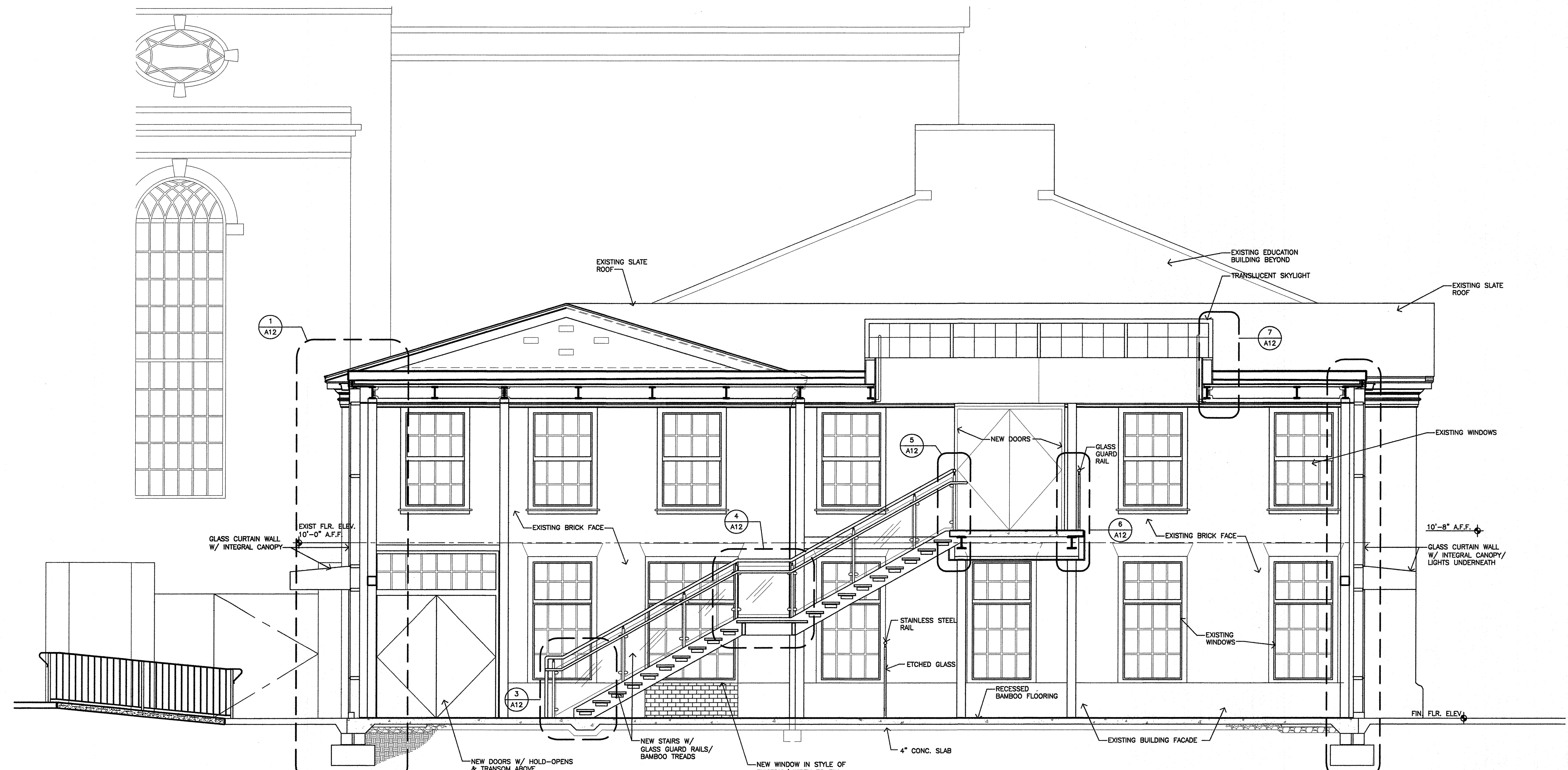
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3 WALL SECTION
SCALE: 3/4"=1'-0"



