



Certificate of Appropriateness Supplemental Requirements

***In addition to Residential Zoning-Building OR Admin Zoning Compliance Permit Requirements**

Certificate of Appropriateness applications are subject to review and approval by the Historic District Commission as well as by Town staff. For assistance with this application, please contact the Chapel Hill Planning Department.

Please submit all materials listed on this sheet, in addition to all materials listed on the Residential Zoning-Building Permit Application Requirements handout, no later than the **2nd Thursday of the month before 4:00pm**. Materials must be collated and folded to fit into a 12"x 15" envelope. The Historic District Commission meets on the second Thursday of each month. For confirmation of a meeting date and the placement of your request on the agenda, please call the Planning Department.

Required Application Materials

(In addition to Residential Zoning-Building Permit Requirements)

An Electronic copy of each document is required in addition to paper copies.

Provide a single set of the following materials:

- | | |
|-----|---|
| X | 1. Recorded plat or deed verifying property current ownership |
| n/a | 2. Recorded Plat of easements, right-of-way, and dedications, if applicable |
| X | 3. Mailing of Property Owners , applicable within 100 feet of property boundaries
The Town will prepare a formal notice to be mailed to surrounding property owners about the application. You may find it helpful to discuss the proposed changes with your neighbors in person so you can address their concerns both in your planning and presentation. |
| n/a | 4. Stamped & addressed envelopes to above mailing list with Town address as return address, if applicable. |

Provide 10 collated sets of the following for the Historic District Commission:

- | | |
|-----|---|
| X | 5. Reduced Site Plan Set (reduced to 8.5"x11") |
| X | 6. Building Elevation (label building height from top of roof to finished grade line) |
| n/a | 7. Floor Plan, only if accessory apartment or within Neighborhood Conservation District |
| X | 8. Written Description |

Describe all proposed changes to the property, list all materials to be used, and address the criteria (listed below) that the Commission uses to determine appropriateness. Presenting your proposal with these criteria in mind will provide a clear basis for the Commission's deliberations.

- a) The height of the building in relation to the average height of the nearest adjacent and opposite buildings;
- b) The setback and placement of the building on the lot in relation to the average setback and placement of the nearest adjacent and opposite buildings;
- c) The exterior construction materials, including textures and patterns;
- d) The architectural detailing such as lintels, cornices, brick bond, and foundation materials;
- e) The roof shape, form, and materials;
- f) The proportion, shape, location, pattern, and size of any elements of fenestration (windows, doors);
- g) The general form and proportion of the buildings;
- h) The accessory fixtures and other features (including lighting fixtures, hardware, awnings, etc);
- i) The architectural scale in relation to existing structures and surrounding buildings; and
- j) Structural conditions and soundness.

Provide photographs of existing property and elevation drawings of the proposed changes. Depict changes in as much detail as possible, paying special attention to those features which the Commission uses to determine appropriateness. This section of the application allows the Commission to see the current state of the property, to visualize the proposed changes, and to assess the impact. The visual description must include dimensions. For new buildings and major additions, the visual description must include the interior floor plan.

X

9. Information Regarding Surrounding Properties

For new construction or large projects, the applicant is required to provide information on:

- The height of the nearest adjacent and opposite buildings;
- The setback and placement of the nearest adjacent and opposite buildings;
- The scale of the nearest adjacent and opposite buildings, including percentage of lot coverage.

X

10. Demolition Information (if applicable)

Provide a description of architectural features, additions, remodeling, and any alterations to the structure(s). Make note of any outbuildings on the site plan of the property. Provide a history of the structure, giving the construction date and architect or carpenter, briefly noting any significant events, persons and/or families associated with the property.

Provide current exterior photographs of the property.



3 / 10/ 15

WRITTEN DESCRIPTION

724 GIMGHOUL

The following descriptions of the proposed improvements address Criteria Items A thorough J:

- A. The average height of the existing structure located at 724 Gimghoul is approx. 29'-8" relative to the natural grade. The adjacent houses are equal or exceed in height with the exception of one residence, the Twins' house, opposite. It is smaller in height and width.
- B. The setback and placement of the residence is comparable in relation to the adjacent buildings.
- C. The exterior construction materials will be in keeping with the brick veneer of the existing structure, and where it differs it is in keeping with the style of the existing home. The addition is predominantly brick veneer, with a small addition of vertical clapboard on the rear and east portion of the proposed new construction, and will be painted to match existing. All guttering style will match existing, and will be half round copper gutters with matching downspouts. The existing home does not have original shutters and current ones are incorrect in design, size and length. Therefore, shutters will be replaced with appropriate true bevel louvered shutters, including authentic shutter stops, hinges, and holdbacks.

A low stone wall (around 18 inches high), built of Chatham stone, will be constructed along the property frontage, to blend in with the walls of adjoining properties.

The rear of the property, which is currently open, will be regraded to level off the back yard for a multipurpose play area. A stone-faced retaining wall across the back property line will be needed in order to retain the soil. To minimize the impact of the wall height due to the 7-foot grade change, the wall is proposed to be a two-tiered terrace wall. The upper wall will be less than 30 inches in height, to avoid the need for a railing, and a planting strip will be installed between the two tiers. The stone will match the appearance of Chapel Hill native stone. There are precedents for this type of wall throughout the neighborhood.

A portion of the driveway adjacent to the garage will be paved with concrete unit pavers. The upper portion of the driveway nearest the street and the parking area will be surfaced with Delaware Blend gray-brown pea gravel.

- D. The architectural detailing will be similar to or will match the existing home by remaining true to the time period in which the existing home was constructed. Cast stone window sills and cast stone lintels will be carried into the new addition as will the Flemish bond pattern of the veneer brick. The cornice details will match the existing, however will be slightly smaller in certain areas where scale of addition demands it to be sized down.
- E. To minimize the impact of the newly constructed addition from the street view, the design of the roof is hipped and at a lower pitch to the existing. Examples of a hipped roof in conjunction with a gable roof are shown on several houses on the street. The roofing material of existing house will be replaced due to wear and tear, and will be slate. Due to age of the existing home, the original roof has been replaced with a 3 tab asphalt shingle. The new addition will have a standing seam aged copper roof. All seams will be “broke” by hand – not a manufactured product. (see item F for reference to shed dormer.)
- F. The front door of the home is to remain. All windows in the home are a combination of push-out casements and double hung style, and will be replaced using matching casings and historical sills. The window muntins will match exactly in size and lite pattern. No windows on the front are altered in style and location in any way. The addition will use the same combination of window styles with muntins and lite pattern matching. There is an additional change to front elevation with a shed roof addition on the west side of gabled roof. It incorporates two windows and allows for code required movement from 2nd floor to attic area, which will now be finished off as TV viewing area, closets, storage, and mechanical.

The east side elevation is showing the addition of garage and room above. The look of the front existing house will continue over, with brick, stone headers and sills. In this elevation, you get the first glimpse of the “stair tower” which encompasses a stair from lower level to 1st floor. Given the narrowness and depth of the existing home, the east façade was determined to be the ideal place for the newly constructed garage and first floor bedroom. This enabled the efficient use of lower level space to create a garage that tucks cars out of sight while minimizing the overall footprint. Furthermore, this creates a more practical interior flow compared to isolating the new construction solely to the rear of the existing home.

The, south facing, rear of house has used the existing architecture and details. In the center of the rear of the home are existing brick columns in which we have incorporated windows for the kitchen, and windows that allow light into a lower level mudroom and playspace. The new sunroom on east corner is located where the old

deck stood, which had deteriorated and was not original to the home. The sunroom is very befitting of the house style. It carries around to the west elevation.

The west elevation changes are few, other than the continuance of the Sunroom. There is a change in a basement window on that side to match with window above and for it to be egressable. All other existing windows are replaced and are identical in style and lite pattern.

- G. It was the intent of the addition design to be as compact as possible. The addition sets back approx. 9 ft. from front plane and another 2'8" at the break after the picture window, and extends only 15'-4" beyond existing house towards the east. With the requirements of a normal functioning garage below, the remainder of workable garage is achieved by extending into existing basement by approx. 9 ft. From the street view, it does not appear to "house a garage". This also accomplished a setback on west side of 27+ ft. Extra attention was paid so the addition does not "outweigh" the existing home.
- H. The front porch lighting electrical fixtures will be replaced with Bevolo gas lanterns of approx. 13" width in an aged copper finish. There will be one accessory building, a potting shed. The Potting Shed, located in rear west corner of property, is a simple structure with a copper roof. The windows are of same style as main house and so are the shutters. The exterior material is bevel back siding to match exactly material used on the original house. The front entry will be heart pine door with 24 in porch overhang supported by brackets on each side. The cornice @ roof is a scaled down version on what is currently on the house. The left side, east elevation is shown and the west elevation is identical. Both gable end elevations have a double hung window, a Bahama style shutter, and a window box (flower box) below. The south elevation has no windows – you only see a power line easement. Above gable window is a triangular window for additional light. This adds a bit of interest to just a simple structure. The stoop and flooring will be brick on slab. It will be painted identical to house.
- I. Because of the limited scope and size of work impacting the front, the proposed addition will not significantly alter the architectural scale of home in relation to the surrounding buildings.
- J. Structurally the home is in very fine condition.

SITE NOTES:

- Property is located at 724 Gimghoul Rd, Chapel Hill, NC
Net land Area = 20,023 s.f./.459 acres.
P.I.N 9788-86-2824
Zoning - R-1
H-D Overlay
- The base map is from survey of property by Freehold Land Surveys, Carrboro, NC dated NOVEMBER 24, 2014 Gimghoul-Piney Prospect Development
- Easements - as shown on survey.
- There is no RCD on the property.
- Topography on site is from survey. Contours shown are 1' intervals. Topography on adjoining properties is from GIS data (not survey quality) and is shown for information purposes only.
- Existing significant trees shown from Survey. Not all site utilities and landscape features are not survey quality. Contractor to confirm all site measurements.

EXISTING IMPERVIOUS SURFACE

HOUSE:	1,023 SQ. FT.
PORCH:	84 SQ. FT.
BRICK WALK:	142 SQ. FT.
GRAVEL DRIVEWAY:	2,335 SQ. FT.
TOTAL:	3,584 SQ. FT.

Lot Area: 20,023 SQ. FT.
Percent of Lot Area: ~18 %

Hock Residence
TANNER and MIMI G. HOCK
724 GIMGHOUL RD.
CHAPEL HILL, NC

PROPERTY ADDRESS:
724 GIMGHOUL ROAD
P/O LOT 10, GIMGHOUL
PINEY PROSPECT
PIN: 9788-86-2824
PLAT BOOK REFERENCE:
01-51 DEED BOOK
REFERENCE: 5864-443

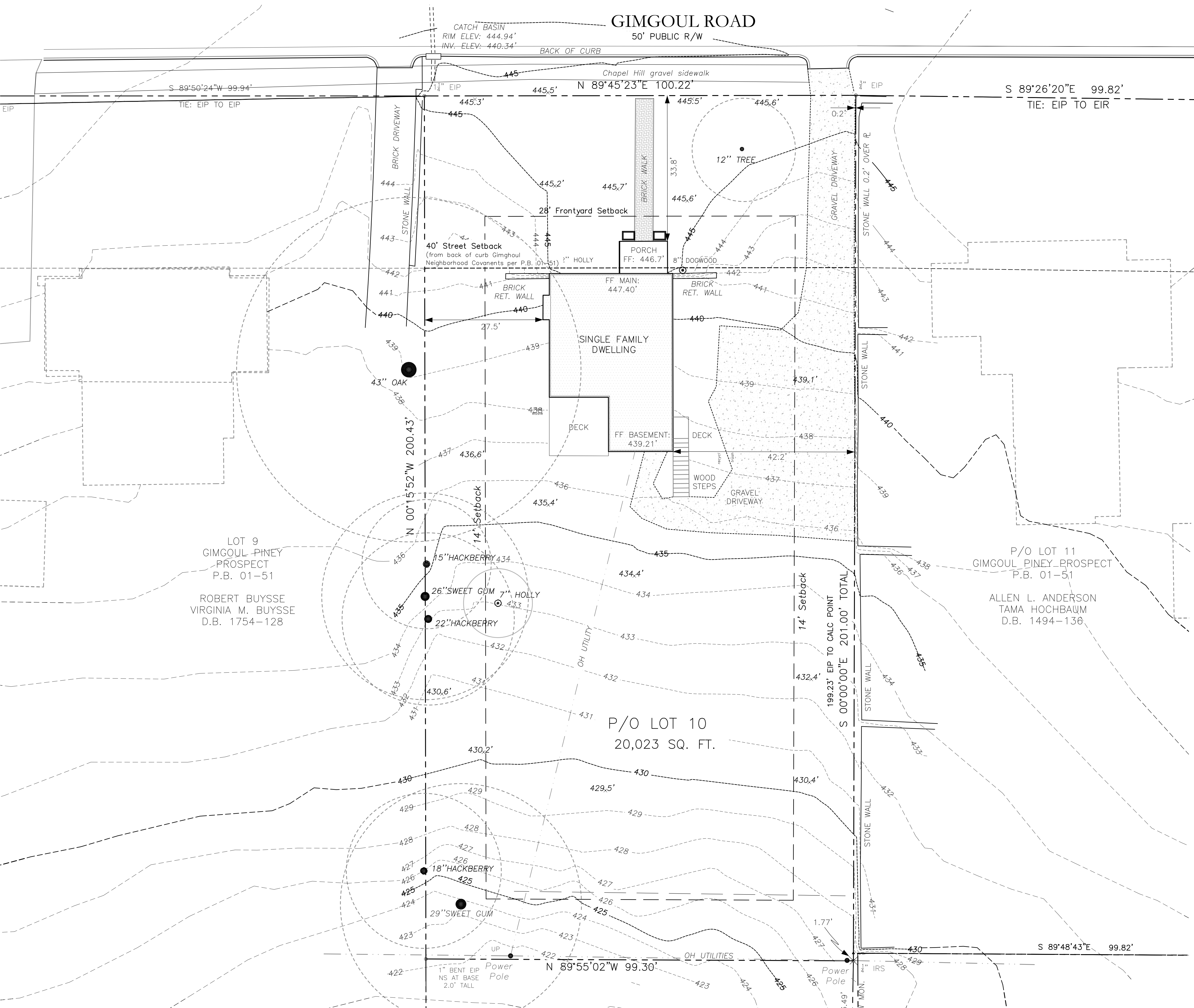
Issued: 03-30-15
Revised:

