

Town of Chapel Hill - Development Services
Residential Zoning—Building Permit Application



OFFICE USE ONLY

Approved By:

Permit #:

Issued:

Building Zoning and Certificate of Appropriateness

A. Project Location Type: Single Family Two Family County: Orange Durham

Property Address 127 Mallette St. Unit Number _____
 City Chapel Hill State NC Zip 27516
 Parcel Identifier Number 9788266161 Subdivision _____ Inside Town Limits
 Existing Use residential Utilities _____ Zoning District R-3, HDC
 Property Owner Chabad of Durham Phone 919-630-5129
 Property Owner Address 501 N. Estes Drive Email: rabbizalmanb@gmail.com
 Same as Property Address City Chapel Hill, NC State NC Zip 27514
Special Protection Areas: Floodplain Historic Dist. Jordan Buffer NCD RCD Watershed Protection Dist.

B. Applicant

Applicant Name Jack Haggerty, Architect Inc. Same as Owner
 Address 205 W. Main St., Ste. 211 City Carrboro State NC Zip 27510
 Email jack@jackhaggertyarchitect.com Phone 919 967-5191 Fax _____
Check one of the following boxes:
 New Work **After the Fact Work:** This Permit is to authorize work performed without a permit, inspection or approvals. If this an after the fact permit, I understand that all work must be uncovered and inspected before an approval can be granted and that I cannot self-perform work subject to the NC Building, Plumbing, Mechanical or Electrical codes if I do not personally live in this house for a minimum of twelve (12) months following completion of the approved building final inspection.

C. Types of Work: Check all boxes that apply to the work being performed:

<input checked="" type="checkbox"/> Addition	<input type="checkbox"/> New Building	<input type="checkbox"/> Accessory Structure or Use (Exterior): i.e. fence, gazebo, irrigation, landscaping, patio, outdoor kitchen or fireplace, other paved or impervious area, parking areas, pergola, retaining wall, shed, steps, stoop, or utilities.
<input type="checkbox"/> Deck/Porch	<input checked="" type="checkbox"/> Plumbing	
<input checked="" type="checkbox"/> Demolition	<input type="checkbox"/> Pool	
<input type="checkbox"/> Driveway	<input type="checkbox"/> Repair	<input checked="" type="checkbox"/> Remodel: Adding, moving, removing of any walls or changing use of existing space. i.e. changing size of a room, finishing unfinished space, changing dining room to bedroom, or closing off storage space in garage.
<input checked="" type="checkbox"/> Electrical	<input checked="" type="checkbox"/> Roof / Siding	<input type="checkbox"/> Renovation: Improving or refurbishing of a space without changing its configuration, size, or use. i.e. replace flooring, cabinets, or fixtures.
<input checked="" type="checkbox"/> Foundation	<input type="checkbox"/> Solar	
<input checked="" type="checkbox"/> Mechanical		
<input type="checkbox"/> Other (Specify) _____		

D. Detailed Project Description Include proposed use and attach Scope of Work document per [Scope of Work Instructions](#)

Residential Zoning - Building Permit Application



Property 127 Mallette St.

Address:

E. DETAILS Complete based on types of work selected in Section C. See [Zoning-Building Application Instructions](#) for requirements

1. Construction		2. Dwelling Units			
Type of Construction:		Number of:	Existing	New	Total
<input checked="" type="checkbox"/> Site Built	<input type="checkbox"/> Modular	Bedrooms	4	3	7
<input checked="" type="checkbox"/> Insulation	<input type="checkbox"/> Mobile Home	Bathrooms	4	1	5
Construction Value	\$	Kitchens	2	1	1
Number of Stories	2	Dwelling Units	2	0	1
Max. Construction Height (ft)	29' (ht. of new)	Parking Spaces	5	0	5
Total Heated square footage	4,104				
Total Unheated square footage					

3. Area Complete using Sq Ft		*See Zoning-Building Application Instructions for definitions			
	Existing	Remodel, Renovation, Repair	Decrease / Demolition	Addition / New (gross)	Total
Impervious Surface Area (ISA)*	6,497		0	188	6,685
Basement Square Footage*			0	0	0
1st Floor Square Footage	1,592			492	2,084
2nd Floor Square Footage	1,232			788	2,020
Attic/3rd Floor Square Footage			0 (unfinished)	0 (unfinished)	0
Total Sq Footage (Basement to 3rd)	2,824			1,280	4,104

4. Zoning Complete using Sq Ft unless otherwise noted							
Lot Size (NLA)	11,008	New Land Disturbance	980	Existing ISA/NLA ratio	59%	Total ISA / NLA ratio	60%
		Allowed	Proposed		Required	Proposed	
Primary Height (ft)		29'	25'-0" (+/-)	Interior Setback (ft) (neighboring lot lines)	8'	15'-6"	
Secondary Height (ft)		60'	no change	Solar Setback (ft) (northern lot line)	11'	22'	
				Street Setback (ft)	24'	24'	

Complete the following section for **Duplexes** OR projects within a **NCD**:

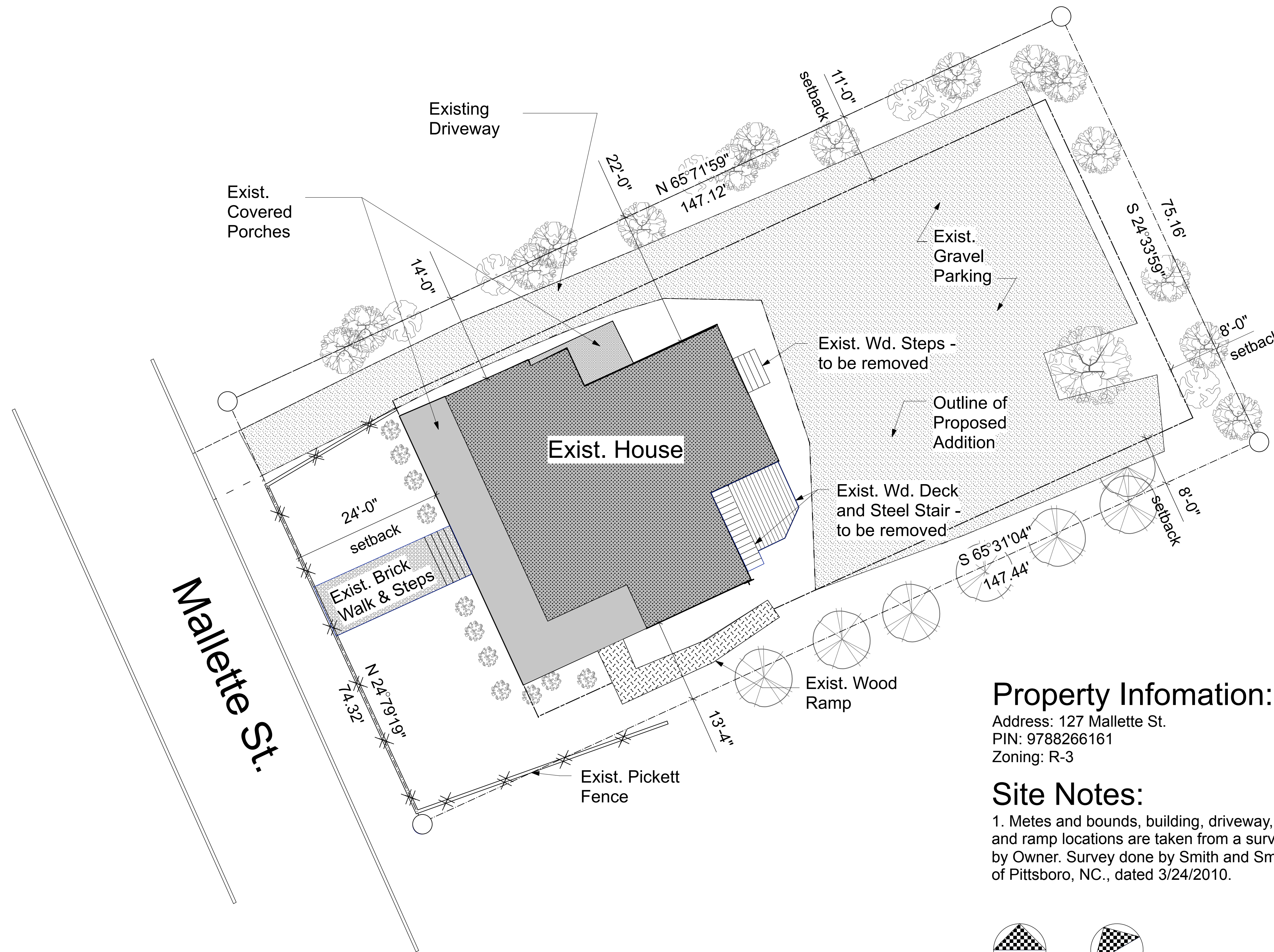
Existing Floor Area		Change in Floor Area		Total Floor Area	
---------------------	--	----------------------	--	------------------	--

F. Supporting Documentation See [Zoning-Building Permit Requirements Handout](#) for submittal requirements for each type of work

OFFICE USE ONLY							
Submitted	Lot Creation Date:		Gross Land Area		Reviews		
					Division	Initials	Date
Issued	Disturbance since 1/27/03	Credited Area	Gross Land Area / Floor Area (FAR)		Building		
					Engineering		
					GIS		
Completed	Total Disturbance		ISA / GLA on 7/1/1993		Zoning		
					Other		

Lot Coverage Ratio

- Lot Size; .253 ac/ 11,008 s.f.
- Lot Coverage Ratio of Built Upon to Total Lot Area (includes covered porches but not deck or open stair): 2,155 s.f. (built upon) / 11,008 (lot area) = 19.6 %

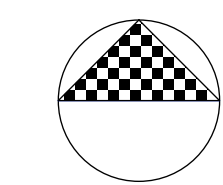


Property Information:

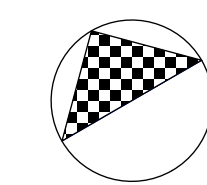
Address: 127 Mallette St.
 PIN: 9788266161
 Zoning: R-3

Site Notes:

1. Metes and bounds, building, driveway, parking, deck and ramp locations are taken from a survey provided by Owner. Survey done by Smith and Smith Surveyors of Pittsboro, NC., dated 3/24/2010.



