

MEMORANDUM

TO: Chapel Hill Planning Commission

FROM: Gene Poveromo, Development Manager
Judy Johnson, Principal Planner

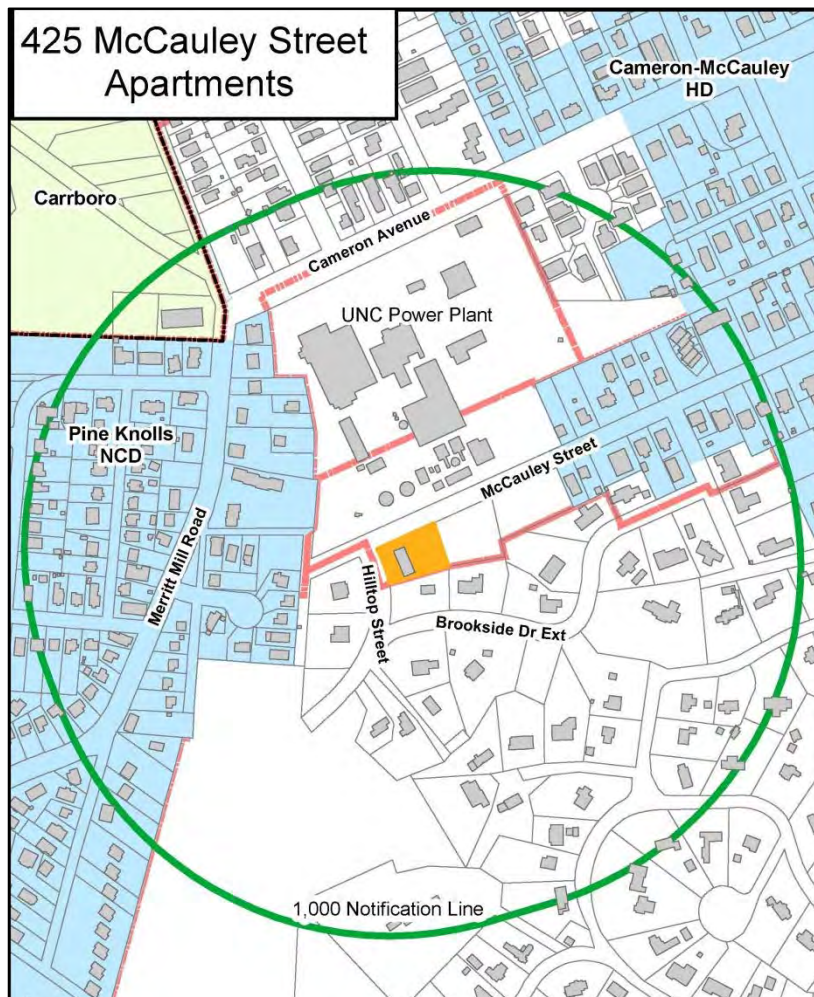
SUBJECT: Application for Site Plan Review –McCauley Street Apartments, 425 McCauley Street (Project # 15-024)

DATE: August 13, 2015

STAFF RECOMMENDATION

Town staff recommends that the Planning Commission adopt Resolution A, approving the Site Plan Review application for construction of two new dwelling units and an addition to an existing building on a 0.52-acre site with conditions.

DESCRIPTION OF THE APPLICATION



This memorandum describes the Site Plan Review application for the proposed change of use from a duplex to a multi-family apartment. The Site Plan Review application requests approval to renovate and expand an existing duplex structure on the site and to construct two new dwelling units, for a total of four dwelling units, adding approximately 3,198 square feet of floor area, and eight parking spaces. The property is within the Residential-4 (R-4) zoning district. Multi-family dwelling units are a permitted use within this zoning district.

ATTACHMENTS

1. Staff Analysis
2. Resolution A Site Plan Review Approval
3. Resolution B Site Plan Review Denial
4. Applicant's materials

STAFF REPORT

SUBJECT: Application for Site Plan Review – McCauley Street Apartments, 425 McCauley Street (Project # 15-024)

DATE: August 13, 2015

INTRODUCTION

The Site Plan Review application, submitted by Coulter, Jewell, Thames, seeks approval for a change of use from a duplex to a multi-family apartment. The property is identified as Orange County Parcel Identifier Number 9788-14-5268 and is located at 425 McCauley Street.

PROCESS

Where a change of use to a different use group is proposed, a Site Plan Review is required. In this case, the existing duplex use is proposed to be developed as a multi-family apartment. We note that multi-family apartments are a permitted use in the Residential-4 (R-4) zoning district. The Land Use Management Ordinance necessitates the Planning Commission approval of a site plan.

STAFF ANALYSIS OF THE APPLICATION

Address	425 McCauley Street, Chapel Hill
Owner	Ken Gorfkle
Location Description	Southeast corner of the intersection of McCauley Street and Hilltop Street
County Parcel Identifier Number	Orange County Parcel Identifier Number 9788-14-5268
Property Description	Existing 2,038 square foot structure with two dwelling units
Existing Zoning	Residential-4 (R-4)
Proposed Land Use	Multi-family, four dwelling units, permitted in R-4 zoning district
Surroundings	
General Development Pattern	Single-family and single-family with accessory dwellings development to the west, south, and east, and the University Co-Generation Plant to the north
Current Site Conditions	
Lot Size	22,814 sq. ft
Structures	Existing 2,038 square foot duplex unit
Vegetation	Existing hardwoods and pines
Access	Existing driveway on McCauley Street
Utility Easements	None
Existing Impervious Surface	4,519 s.f.
Proposed Impervious Surface	8,234 s.f. total
Resource Conservation District	N/A

Watershed Protection District	Within the Watershed Protection District
Jordan Riparian Buffer	N/A
Wetlands	N/A
Steep Slopes	N/A

Site Plan Review: The Planning Commission has the authority to approve new developments if the proposal involves less than 20,000 square feet of floor area and less than 40,000 square feet of land disturbance, and if the proposed use is permitted in the zoning district. The application proposes a total of 5,236 square feet of floor area and a total of 25,011 square feet of land disturbance.

Proposed Development

The applicant is proposing to construct two new dwelling units and an expansion to the existing structure on the site for a total of four dwelling units, as well as create a parking area for eight vehicles.

Town staff has reviewed this application for compliance with the [Land Use Management Ordinance](#) and the [Design Manual](#) and offers the following evaluation:

Development Use and Intensity: The following table provides details regarding proposed development intensities.

Standard	Residential-4 (R-4) Zoning Requirements	Site Plan Review Application
Floor Area Maximum	5,247 s.f.	5,236 s.f.
Maximum Primary Height	34 ft.	32 ft.
Maximum Secondary Height	60 ft.	32 ft.
Minimum Solar Setback (northern property line)	9 ft.	9 ft.
Minimum Interior Setback	8 ft.	8 ft.
Minimum Street Setback	22 ft.	22 ft.
Maximum Impervious Surface	14,518 s.f. (70%)	8,234 s.f. (40%)
Minimum Vehicular Parking Spaces	8	8 (incl. 1 HC)
Maximum Vehicular Parking Spaces	10	
Bicycle Parking Spaces	1	1

Transportation

Access and Circulation: A single point of access to the site is proposed to McCauley Street. McCauley Street is currently a gravel road from approximately 300 feet east of the property to the western end of the street. The applicant is proposing to improve the cross-section of McCauley Street with a strip of pavement from the existing edge of pavement to the east to just west of the proposed driveway access point, approximately 350 linear feet. We have included this as a stipulation in Resolution A. The applicant has offered the street improvements in lieu of frontage improvements including sidewalk and curb and gutter. Town staff is in support of this improvement.

Vehicle Parking: The Land Use Management Ordinance requires a minimum of 8 parking spaces and a maximum of 10 parking spaces for this development. The applicant is proposing 8 parking spaces. We have included this as a stipulation in Resolution A.

Bicycle Parking: The Land Use Management Ordinance specifies 1 bicycle parking space per four dwelling units. For this four unit development project, one bicycle space is required. The applicant is proposing one bicycle parking space and we have included this as a stipulation in Resolution A.

Recreation

Residential Recreation Requirements: With multi-family, there is a recreation space requirement. The Land Use Management Ordinance requires that the project provide 890 square feet of recreation space. The applicant is proposing to include a basketball area to fulfil this requirement.

Schools Adequate Facilities Ordinance

Because this project includes residential units, it will be necessary for the applicant to provide Certificates of Adequacy from the Chapel Hill-Carrboro City School district prior to the issuance of a Zoning Compliance Permit.

Landscape and Architecture

Landscape Buffers: The required and proposed buffers are as follows:

Location	Required Buffers	Proposed Buffer
Eastern property line	10-foot wide Type ‘B’ Internal Buffer	10-foot wide Type ‘B’ Internal Buffer
Northern property line (McCauley Street frontage)	No requirement	Not provided
Western property line (Hilltop Street frontage)	No requirement	Not provided
Southern property line	10-foot wide Type ‘B’ Internal Buffer	10-foot wide Type ‘B’ Internal Buffer

Alternate Buffer: That unless the applicant obtains alternate bufferyard approval from the Community Design Commission, that a standard 10-foot wide Type B buffer be provided along the southern property line. It will be necessary for the Community Design Commission to make the determination that any proposed alternate buffer shall provide the same degree of visual and noise obstruction as the required buffer.

Parking Landscape: The application must meet the standards of Section 5.9 of the Land Use Management Ordinance including a five-foot landscape buffer strip between the parking facility and the building. We have included this as a stipulation in Resolution A.

Building Elevations and Lighting Plan: We recommend that a condition of approval require that the applicant obtain approval from the Community Design Commission for detailed building elevations and site lighting plans. We have included this as a stipulation in Resolution A.

Environment / Stormwater Management

Canopy Tree Requirements: The minimum tree canopy coverage requirement for a multi-family residential project is 30% of the lot. We have included this as a stipulation in Resolution A.

Land Disturbance and Impervious Surface:

	Square Feet	Percentage of NLA
Net Land Area (NLA)	20,740	100%
Proposed Land Disturbance	20,587	99%
Proposed Impervious Surface	8,234	39.7%

Stormwater Management Plan: The stormwater runoff from this site is proposed to be routed to bioretention area.

Prior to the issuance of a Zoning Compliance Permit, the applicant must submit a Stormwater Management Plan for review and approval by the Town Manager. This project must comply with the stormwater management requirements of the Land Use Management Ordinance to provide for 85% total suspended solids removal from the increased impervious area, retention for 2-5 days of the increased volume of stormwater runoff from the 2-year, 24-hour storm, and control of the stormwater runoff rate for the 1-year, 2-year, and 25-year storms. We have included a stipulation with detailed requirements in Resolution A.

Stormwater Facilities, Reservations, and Operations and Maintenance Plans: All stormwater facilities shall be within a reserved area or easement where no development would impede the facilities’ proper functioning. We have included a stipulation with detailed requirements in Resolution A.

Prior to building occupancy, a Stormwater Operations and Maintenance Plan, signed by the owner, shall be provided for the proposed stormwater management facilities and submitted to the Stormwater Management Engineer for approval. A schedule of inspection and maintenance tasks shall be included. We have included a stipulation with detailed requirements in Resolution A.

Steep Slopes: The site is relatively flat, with a majority of the slopes less than ten percent.

Utilities and Services

Utilities: All permits and plan approvals will need to be approved by Orange Water and Sewer Authority, Duke Energy Company, PSNC Energy and other utility providers as appropriate. We have included stipulations with detailed requirements in Resolution A.

Fire/Emergency Access and Protection: A fire hydrant must be located within 500 feet of the proposed building, as required by the Land Use Management Ordinance. Approval of a fire flow report is required by the Town and OWASA, showing the Town’s 1,500 gallons per minute standard can be met, prior to issuance of a Zoning Compliance Permit. We have included stipulations with detailed requirements in Resolution A.

The new building will need to have a sprinkler system installed as part of the construction unless the applicant can demonstrate sufficient water supply at the nearest fire hydrant for fire suppression. This is subject to approval of the Fire Marshal and included as a stipulation in Resolution A.

Refuse / Recycling Collection: The refuse and recycling service area is proposed to be located on the eastern side of the proposed parking lot on the site. The application is also showing a staging area on McCauley Street for the carts for pick-up. Refuse collection would be provided by the Town of Chapel Hill. We believe it will be necessary to provide storage for at least 4 roll carts and to screen the refuse area. The residents would be required to bring the carts to the street for collection. We have included stipulations with detailed requirements in Resolution A.