Existing Conditions Map

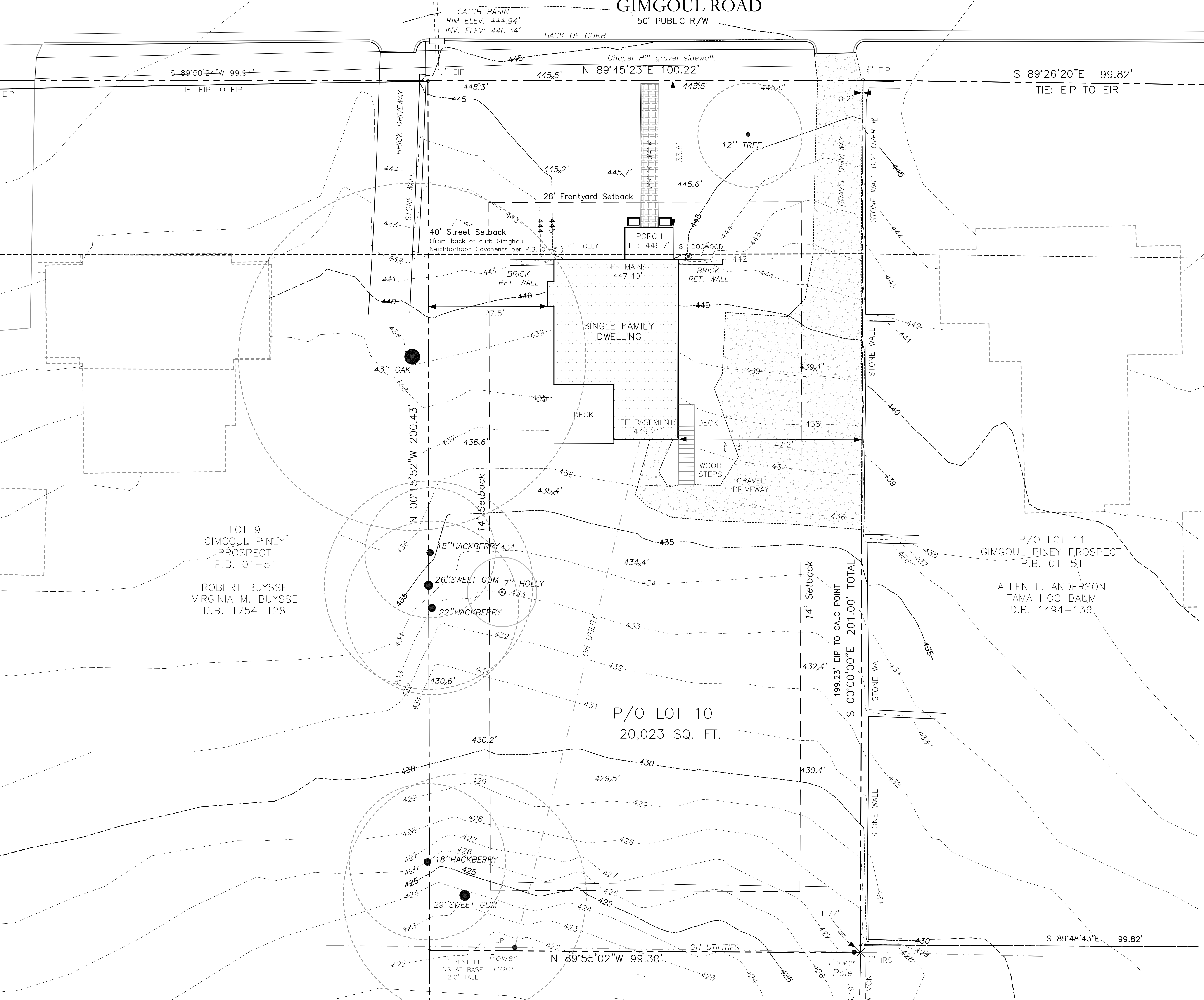
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FOR HDC REVIEW

LEGEND - Site Work	
Property Line and Setback Line	—
Existing Significant Tree	● 12" Holly
Existing Brick Walk/Paving	[Pattern]
Existing Gravel Drive	[Pattern]
Existing Ch Hill Gravel Walk	[Pattern]
Existing Fence	[Pattern]
Existing Stone Wall	[Pattern]
Sanitary Sewer	San Sewer
Water - meter	Water
Pipe (Storm Drain)	[Symbol]
Electric	Elec
Gas	Gas
Existing Feature (in Italics)	[Pattern]
Proposed Feature (Normal font)	[Pattern]
Existing House Footprint	[Pattern]
House/deck to be removed	[Pattern]
Proposed Addition	[Pattern]

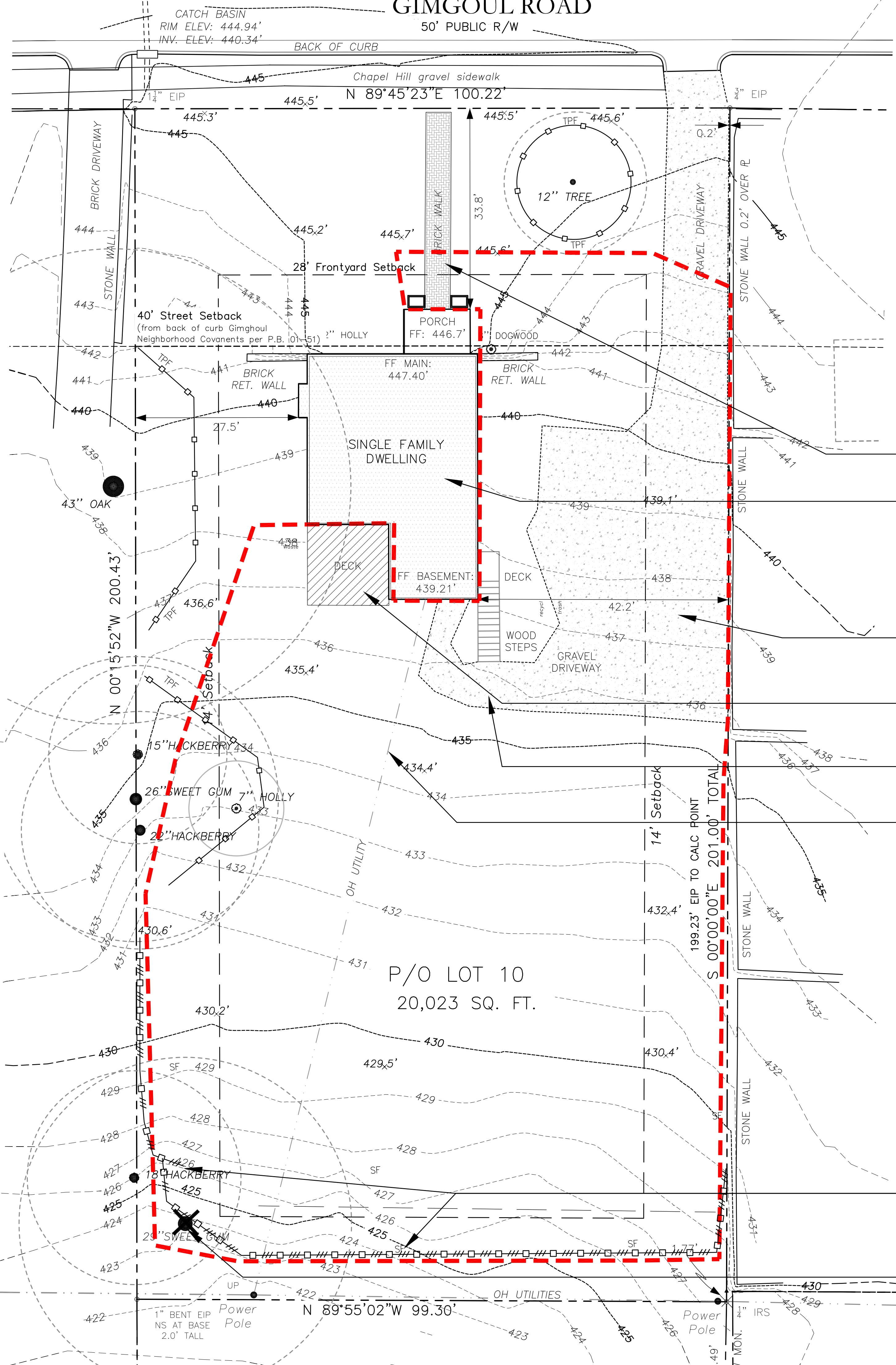


GIMGHOUL ROAD
50' PUBLIC R/W



GIMGOU ROAD

50' PUBLIC R/W



Tree Protection Notes

- Any tree roots exposed by construction shall be severed cleanly with a pruning tool.
- Do not dispose of any chemicals or remove soil outside the limit of work.
- When installing new landscape plants, do not drive equipment upon or disturb the soil within the critical root zone of existing trees.
- A preconstruction conference must be held with the Town's Landscape Architect before any site work begins.

Construction Sequence

- Obtain appropriate permits.
- Hold preconstruction conference with Landscape Protection Supervisor, Landscape Architect and/or Engineer, and Urban Forester.
- Erect tree protection fencing-flagging before substantial work with any equipment an/or utility work. Install soil and erosion control measures.
- Deconstruction and renovation of existing house. Note, during demolition, care will be taken to protect the existing trees/landscaping to remain.
- Rough grade site for proposed addition & driveway modifications.
- Excavate for footings for addition and install utilities. Any changes to the utilities need to be addressed to the landscape architect and contractor so tree protection measures can be accommodated.
- Construct building addition, new driveway/parking modifications area. Finish final grading and gravel, paving. Remove tree protection fencing-flagging.
- Install landscaping. Utilize native trees & shrubs for site restoration stabilization and screening for restoration landscaping.

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Existing brick walk to be removed. Salvage brick for reuse.

The interior and mechanical systems, electrical, etc. of the existing house is currently being gutted in process of the renovation (under a separate demolition permit)

Portion of existing House to be renovated and incorporated into new addition.
Refer to Architectural Plans

Existing gravel drive will be used as staging area for new construction
Staging Area for demolition and deconstruction
Utilize existing open area and gravel as lay-down area for sorting materials and staging the materials to be removed from site and new construction.

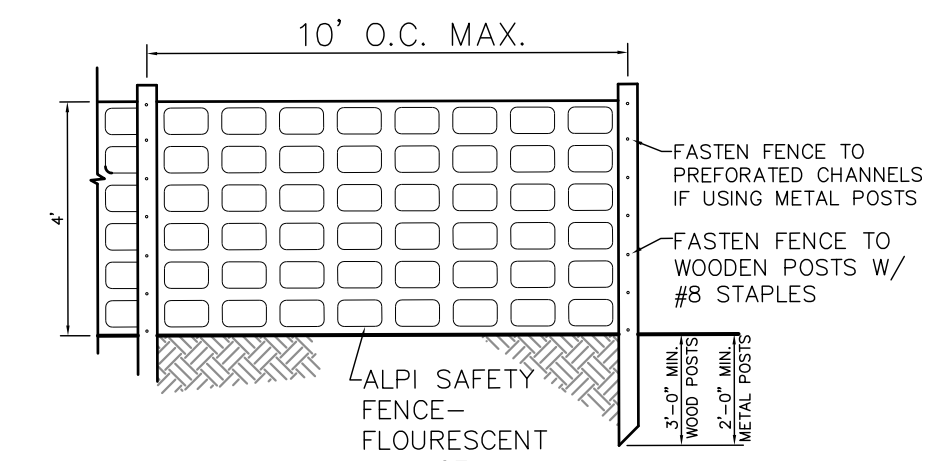
Site Dumpster and solid waste recycling center
Place site dumpster in this location (subject to change).

Existing deck and wood steps to be removed

Existing overhead electric to be removed and buried upon completion of the grading work.

Silt Fence to contain soil and backfill material.

Remove existing Tree



2 TREE PROTECTION FENCE
ELEVATION DETAIL Not to Scale

STRAW WATTLE INSTALLATION GUIDE

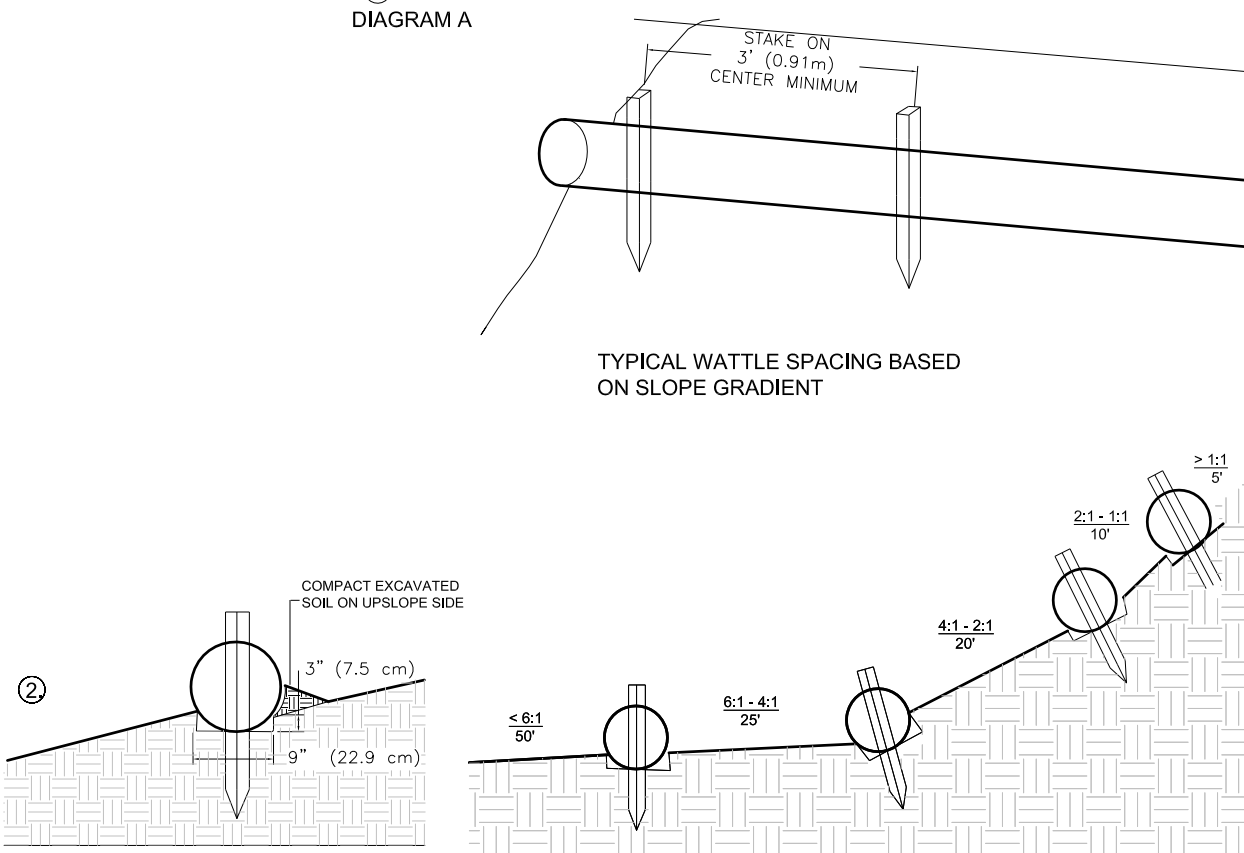
- Begin at the location where the wattle is to be installed by excavating a 2-3" deep x 9" wide trench along the contour of the slope. Excavated soil should be placed upslope from the anchor trench.
- Place the wattle in the trench so that it conforms to the soil surface. Compact soil from the excavated trench against the wattle on the uphill side. Adjacent wattles should tightly abut.
- Secure the wattle with 18-24 (45.7-61 cm) stakes every 3-4' (0.9-1.2 m) and with a stake on each end. Stakes should be driven through the middle of the wattle leaving at least 2-3" (5.7-7.5 cm) of stake extending above the wattle. Stakes should be driven perpendicular to the slope face.