2 LONGITUDINAL SECTION
SCALE: 1/4"=1'-0"

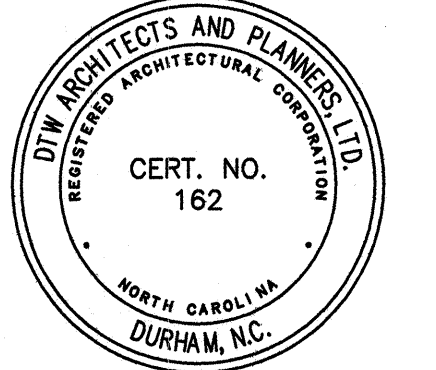


1 LONGITUDINAL SECTION
SCALE: 1/4"=1'-0"

ADDITION for
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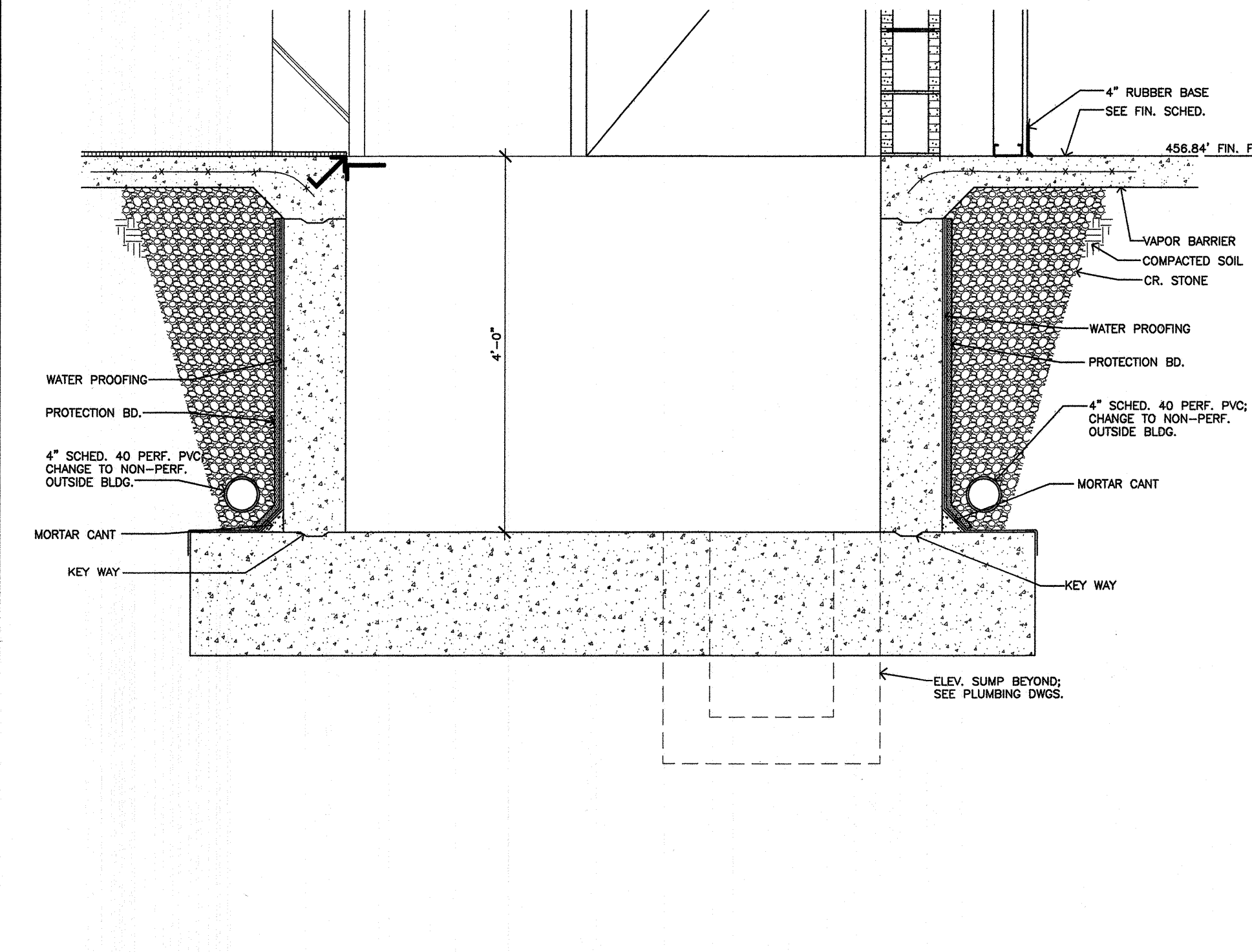
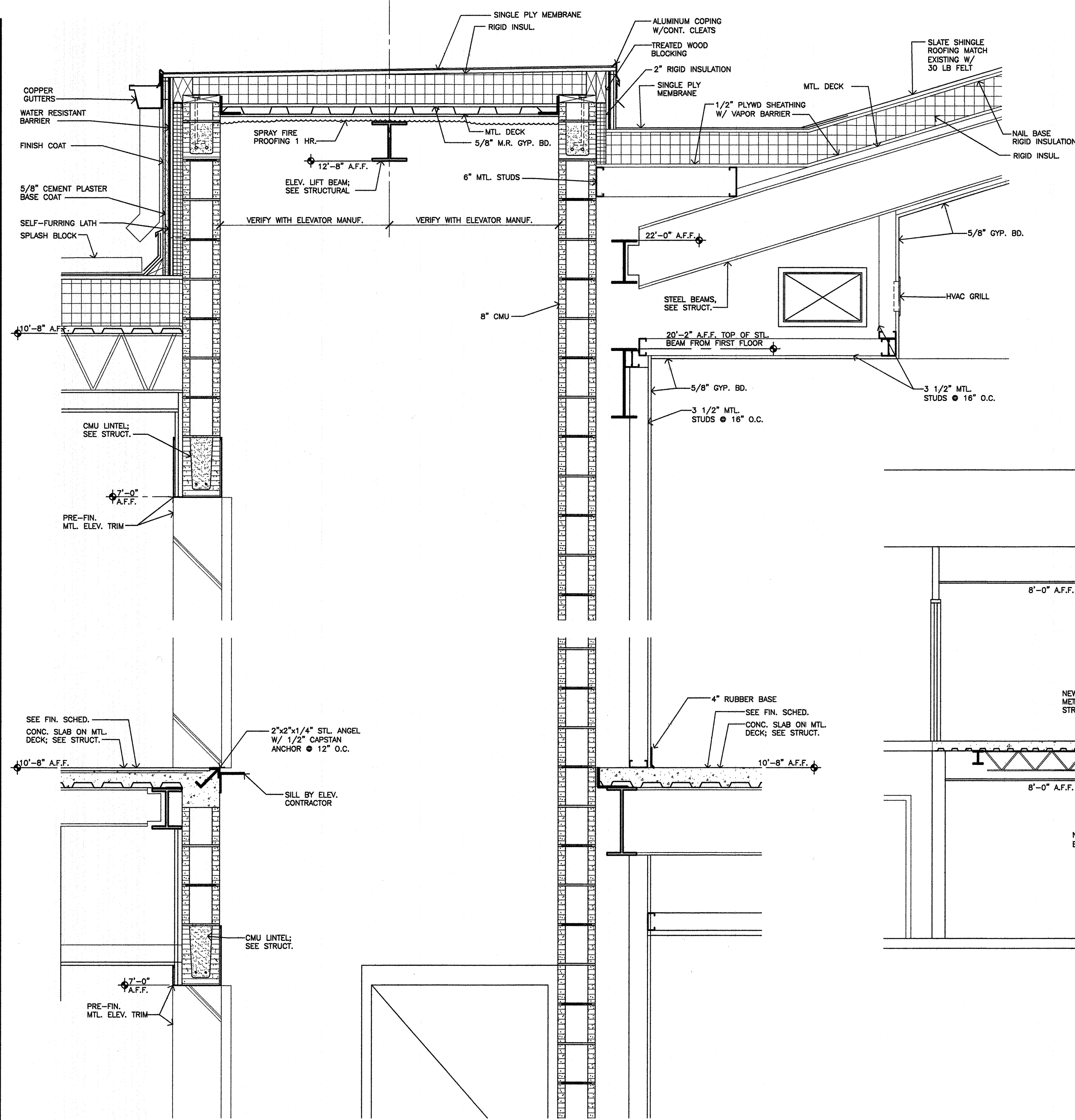
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