Additional Stipulations in Resolution A (see resolution for detailed requirements)

<i>Accessibility Requirements</i>	Prior to issuance of the Certificate of Occupancy the applicant shall provide the minimum required handicapped facilities and infrastructure required Americans with Disabilities codes and standards.
<i>Engineering Construction Permit</i>	Prior to initiation of work in the public right-of-way, the applicant shall obtain an Engineering Construction Permit.
<i>Final Site Design</i>	Prior to the issuance of a Zoning Compliance Permit, the final design is subject to approval by the Town Manager.
<i>Landscape Protection, Screening and Shading Plan</i>	We have included our standard stipulation regarding approval of a Landscape Plan, including screening of parking areas and buildings, a maintenance schedule and shading plan.
<i>Canopy Trees</i>	The applicant has provided a landscape plan that proposes 60% total post construction tree canopy to comply with the Town's Tree Ordinance,
<i>Significant Tree Stands</i>	N/A
<i>Building Elevation, Lighting Plans, and Alternative Buffer Plan</i>	Prior to the issuance of a Zoning Compliance Permit, we recommend that detailed building elevations, lighting plans, and alternative buffer plans be approved by the Community Design Commission.
<i>Erosion Control</i>	An Orange County Erosion Control permit is required when 20,000 s.f. or more is uncovered. This project proposes greater than 20,000 s.f., so an Erosion Control Permit is required.
<i>Lighting Plan</i>	Prior to issuance of a Zoning Compliance Permit, the applicant shall submit site plans and other required documents to satisfy the lighting requirements of Section 5.11 of the Land Use Management Ordinance, subject Town Manager approval.
<i>Utilities</i>	Prior to issuance of a Zoning Compliance Permit, the applicant shall provide documentation that all utility providers have approved the final plans.
<i>Fire</i>	Prior to the issuance of a Certificate of Occupancy, the applicant shall be required to obtain Fire Marshal approval for required fire

	safety features and infrastructure, such as fire hydrants and fire department connections, detailed fire access elements, fire protection devices, heavy-duty pavement and drive aisle design features. Prior to issuance of a Zoning Compliance Permit, design is subject to Fire Marshal approval.
<i>Refuse Management</i>	Refuse collection will be provided by the Town of Chapel Hill.
<i>Solid Waste Management Plan</i>	A Solid Waste Management Plan (SWMP) is required to be reviewed and approved by the Town of Chapel Hill and Orange County Solid Waste.
<i>Schools Adequate Public Facilities Ordinance</i>	That the developer provide the necessary Certificates of Adequacy of Public Schools prior to issuance of a Zoning Compliance Permit.
<i>Construction Management Plan</i>	Prior to issuance of a Zoning Compliance Permit, a Construction Management Plan shall be approved by the Town Manager.

CONCLUSION

We believe the proposal, with the conditions in Resolution A, meets the requirements of the applicable sections of the Land Use Management Ordinance and the Design Manual.

Resolution A would approve the application with conditions.

Resolution B would deny the application.

RECOMMENDATION

Staff Recommendation: We recommend that the Planning Commission adopt Resolution A, approving the McCauley Street Apartments Site Plan Review application with conditions.

**Project Fact Sheet Requirements
Checklist of Regulations and Standards**

McCauley Street Apartments Site Plan Review Application

425 McCauley Street	STAFF EVALUATION ON R-4 ZONING	
	COMPLIANCE	NON-COMPLIANCE
Use Permitted in R-4 Zone	✓	
Gross Land Area	✓	
Minimum Lot Width	✓	
Maximum Floor Area	✓	
Impervious Surface Limits	✓	
Maximum # Dwelling Units	✓	
Minimum Recreation Space	✓	
Minimum # Vehicular Parking Spaces	✓	
Minimum # Bicycle Parking Spaces	✓	
Minimum Setbacks (Street, Interior, Solar)	✓	
Maximum Height Limits (Primary, Secondary)	✓	
Minimum Landscape Bufferyards	✓ with approval of alternate buffers by CDC	
Land Disturbance Minimized	✓	
Minimum Land Disturbance in the Resource Conservation District	N/A	
Steep Slopes Compliance	✓	
Stormwater Management (Including Jordan nutrient loading regulations)	✓	
Parking lot screening	✓ (with conditions of approval)	
Public water and sewer	✓	
Adequate public schools facilities	✓	

N/A = Not Applicable

The chart shows that the application is compliant with the regulations.

ATTACHMENT 2
RESOLUTION A
(Approving the Site Plan Review Application)

A RESOLUTION APPROVING AN APPLICATION FOR A SITE PLAN REVIEW FOR MCCAULEY STREET APARTMENTS (PIN 9788-14-5268; PROJECT #15-024)

BE IT RESOLVED by the Planning Commission of the Town of Chapel Hill that it finds that the Site Plan Review application for McCauley Street Apartments, proposed by Coulter Jewell Thames, on property identified as Orange County Property Identifier Number 9788-14-5268, if developed according to the Site Plan dated March 25, 2015 and July 15, 2015 and the conditions listed below would comply with all required regulations and standards of the Land Use Management Ordinance and Design Manual.

This finding is conditioned on the following:

Stipulations Specific to the Development

1. Construction Deadline: That construction begins by August 13, 2016, to be completed by August 13, 2017.
2. Land Use Intensity: This Site Plan Review authorizes the following:

Use: Multi-Family Apartments	
Floor Area Permitted	5,247 s.f.
Maximum Dwelling Units	4
Maximum Vehicular Parking Spaces	10
Minimum Bicycle Parking Spaces	1
Maximum Impervious Surface	8,234 s.f.
Maximum Land Disturbance	25,011 s.f.

Access

3. Accessibility Requirements: That prior to issuance of a Certificate of Occupancy, the applicant shall provide the minimum required handicapped parking spaces and design all handicapped parking spaces, ramps, and crosswalks, and associated infrastructure according to Americans with Disabilities Act standards, North Carolina Building Code, American National Standards Institute (ANSI) Code, and Town standard.

Transportation

4. McCauley Street Improvements: Prior to issuance of a Certificate of Occupancy, the applicant shall improve the cross-section of McCauley Street from the existing edge of pavement to the east to a point west of the proposed driveway access with a pavement strip with the design to be reviewed and approved by the Town Manager prior to issuance of a Zoning Compliance Permit.

5. Parking Lot/Drive Aisles Town Standards: Prior to a Certificate of Occupancy, the applicant shall construct the parking lot and drive aisles to Town standard, design subject to Town Manager approval prior to issuance of a Zoning Compliance Permit.
6. Bicycle Access and Parking: That prior to the issuance of a Zoning Compliance Permit, the applicant shall provide dimensioned details for a minimum of one bicycle parking space that comply with Town parking standards. The bicycle parking design must comply with the spring 2010 Association of Pedestrian and Bicycle Professionals Guidelines, and the bicycle parking standards required by the Town Design Manual.

Landscaping and Elevations

7. Landscape Buffers: That the Landscape Planting Plan demonstrate compliance with the required buffers as described in the chart below:

Location	Required Buffers
Eastern property line	10-foot wide Type 'B' Internal Buffer
Southern property line	10-foot wide Type 'B' Internal Buffer

8. Alternate Buffers: That unless the applicant obtains alternate bufferyard approval from the Community Design Commission, that the standard buffers be provided continuously along all property lines. It will be necessary for the Community Design Commission to make the determination that any proposed alternative buffer shall provide the same degree of visual and noise obstruction as the required buffer.
9. Landscape Protection: That a detailed Landscape Protection Plan shall be approved prior to issuance of a Zoning Compliance Permit. The plan shall include critical root zones of all rare and specimen trees, and clearly indicate names and species. The Plan shall also include details showing tree protection fencing around construction limits, areas designated for construction parking, materials staging/storage areas, and shall include Town standard landscaping protection notes. The plan shall also indicate new trees to be planted, a minimum of 15 feet, outside the maintenance corridor for the overhead utilities.
10. Tree Protection Fencing Prior to Construction: Prior to issuance of a Zoning Compliance Permit the applicant shall provide a note on the Final Plans indicating that tree protection fencing will be installed prior to land-disturbing activity on the site.
11. Canopy Tree Coverage: That the applicant meets the minimum 30% tree canopy coverage requirement of the entire site prior to issuance of a Zoning Compliance Permit.
12. Landscape Planting Plan: Prior to issuance of a Zoning Compliance Permit the applicant shall provide a detailed Landscape Planting Plan with a detailed planting list, subject to

Town Manager approval. The Plan shall include canopy trees to shade at least 40% of the parking lot as well as the required parking landscape requirements.

Recreation

13. Recreation Space: That the developer shall provide either active recreation space or a payment-in-lieu of recreation space or a combination of the two. The amount of active recreation area required is 890 square feet. The final design, size, type, and changes to proposed active recreation space facilities are subject to Town Manager approval.

Stormwater Management

14. Stormwater Management Plan: That this project must comply with the *Section 5.4 Stormwater Management* of the Land Use Management Ordinance.
15. Jordan Stormwater Management for New Development: That if the total disturbed area exceeds 0.5 acres, this project must comply with *Section 5.19 Jordan Watershed Stormwater Management for New Development* of the Land Use Management Ordinance to provide the required reductions in nitrogen and phosphorus loads for new development and redevelopment projects.
16. Erosion Control Inspections: That, in addition to the requirement during construction for inspection after every rainfall, the applicant shall inspect the erosion and sediment control devices and offsite roadways daily, make any necessary repairs or adjustments to the devices, remove deposition of wet or dry silt on adjacent roadways and maintain inspection logs documenting the daily inspections and any necessary repairs.
17. Phasing Plan: Prior to issuance of a Zoning Compliance Permit, the applicant shall obtain approval of a Phasing Plan that provides details of which improvements are to be constructed during each phase. The phasing plan shall detail public improvements and stormwater management structures will be completed in each phase prior to requesting a Certificate of Occupancy. Construction for any phase may not begin until all public improvements in previous phases are complete, with a note to this effect on the final plans and plats.
18. Jordan Surety: That if the total disturbed area exceeds 0.5 acres, prior to issuance of a Certificate of Occupancy, the owner shall post a maintenance bond or other surety instrument satisfactory to the Town Manager, in an amount equal to one hundred twenty-five (125) percent of the construction cost of each stormwater management facility to assure maintenance, repair, or reconstruction necessary for adequate performance of the stormwater management facility, or establish a stormwater maintenance (sinking fund) budget and escrow account in accordance with the requirements of Section 5.19 of the Land Use Management Ordinance.
19. Erosion Control Bond: If one acre or more is uncovered by land-disturbing activities for this project, then a performance guarantee in accordance with Section 5-97.1 Bonds of the Town

Code of Ordinances shall be required prior to final authorization to begin land-disturbing activities.

20. As-Built Plans: That prior to the issuance of a Certificate of Occupancy, the applicant shall provide certified as-built plans for land disturbance, building footprints, parking lots, street improvements, storm drainage systems and stormwater management structures, and all other impervious surfaces, and a tally of the constructed impervious area. The as-built plans should be in DXF binary format using State plane coordinates and NAVD 88.
21. P.E. Certification: That prior to the issuance of a Certificate of Occupancy for any phase, the applicant shall provide a certification, signed and sealed by a North Carolina-licensed Professional Engineer, that the stormwater management facilities are constructed in accordance with the approved plans and specifications.

Water, Sewer, and Other Utilities

22. Detailed Construction Drawings: Detailed construction drawings shall be submitted to OWASA for review and approval prior to issuance of a Zoning Compliance Permit.
23. Utility/Lighting Plan Approval: The final utility/lighting plan shall be approved by the Orange Water and Sewer Authority, Duke Energy Company, Time Warner, AT&T or other applicable utility providers and the Town Manager before issuance of a Zoning Compliance Permit.
24. Lighting Plan: That prior to the issuance of a Zoning Compliance Permit, the applicant shall submit site plans and other required documents to satisfy the lighting requirements in Section 5.11 of the Land Use Management Ordinance, including submission of a lighting plan sealed by a Professional Engineer, to be reviewed and approved by the Town Manager. The lighting plan shall also address the requirements of Section 5.11.5 of the Land Use Management Ordinance.

Fire Safety

25. Hydrants Active: It will be necessary to have active fire hydrant coverage, acceptable to the Fire Department, for any areas where combustible construction materials will be stored or installed, prior to having such materials delivered to the site. All required fire hydrants must be installed, active, and accessible for the Fire Department use prior to the arrival of combustible materials on site. Fire protection systems shall be installed according to Town Ordinance, the NC Fire Code, and NFPA 13.
26. Sprinkler System: Prior to issuance of a Building Permit the applicant must submit plans for approval by the Town to provide a sprinkler system in accordance with NFPA 13D and/or the North Carolina Building Code for the project. The sprinkler system must be installed prior to a Certificate of Occupancy; or subject to approval of the Fire Marshall and prior to a Building Permit, the applicant must demonstrate there is sufficient water supply at the nearest fire hydrant for fire suppression.

27. Fire Hydrant and FDC Locations: That the Final Plans indicate the locations of existing and proposed fire hydrants and Fire Department Connections (FDC). Fire Department. Hydrant spacing shall comply with the Town Design Manual. Design shall be reviewed and approved by the Town Manager prior to issuance of a Zoning Compliance Permit.
28. Firefighting Access During Construction: During demolition and/or construction, all aspects of Chapter 14 of the NC Fire Prevention shall be followed. The owner/developer shall designate one person to be the Fire Prevention Program Superintendent who shall be responsible for enforcing Chapter 14 of the NCFPC and the on-site fire prevention program and ensure that it is carried out through completion of the project.
29. Fire Flow Report: Prior to issuance of a Zoning Compliance Permit, the applicant shall submit a fire flow report sealed by an engineer licensed in North Carolina certifying that the water supply available at the nearest fire hydrant(s) will meet the Town's fire flow requirements, 20 psi residual pressure. An Orange Water and Sewer flow test must be included with the report.
30. Fire Access: Any and all roads, driveways or dedicated fire lanes used for fire department access shall be all-weather and designed to support to carry the imposed load of fire apparatus weighing at least 75,000 lbs. Fire access roads shall have a minimum width of 20 feet with overhead clearance of 13ft. 6 in for structures not exceeding 30 feet in height and shall provide access to within 150 feet of all exterior portions of the building. Proximity to the building for aerial apparatus shall have at least one of the required access routes be located within 15 feet and a maximum of 30 feet from the building and shall be positioned parallel to one entire side of the building.