North American Green Straw Wattles are a Best Management Practice (BMP) that offers an effective and economical alternative to silt fence and straw bales for sediment control and storm water runoff.

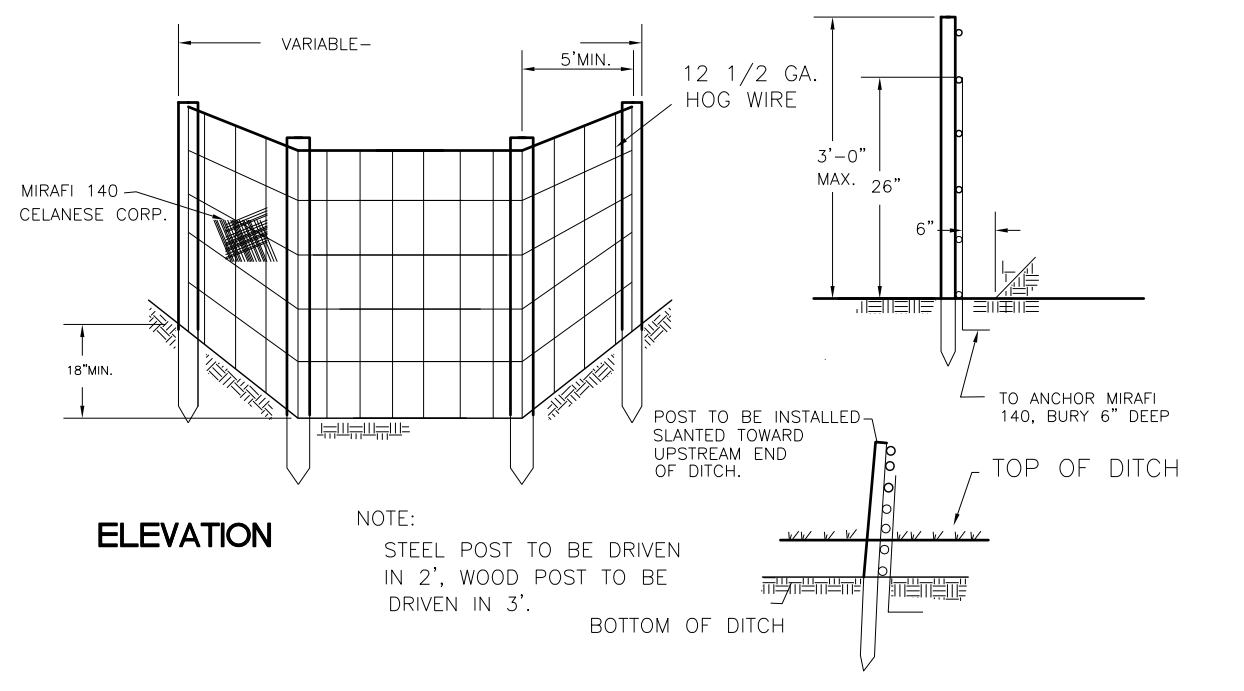
Guidelines are provided to assist in design, installation, and structure spacing. The guidelines may require modification due to variation in soil type, rainfall intensity or duration, and amount of runoff affecting the application site.

To maximize sediment containment with the Straw Wattle, place the initial structure at the top/crest of the slope if significant runoff is expected from above. If no runoff from above is expected, the initial Straw Wattle can be installed at the appropriate distance downhill from the top/crest of the slope. The final structure should be installed at or just beyond the bottom/ toe of the slope. Wattles should be installed perpendicular to the primary direction of overland flow.

Straw Wattles are a temporary sediment control device and are not intended to replace rolled erosion control products (RECPs) or hydraulic erosion control products (HECPs). If vegetation is desired for permanent erosion control, North American Green recommends that RECPs or HECPs be used to provide effective immediate erosion control until vegetation is established. Straw Wattles may be used in conjunction with blankets, mats, and mulches as supplemental sediment and runoff control for these applications. Like all sediment control devices, the effectiveness of the Straw Wattle is dependent on storage capacity.

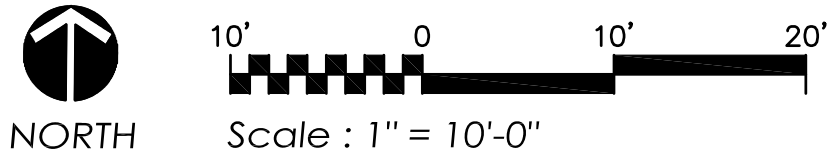


2 STRAW WATTLE
NTS



1 SILT FENCE
NTS

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Property Line and Setback Line	
Existing Significant Tree	
Existing Tree to be Removed	
Existing Brick Walk/Paving	
Existing Gravel Drive	
Existing Ch Hill Gravel Walk	
Existing Fence	
Existing Stone Wall	
Sanitary Sewer	
Water - meter	
Pipe (Storm Drain)	
Electric	
Gas	
Existing Feature (in Italics)	
Proposed Feature (Normal font)	
Existing House Footprint	
House/deck to be removed	
Proposed Addition	



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Hock Residence
TANNER and MIMI G. HOCK
724 GIMGHOU RD.
CHAPEL HILL, NC

PROPERTY ADDRESS:
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P/O LOT 10, GIMGHOU
PINEY PROSPECT
PIN: 9788-86-2824
PLAT BOOK REFERENCE:
01-51 DEED BOOK
REFERENCE: 5864-443

Issued: 03-30-15

Revised:

Demolition Plan

L1.1

FOR HDC REVIEW

GIMGOUL ROAD

50' PUBLIC R/W

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LANDSCAPE ARCHITECTURE
100 E. Carr Street
Carrboro, NC 27510
Ph. (919) 929-9600
Fax (919) 929-1500
info@swansonlandscapearchitecture.com

EXISTING IMPERVIOUS SURFACE

HOUSE:	1,023 SQ. FT.
PORCH:	84 SQ. FT.
BRICK WALK:	142 SQ. FT.
GRAVEL DRIVEWAY:	2,335 SQ. FT.
TOTAL:	3,584 SQ. FT.

Lot Area: 20,023 SQ. FT.
Percent of Lot Area: ~18 %

PROPOSED IMPERVIOUS SURFACE

Existing Driveway Demo:	2,335 SQ. FT.
New House Addition:	700 SQ. FT.
New Driveway:	1,886 SQ. FT.
New Potting Shed:	222 SQ. FT.
NEW SUBTOTAL:	4,057 SQ. FT.
New Percent of Lot Area:	~20 %
Allowable Percent :	24 %
Allowable area:	4,805 SQ. FT.

LAND DISTURBANCE AREA

Proposed Land Disturbance Area:
13,000 SQ. FT.

LEGEND

Existing Impervious Surface Area House	
Pavement/Other	
Existing Impervious Surface Area to be removed	
New Impervious Surface Area House	
Pavement/Other	

LEGEND - Site Work

Property Line and Setback Line	
Existing Significant Tree	
Existing Tree to be Removed	
Existing Brick Walk/Paving	
Existing Gravel Drive	
Existing Ch Hill Gravel Walk	
Existing Fence	
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TANNER and MIMI G. HOCK
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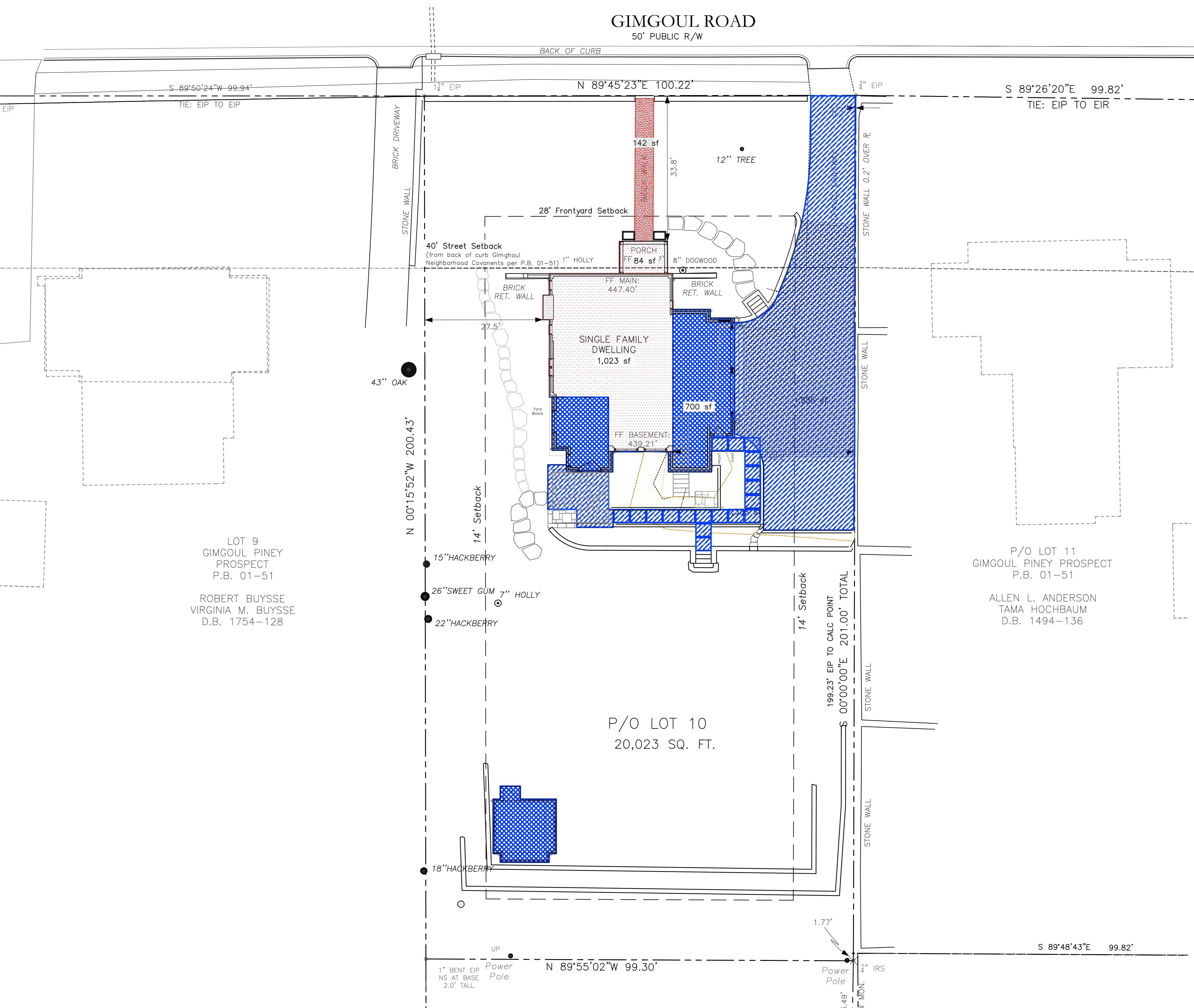
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Issued: 03-30-15
Revised:

**Impervious Surface
Area Calculations**

L 1.2

P.I.N. - 9788-86-2824 FOR HDC REVIEW



LOT 9
GIMGOUL PINEY
PROSPECT
P.B. 01-51

ROBERT BUYSSÉ
VIRGINIA M. BUYSSÉ
D.B. 1754-128

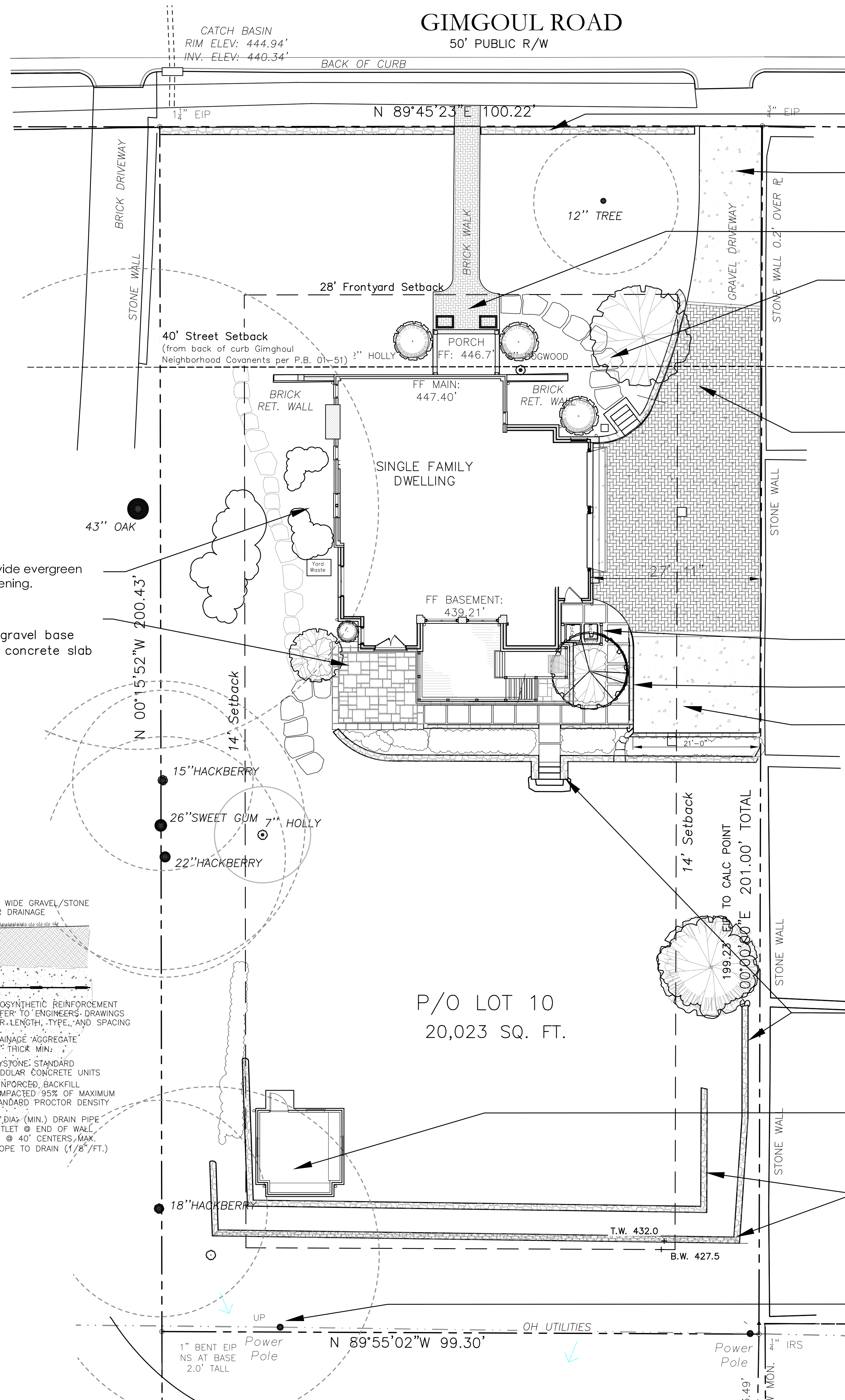
P/O LOT 11
GIMGOUL PINEY PROSPECT
P.B. 01-51

ALLEN L. ANDERSON
TAMA HOCHBAUM
D.B. 1494-136

P/O LOT 10
20,023 SQ. FT.

P.I.N. - 9788-86-2824 FOR HDC REVIEW

GIMGOU ROAD
50' PUBLIC R/W



New low stone wall (traditional Chapel Hill style stone to match others in the neighborhood).
Wall to be min. 15" hgt. and not to exceed 20" hgt.

After construction, resurface drive with new 1/4" size brown/grey pea-gravel (Delaware Blend) spread very thin on compacted ABC base.

New brick front walk herringbone pattern to match existing - utilize existing brick where possible or match as close as possible.

Stepping stone flat stones brown flagstone for informal path on gravel. Fill joints with decorative pea gravel

Hard surface concrete pavers for turnaround and backup space.



Precedent for Concrete Pavers (typ)

Trash Enclosure Fence enclosure to contain trash/recycling. Fence boards to match Potting Shed.

New stone curb to contain the gravel drive. Stone to be 4-5" wide and min. 4" hgt. Add flumes with flat stone for drainage.

Guest parking space - gravel surface with stone edging min. 20 ft. X 16 ft. - slope to drain toward area drain



Precedent for Stone Curb (typ)

New Stone Wall and garden steps to lower terrace and backyard - backfill with gravel and topsoil.

Realign to enlarge lawn area and allow for greater room at yard level for plantings.

Potting Shed (14'-8" X 14'-8") see architectural plan and elevations

New Stone Retaining Wall - construct stacked block wall to be faced with brown field stone to be of appearance as native Chatham (Chapel Hill style) stone.
New lower terrace wall to break up height of wall.

Bury overhead electric underground. Contact Duke Energy with coordination of trenching/backfill and Contractor to verify any underground utilities to avoid conflicts.

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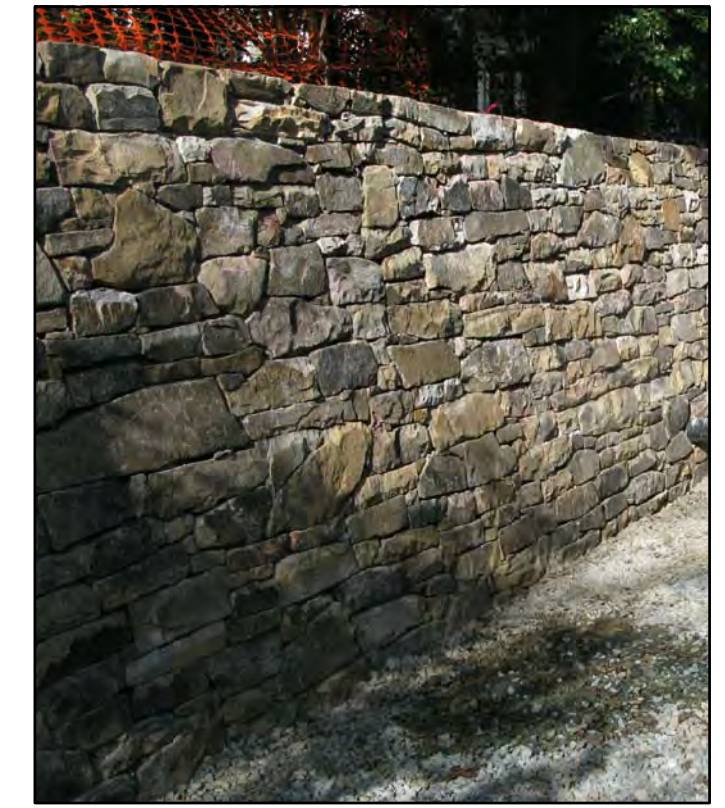
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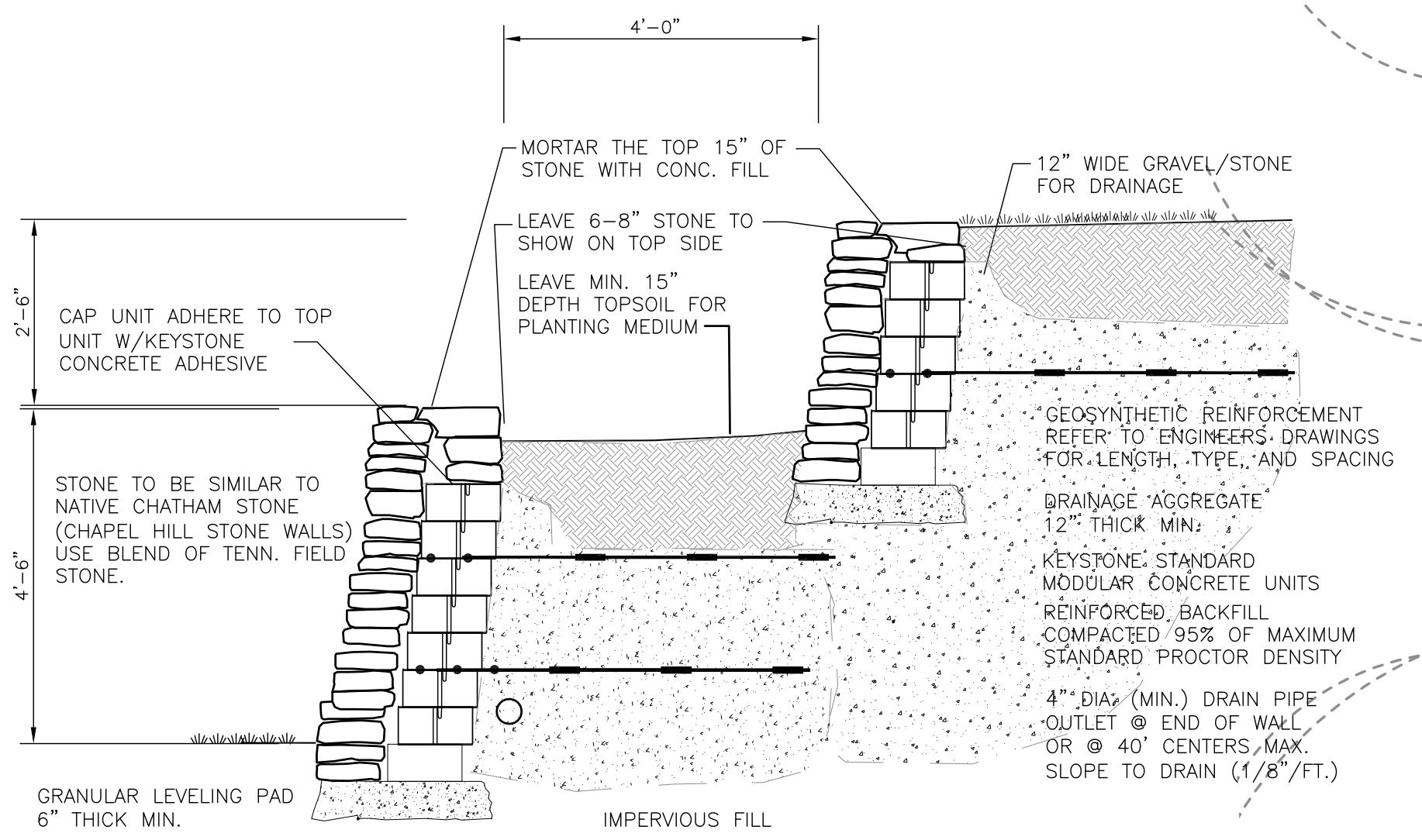
Proposed Land Disturbance Area: 13,000 SQ. FT.



Locate generator and provide evergreen landscape around for screening.

Lower terrace/patio
New bluestone set on gravel base (alternate to be on concrete slab with mortar joints)
Garden swing.

Precedent for Stone Wall (Glandon)

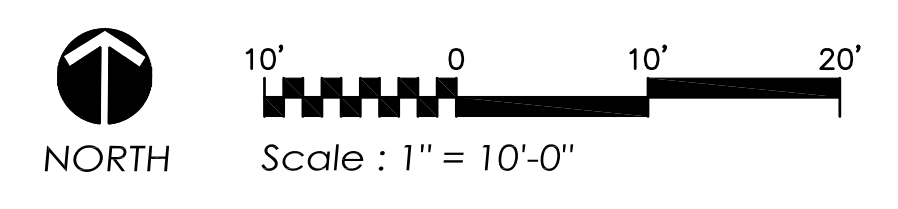


Detail for Reinforced Retaining Wall

scale: 1/2" = 1'-0"

LEGEND - Site Work

Property Line and Setback Line	
Existing Significant Tree	
Existing Tree to be Removed	
Existing Drainage direction	
Proposed Drainage	
Existing Brick Walk/Paving	
Existing Gravel Drive	
Existing Ch Hill Gravel Walk	
Existing Fence	
Existing Stone Wall	
Sanitary Sewer	
Water - meter	
Pipe (Storm Drain)	
Electric	
Gas	
Existing Feature (in Italics)	
Proposed Feature (Normal font)	
Existing House Footprint	
House/deck to be removed	
Proposed Addition	



SWANSON
and ASSOCIATES P.A.
LANDSCAPE ARCHITECTURE
100 E. Carr Street
Carrboro, NC 27510
Ph. (919) 929-9600
Fax (919) 929-1500
info@swansonlandscapearchitecture.com

Hock Residence
TANNER and MIMI G. HOCK
724 GIMGOU RD.
CHAPEL HILL, NC

PROPERTY ADDRESS:
724 GIMGOU ROAD
P/O LOT 10, GIMGOU
PINEY PROSPECT
PIN: 9788-86-2824
PLAT BOOK REFERENCE:
01-51 DEED BOOK
REFERENCE: 5864-443

Issued: 03-30-15
Revised:

Site Plan

L 2.0

FOR HDC REVIEW

SITE NOTES:

- Property is located at 724 Gimghoul Rd, Chapel Hill, NC
Net land Area = 20,023 s.f./.459 acres.
P.I.N 9788-86-2824
Zoning - R-1
H-D Overlay
- The base map is from survey of property by Freshhold Land Surveys, Carrboro, NC dated NOVEMBER 24, 2014
Gimghoul-Piney Prospect Development
- Easements - as shown on survey.
- There is no RCD on the property.
- Topography on site is from survey.
Contours shown are 1' intervals.
Topography on adjoining properties is from GIS data (not survey quality) and is shown for information purposes only.
- Existing significant trees shown from Survey.
Not all site utilities and landscape features are not survey quality. Contractor to confirm all site measurements.

EXISTING IMPERVIOUS SURFACE

HOUSE:	1,023 SQ. FT.
PORCH:	84 SQ. FT.
BRICK WALK:	142 SQ. FT.
GRAVEL DRIVEWAY:	2,335 SQ. FT.
TOTAL:	3,584 SQ. FT.

Lot Area: 20,023 SQ. FT.
Percent of Lot Area: ~18 %

PROPOSED IMPERVIOUS SURFACE

Existing Driveway Demo:	2,335 SQ. FT.
New House Addition:	700 SQ. FT.
New Driveway:	1,886 SQ. FT.
New Potting Shed:	222 SQ. FT.
NEW SUBTOTAL:	4,057 SQ. FT.
New Percent of Lot Area:	~20 %
Allowable Percent :	24 %
Allowable area:	4,805 SQ. FT.

LAND DISTURBANCE AREA

Proposed Land Disturbance Area:
13,000 SQ. FT.