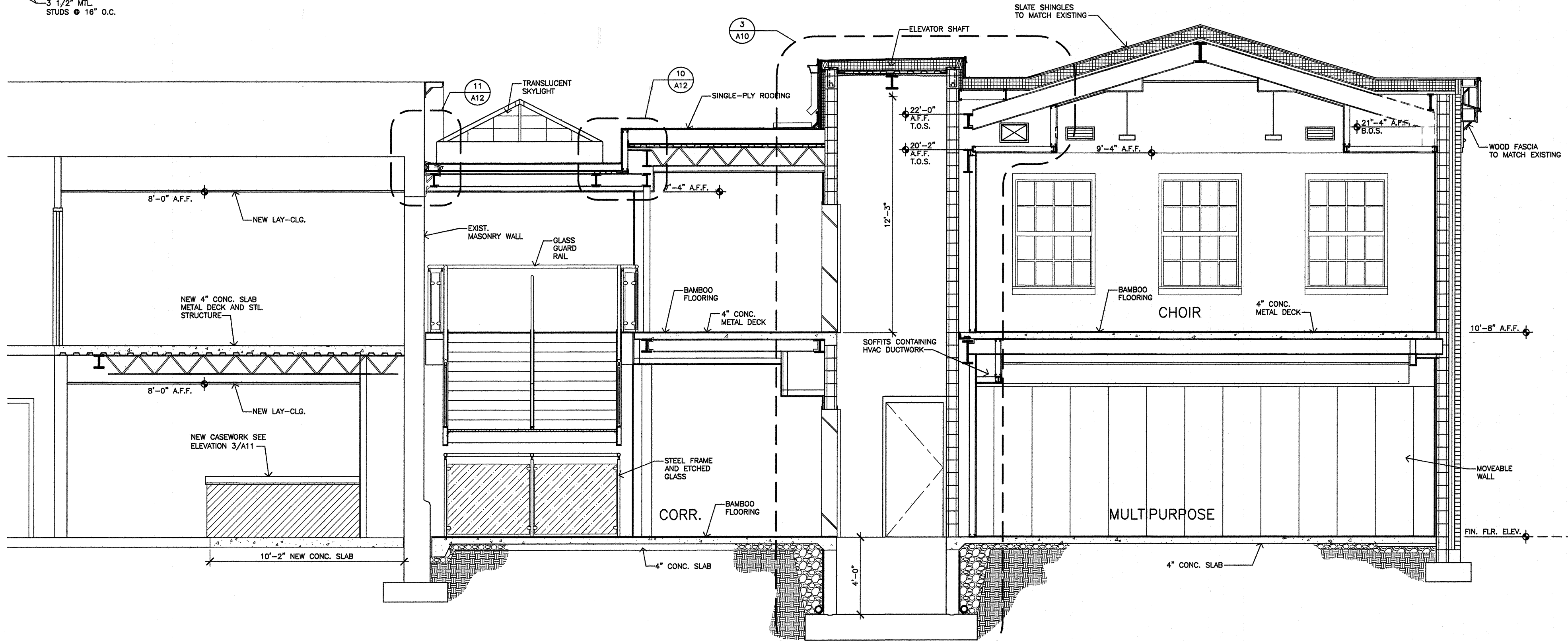
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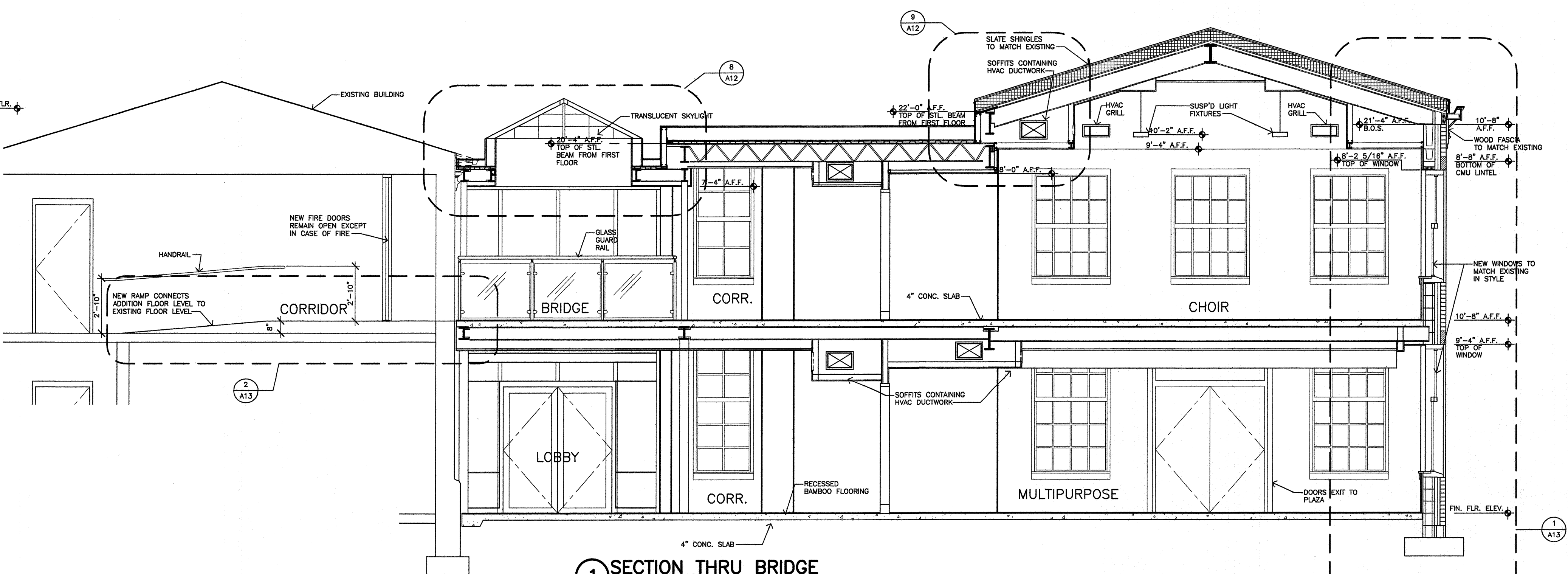
A10