Fencing around projects shall include access gates with a 20 foot swing or slide motion. Any areas which will be inaccessible for firefighting or rescue operations shall be noted. Emergency access designation for apparatus shall be provided. FDC 's shall not be obstructed by landscaping or hindered by parking spaces.

Solid Waste Management and Recycling

31. Solid Waste Management Plan: That prior to issuance of a Zoning Compliance Permit a Solid Waste Management Plan for managing solid waste shall be approved by Orange County Solid Waste Management and the Town Manager. The plan shall include dimensioned, scaled details of any proposed refuse collection areas, associated screening, gate opening areas, and protective bollards, if applicable.
32. Refuse Area: That the refuse area shall provide storage for at least four roll carts for garbage and four roll carts for recycling. That the refuse storage area shall be screened from adjacent properties and the public right-of-way.

State and Federal Approvals

33. State or Federal Approvals: That prior to issuance of a Zoning Compliance Permit, the applicant shall obtain approval of any required State or federal permits or encroachment agreements from the Town Manager and NCDOT and/or OWASA, where necessary.

Miscellaneous

34. Addressing: Prior to a Certificate of Occupancy, the applicant shall obtain assignment of a street address, where necessary, from the Engineering and Design Services Division.
35. Construction Management Plan: That a Construction Management Plan, be approved by the Town Manager prior to issuance of a Zoning Compliance Permit. The construction management plan shall: 1) indicate how construction vehicle traffic will be managed, 2) identify parking areas for on-site construction workers including plans to prohibit parking in residential neighborhoods, 3) indicate construction staging and material storage areas, 4) identify construction trailers and other associated temporary construction management structures, and 5) indicate how the project construction will comply with the Town's Noise Ordinance.
36. Traffic and Pedestrian Control Plan: That the applicant shall provide a Work Zone Traffic Control Plan for movement of motorized and non-motorized vehicles on any public street that will be disrupted during construction. The plan must include a pedestrian management plan indicating how pedestrian movements will be safely maintained. The plan must be reviewed and approved by the Town Manager prior to the issuance of a Zoning Compliance Permit. At least 5 working days prior to any proposed lane or street closure the applicant must apply to the Town Manager for a lane or street closure permit.
37. Community Design Commission Approval: That the developer obtain Community Design Commission approval of the alternative landscape buffers, building elevations and lighting, including the location and screening of all HVAC/Air Handling Units and refuse/recycling facility for this project, prior to issuance of a Zoning Compliance Permit. The Commission shall approve a lighting plan, sealed by a Professional Engineer, which meets lighting requirements of Section 5.11 of the Land Use Management Ordinance, taking additional care during review to ensure that the proposed lighting plan will minimize 1) upward light pollution and 2) offsite spillage of light.
38. Construction Sign Required: That the applicant shall post a construction sign at the development site that lists the property owner's representative and telephone number, the contractor's representative and telephone number, and a telephone number for regulatory information at the time of issuance of a Building Permit, prior to the commencement of any land disturbing activities. The construction sign may have a maximum of 32 square feet of display area and maximum height of 8 feet. (§5.14.3(h) of LUMO). The sign shall be non-illuminated, and shall consist of light letters on a dark background. That prior to the issuance of a Zoning Compliance Permit a detail of the sign shall be reviewed and approved by the Town Manager.

39. Open Burning: That the open burning of trees, limbs, stumps, and construction debris associated with this development is prohibited.
40. Detailed Plans: That prior to the issuance of a Zoning Compliance Permit final detailed site plans, grading plans, utility/lighting plans, stormwater management plans (with hydrologic calculations), landscape plans, and landscape maintenance plans shall be approved by the Town Manager. Such plans shall conform to plans approved by this application and demonstrate compliance with all applicable regulations and the design standards of the Land Use Management Ordinance and the Design Manual.
41. Continued Validity: That continued validity and effectiveness of this approval shall be expressly conditioned on the continued compliance with the plans and conditions listed above.
42. Non-Severability: That if any of the above conditions is held to be invalid, approval in its entirety shall be void.

BE IT FURTHER RESOLVED that the Planning Commission hereby approves the application for a Site Plan Review for McCauley Street Apartments in accordance with the plans and conditions listed above.

This the 13th day of August, 2015.

RESOLUTION B
(Denying the Site Plan Review Application)

**A RESOLUTION DENYING AN APPLICATION FOR A SITE PLAN REVIEW FOR
MCCAULEY STREET APARTMENTS (PIN 9788-14-5268; PROJECT #15-024)**

BE IT RESOLVED by the Planning Commission of the Town of Chapel Hill that it finds that the Site Plan Review application for McCauley Street Apartments, proposed by Coulter Jewell Thames, on property identified as Orange County Property Identifier Number 9788-14-5268, if developed according to the Site Plan dated March 25, 2015 and July 15, 2015 and the conditions listed below would not comply with the provisions of the Chapel Hill Land Use Management Ordinance and Design Manual:

(INSERT REASON FOR DENIAL)

BE IT FURTHER RESOLVED that the Planning Commission hereby denies the Site Plan Review application for McCauley Street Apartments, located at 425 McCauley Street.

This the 13th day of August, 2015.



Coulter Jewell Thames, PA

MAIN OFFICE
111 WEST MAIN STREET
DURHAM, NC 27701
p 919.682.0368 f 919.688.5646

Planning for the Future

March 25, 2015

Town of Chapel Hill
Planning Department
405 Martin Luther King Jr. Blvd.
Chapel Hill, NC 27514

Reference: **Site Plan Application (ZCP)**
McCauley Street Apartments
425 McCauley Street
Chapel Hill, NC 27517
Pin: 9788145268

Judy,

Enclosed please find the Site Plan Application for the McCauley Street Apartment project. The project is located at the intersection of McCauley Street and Hilltop Street with an address of 425 McCauley Street, Chapel Hill, NC 27517 (PIN: 9788145268). The 0.5 acre site is currently zoned R-4, medium density residential.

Site Plan (ZCP) - Project Narrative:

Developer is seeking approval of a small multi-family development as represented on the attached Site Plans.

Project scope includes renovation and additions to the existing 1 story, 2,038 square foot duplex located on the above noted property. Two separate additions (1-two bedroom addition and 1-one bedroom addition) are proposed on the eastern side of the existing duplex. Both additions will increase the total square footage of this duplex to a new total of 2,662 square feet.

Directly east of the existing duplex the developer is proposing to add a new two story duplex as shown on the attached plans. The new duplex will be 2 stories and 2,584 total square feet.

Associated with the renovation/additions and new duplex building the developer is proposing necessary site related improvements as required by the Town of Chapel Hill, OWASA and Orange County.

SITE PLAN REVIEW APPLICATION



TOWN OF CHAPEL HILL
Planning Department
405 Martin Luther King Jr. Blvd
phone (919) 968-2728 fax (919) 969-2014
www.townofchapelhill.org

Parcel Identifier Number (PIN): _____ Date: _____

Section A: Project Information

Project Name: _____
Property Address: _____ Zip Code: _____
Use Groups (A, B, and/or C): _____ Existing Zoning District: _____
Project Description: _____

Section B: Applicant, Owner and/or Contract Purchaser Information

Applicant Information (to whom correspondence will be mailed)

Name: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Email: _____

The undersigned applicant hereby certifies that, to the best of his knowledge and belief, all information supplied with this application is true and accurate.

Signature: _____ Date: _____

Owner/Contract Purchaser Information:

Owner **Contract Purchaser**

Name: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Email: _____

The undersigned applicant hereby certifies that, to the best of his knowledge and belief, all information supplied with this application is true and accurate.

Signature: _____ Date: _____



PROJECT FACT SHEET
 TOWN OF CHAPEL HILL
 Planning Department

Section A: Project Information

Application type: _____ Date: _____

Project Name: _____

Use Type: (check/list all that apply)

Office/Institutional Residential Mixed-Use Other: _____

Overlay District: (check all those that apply)

Historic District Neighborhood Conservation District Airport Hazard Zone

Section B: Land Area

Net Land Area (NLA): Area within zoning lot boundaries		NLA=		sq. ft.
Choose one, or both, of the following (a or b,) not to exceed 10% of NLA	a) Credited Street Area (total adjacent frontage) x ½ width of public right-of-way	CSA=		sq. ft.
	b) Credited Permanent Open Space (total adjacent frontage) x ½ public or dedicated open space	COS=		sq. ft.
TOTAL: NLA + CSA and/or COS = Gross Land Area (not to exceed NLA + 10%)		GLA=		sq. ft.

Section C: Special Protection Areas, Land Disturbance, and Impervious Area

Special Protection Areas: (check all those that apply)

Jordan Buffer Resource Conservation District 100 Year Floodplain Watershed Protection District

Land Disturbance	Total (sq ft)
Area of Land Disturbance (Includes: Footprint of proposed activity plus work area envelope, staging area for materials, access/equipment paths, all grading, including off-site clearing)	
Area of Land Disturbance within RCD	
Area of Land Disturbance within Jordan Buffer	

Impervious Areas	Existing (sq ft)	Demolition (sq ft)	Proposed (sq ft)	Total (sq ft)
Impervious Surface Area (ISA)				
Impervious Surface Ratio: Percent Impervious Surface Area of Gross Land Area (ISA/GLA) %				
If located in Watershed Protection District, % of impervious surface on 7/1/1993				



PROJECT FACT SHEET

TOWN OF CHAPEL HILL

Planning Department

Section D: Dimensions

Dimensional Unit (sq ft)	Existing (sq ft)	Demolition (sq ft)	Proposed (sq ft)	Total (sq ft)
Number of Buildings				
Number of Floors				
Recreational Space				

Residential Space				
Dimensional Unit (sq ft)	Existing (sq ft)	Demolition (sq ft)	Proposed (sq ft)	Total (sq ft)
Floor Area (all floors – heated and unheated)				
Total Square Footage of All Units				
Total Square Footage of Affordable Units				
Total Residential Density				
Number of Dwelling Units				
Number of Affordable Dwelling Units				
Number of Single Bedroom Units				
Number of Two Bedroom Units				
Number of Three Bedroom Units				

Non-Residential Space (Gross Floor Area in Square Feet)					
Use Type	Existing	Proposed	Uses	Existing	Proposed
Commercial					
Restaurant			# of Seats		
Government					
Institutional					
Medical					
Office					
Hotel			# of Rooms		
Industrial					
Place of Worship			# of Seats		
Other					

Dimensional Requirements		Required by Ordinance	Existing	Proposed
Setbacks (minimum)	Street			
	Interior (neighboring property lines)			
	Solar (northern property line)			
Height (maximum)	Primary			
	Secondary			
Streets	Frontages			
	Widths			



PROJECT FACT SHEET

TOWN OF CHAPEL HILL

Planning Department

Section F: Adjoining or Connecting Streets and Sidewalks

(Note: For approval of proposed street names, contact the Engineering Department)

Street Name	Right-of-way Width	Pavement Width	Number of Lanes	Existing Sidewalk*	Existing curb/gutter
				<input type="checkbox"/> Yes	<input type="checkbox"/> Yes
				<input type="checkbox"/> Yes	<input type="checkbox"/> Yes

List Proposed Points of Access (Ex: Number, Street Name): 1, McCauley Street

*If existing sidewalks do not exist and the applicant is adding sidewalks, please provide the following information:

Sidewalk Information			
Street Names	Dimensions	Surface	Handicapped Ramps
			<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
			<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A

Section G: Parking Information

Parking Spaces	Minimum	Maximum	Proposed
Regular Spaces			
Handicap Spaces			
Total Spaces			
Loading Spaces			
Bicycle Spaces			
Surface Type			

Section H: Landscape Buffers

Location (North, South, Street, Etc.)	Minimum Width	Proposed Width	Alternate Buffer	Modify Buffer
			<input type="checkbox"/> Yes	<input type="checkbox"/> Yes
			<input type="checkbox"/> Yes	<input type="checkbox"/> Yes
			<input type="checkbox"/> Yes	<input type="checkbox"/> Yes
			<input type="checkbox"/> Yes	<input type="checkbox"/> Yes



Section I: Land Use Intensity

Existing Zoning District: R-4, Medium Density Residential
Proposed Zoning Change (if any): N/A

Note: Refer to Table 3.8-1 (Dimensional Matrix) in the Land Use Management Ordinance for help completing this table.