Hock Residence
TANNER and MIMI G. HOCK
724 GIMGHOUL RD.
CHAPEL HILL, NC

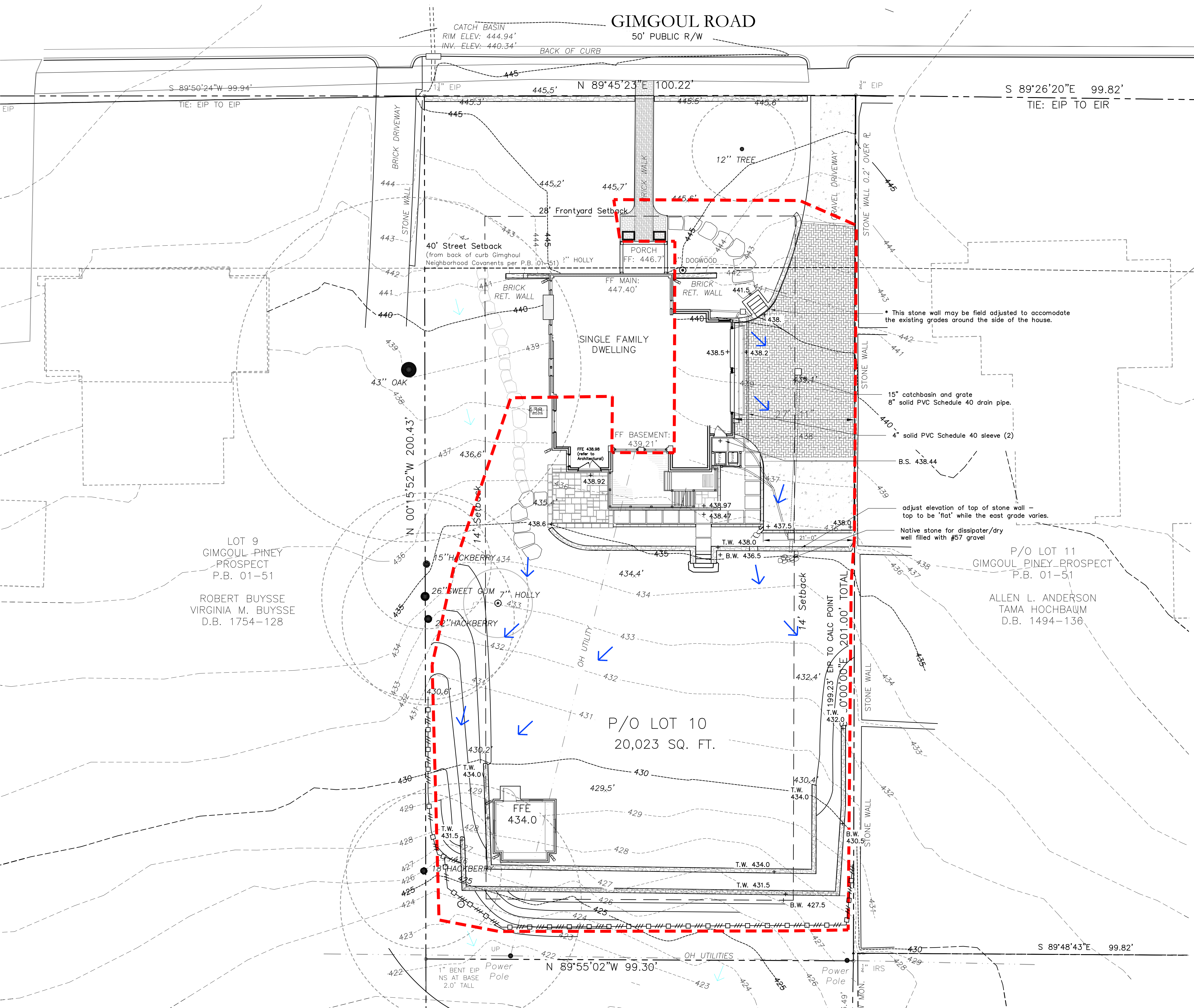
PROPERTY ADDRESS:
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PINEY PROSPECT
PIN: 9788-86-2824
PLAT BOOK REFERENCE:
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REFERENCE: 5864-443

Issued: 03-30-15
Revised:

Grading Plan

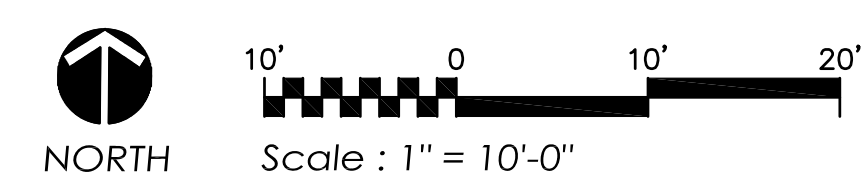
L 3.0

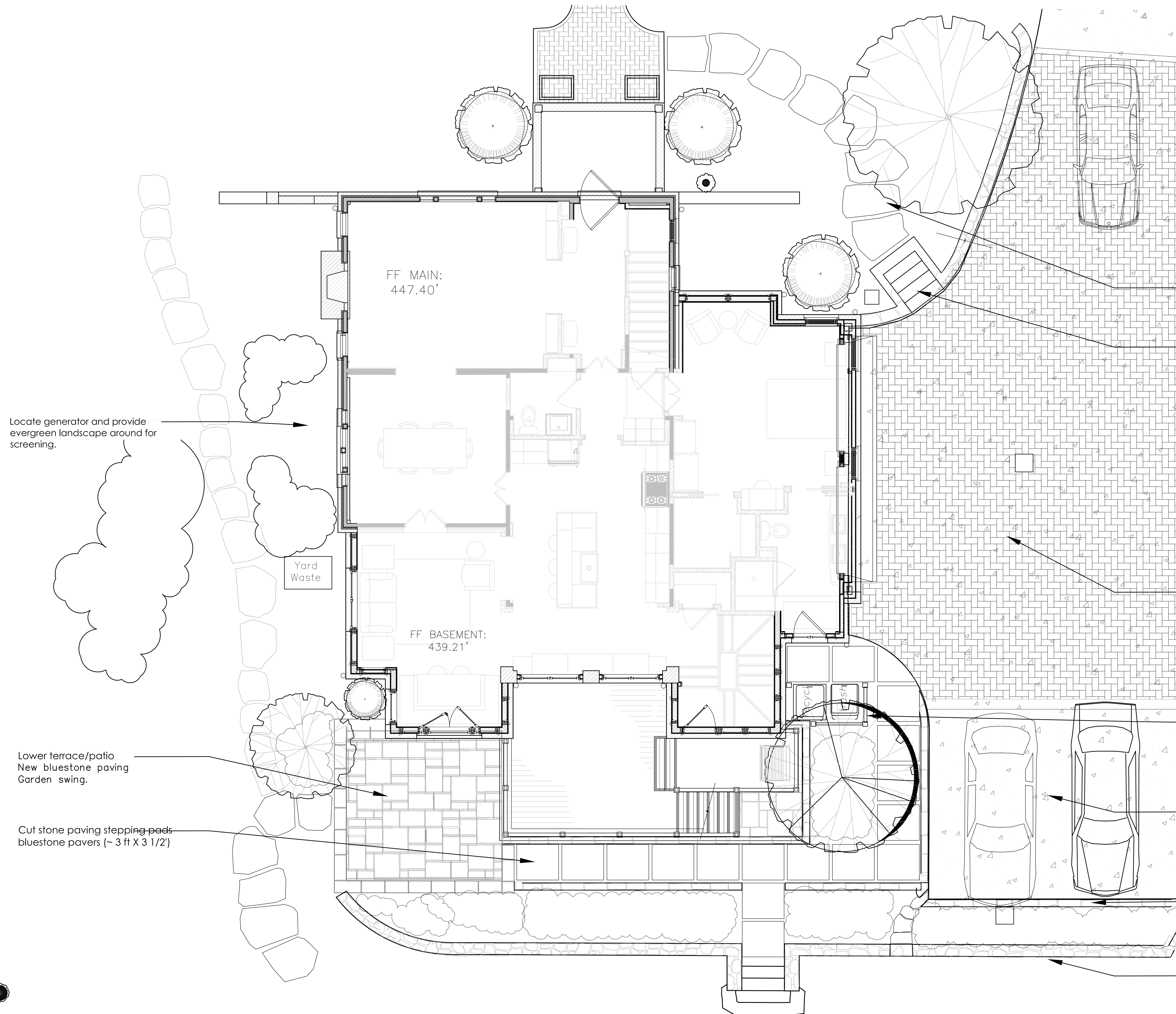
FOR HDC REVIEW



LEGEND - Site Work

Property Line and Setback Line	
Existing Significant Tree	
Existing Tree to be Removed	
Existing Drainage direction	
Proposed Drainage direction	
Existing Brick Walk/Paving	
Existing Gravel Drive	
Existing Ch Hill Gravel Walk	
Existing Fence	
Existing Stone Wall	
Sanitary Sewer	
Water - meter	
Pipe (Storm Drain)	
Electric	
Gas	
Existing Feature (in Italics)	
Proposed Feature (Normal font)	
Existing House Footprint	
House/deck to be removed	
Proposed Addition	





Locate generator and provide evergreen landscape around for screening.

Yard Waste

Lower terrace/patio
New bluestone paving
Garden swing.

Cut stone paving stepping pads
bluestone pavers (~ 3 ft X 3 1/2')

Stepping stone
flat stones brown flagstone for informal path
on gravel. Fill joints with decorative pea gravel

Stone Wall and stone steps
Native Chapel Hill type (Chatham)
stone built in traditional method with 3/4" sized
mortar joints.

Hard surface concrete pavers for
turnaround and backup space.

Trash Enclosure
Fence enclosure to contain trash/recycling.
Fence boards to match Potting Shed.

Guest parking space - Delaware Blend
brown/grey 1/4" sized pea gravel
surface with stone edging
min. 20 ft. X 16 ft. - slope to drain
toward area drain

New stone curb to contain
the gravel drive.
Stone to be 4-5" wide and min. 4" hgt. Add
flumes with flat stone for drainage.

New Stone Wall and garden steps to lower
terrace and backyard
Realign to enlarge lawn area and allow for
greater room at yard level for plantings.

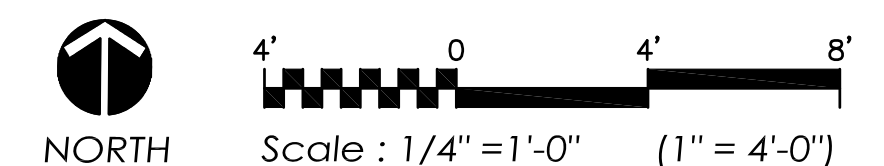
Hc : Residence
TANNEK and MIMI G. HOCK
724 GIMGOUL Rd.
CHAPEL HILL, NC

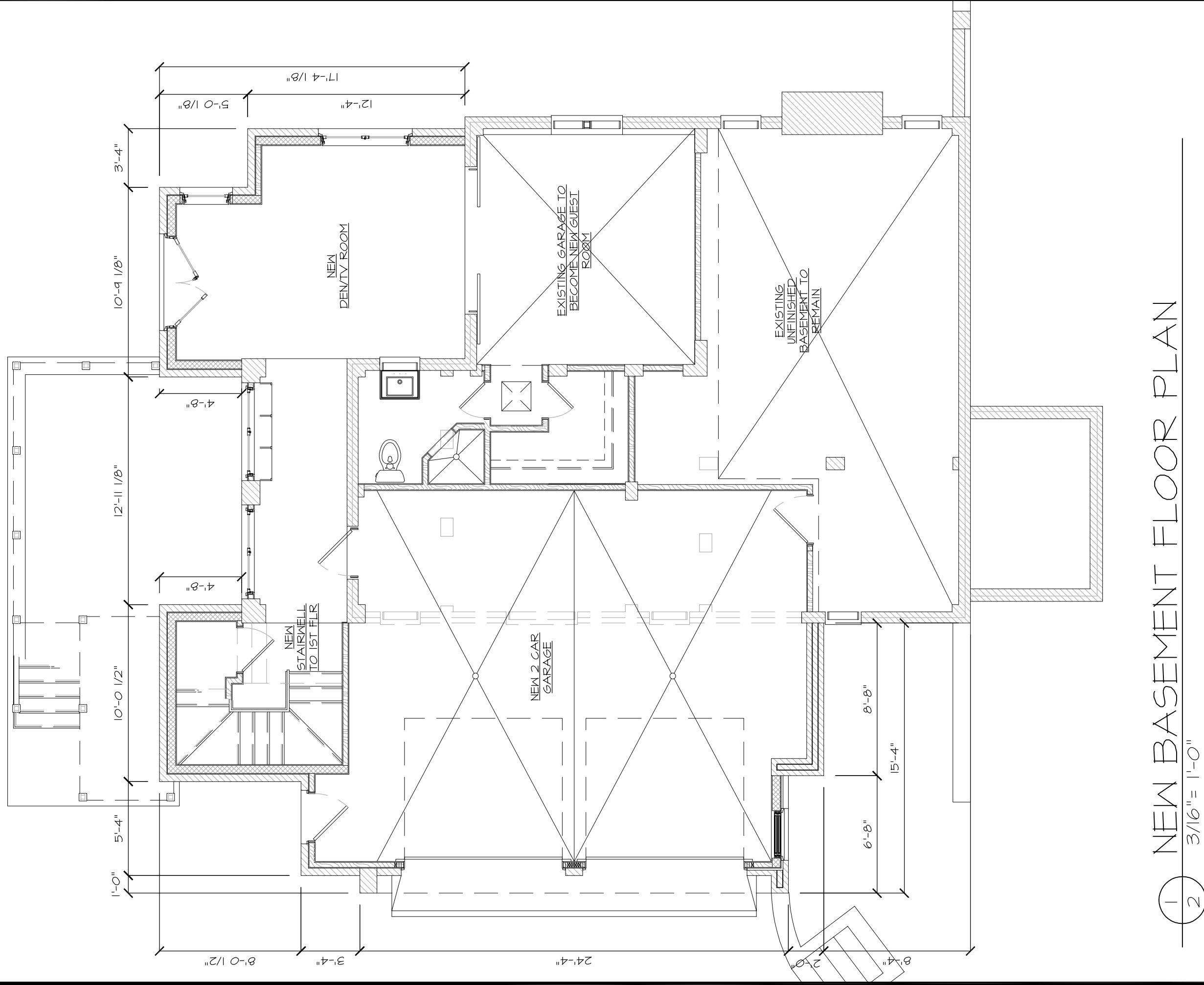
PROPERTY ADDRESS:
724 GIMGOUL ROAD
P/O LOT 10, GIMGOUL
PINEY PROSPECT
PIN: 9788-86-2824
PLAT BOOK REFERENCE:
01-51 DEED BOOK
REFERENCE: 5864-443