North



project North

Existing Conditions Site Plan - 1"=10'

Jack Haggerty, Architect Inc.

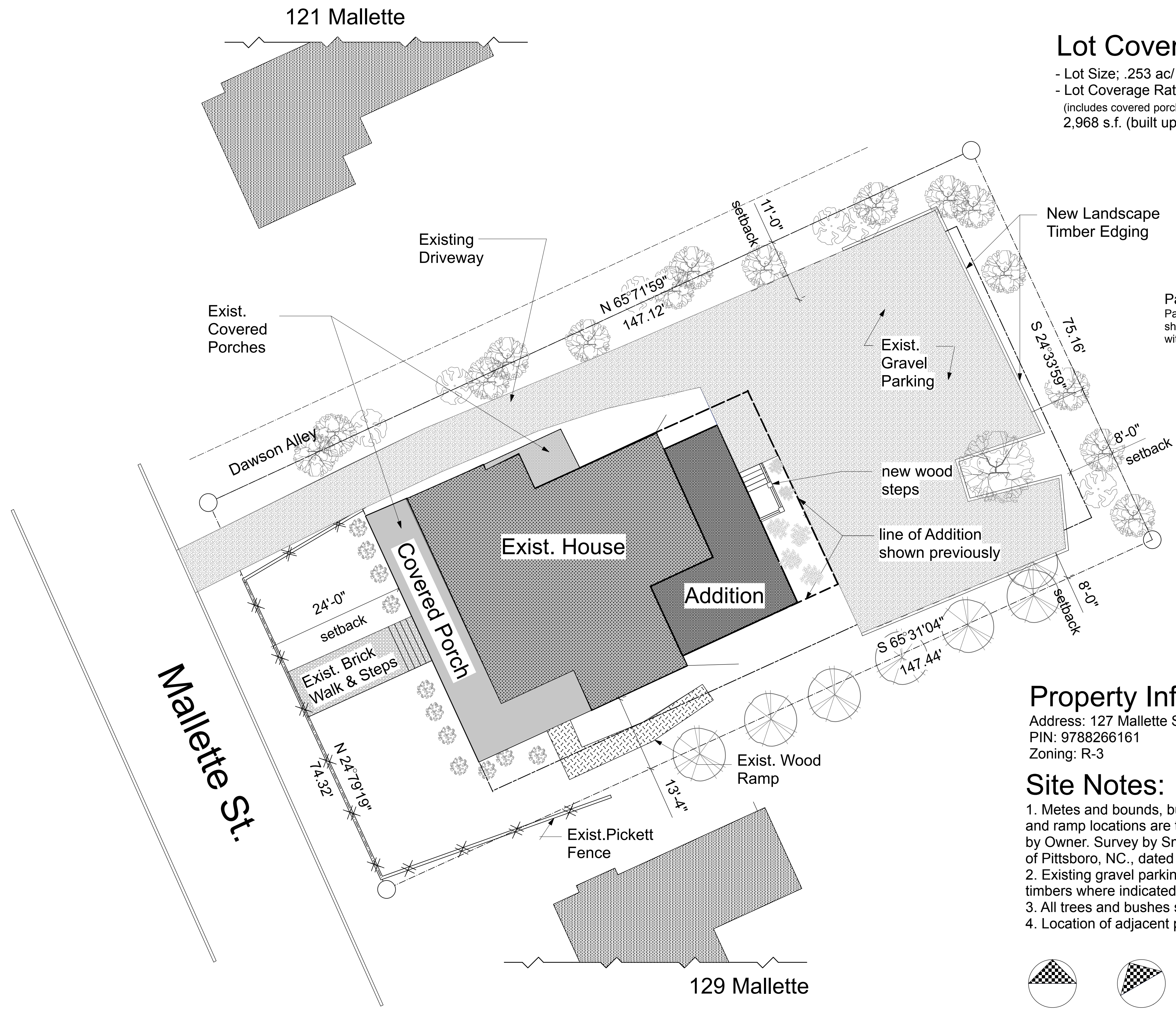
205 W. Main St., Ste. 211 Carrboro, NC 27510
 919.967.5191 jack@jackhaggertyarchitect.com

127 Mallette St.
 Chapel Hill, NC

Historic District Commission - Certificate of Appropriateness

5/26/15
 6/1/15

Jack Haggerty, Architect, Inc. reserves its common law copyright and other property rights in these drawings. These drawings are for our exclusive use and are not to be reproduced, changed, copied or distributed to others in any form or manner or assigned to any third party without first obtaining the written permission and consent of Jack Haggerty, Architect, Inc.