Zoning – Area – Ratio			Impervious Surface Thresholds			Minimum and Maximum Limitations	
Zoning District(s)	Floor Area Ratio (FAR)	Recreation Space Ratio (RSR)	Low Density Residential (0.24)	High Density Residential (0.50)	Non-Residential (0.70)	Maximum Floor Area (MFA) = FAR x GLA	Minimum Recreation Space (MSR) = RSR x GLA
TOTAL							
RCD Streamside		0.01					
RCD Managed		0.019					
RCD Upland							

Section J: Utility Service

Check all that apply

Water	<input type="checkbox"/> OWASA	<input type="checkbox"/> Individual Well	<input type="checkbox"/> Community Well	<input type="checkbox"/> Other
Sewer	<input type="checkbox"/> OWASA	<input type="checkbox"/> Individual Septic Tank	<input type="checkbox"/> Community Package Plant	<input type="checkbox"/> Other
Electrical	<input type="checkbox"/> Underground		<input type="checkbox"/> Above Ground	
Telephone	<input type="checkbox"/> Underground		<input type="checkbox"/> Above Ground	
Solid Waste	<input type="checkbox"/> Town		<input type="checkbox"/> Private	



**SITE PLAN REVIEW APPLICATION
SUBMITTAL REQUIREMENTS
TOWN OF CHAPEL HILL
Planning Department**

The following must accompany your application. Failure to do so will result in your application being considered incomplete. For assistance with this application, please contact the Chapel Hill Planning Department (Planning) at (919)968-2728 or at planning@townofchapelhill.org. For detailed information, please refer to the Description of Detailed Information handout.

X	Application fee (including Engineering Review fee) (refer to fee schedule) Amount Paid \$ <input style="width: 100px;" type="text"/>
X	Pre-application meeting – with appropriate staff
X	Digital Files - provide digital files of all plans and documents
X	Recorded Plat or Deed of Property
X	Project Fact Sheet
N/A	Traffic Impact Statement – completed by Town’s consultant (or exemption)
X	Mailing list of owners of property within 1,000 feet perimeter of subject property (see GIS notification tool)
X	Mailing fee for above mailing list (mailing fee is double due to 2 mailing) Amount Paid \$ <input style="width: 100px;" type="text"/>
X	Written Narrative describing the proposal
X	Resource Conservation District, Floodplain, & Jordan Buffers Determination - necessary for all submittals
N/A	Jurisdictional Wetland Determination – if applicable
N/A	Resource Conservation District Encroachment Exemption or Variance (determined by Planning)
N/A	Jordan Buffer Authorization Certificate or Mitigation Plan Approval (determined by Planning)
X	Reduced Site Plan Set (reduced to 8.5"x11")

Stormwater Impact Statement (1 copy to be submitted)

- a) Written narrative describing existing & proposed conditions, anticipated stormwater impacts and management structures and strategies to mitigate impacts
- b) Description of land uses and area (in square footage)
- c) Existing and proposed Impervious surface area in square feet for all subareas and project area
- d) Ground cover and uses information
- e) Soil information (classification, infiltration rates, depth to groundwater and bedrock)
- f) Time of concentration calculations and assumptions
- g) Topography (2-foot contours)
- h) Pertinent on-site and off-site drainage conditions
- i) Upstream and/or downstream volumes
- j) Discharges and velocities
- k) Backwater elevations and effects on existing drainage conveyance facilities
- l) Location of jurisdictional wetlands and regulatory FEMA Special Flood Hazard Areas
- m) Water quality volume calculations
- n) Drainage areas and sub-areas delineated
- o) Peak discharge calculations and rates (1, 2, and 25-year storms)
- p) Hydrographs for pre- & post-development without mitigation, post-development with mitigation
- q) Volume calculations and documentation of retention for 2-year storm
- r) 85% TSS removal for post-development stormwater run-off



**SITE PLAN REVIEW APPLICATION
SUBMITTAL REQUIREMENTS
TOWN OF CHAPEL HILL
Planning Department**

- s) Nutrient loading calculations
- t) BMP sizing calculations
- u) Pipe sizing calculations and schedule (include HGL & EGL calculations and profiles)

Plan Sets (10 copies to be submitted no larger than 24"x36")

Plans should be legible and clearly drawn. All plan sets sheets should include the following:

- Project Name
- Legend
- Labels
- North Arrow (North oriented toward top of page)
- Property Boundaries with bearing and distances
- Scale (Engineering), denoted graphically and numerically
- Setbacks
- Streams, RCD Boundary, Jordan Riparian Buffer Boundary, Floodplain, and Wetlands Boundary, where applicable
- Revision dates and professional seals and signatures, as applicable

Area Map

- a) Project name, applicant, contact information, location, PIN, & legend
- b) Dedicated open space, parks, greenways
- c) Overlay Districts, if applicable
- d) Property lines, zoning district boundaries, land uses, project names of site and surrounding properties, significant buildings, corporate limit lines
- e) Existing roads (public & private), rights-of-way, sidewalks, driveways, vehicular parking areas, bicycle parking, handicapped parking, street names.
- f) 1,000' notification boundary

Existing Conditions Plan

- a) Slopes, soils, environmental constraints, existing vegetation, and any existing land features
- b) Location of all existing structures and uses
- c) Existing property line and right-of-way lines
- d) Existing utilities & easements including location & sizes of water, sewer, electrical, & drainage lines
- e) Nearest fire hydrants
- f) Nearest bus shelters and transit facilities
- g) Existing topography at minimum 2-foot intervals and finished grade
- h) Natural drainage features & water bodies, floodways, floodplain, RCD, Jordan Buffers, & Watershed boundaries



Detailed Site Plan

- a) Existing and proposed building locations
- b) Description & analysis of adjacent land uses, roads, topography, soils, drainage patterns, environmental constraints, features, existing vegetation, vistas (on & off-site)
- c) Location, arrangement, & dimension of vehicular parking, width of aisles and bays, angle of parking, number of spaces, handicapped parking, bicycle parking . Typical pavement sections & surface type
- d) Location of existing and proposed fire hydrants
- e) Location and dimension of all vehicle entrances, exits, and drives
- f) Dimensioned street cross-sections and rights-of-way widths
- g) Pavement and curb & gutter construction details
- h) Dimensioned sidewalk and tree lawn cross-sections
- i) Proposed transit improvements including bus pull-off and/or bus shelter
- j) Required landscape buffers (or proposed alternate/modified buffers)
- k) Required recreation area/space (including written statement of recreation plans)
- l) Refuse collection facilities (existing and proposed) or shared dumpster agreement
- m) Construction parking, staging, storage area, and construction trailer location
- n) Sight distance triangles at intersections
- o) Proposed location of street lights and underground utility lines and/or conduit lines to be installed
- p) Easements
- q) Clearing and construction limits
- r) Traffic Calming Plan – detailed construction designs of devices proposed & associated sign & marking plan

Stormwater Management Plan

- a) Topography (2-foot contours)
- b) Existing drainage conditions
- c) RCD and Jordan Riparian Buffer delineation and boundary (perennial & intermittent streams, note ephemeral streams on site)
- d) Proposed drainage and stormwater conditions
- e) Drainage conveyance system (piping)
- f) Roof drains
- g) Easements
- h) BMP plans, dimensions, details, and cross-sections
- i) Planting and stabilization plans and specifications

Landscape Protection Plan

- a) Rare, specimen, and significant tree survey within 50 feet of construction area
- b) Rare and specimen tree critical root zones
- c) Rare and specimen trees proposed to be removed
- d) Certified arborist tree evaluation, if applicable



- e) Significant tree stand survey
- f) Clearing limit line
- g) Proposed tree protection /silt fence location
- h) Pre-construction/demolition conference note
- j) Landscape protection supervisor note
- k) Existing and proposed tree canopy calculations, if applicable

Planting Plan

- a) Dimensioned and labeled perimeter landscape bufferyard
- b) Off-site buffer
- c) Landscape buffer and parking lot planting plan (including planting strip between parking and building, entryway planting, and 35% shading requirement)

Steep Slope Plan

- a) Classify and quantify slopes 0-10%, 10-15%, 15-25% and 25% and greater
- b) Show and quantify areas of disturbance in each slope category
- c) Provide/show specialized site design and construction techniques

Grading and Erosion Control Plan

- a) Topography (2-foot contours)
- b) Limits of Disturbance
- c) Pertinent off-site drainage features
- d) Existing and proposed impervious surface tallies

Streetscape Plan, if applicable

- a) Public right-of-way existing conditions plan
- b) Streetscape demolition plan
- c) Streetscape proposed improvement plan
- d) Streetscape proposed utility plan and details
- e) Streetscape proposed pavement/sidewalk details
- f) Streetscape proposed furnishing details
- g) Streetscape proposed lighting details



Solid Waste Plan

- a) Preliminary Solid Waste Management Plan
- b) Existing and proposed dumpster pads
- c) Proposed dumpster pad layout design
- d) Proposed heavy duty pavement locations and pavement construction detail
- e) Preliminary Shared dumpster agreement, if applicable

Construction Management Plan

- a) Construction trailer location
- b) Location of construction personnel parking and construction equipment parking
- c) Location and size of staging and materials storage area
- d) Description of emergency vehicle access to and around project site during construction
- e) Delivery truck routes shown or noted on plan sheets

Energy Management Plan

- a) Description of how project will be 20% more energy efficient than ASHRAE Standards
- b) Description of utilization of sustainable forms of energy (Solar, Wind, Hydroelectric, and Biofuels)
- c) Participation in NC GreenPower program
- d) Description of how project will ensure indoor air quality, adequate access to natural lighting, and allow for proposed utilization of sustainable energy
- e) Description of how project will maintain commitment to energy efficiency and reduced carbon footprint over time
- f) Description of how the project's Transportation Management Plan will support efforts to reduce energy consumption as it affects the community

Exterior Elevations

- a) An outline of each elevation of the building, including the finished grade line along the foundation (height of building measured from mean natural grade).

McCAULEY STREET APARTMENTS

425 McCAULEY STREET, CHAPEL HILL, NC 27516

INITIAL (ZCP) SITE PLAN SUBMITTAL: MARCH 25, 2015
1ST RESUBMITTAL (ZCP) SITE PLAN: JULY 15, 2015

APPLICANT / OWNER

KEN GORFKLE
1436 POINSETT DRIVE
CHAPEL HILL, NC 27717
PHONE: 919-942-1467

CONSULTANTS:

LANDSCAPE ARCHITECT:
COULTER JEWELL THAMES PA
111 WEST MAIN STREET
DURHAM, NC 27701
PHONE: 919-682-0368
CONTACT: ANDREW PORTER

CIVIL ENGINEER:
COULTER JEWELL THAMES PA
111 WEST MAIN STREET
DURHAM, NC 27701
PHONE: 919-682-0368
CONTACT: PRESTON ROYSTER

HOME DESIGNER:
H SQUARED HOME DESIGN, INC.
165 HEATHERSTONE CT.
BENSON, NC 27504
PHONE: 919-207-1403
CONTACT: HEATHER HALL

P.I.N. 9788145268

PROJECT DATA

PARCEL A:
SITE ADDRESS: 425 McCAULEY STREET
CHAPEL HILL, NC 27516

OWNER:
OWNER ADDRESS: KEN GORFKLE
1436 POINSETT DRIVE
CHAPEL HILL, NC 27717

PIN:
PARCEL ID: 9788145268
9095494
ACREAGE: 20,740 SF / 0.48 AC
PLAT BOOK: PB5/PG27 ORANGE CO. REG.

EXISTING LAND USE: MULTI-FAMILY RESIDENTIAL
PROPOSED LAND USE: MULTI-FAMILY RESIDENTIAL
EXISTING ZONING: R-4, MEDIUM DENSITY RESIDENTIAL, 10 UNITS / ACRE
COMP. PLAN LAND USE: LOW RESIDENTIAL, 1-4 UNITS PER/AC
OVERLAYS: N/A
ADOPTED PLANS: N/A
TOTAL PROJECT AREA: NET LAND AREA - 20,740 SF / 0.48 AC
GROSS LAND AREA - 22,814 SF / 0.52 AC
AREA OF DISTURBANCE: TOTAL DISTURBED AREA = 25,011 SF / 0.57 AC
ON-SITE DISTURBED AREA = 20,587 SF / 0.47 AC
RIVER BASIN: CAPE FEAR RIVER BASIN
WATERSHED OVERLAY: JORDAN LAKE WATERSHED PROTECTION DISTRICT

DESIGN STANDARDS
MIN LOT SIZE: 5,500 SF
MAXIMUM DENSITY: 10 DWELLING UNITS
MIN. LOT FRONTAGE: 40'
MIN. LOT WIDTH: 50'
MAX. BUILDING HEIGHT: PRIMARY: 34'
SECONDARY: 60'
BUILDING SETBACKS: STREET: 22' MIN.
INTERIOR: 8' MIN.
SOLAR: 9' MIN.