Issued: 03-30-15
Revised:

Detail Hardscape
Plan w/ First Floor Plan

L 4.0





NEW BASEMENT FLOOR PLAN

1
2

3/16" = 1'-0"

DATE:

3/31/15

SCALE:

1/4" = 1'-0"

DRAWN BY:

R.WARD

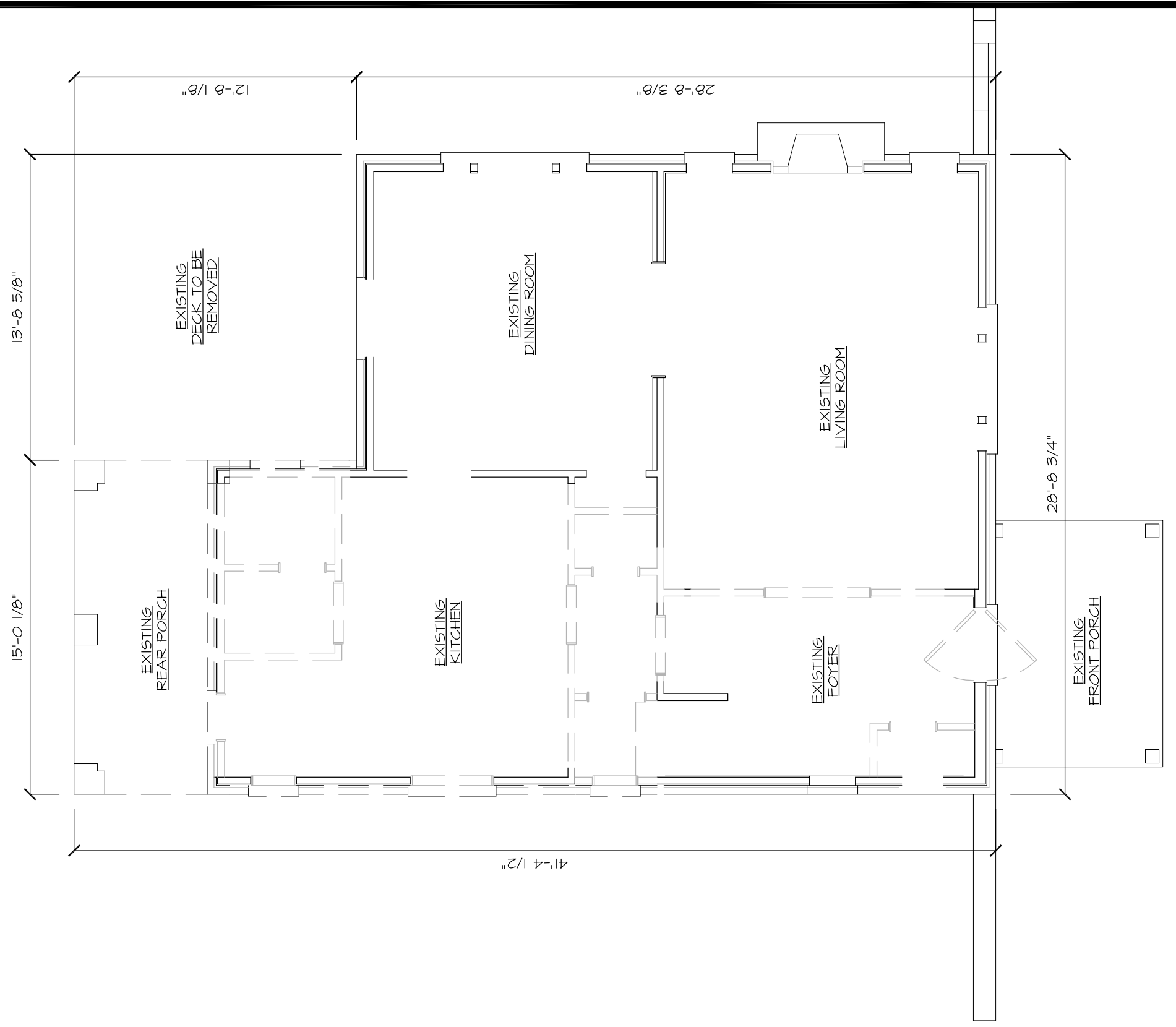
DRAWING #:

2

HOCK RESIDENCE
724 GIMGHOUL RD.
CHAPEL HILL, NC



1502 W. HWY 54
SUITE 102
DURHAM, N.C. 27707
PH. 919.489.7091
FAX 919.401.0111

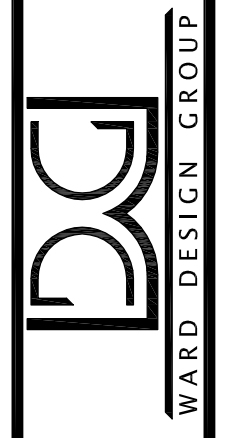


EXISTING 1ST FLOOR PLAN

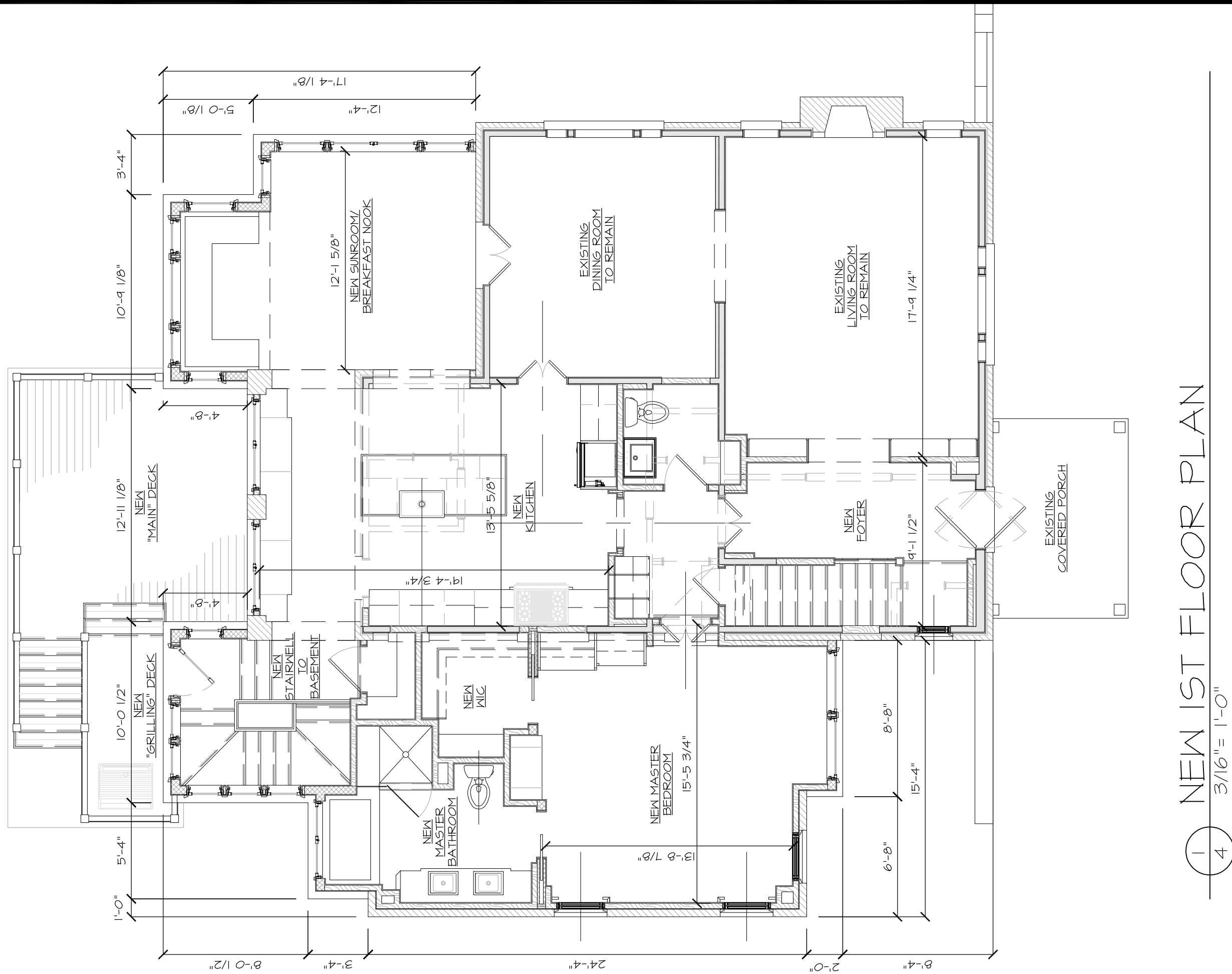
1
3
3/16" = 1'-0"

DATE:	3/31/15
SCALE:	1/4" = 1'-0"
DRAWN BY:	R.WARD
DRAWING #:	3

HOCK RESIDENCE
724 GIMGHOUL RD.
CHAPEL HILL, NC



1502 W. HWY 54
SUITE 102
DURHAM, N.C. 27707
PH. 919.489.7091
FAX 919.401.0111



NEW 1ST FLOOR PLAN
 3/16" = 1'-0"

DATE:

3/31/15

SCALE:

1/4" = 1'-0"

DRAWN BY:

R.WARD

DRAWING #:

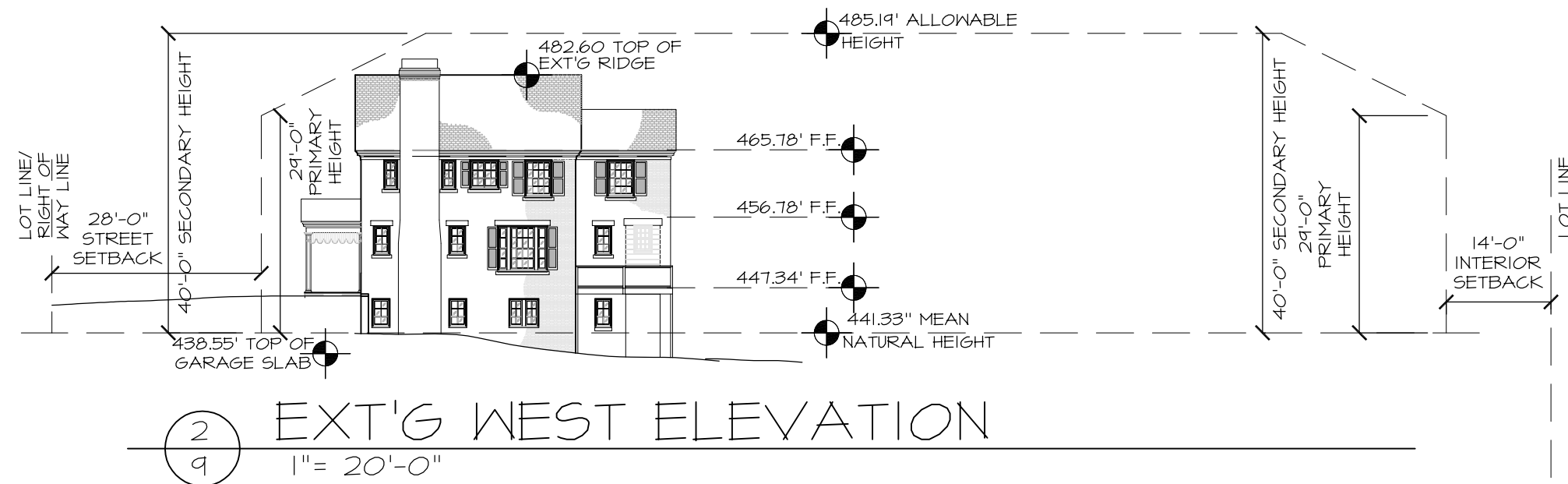
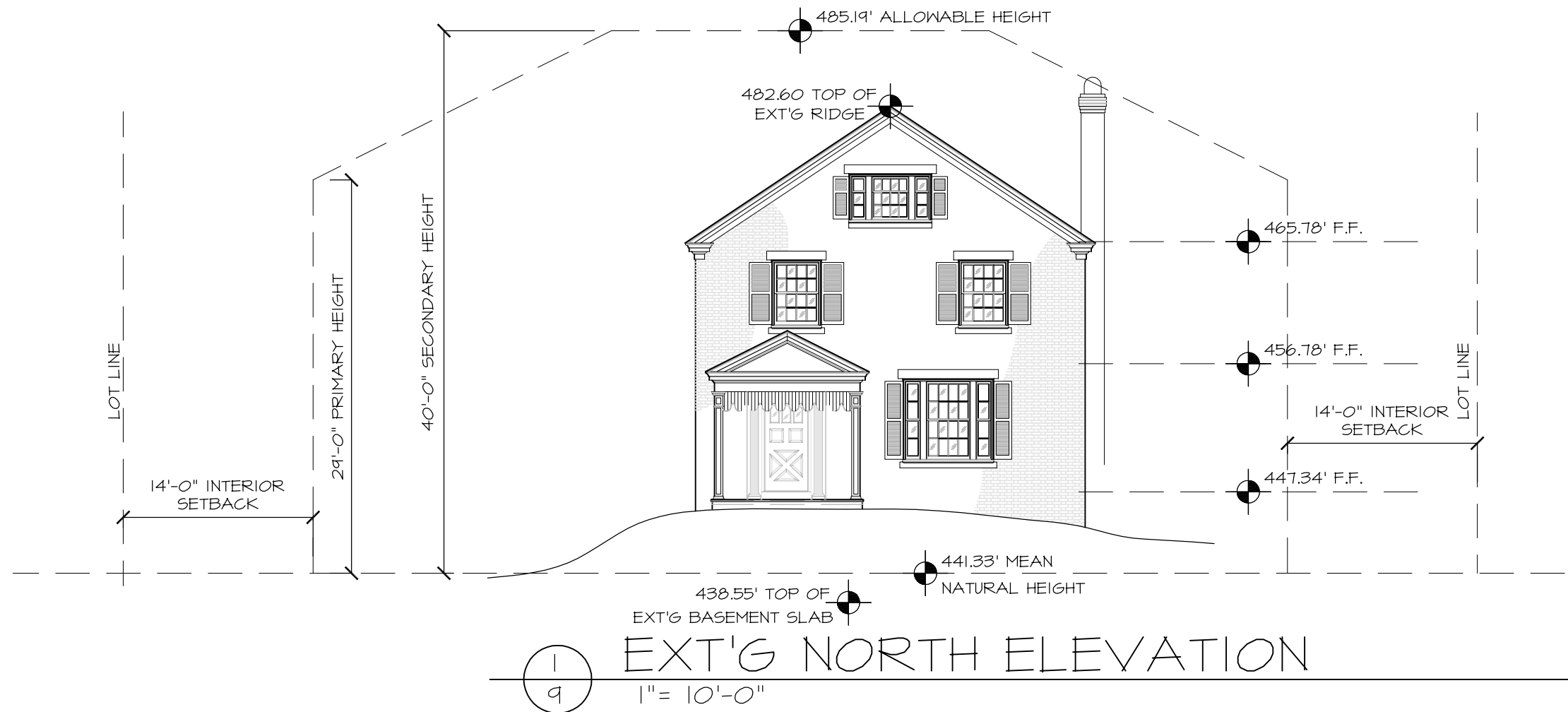
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HOCK RESIDENCE
 724 GIMGHOUL RD.
 CHAPEL HILL, NC