Lot Coverage Ratio

- Lot Size; .253 ac/ 11,008 s.f.
 - Lot Coverage Ratio of Built Upon to Total Lot Area
 (includes covered porches but not deck or open stair):
 2,968 s.f. (built upon) / 11,008 (lot area) = 24.5%

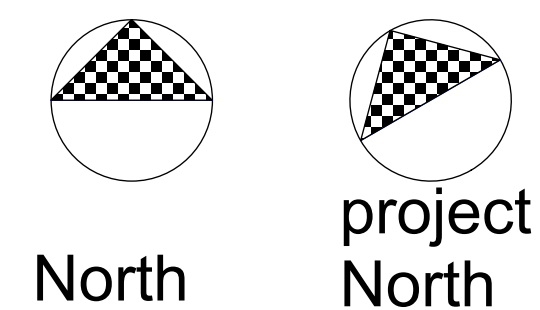
Parking and Driveway Note:
 Parking area and driveway shall be re-graded to improve drainage, with new gravel placed as required.

Property Information:

Address: 127 Mallette St.
 PIN: 9788266161
 Zoning: R-3

Site Notes:

1. Metes and bounds, building, driveway, parking, deck and ramp locations are taken from a survey provide by Owner. Survey by Smith and Smith Surveyors of Pittsboro, NC., dated 3/24/2010.
2. Existing gravel parking area shall be edged with landscape timbers where indicated.
3. All trees and bushes shown are existing. No trees are to be removed.
4. Location of adjacent properties and trees are approximate.



Proposed Site Plan - 1"=10'

Jack Haggerty, Architect Inc.

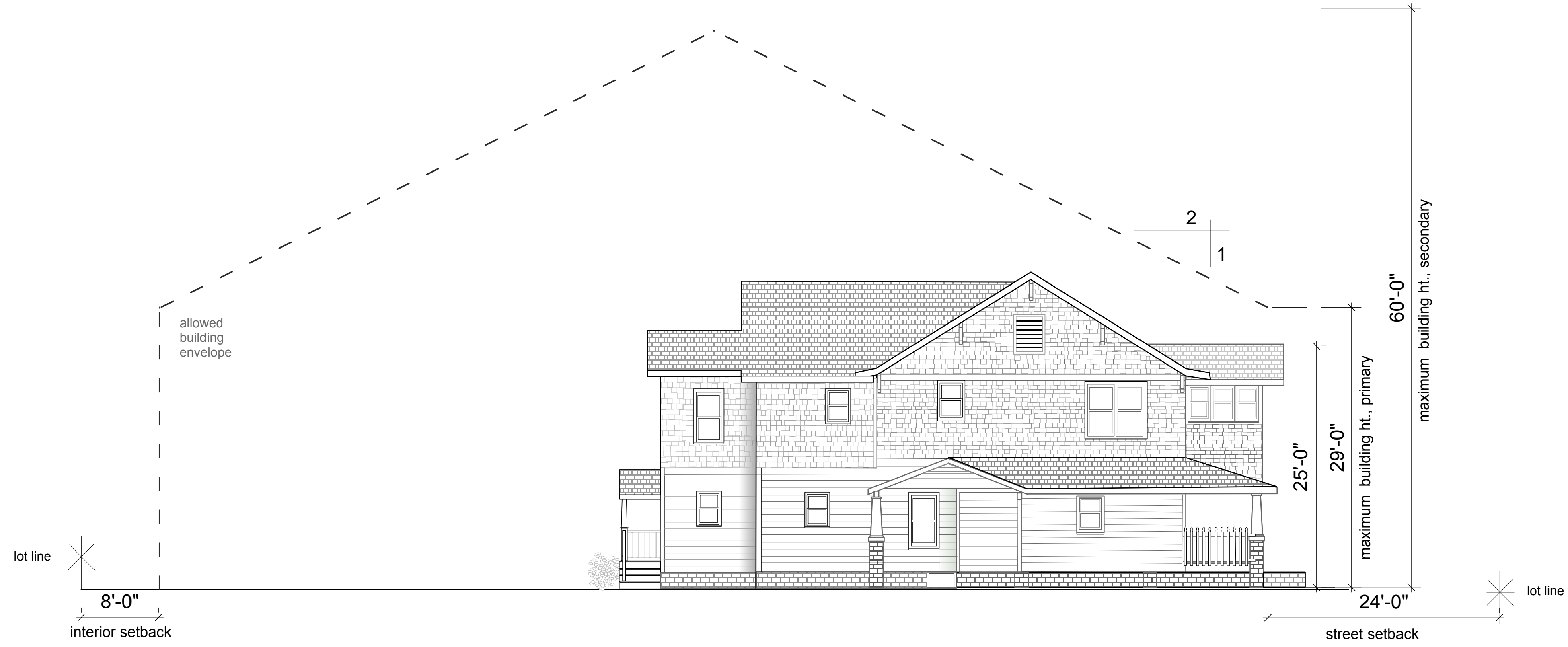
205 W. Main St., Ste. 211 Carrboro, NC 27510
 919.967.5191 jack@jackhaggertyarchitect.com