3 SECTION THRU ELEVATOR
SCALE: 3/4"=1'-0"

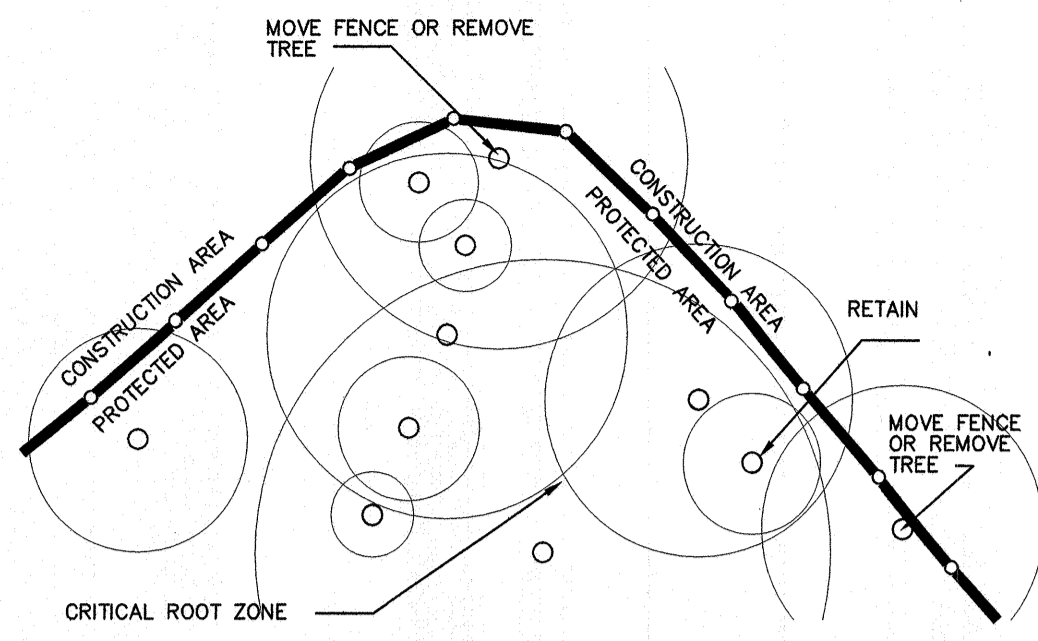


2 SECTION THRU CHOIR & MULTIPURPOSE
SCALE: 1/4"=1'-0"

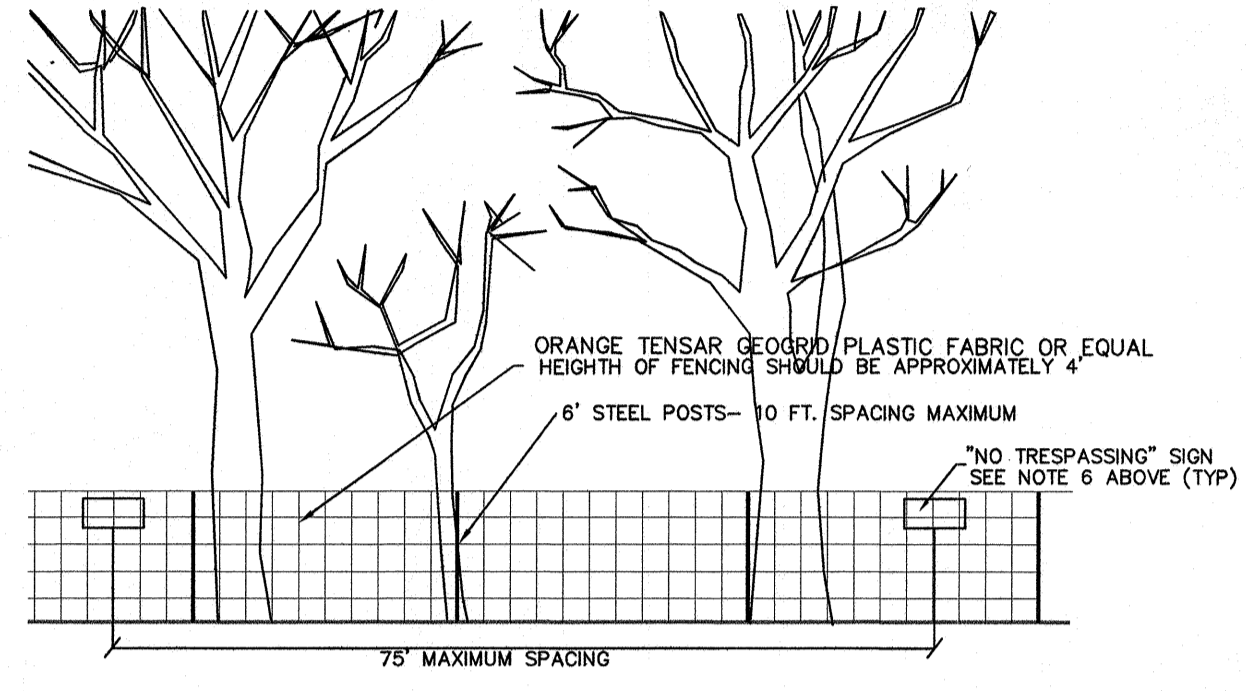


1 SECTION THRU BRIDGE
SCALE: 1/4"=1'-0"

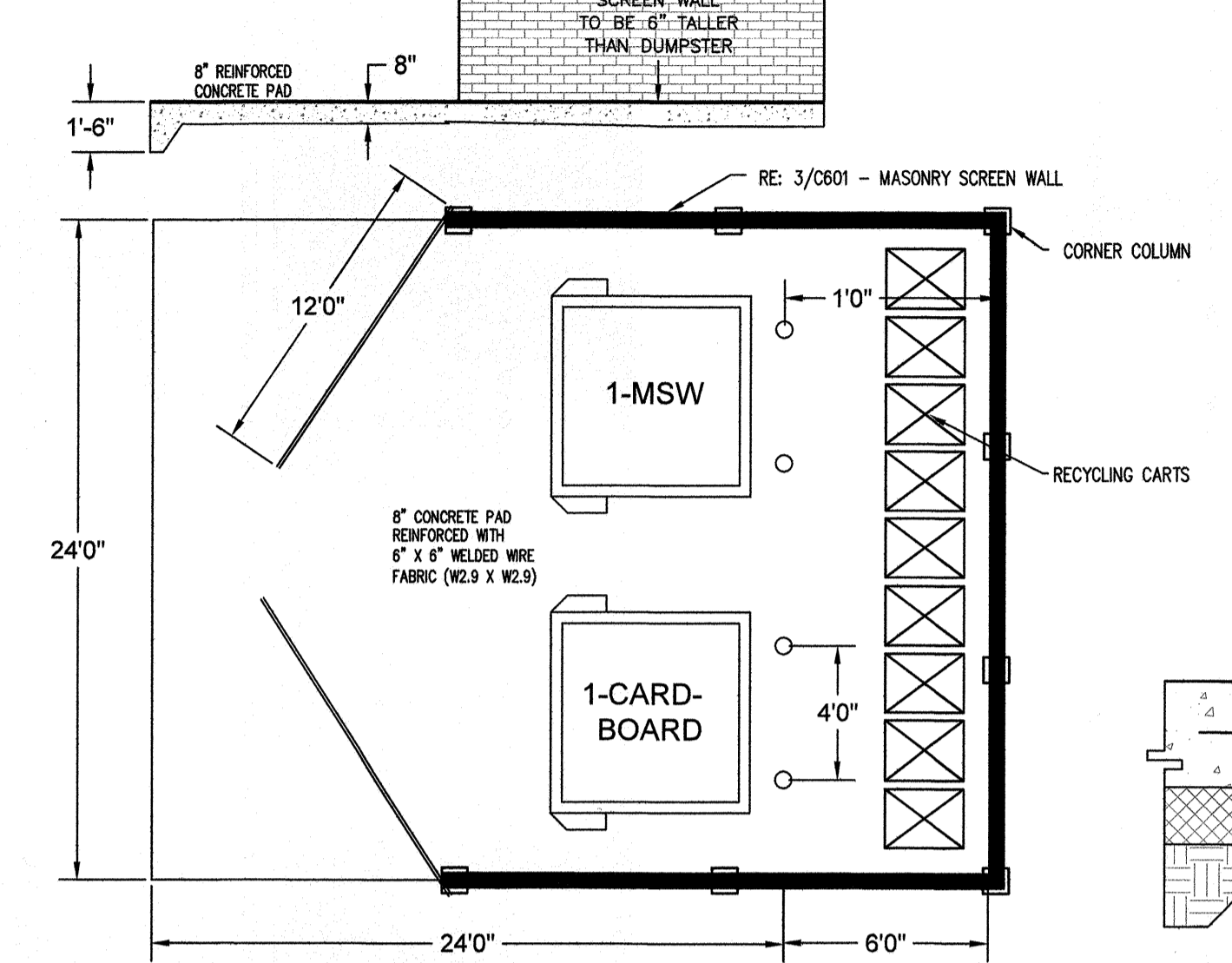
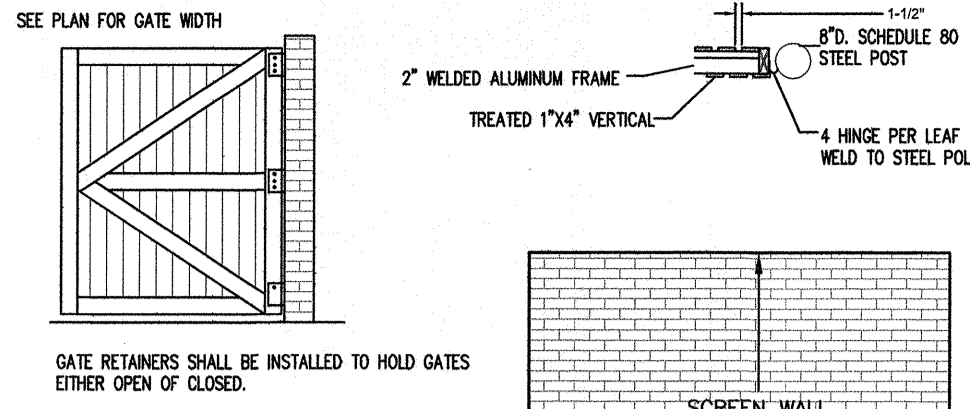