WARD DESIGN GROUP

1502 W. HWY 54
 SUITE 102
 DURHAM, N.C. 27707
 PH. 919.489.7091
 FAX 919.401.0111



1502 W. HWY 54
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WARD DESIGN GROUP

HOCK RESIDENCE
724 GIMGHOUL RD.
CHAPEL HILL, NC

DATE:

3/31/15

SCALE:

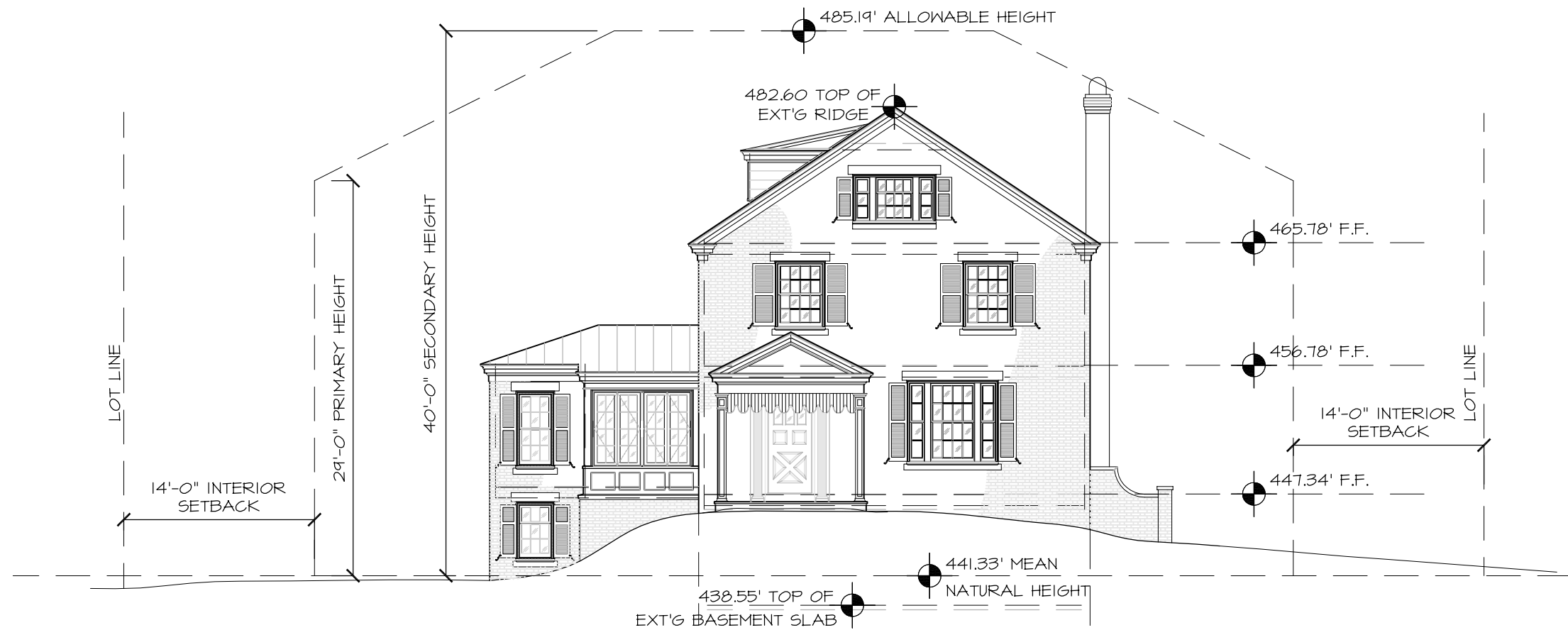
1/4"=1'-0"

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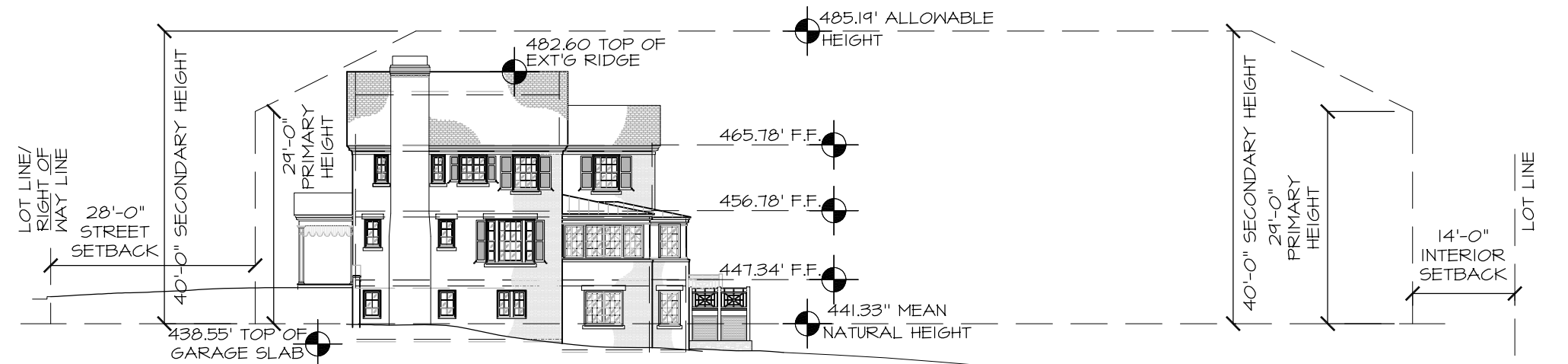
R.WARD

DRAWING #:

9

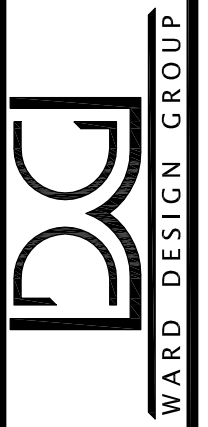


①
10
NEW NORTH ELEVATION
1" = 10'-0"



②
10
NEW WEST ELEVATION
1" = 20'-0"

1502 W. HWY 54
SUITE 102
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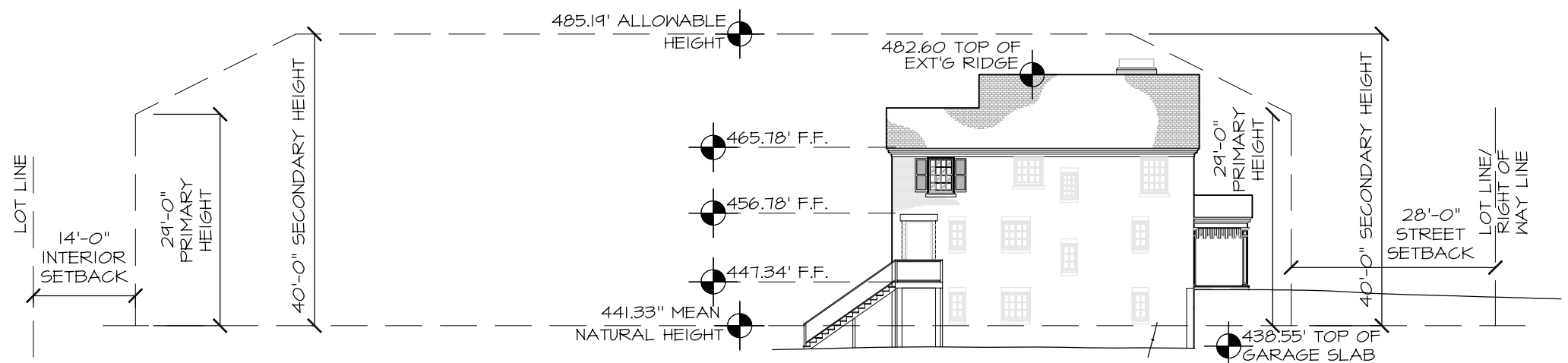


HOCK RESIDENCE
724 GIMGHOUL RD.
CHAPEL HILL, NC

DATE:	3/31/15
SCALE:	1/4" = 1'-0"
DRAWN BY:	R.WARD
DRAWING #:	10

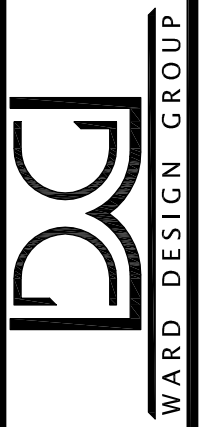


1 EXT'G SOUTH ELEVATION
1" = 10'-0"



2 EXT'G EAST ELEVATION
1" = 20'-0"

1502 W. HWY 54
SUITE 102
DURHAM, N.C. 27707
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FAX 919.401.0111

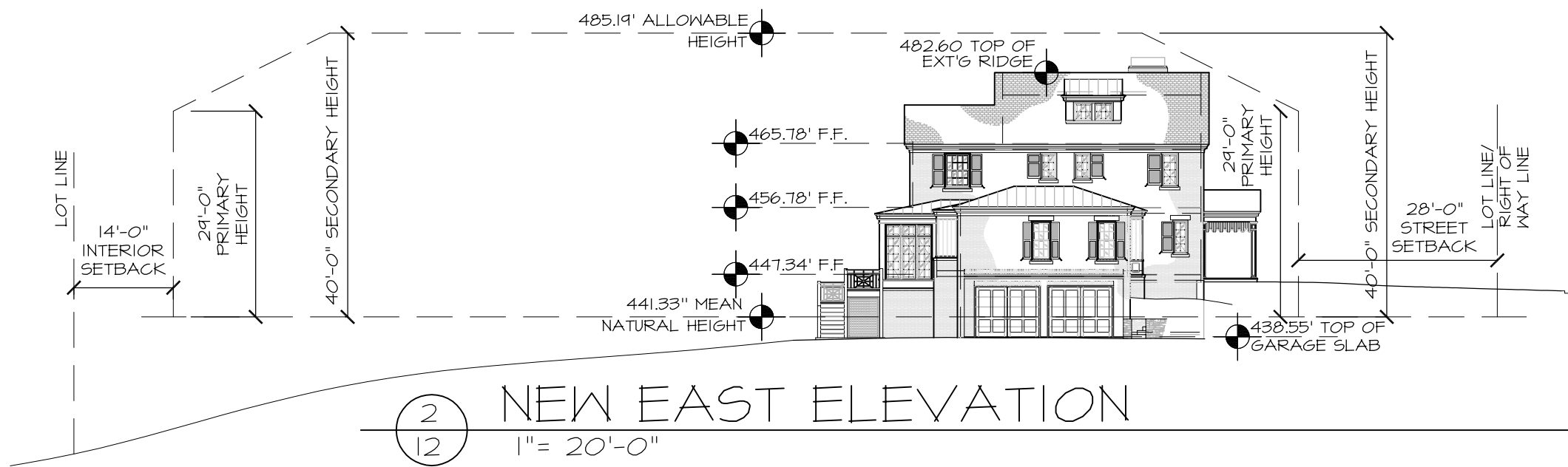


HOCK RESIDENCE
724 GIMGHOUL RD.
CHAPEL HILL, NC

DATE:	3/31/15
SCALE:	1/4"=1'-0"
DRAWN BY:	R.WARD
DRAWING #:	11

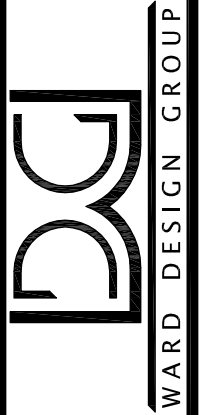


1
12 NEW SOUTH ELEVATION
1" = 10'-0"