**127 Mallette St.
 Chapel Hill, NC**

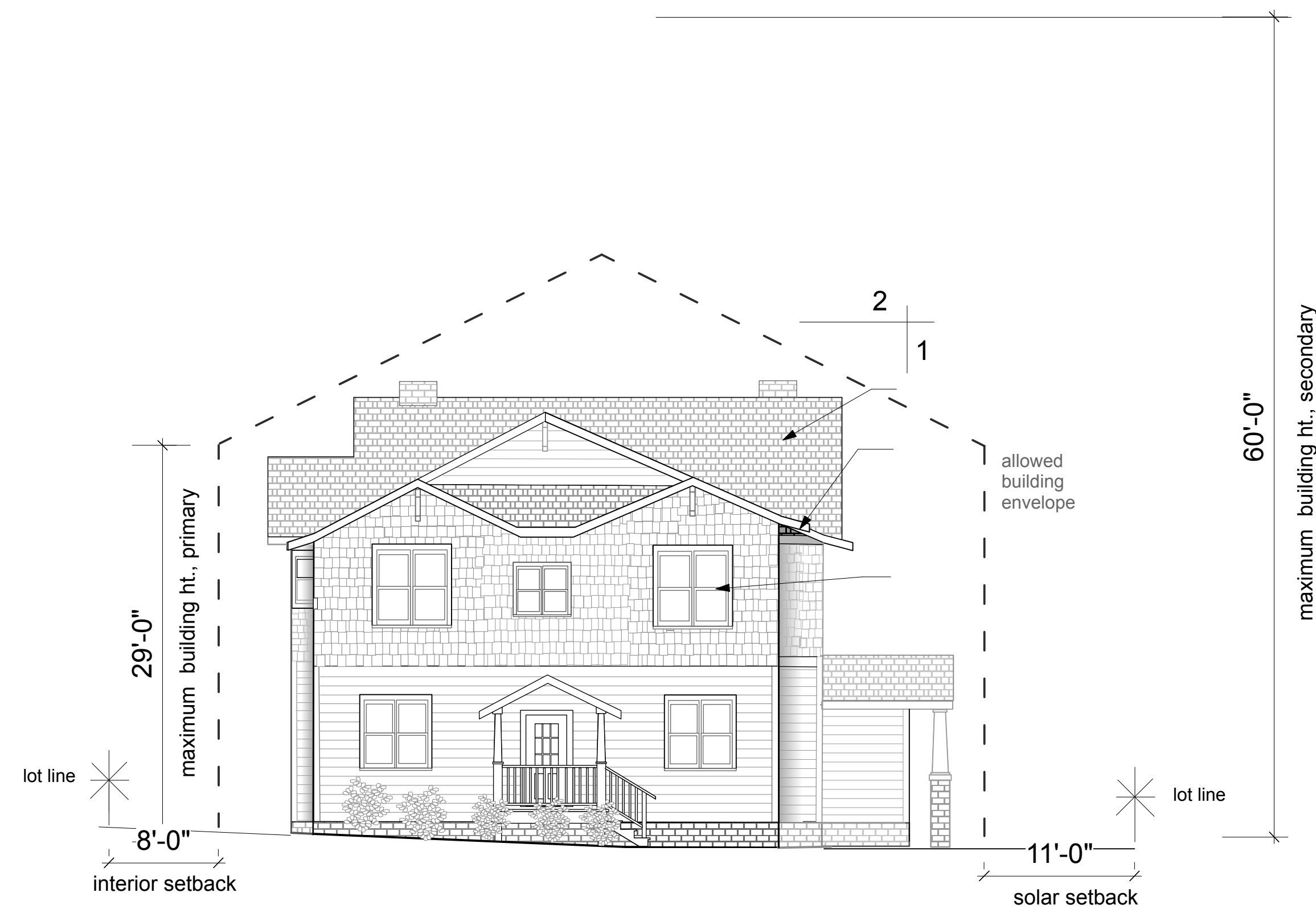
Historic District Commission - Certificate of Appropriateness

5/21/15
 7/14/15

Jack Haggerty, Architect, Inc. reserves its common law copyright, and other property rights in these drawings. These drawings are for our exclusive use and are not to be reproduced, changed, copied or distributed to others in any form or manner or assigned to any third party without first obtaining the written permission and consent of Jack Haggerty, Architect, Inc.



North Elevation, New - 1/8"



East Elevation, New - 1/8"

East Elevatio, Proposed - 3/16"

Jack Haggerty, Architect Inc.