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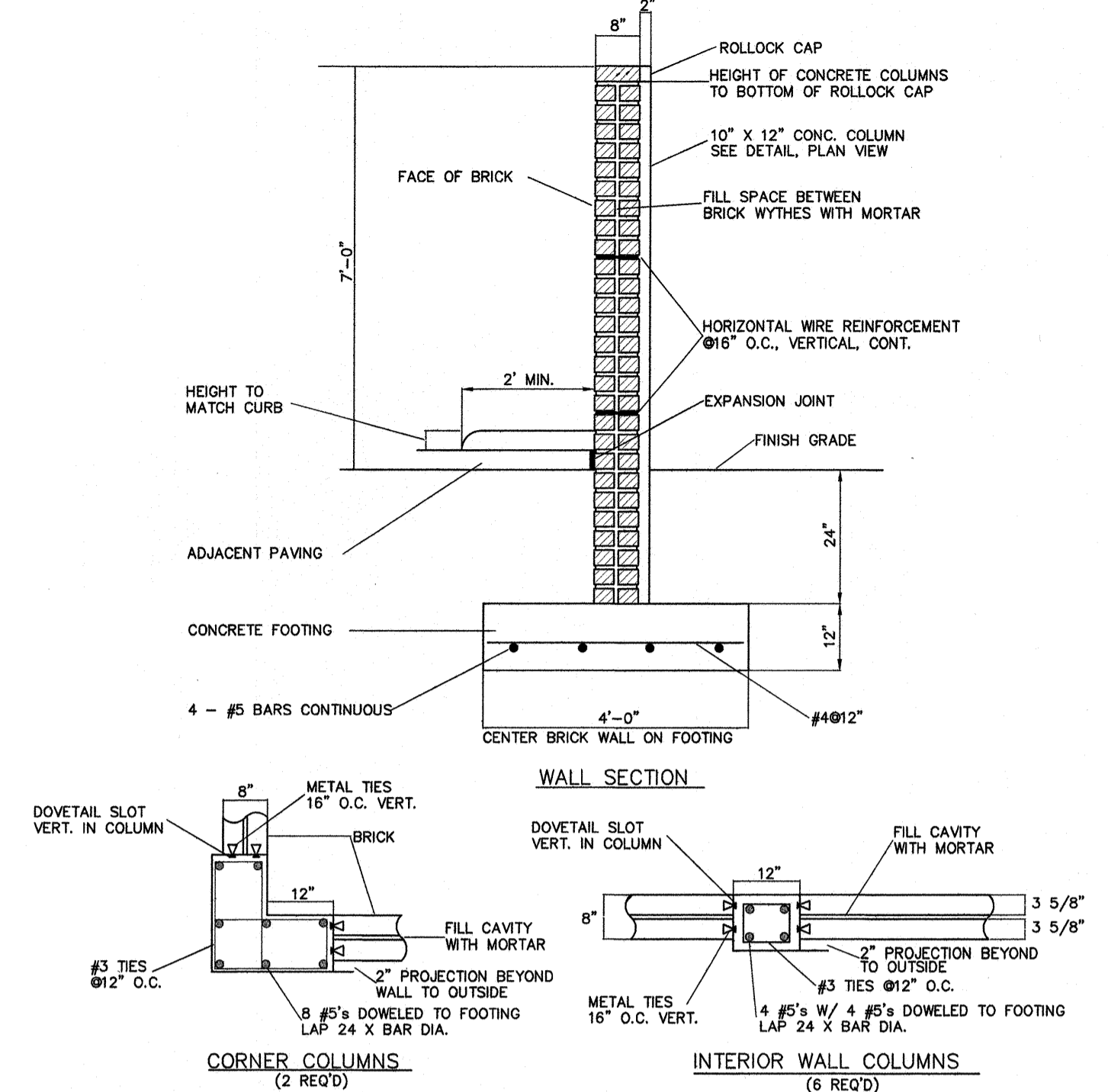
- NOTES:
1. MOVE FENCE OR REMOVE TREE IF MORE THAN 20% OF A TREE'S CRITICAL ROOT AREA IS UNPROTECTED.
 2. ROOT PRUNE TREES TO REMAIN WHERE CONSTRUCTION ACTIVITIES WILL SEVER ROOTS.
 3. ANY TREE ROOTS EXPOSED BY CONSTRUCTION SHALL BE SEVERED CLEANLY WITH A PRUNING TOOL.
 4. DO NOT DISPOSE OF ANY CHEMICALS OR REMOVE SOIL OUTSIDE THE LIMITS OF WORK.
 5. WHEN INSTALLING NEW LANDSCAPE PLANTS, DO NOT DRIVE EQUIPMENT UPON OR DISTURB THE SOIL WITHIN THE CRITICAL ROOT ZONE OF EXISTING TREES.
 6. SIGNAGE MUST BE PLACED ON TREE PROTECTION FENCING WITH A MINIMUM MINIMUM SPACING OF 75' O.C. TO READ "TREE PROTECTION AREA - NO TRESPASSING WITHIN THE FENCE".