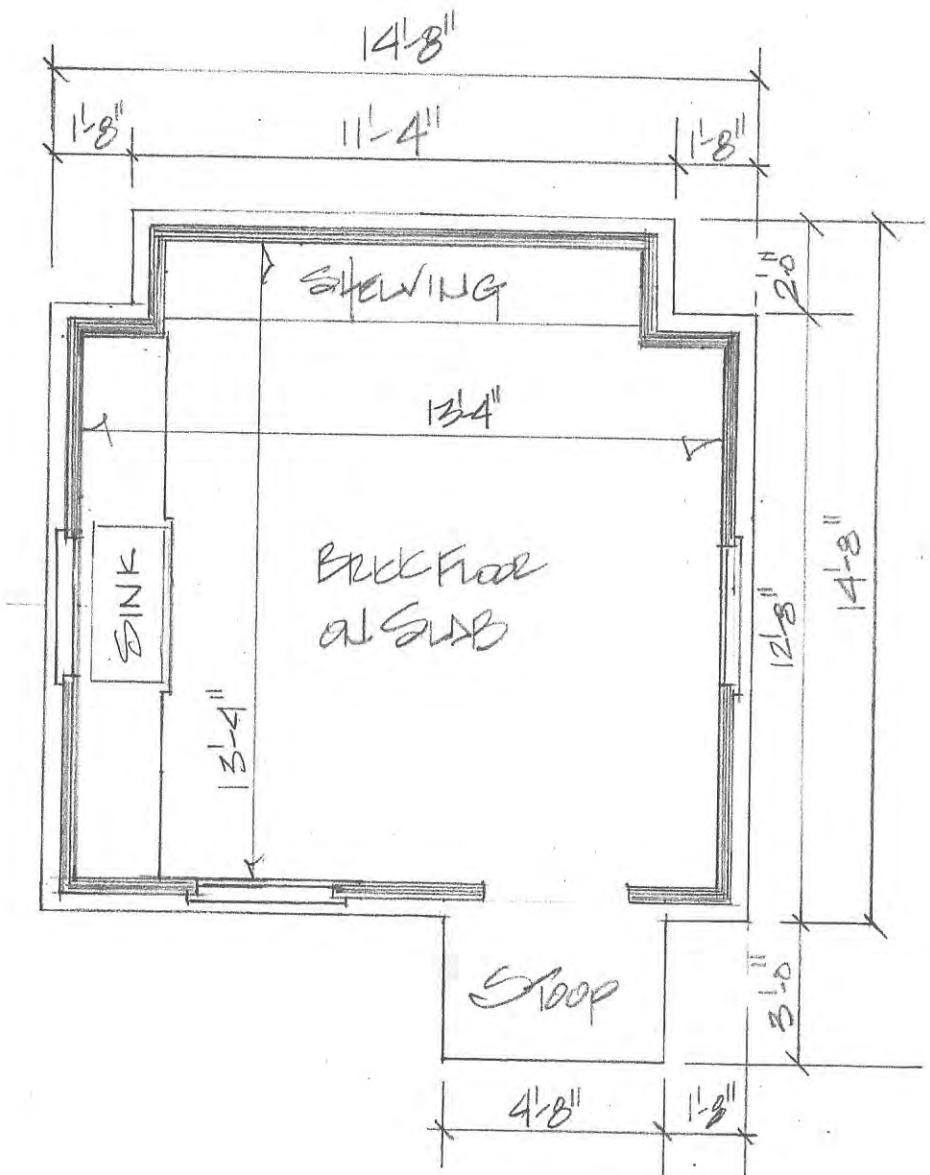
2
12 NEW EAST ELEVATION
1" = 20'-0"

1502 W. HWY 54
SUITE 102
DURHAM, N.C. 27707
PH. 919.489.7091
FAX 919.401.0111



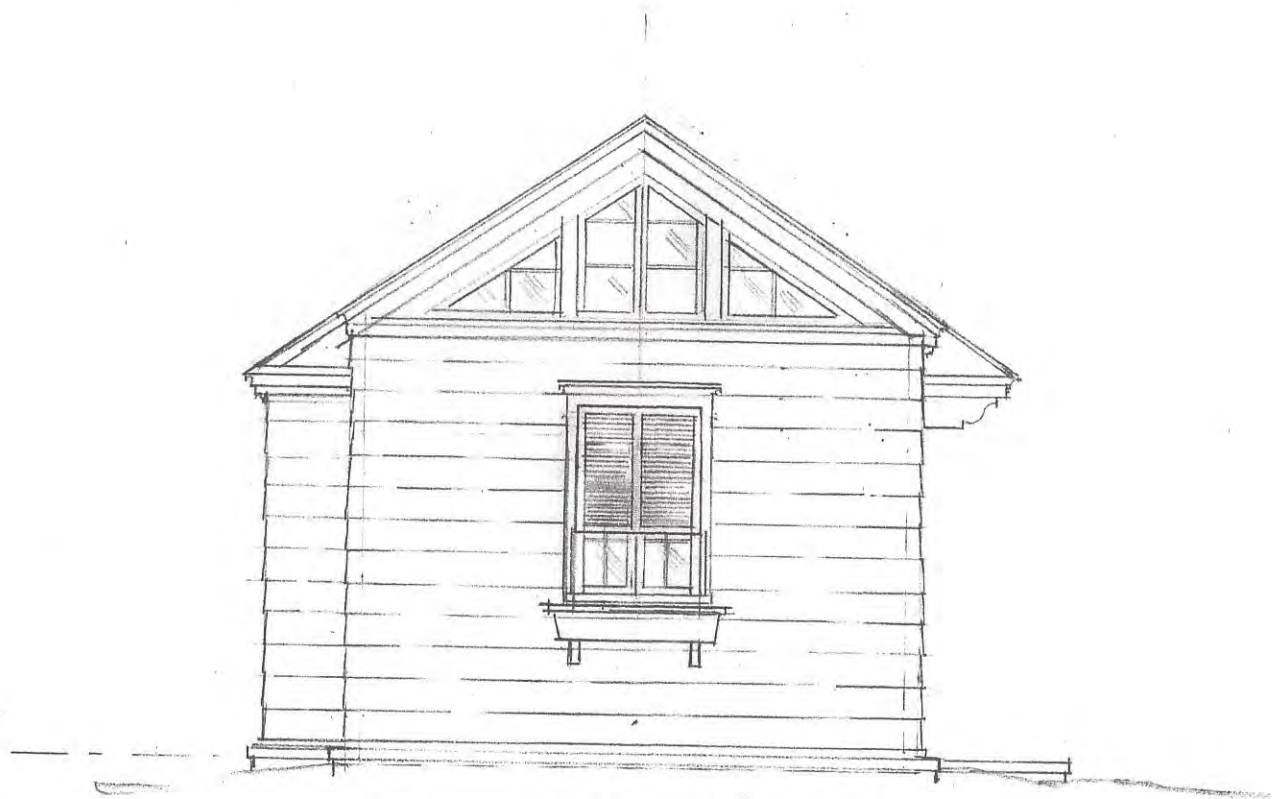
HOCK RESIDENCE
724 GIMGHOUL RD.
CHAPEL HILL, NC

DATE:	3/31/15
SCALE:	1/4" = 1'-0"
DRAWN BY:	R.WARD
DRAWING #:	12






POTTING SHED

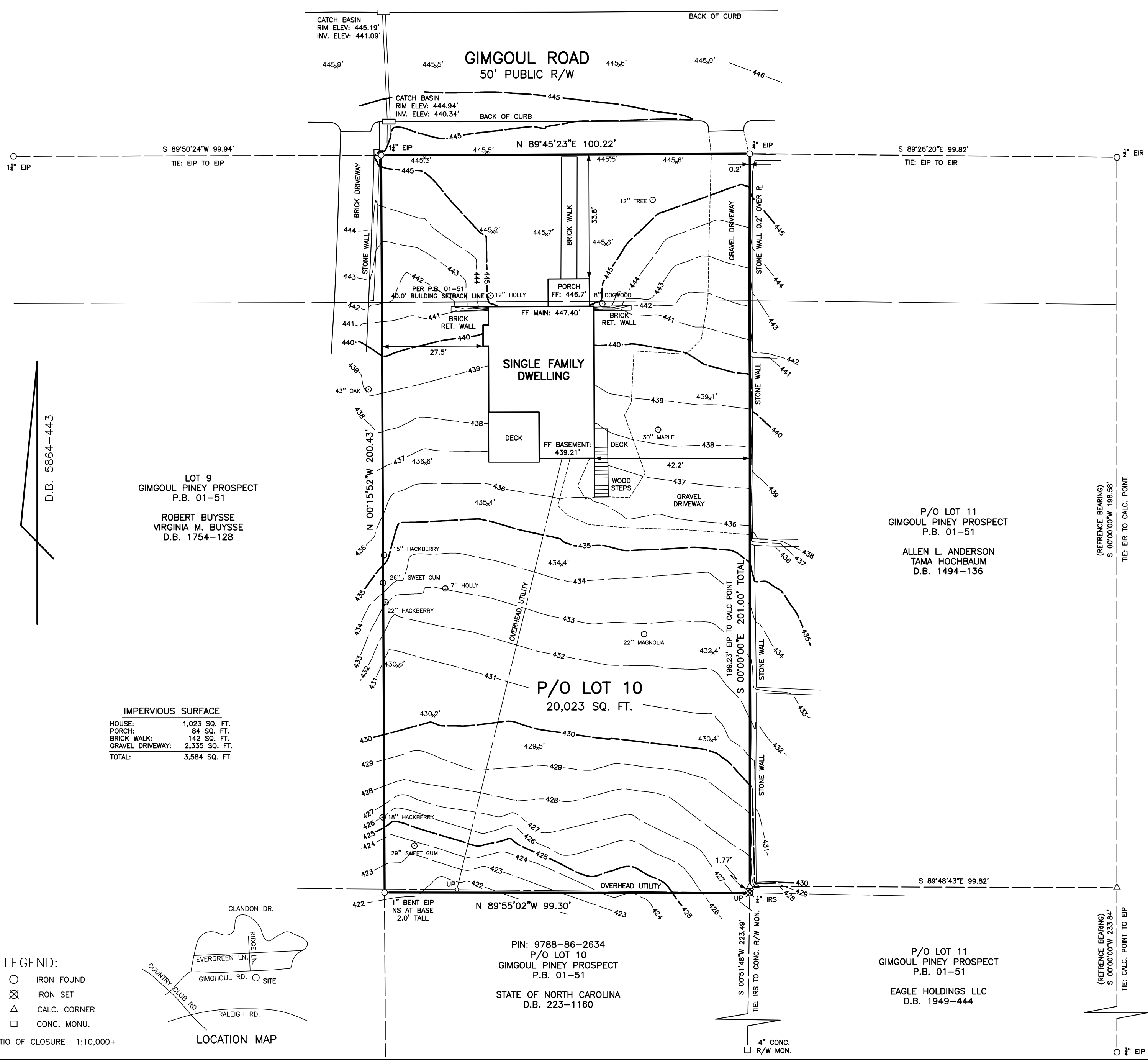


LEFT ELEVATION $\frac{1}{4} = 1 \text{ FT.}$

I CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED DESCRIPTION RECORDED IN BOOK 5864, PAGE 443); THAT THE BOUNDARIES NOT SURVEYED ARE INDICATED AS DRAWN FROM SOURCES NOTED HEREON; THAT THE RATIO OF PRECISION OR POSITIONAL ACCURACY IS 1:10,000; THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED.

WITNESS MY ORIGINAL SIGNATURE, REGISTRATION NUMBER AND SEAL THIS 1st DAY OF DECEMBER, 2014.

Charles R. Billings
 CHARLES R. BILLINGS PROFESSIONAL LAND SURVEYOR L-2711




LOT 9
 GIMGOUL PINEY PROSPECT
 P.B. 01-51
 ROBERT BUYSSE
 VIRGINIA M. BUYSSE
 D.B. 1754-128

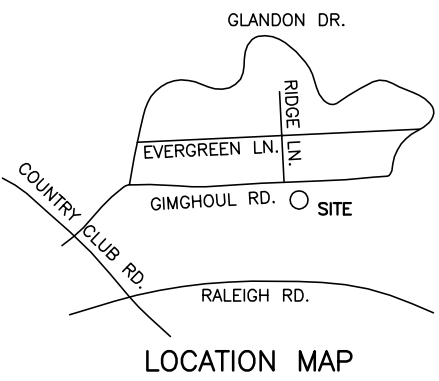
P/O LOT 11
 GIMGOUL PINEY PROSPECT
 P.B. 01-51
 ALLEN L. ANDERSON
 TAMA HOCHBAUM
 D.B. 1494-136

P/O LOT 10
 20,023 SQ. FT.

IMPERVIOUS SURFACE

HOUSE:	1,023 SQ. FT.
PORCH:	84 SQ. FT.
BRICK WALK:	142 SQ. FT.
GRAVEL DRIVEWAY:	2,335 SQ. FT.
TOTAL:	3,584 SQ. FT.

- LEGEND:**
- IRON FOUND
 - ⊗ IRON SET
 - △ CALC. CORNER
 - CONC. MONU.



PIN: 9788-86-2634
 P/O LOT 10
 GIMGOUL PINEY PROSPECT
 P.B. 01-51
 STATE OF NORTH CAROLINA
 D.B. 223-1160

P/O LOT 11
 GIMGOUL PINEY PROSPECT
 P.B. 01-51
 EAGLE HOLDINGS LLC
 D.B. 1949-444

TOPOGRAPHIC SURVEY
 PROPERTY OF
TANNER HOCK
SUMEETHA GOLI HOCK
 PROPERTY ADDRESS: 724 GIMGOUL ROAD
 P/O LOT 10, GIMGOUL PINEY PROSPECT
 PIN: 9788-86-2824
 PLAT BOOK REFERENCE: 01-51
 DEED BOOK REFERENCE: 5864-443

CHAPEL HILL TOWNSHIP
 ORANGE COUNTY
 NORTH CAROLINA

SCALE: 1" = 20' NOVEMBER 24, 2014



1 Frontage



2 Rear Toward House



4 North (Street) Side



5 West Side



6 South (Rear) Side



7 East Side

724 GIMGHOUL: SURROUNDING PROPERTY OWNERS WITHIN 100 FEET

1	9788870056	JACOBS, MICHAEL AND DONNA	719 GIMGHOUL RD	CHAPEL HILL	NC	27514-3814
2	9788871057	WADE, BERNICE S	723 GIMGHOUL RD	CHAPEL HILL	NC	27514-3814
3	9788872048	WHITE, JAMES W AND MARION	105 RIDGE LN	CHAPEL HILL	NC	27514-3830
4	9788873064	PATTON, JOSEPHINE WARD	733 GIMGHOUL RD	CHAPEL HILL	NC	27514-3815
5	9788861729	BUYSE, ROBERT AND VIRGINIA M	720 GIMGHOUL RD	CHAPEL HILL	NC	27514-3811
6	9788863824	ANDERSON, ALLEN L AND HOCHBAUM, TAMA	728 GIMGHOUL RD	CHAPEL HILL	NC	27514-3811
7	9788865972	M AND T CH PROP INC ET AL, & BIESE, KEVIN	738 GIMGHOUL RD	CHAPEL HILL	NC	27514
8	9788860599	STATE OF NORTH CAROLINA	UNKNOWN ADDRESS			
9	9788862634	STATE OF NORTH CAROLINA	UNKNOWN ADDRESS			
10	9788863634	EAGLE HOLDINGS LLC	P O BOX 834	TRUSSVILLE	AL	35173
11	9788864631	HUSE, HENRY	24 SABLE CT	NORWALK	CT	6854