205 W. Main St., Ste. 211 Carrboro, NC 27510
 919.967.5191 | jack@jackhaggertyarchitect.com

**127 Mallette St.
 Chapel Hill, NC**

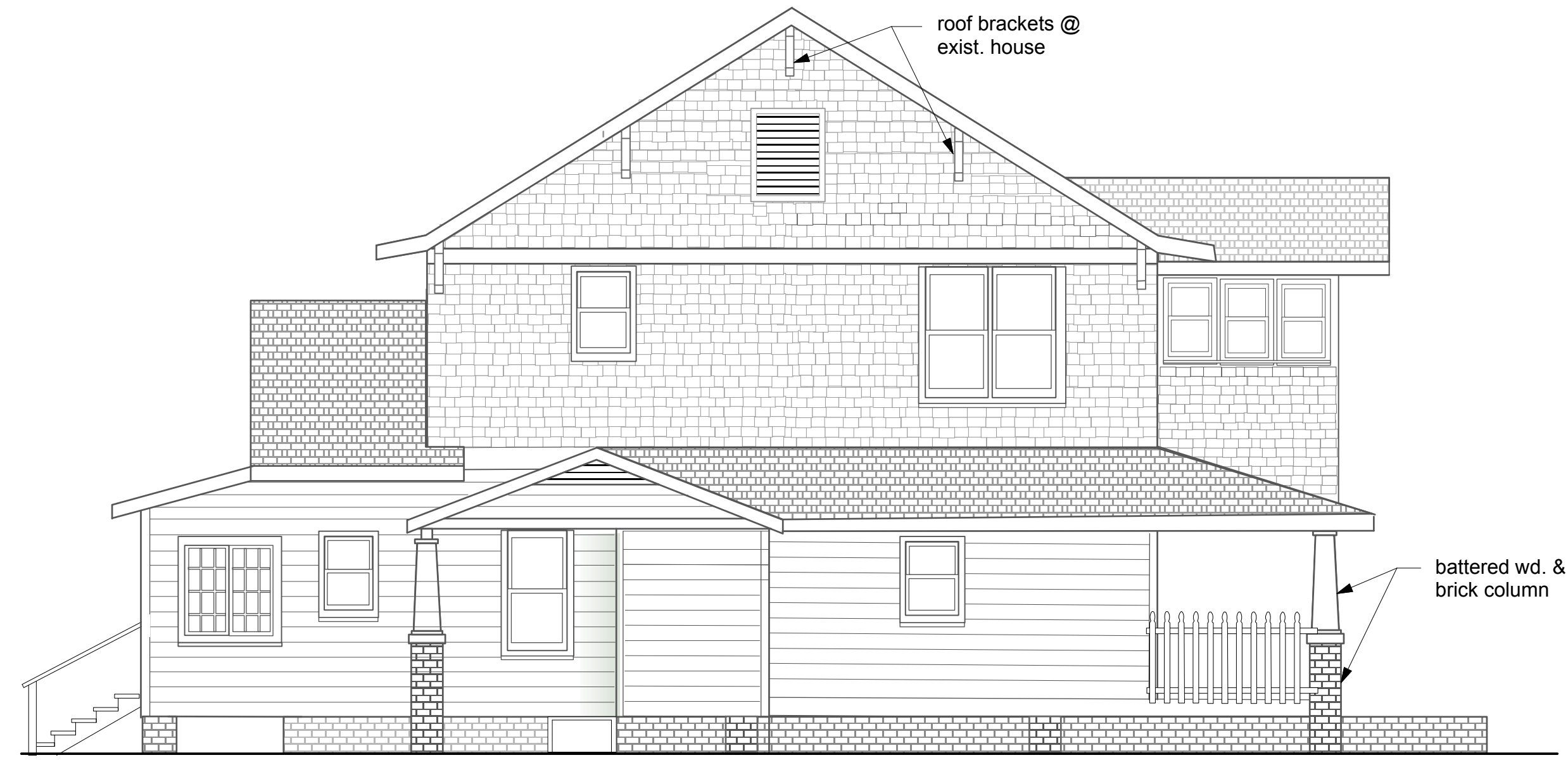
Historic District Commission - Certificate of Appropriateness Building Envelope

5/26/15
 7/15/15

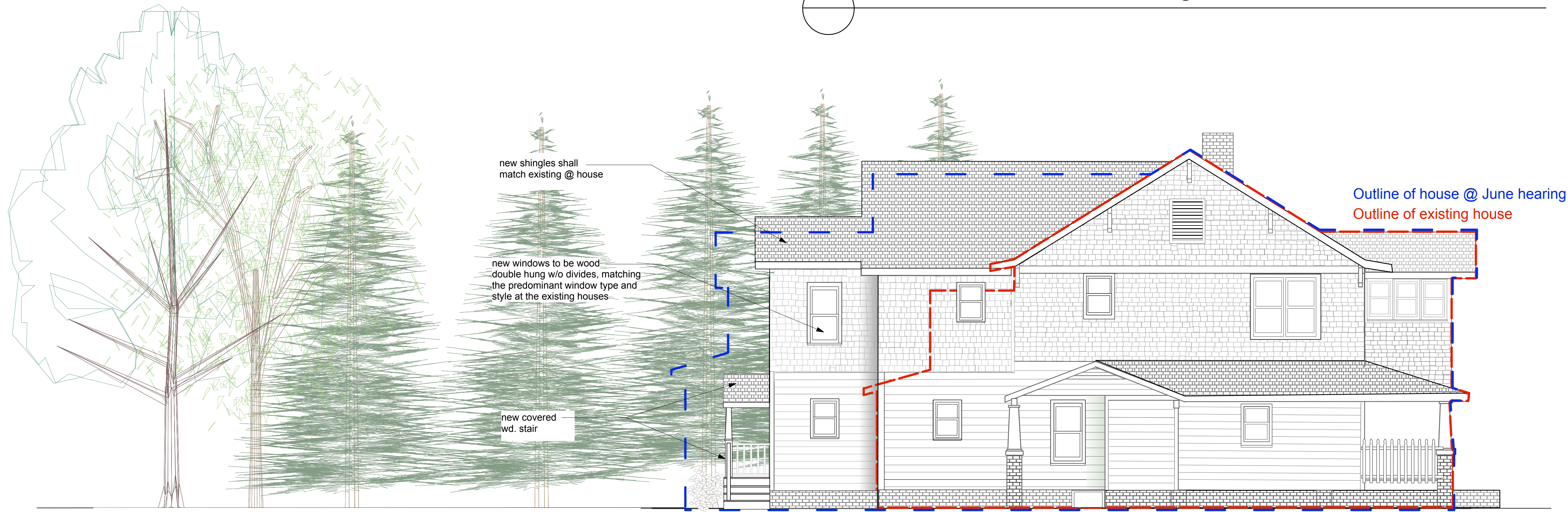
Jack Haggerty, Architect, Inc. reserves his common law copyright and other property rights in these drawings. These drawings are for our exclusive use and are not to be reproduced, changed, copied or distributed to others in any form or manner or assigned to any third party without first obtaining the written permission and consent of Jack Haggerty, Architect, Inc.