1 TREE PROTECTION FENCING
1" = 4'-0"



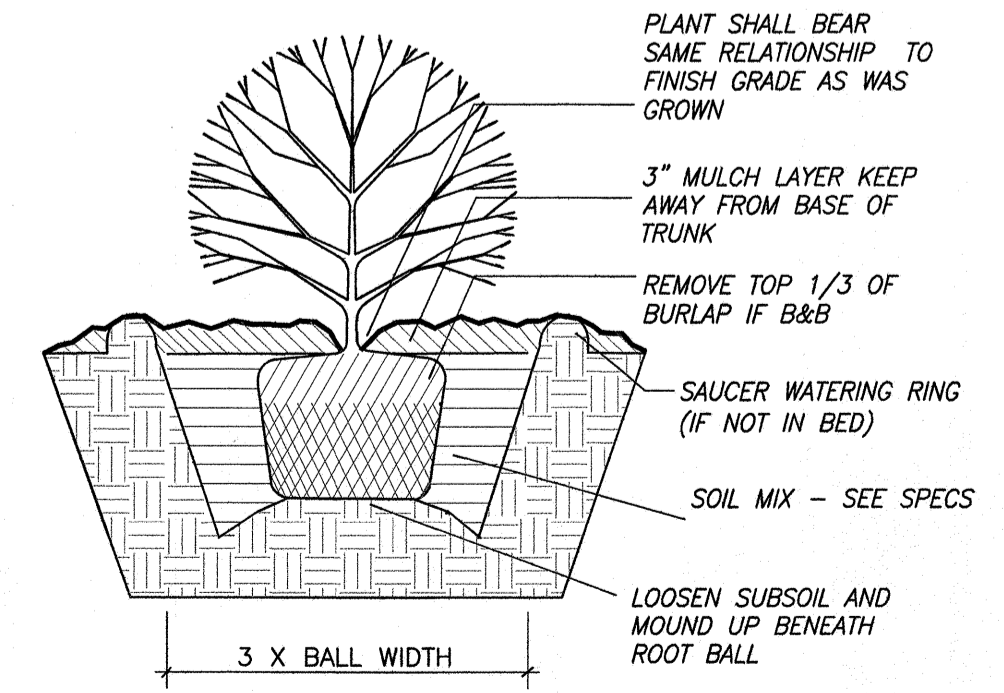
2 DOUBLE DUMPSTER
NOT TO SCALE



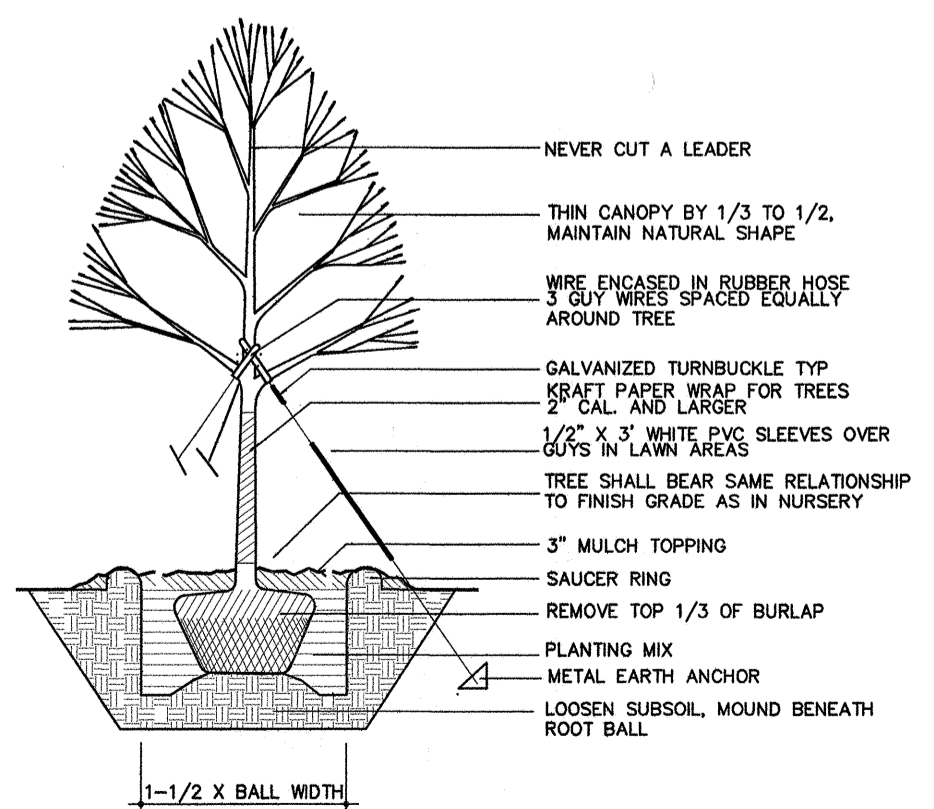
3 MASONRY DUMPSTER SCREEN WALL
NOT TO SCALE

4 SITE DETAIL
NO SCALE

REFER TO ARCHITECTURAL FOR WALL DETAILS



6 SHRUB DETAIL
NO SCALE



7 TREE PLANTING DETAIL
NO SCALE

8 SITE DETAIL
NO SCALE

5 SEAT WALL
NO SCALE

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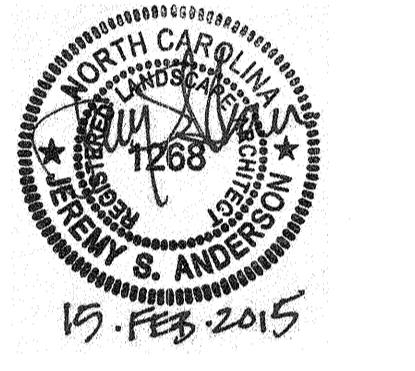


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University Presbyterian Church

Chapel Hill, NC

SITE DETAILS

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