EXISTING BLDG. AREA: 2,038 SF TOTAL
PROPOSED BLDG. AREA: 5,236 SF TOTAL

PARKING
MIN. NUMBER OF SPACES: 2 PER DWELLING UNIT
MAX. NUMBER OF SPACES: 2.50 PER DWELLING UNIT
REQUIRED: 2 X 4 DU = 8 SPACES MIN. / 2.5 X 4 DU = 10 SPACES MAX.
PROVIDED: 8 PARKING SPACES INCLUDING 1 HANDICAP ACCESSIBLE SPACE

MIN. BICYCLE PARKING
REQUIRED: 1 PER 4 DWELLING UNITS
PROVIDED: 1 BICYCLE PARKING SPACE (CLASS II RACK)

LANDSCAPE BUFFERS
NORTH: McCAULEY STREET - NO BUFFER REQUIRED
WEST: HILLTOP STREET - NO BUFFER REQUIRED
SOUTH: R4-R2 ZONING - 10' TYPE "B" LANDSCAPE BUFFER
EAST: R4-R4 ZONING - 10' TYPE "B" LANDSCAPE BUFFER

TREE PROTECTION
RE:SD-7.0 LANDSCAPE PLAN

IMPERVIOUS SURFACE
EXISTING: 4,519 SF / 0.10 AC (22% OF SITE)
PROPOSED: 8,234 SF / 0.19 AC (40% OF SITE)

RECREATION AREA AND RECREATION SPACE
MIN. RECREATION AREA: NONE REQUIRED PER PRE SUBMITTAL MEETING
MIN. RECREATION SPACE: (R-4 ZONING) 0.039 X 22,814 SF (GROSS) = 890 SF
70% OF REC. SPACE SHALL BE ACTIVE REC. SPACE
890 SF X 0.7 = 623 SF MIN. ACTIVE REC. SPACE
30% OF REC. SPACE CAN BE PASSIVE REC. SPACE (APPROVED BY COUNCIL)
890 SF X 0.3 = 267 SF PASSIVE REC SPACE MAX.
PROVIDED: 623 SF ACTIVE REC. SPACE (BASKETBALL)
267 SF PASSIVE REC SPACE (ADJACENT LAWN/SEATING AREA)
TOTAL REC. SPACE PROVIDED = 890 SF

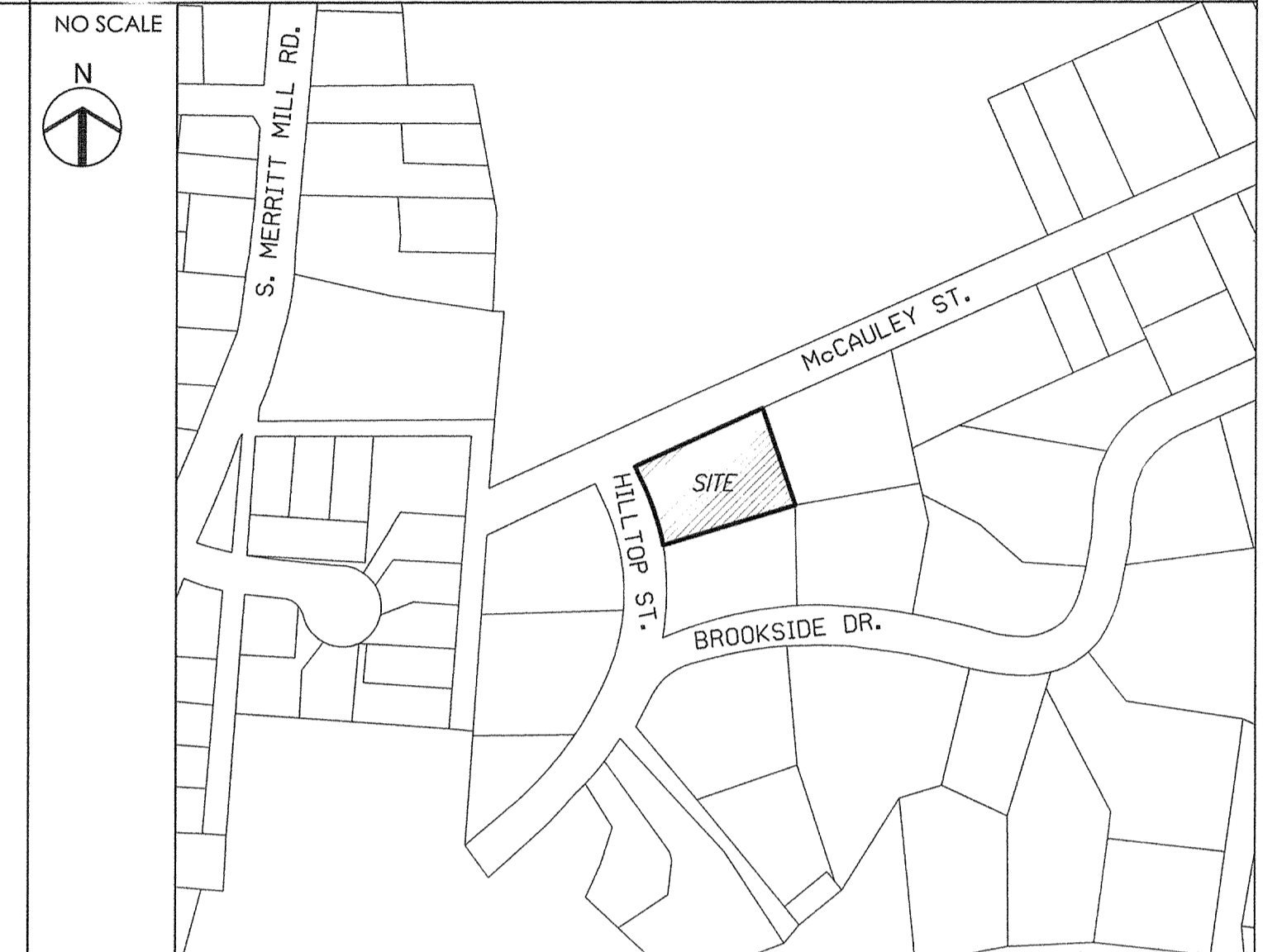
PROJECT NOTES

- BOUNDARY AND TOPOGRAPHIC SURVEY PROVIDED BY HOLLAND LAND SURVEYING, JANUARY 2015.

RESOURCE ORDINANCE COMPLIANCE

FLOODPLAIN PROTECTION: NO FLOOD PLAIN AS PER FEMA MAP NUMBER 3710978800J (EFFECTIVE FEBRUARY 2, 2007)
STEEP SLOPE PROTECTION: THERE ARE NO STEEP SLOPES ON THIS SITE.
WETLANDS PROTECTION: THERE ARE NO WETLANDS ON THIS SITE.
STREAM BUFFERS: THERE ARE NO STREAM BUFFERS ON THIS SITE.

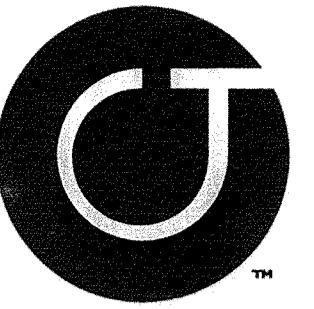
VICINITY MAP



LIST OF SHEETS

- SD-0.0 COVER SHEET
- SD-0.1 AREA MAP
- SD-1.0 EXISTING CONDITIONS/DEMOLITION PLAN
- SD-2.0 SITE LAYOUT PLAN
- SD-2.1 McCAULEY STREET IMPROVEMENT PLAN
- SD-3.0 GRADING AND STORMWATER PLAN
- SD-3.1 STORMWATER DETAILS
- SD-4.0 EROSION CONTROL PLAN
- SD-5.0 UTILITY PLAN
- SD-6.0 SITE LIGHTING PLAN
- SD-7.0 LANDSCAPE PLAN
- SD-8.0 SITE DETAILS
- SD-8.1 EROSION CONTROL DETAILS
- SD-8.2 SHEET NOT USED
- SD-8.3 UTILITY DETAILS
- 021215.2 425 C-D McCAULEY NEW APARTMENTS
- 010915 425A McCAULEY
- 010915 HILLTOP ST SIDE

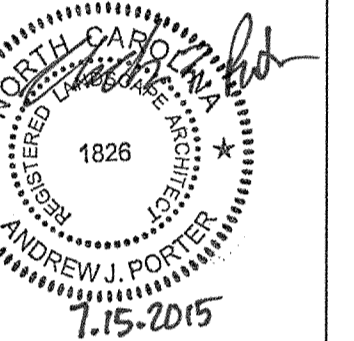
APPROVAL STAMPS



Coulter
Jewell
Thames

111 West Main Street
Durham, N.C. 27701
p 919.682.0368
f 919.688.5646
www.cjtpa.com

NC BOARD OF EXAMINERS FOR
ENGINEERS AND SURVEYORS
LIC # C-1209
NC BOARD OF LANDSCAPE
ARCHITECTS LIC # C-104



Project
**McCAULEY
STREET
APARTMENTS**
425 McCAULEY STREET
CHAPEL HILL NC, 27517
ORANGE COUNTY NC

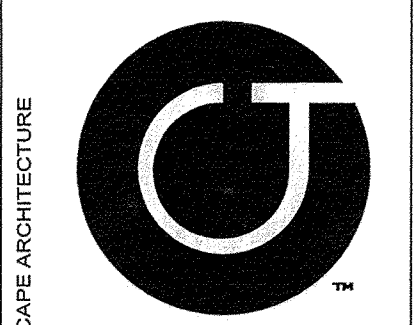
P.I.N. 9788145268

Job Number 1505
Drawn MTC, JCI
Checked PBR, AJP
Date 03/25/2015
Revisions 1. 07/15/2015

SITE PLAN
NOT ISSUED
FOR CONSTRUCTION

Sheet Title
**COVER
SHEET**

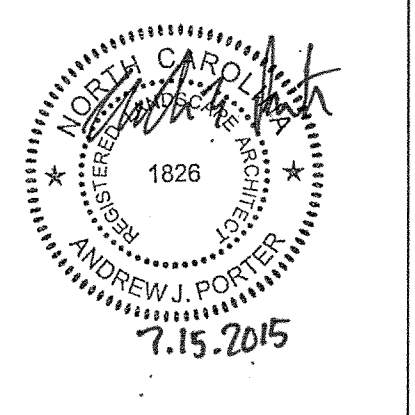
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SD-0.0



Coulter Jewell Thames

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NC BOARD OF EXAMINERS FOR ENGINEERS AND SURVEYORS
LIC # C-1209
NC BOARD OF LANDSCAPE ARCHITECTS LIC # C-104



Project
McCAULEY STREET APARTMENTS
425 McCAULEY STREET
CHAPEL HILL NC, 27517
ORANGE COUNTY NC

P.I.N. 9788145268

Job Number 1505

Drawn MTC, JCJ
Checked PBR, AJP
Date 03/25/2015
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SITE PLAN
NOT ISSUED
FOR CONSTRUCTION

Sheet Title

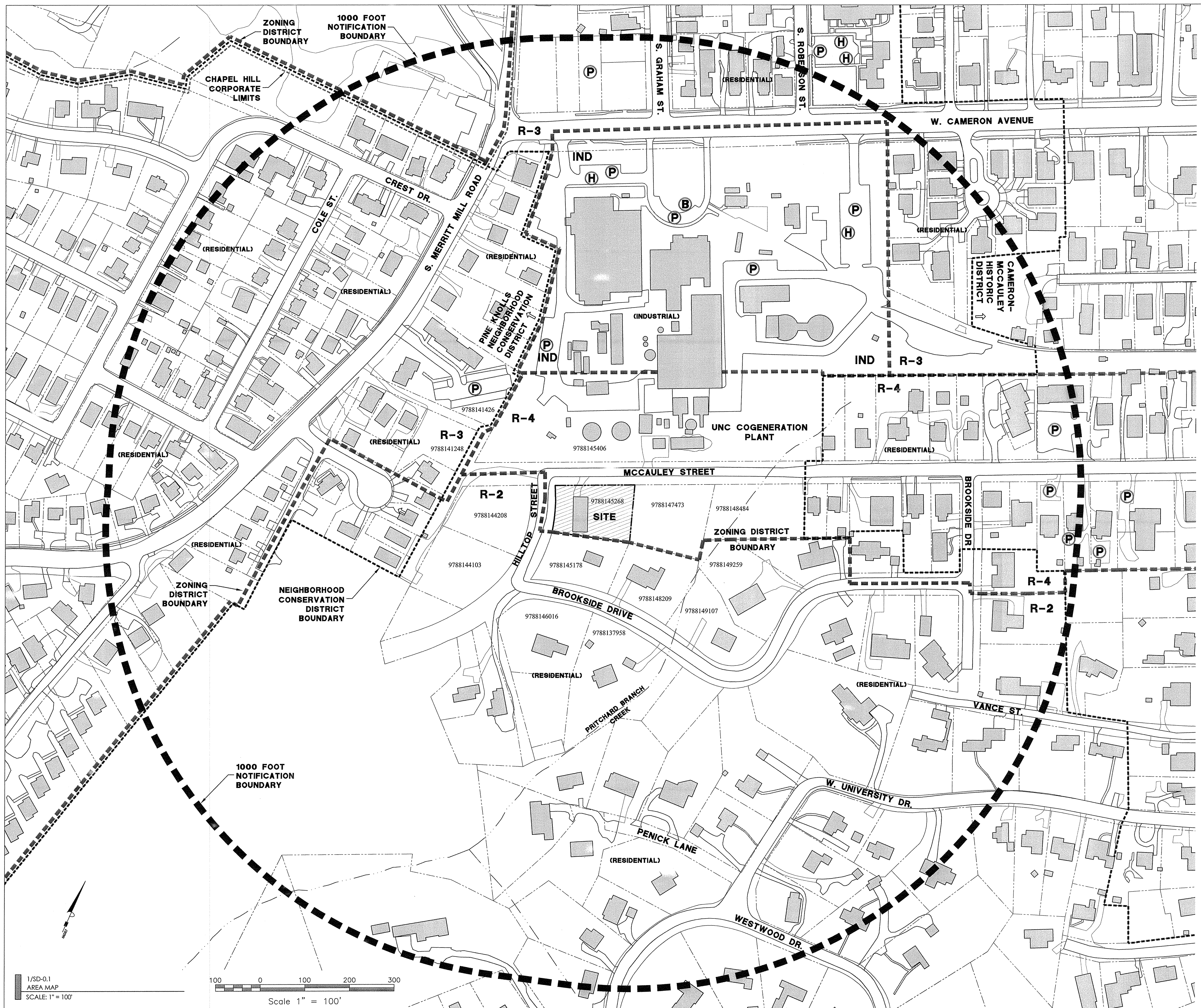
AREA MAP

Sheet Number

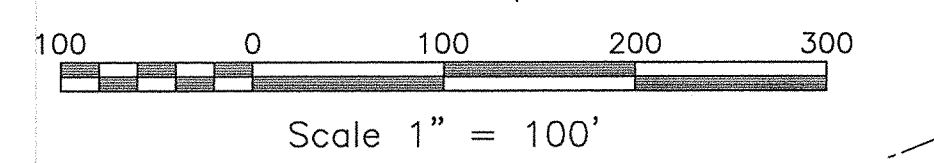
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LEGEND