2"

1"



North Elevation, Existing- 3/16"



North Elevation, Proposed- 3/16"

Jack Haggerty, Architect Inc.

205 W. Main St., Ste. 211 Carrboro, NC 27510
919.967.5191 jack@jackhaggertyarchitect.com

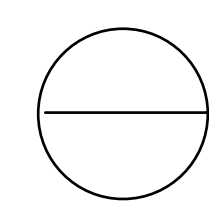
127 Mallette St.
Chapel Hill, NC

Historic District Commission - Certificate of Appropriateness

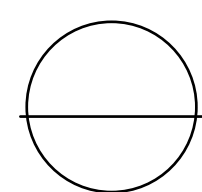
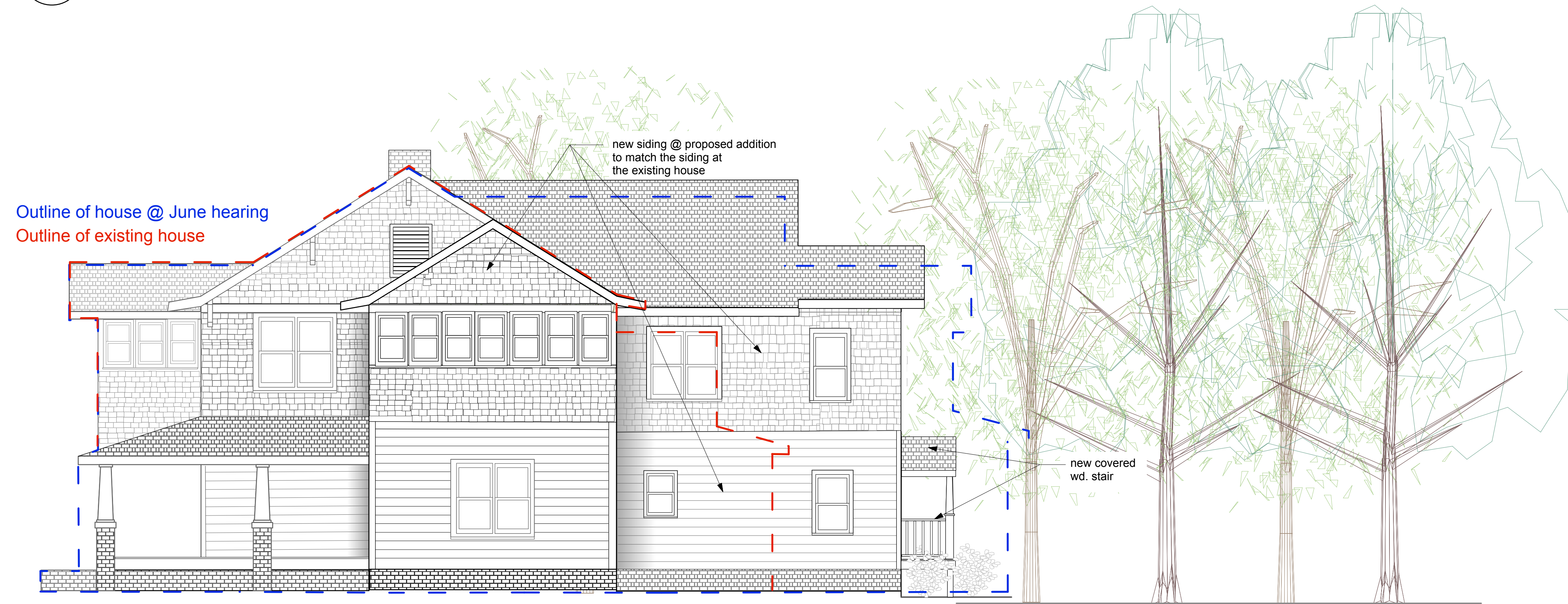
5/26/15
7/15/15

Jack Haggerty, Architect, Inc. reserves his common law copyright and other property rights in these drawings. These drawings are for our exclusive use and are not to be reproduced, changed, copied or distributed to others in any form or manner or assigned to any third party without first obtaining the written permission and consent of Jack Haggerty, Architect, Inc.

2"



South Elevation, Existing- 3/16"



South Elevation, Proposed- 3/16"

Jack Haggerty, Architect Inc.

205 W. Main St., Ste. 211 Carrboro, NC 27510
919.967.5191 jack@jackhaggertyarchitect.com

127 Mallette St.
Chapel Hill, NC

Historic District Commission - Certificate of Appropriateness

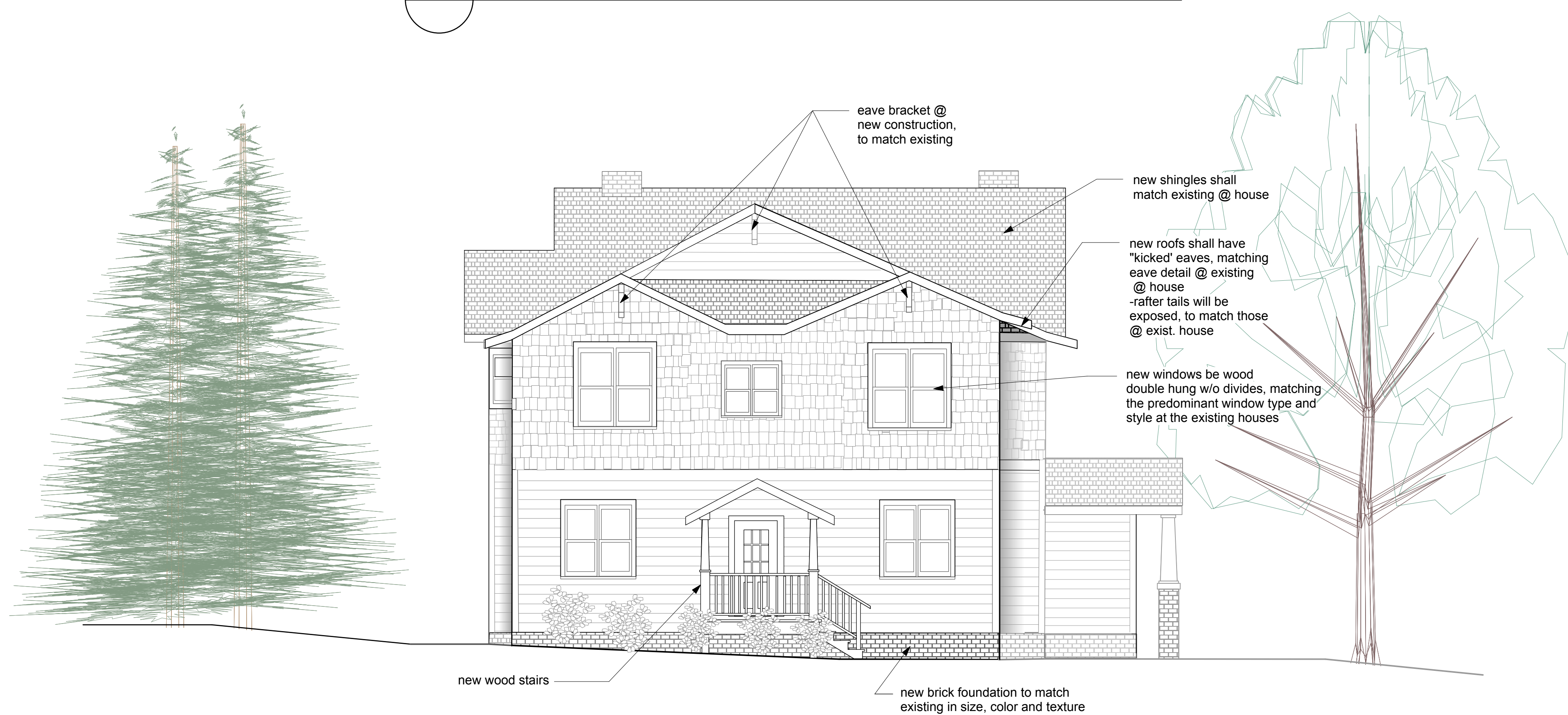
5/26/15
7/13/15

Jack Haggerty, Architect, Inc. reserves its common law copyright and other property rights in these drawings. These drawings are for our exclusive use and are not to be reproduced, changed, copied or distributed to others in any form or manner or assigned to any third party without first obtaining the written permission and consent of Jack Haggerty, Architect, Inc.

2"



East Elevation, Existing- 3/16"



East Elevation, Proposed- 3/16"

Jack Haggerty, Architect Inc.
 205 W. Main St., Ste. 211 Carrboro, NC 27510
 919.967.5191 jack@jackhaggertyarchitect.com

127 Mallette St.
Chapel Hill, NC

Historic District Commission - Certificate of Appropriateness

6/25/15
 7/13/15

Jack Haggerty, Architect, Inc. reserves his common law copyright and other property rights in these drawings. These drawings are for our exclusive use and are not to be reproduced, changed, copied or distributed to others in any form or manner or assigned to any third party without first obtaining the written permission and consent of Jack Haggerty, Architect, Inc.

2"

1"