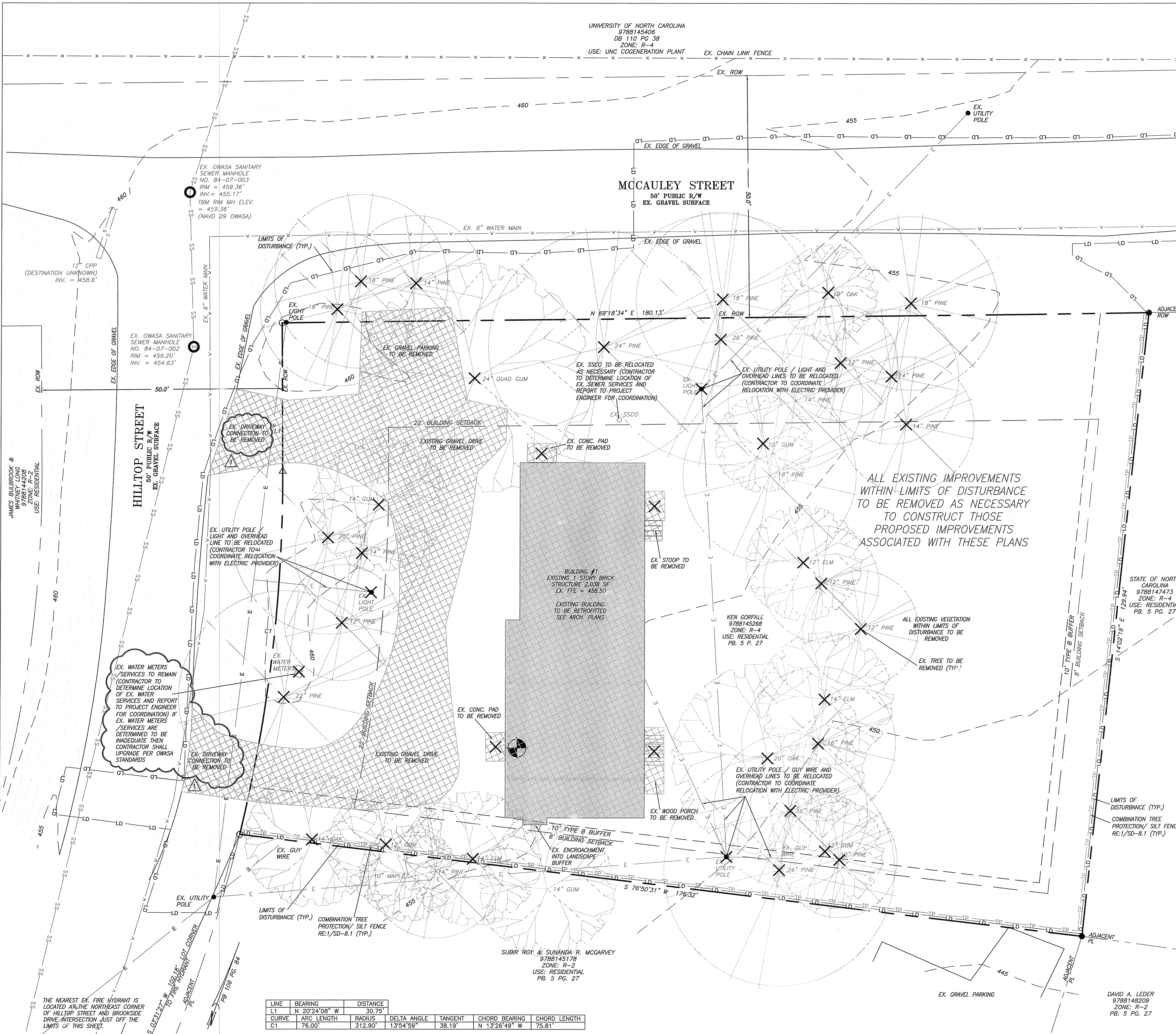
- NOTIFICATION BOUNDARY
- ZONING DISTRICT BOUNDARY
- HISTORIC DISTRICT BOUNDARY
- CHAPEL HILL CORPORATE LIMITS
- PROPERTY LINE
- STREAM
- ADA PARKING
- VEHICULAR PARKING
- BICYCLE PARKING



1/SD-0.1
AREA MAP
SCALE: 1" = 100'



UNIVERSITY OF NORTH CAROLINA
9788145406
DB 110 PG. 38
ZONE: R-4
USE: UNC COGENERATION PLANT



2/SD-1.0
EXISTING CONDITIONS / DEMOLITION NOTES

- 1. ENSURE ALL EROSION CONTROL MEASURES ARE IN PLACE AND IN WORKING ORDER PRIOR TO THE START OF ANY DEMOLITION AND CONSTRUCTION.
2. SEE SITE LAYOUT SHEET SD-2.0 FOR LAYOUT DIMENSIONS OF EXTENT OF DEMOLISHED AREAS. PAVED AREAS NOT INDICATED TO BE DEMOLISHED, ARE TO REMAIN. ALL CONCRETE SAW CUTS ARE TO BE CLEAN, STRAIGHT AND NEAT.
3. UTILITIES: SEE UTILITY PLAN SD-5.0. CONTRACTOR TO COORDINATE WITH UTILITY COMPANIES FOR LOCATION, REMOVAL AND RELOCATION OF ANY UTILITIES. CONTRACTOR RESPONSIBLE FOR DETERMINING EXTENT AND LOCATION OF UTILITIES. THIS MAY INCLUDE CONTRACTING "NO-CUTS" TO HELP LOCATE SOME UTILITIES. CONTRACTOR TO ADJUST ALL MANHOLES, VALVES, JUNCTION BOXES, CATCH BASINS, CLEAN-OUTS, ETC., AS NECESSARY TO ACCOMMODATE NEW LAYOUT AND GRADES.
4. CONTRACTOR RESPONSIBLE FOR OBTAINING ANY PERMITS FOR WORK IN THE TOWN OF CHAPEL HILL RIGHTS OF WAY. ANY DAMAGED INFRASTRUCTURE IN THE RIGHT OF WAY CAUSED BY CONSTRUCTION ACTIVITIES MUST BE REPAIRED TO TOWN OF CHAPEL HILL STANDARDS. THIS INCLUDES, BUT IS NOT LIMITED TO UTILITIES, SIDEWALKS, CURB AND GUTTER, ASPHALT.
5. CONTRACTOR RESPONSIBLE FOR REMOVING EVERYTHING WITHIN THE CLEARING LIMITS AND OFF-SITE WORK ZONE INCLUDING TREES, STUMPS, TRASH, FENCING, OR BUILDING MATERIALS.
6. CONTRACTOR RESPONSIBLE FOR DAMAGE TO EXISTING UTILITIES.
7. ALL PAVEMENT PATCHING SHALL BE PERFORMED PER TOWN OF CHAPEL HILL SPECIFICATIONS AND STANDARDS.
8. BY ORANGE COUNTY ORDINANCE, CLEAN WOOD WASTE, SCRAP METAL AND CORRUGATED CARDBOARD, ALL PRESENT IN CONSTRUCTION WASTE, MUST BE RECYCLED.
9. BY ORANGE COUNTY ORDINANCE, ALL HAULERS OF CONSTRUCTION WASTE MUST BE PROPERLY LICENSED.
10. PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE THE APPLICANT WILL HOLD A PRE-DEMOLITION/PRE-CONSTRUCTION CONFERENCE WITH THE COUNTY'S SOLID WASTE STAFF. THIS MAY BE THE SAME MEETING HELD WITH OTHER DEVELOPMENT OFFICIALS.
11. THE PRESENCE OF ANY ASBESTOS CONTAINING MATERIAL (ACM) OR OTHER HAZARDOUS MATERIALS IN CONSTRUCTION AND DEMOLITION WASTE SHALL BE HANDLED IN ACCORDANCE WITH ANY AND ALL LOCAL, STATE, AND FEDERAL REGULATIONS AND GUIDELINES.

3/SD-1.0
LEDGEND

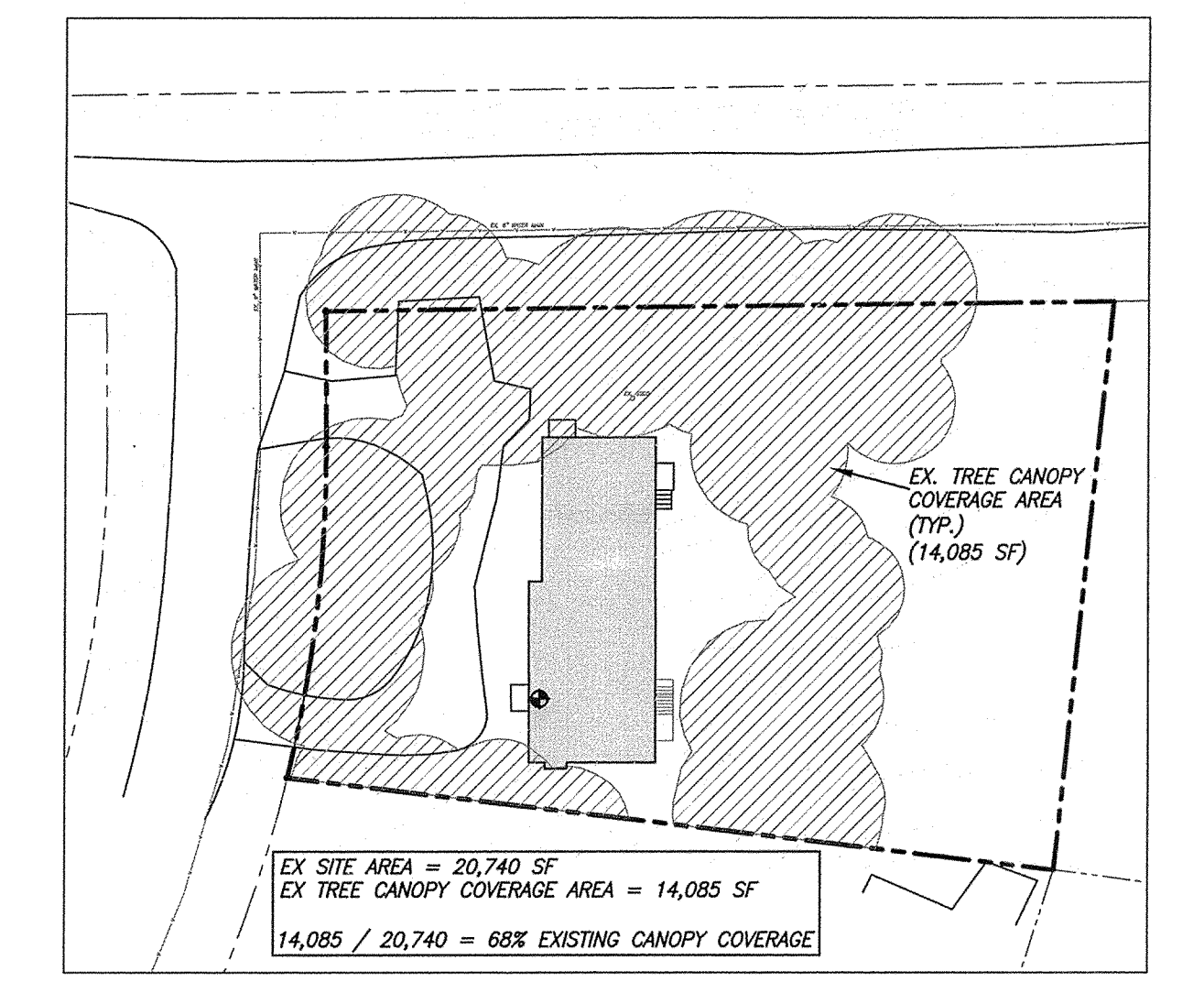
NTS
[X] ITEM TO BE DEMOLISHED/REMOVED OR RELOCATED

4/SD-1.0
DESCRIPTION OF EXISTING SITE FEATURES

TOPOGRAPHY/SLOPE: THE SITE SLOPES FROM A HIGH POINT IN THE NORTHWEST CORNER TOWARDS THE SOUTHEAST CORNER OF THE PROPERTY. THERE IS APPROXIMATELY 14' OF ELEVATION DROP ACROSS THE SITE. THE SITE HAS SLOPES OF 6% TO OVER 22%. THE MAJORITY OF THE SITE HAS SLOPES LESS THAN 10%. THERE ARE NO STEEP SLOPES TO NOTE ON THIS SITE.
HYDROLOGIC FEATURES/DRAINAGE: THE SITE DRAINS FROM THE NORTHWEST CORNER TOWARDS THE SOUTHEAST CORNER OF THE PROPERTY.
SOIL TYPES: THE USDA/NRCS WEB SOIL SURVEY CLASSIFIES TWO POSSIBLE SOIL TYPES WITHIN THE SITE. AUC APPLING-URBAN LAND COMPLEX - 2-10 PERCENT SLOPES 10D TARRUS SILT LOAM - 8-15 PERCENT SLOPES.
SUN/SHADE PATTERNS: THE SUN WILL PASS AROUND THE SOUTH SIDE OF THE BUILDINGS DURING THE COURSE OF THE DAY. EFFORT WILL BE GIVEN TO RETAIN AS MANY EXISTING TREES AS POSSIBLE SOUTH OF THE BUILDINGS TO PROVIDE SHADE.
WHERE TREES ARE REMOVED FROM THE SOUTHERN LANDSCAPE BUFFER FOR GRADING PURPOSES NEW TREES WILL BE PLANTED. TREES WILL ALSO BE ADDED TO THE NEW PARKING AREAS TO PROVIDE SHADE AND MEET MINIMUM REQUIREMENTS.
FEMA FLOOD PLAIN INFORMATION: THERE IS NO MAPPED FLOOD PLAN AS PER FEMA MAP NUMBER 3710978800J (EFFECTIVE FEBRUARY 2, 2007)
SPECIAL FEATURES: THIS PROPERTY HAS FRONTAGE ON BOTH MCCAULEY STREET AND HILLTOP STREET.
VEGETATION: THE SITE CONTAINS BOTH EXISTING HARDWOOD AND PINE TREES.
TRANSIT FACILITIES: THE NEAREST BUS STOP IS LOCATED A SHORT DISTANCE AWAY ON SOUTH MERRILL MILL ROAD.

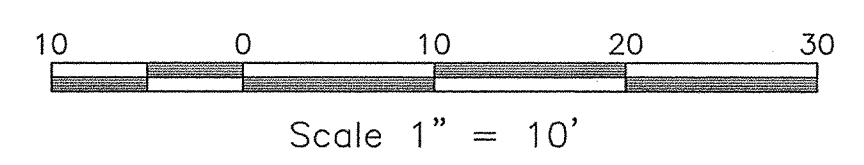
5/SD-1.0
EXISTING TREE CANOPY COVERAGE

SCALE = 1"=40'



EX SITE AREA = 20,740 SF
EX TREE CANOPY COVERAGE AREA = 14,085 SF
14,085 / 20,740 = 68% EXISTING CANOPY COVERAGE

Table with columns: LINE, BEARING, DISTANCE, CURVE, ARC LENGTH, RADIUS, DELTA ANGLE, TANGENT, CHORD BEARING, CHORD LENGTH. Includes data for line L1 and curve C1.



Scale 1" = 10'

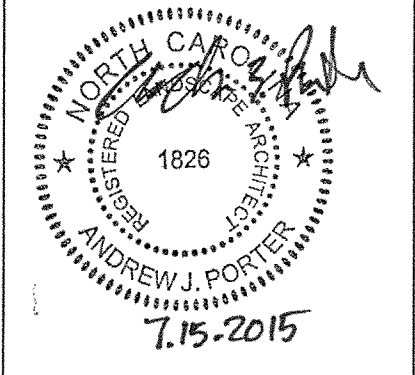
1/SD-1.0
EXISTING CONDITIONS / DEMOLITION PLAN
SCALE: 1"=10'



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Project
McCAULEY STREET APARTMENTS

425 McCAULEY STREET
CHAPEL HILL NC, 27517
ORANGE COUNTY NC

P.I.N. 9788145268

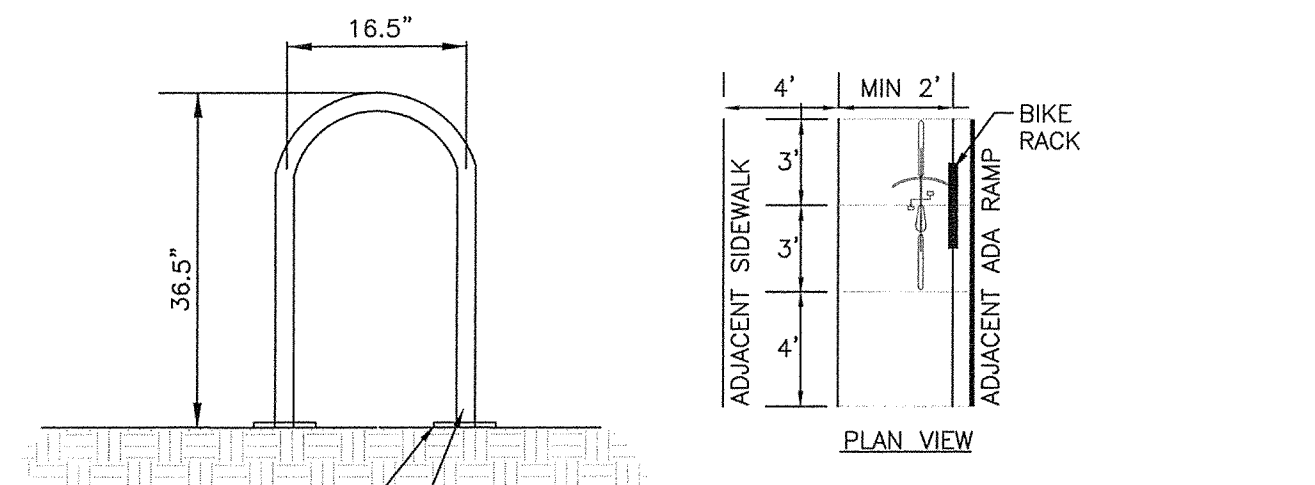
Job Number 1505
Drawn MTC, JJJ
Checked FBR, AJP
Date 03/25/2015
Revisions 1. 07/15/2015

SITE PLAN NOT ISSUED FOR CONSTRUCTION

Sheet Title
EXISTING CONDITIONS / DEMOLITION PLAN

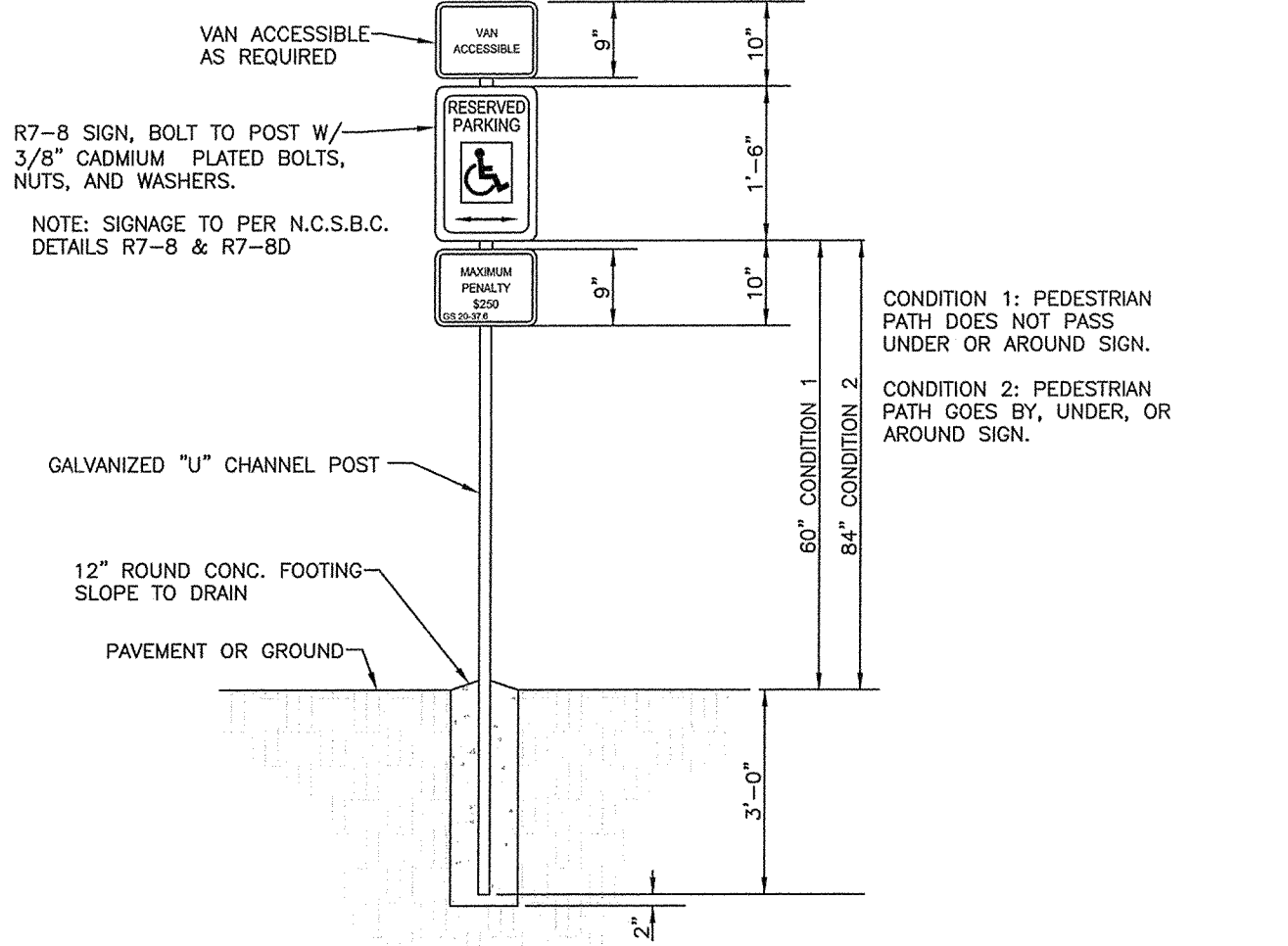
Sheet Number
SD-1.0

- ALL ANGLES ARE 90 DEGREES UNLESS OTHERWISE NOTED.
- DIMENSIONS TO BUILDING WALL ARE TO FACE OF WALL AT FINISH GRADE. DIMENSIONS TO CURB ARE TO FACE OF CURB.
- LAYOUT IMPROVEMENTS FOR THE CIVIL ENGINEER'S OR LANDSCAPE ARCHITECT'S REVIEW PRIOR TO BEGINNING CONSTRUCTION.
- REFERENCE ARCHITECTURAL DRAWINGS FOR BUILDING LAYOUT INFORMATION.
- ADA PARKING SPACES SHALL BE SIGNED WITH TYPE R7-8 OR R7-8A RESERVED PARKING SIGN AND R7-8D MAXIMUM FINE SIGN PER GS 20-37.6 OF THE NORTH CAROLINA HANDICAP CODE. ADA RAMPS SHALL HAVE RAMP SURFACES COVERED WITH DETECTABLE WARNING PATTERN PER ADA STANDARDS.
- REFERENCE DEMOLITION PLAN SHEET SD-1.0 FOR EXTENT OF DEMOLITION AND REMOVAL OF CURB AND GUTTER, DRIVEWAYS, PAVEMENT, BOLLARDS, WALKWAYS, UTILITIES, AND VEGETATION.
- DWELLING OCCUPANTS SHALL BE RESPONSIBLE FOR BRINGING TRASH CARTS AND RECYCLING CARTS TO THE STREET ON THE APPLICABLE COLLECTION DAY.
- APPROVED BUILDING ADDRESS NUMBERS, PLACED IN ACCEPTABLE POSITION TO THE FIRE CODE OFFICIAL, SHALL BE REQUIRED ON ALL NEW BUILDINGS. NC FPC 2012, 505.1
- CONTRACTOR SHALL INSTALL CONTINUOUS FENCING AT THE LIMITS OF DISTURBANCE PRIOR TO ANY DEMOLITION OR SITE WORK.
- DURING CONSTRUCTION AND DEMOLITION WHERE HOT WORK, MATERIALS SUBJECT TO SPONTANEOUS COMBUSTION, OR OTHER HAZARDOUS CONSTRUCTION OR DEMOLITION IS OCCURRING, THE OWNER OR THEIR DESIGNEE SHALL BE RESPONSIBLE FOR MAINTAINING A FIRE WATCH. THE FIRE WATCH SHALL CONSIST OF AT LEAST ONE PERSON WITH A MEANS OF COMMUNICATING AN ALARM TO 911, SHALL A WRITTEN ADDRESS POSTED IN A CONSPICUOUS LOCATION AND SHALL MAINTAIN CONSTANT PATROLS. NC FPC 2012 SECTION 1404
- ALL CONSTRUCTION AND DEMOLITION CONDUCTED SHALL BE IN COMPLIANCE OF THE CURRENT EDITION OF CHAPTER 14 OF THE NC FPC.



3/SD-2.0
BIKE RACK DETAIL
NTS

NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
2. BIKE RACK SPACING SHALL MEET REQUIREMENTS OF THE TOWN OF CHAPEL HILL DESIGN MANUAL SECTION 4.11
3. DO NOT SCALE DRAWINGS.



4/SD-2.0
ADA SIGNAGE
NTS

GENERAL NOTES:
1. REGARDLESS OF AGE, ALL ACCESSIBLE SPACES SHALL BE IDENTIFIED BY ABOVE-GROUND SIGNS ONLY.
2. NEW SPACES SHALL NOT USE GROUND-PAINTED SYMBOLS.
3. ACCESSIBLE SPACES ARE REQUIRED TO BE STRIPED OFF ONLY; BLUE COLORING IS NOT NECESSARY NOR REQUIRED.
4. STRIPING IS WHITE ON DARK PAVEMENT; BLACK ON LIGHT PAVEMENT. (N.C.D.O.T.)

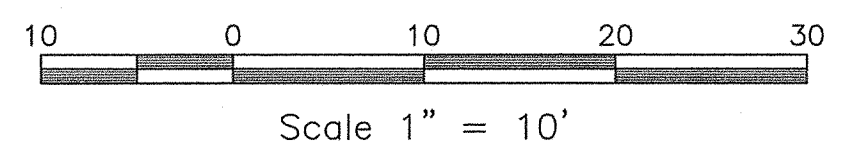
5/SD-2.0
CONSTRUCTION MANAGEMENT NOTES

- THERE WILL BE NO CONSTRUCTION TRAILER ON SITE. CONSTRUCTION OFFICE WILL BE LOCATED IN EX. DUPLEX BUILDING.
- CONSTRUCTION PERSONNEL AND CONSTRUCTION EQUIPMENT PARKING WILL BE WITHIN THE PROPERTY LIMITS. PERSONNEL PARKING SHALL BE LOCATED WEST OF EXISTING DUPLEX BUILDING WITHIN EXISTING GRAVEL DRIVEWAY.
- STAGING FOR CONSTRUCTION MATERIALS SHALL BE LOCATED WEST OF EXISTING DUPLEX BUILDING WITHIN EXISTING GRAVEL DRIVEWAY.
- EMERGENCY VEHICLE ACCESS WILL BE FROM EITHER ADJACENT ROW (MCCAULEY STREET OR HILLTOP STREET).
- DELIVERY TRUCKS SHALL DELIVER FROM EITHER ADJACENT ROW (MCCAULEY STREET OR HILLTOP STREET).
- CONTRACTOR TO PROVIDE CONSTRUCTION SIGNAGE AS NECESSARY ALONG BOTH MCCAULEY STREET AND HILLTOP STREET PER LATEST NCDOT STANDARDS.
- CONTRACTOR SHALL COORDINATE ANY REQUIRED LANE CLOSURES WITH THE TOWN OF CHAPEL HILL PRIOR TO PERFORMING WORK. CONTRACTOR TO MAINTAIN TWO WAY TRAFFIC AT ALL TIMES.

6/SD-2.0
CONSTRUCTION WASTE NOTES

- ALL EXISTING STRUCTURES 500 SQUARE FEET AND LARGER IN SIZE SHALL BE ASSESSED PRIOR TO DEMOLITION TO ENSURE COMPLIANCE WITH THE COUNTY'S REGULATED RECYCLABLE MATERIALS ORDINANCE (RRMO) AND TO ASSESS THE POTENTIAL FOR DE-CONSTRUCTION AND/OR THE RE-USE OF SALVAGEABLE MATERIALS.
- BY ORANGE COUNTY ORDINANCE, CLEAN WOOD WASTE, SCRAP METAL, AND CORRUGATED CARDBOARD PRESENT IN CONSTRUCTION OR DEMOLITION WASTE MUST BE RECYCLED.
- BY ORANGE COUNTY ORDINANCE, ALL HAULERS OF MIXED CONSTRUCTION AND DEMOLITION WASTE THAT INCLUDES ANY REGULATED RECYCLABLE MATERIALS SHALL BE LICENSED BY ORANGE COUNTY.
- PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE THE APPLICANT SHALL HOLD A PRE-DEMOLITION / PRE-CONSTRUCTION CONFERENCE WITH THE SOLID WASTE STAFF. THIS MAY BE THE SAME PRE-CONSTRUCTION MEETING HELD WITH OTHER DEVELOPMENT / ENFORCEMENT OFFICIALS.
- THE PRESENCE OF ASBESTOS CONTAINING MATERIALS (ACM) AND/OR OTHER HAZARDOUS MATERIALS IN CONSTRUCTION AND DEMOLITION WASTE SHALL BE HANDLED IN ACCORDANCE WITH ANY AND ALL LOCAL, STATE, AND FEDERAL REGULATIONS AND GUIDELINES.

LINE	BEARING	DISTANCE	RADIUS	DELTA ANGLE	TANGENT	CHORD BEARING	CHORD LENGTH
L1	N 20°24'08" W	30.75'					
C1	ARC LENGTH	312.90'	76.00'	13°54'59"	38.19'	N 13°26'49" W	75.81'



JAMES BULLBROOK & WHITNEY LONG
9788145209
USE: RESIDENTIAL

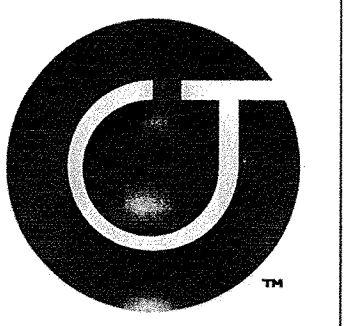
HILLTOP STREET
50' PUBLIC R/W
EX. GRAVEL SURFACE

MCCAULEY STREET
50' PUBLIC R/W
EX. GRAVEL SURFACE

UNIVERSITY OF NORTH CAROLINA
9788145406
DB 110 PG 38
ZONE: R-4
USE: UNC COGENERATION PLANT

SUBIR ROY & SIVANDA R. MCGARVEY
9788145178
ZONE: R-2
USE: RESIDENTIAL
PB. 5 PG. 27

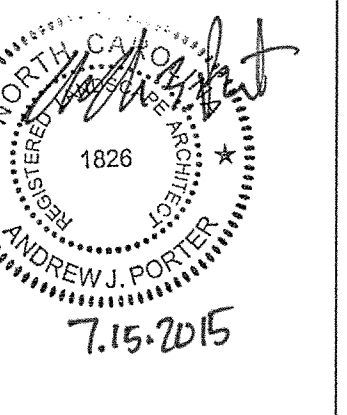
DAVID A. LEDER
9788145209
ZONE: R-2
PB. 5 PG. 27



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Project
MCCAULEY STREET APARTMENTS
425 MCCAULEY STREET
CHAPEL HILL NC, 27517
ORANGE COUNTY NC

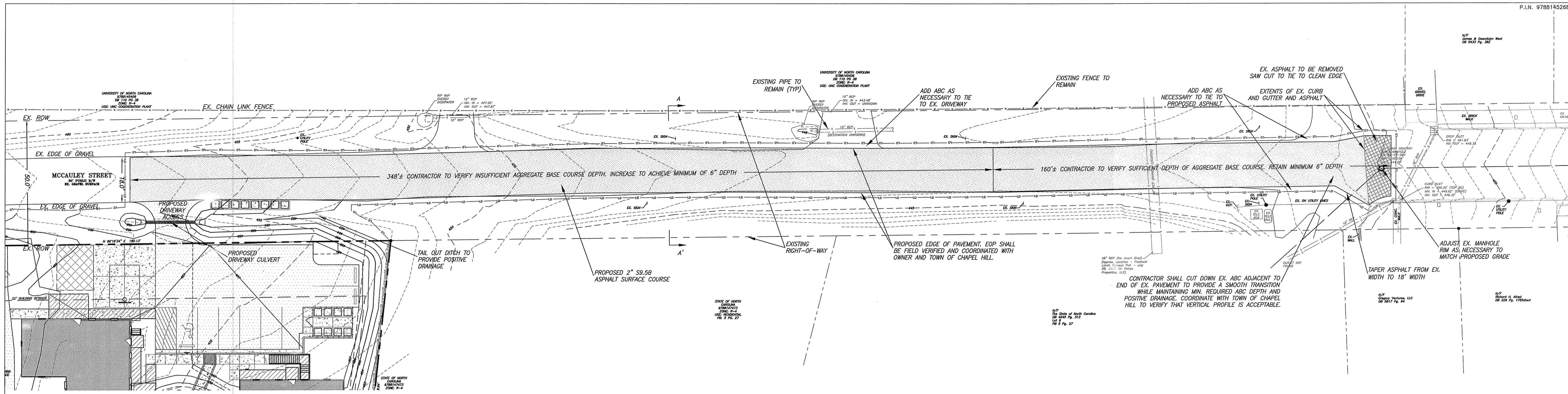
P.I.N. 9788145268

Job Number 1505
Drawn MTC, JCL
Checked PBR, AJP
Date 03/25/2015
Revisions 1. 07/15/2015

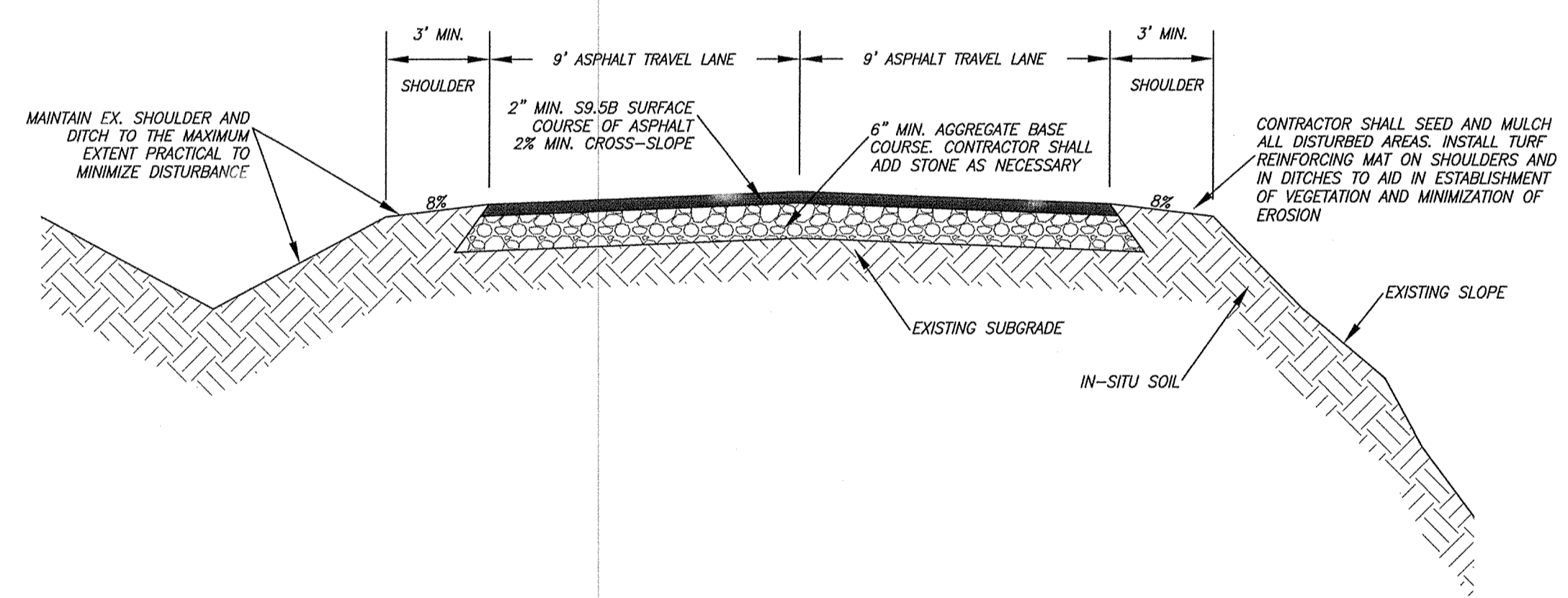
SITE PLAN
NOT ISSUED
FOR CONSTRUCTION

SHEET TITLE
SITE LAYOUT PLAN

SHEET NUMBER
SD-2.0



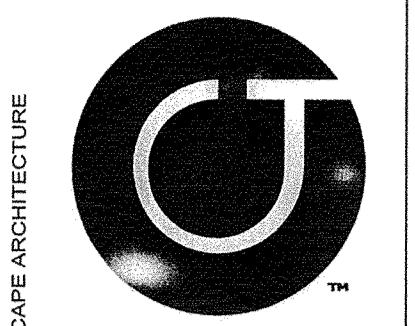
1/SD-2.1
 McCAULEY STREET IMPROVEMENT PLAN
 SCALE: 1" = 20'



2/SD-2.1
 ROAD CROSS-SECTION A-A'
 SCALE: NTS

2/SD-2.1
 McCAULEY STREET IMPROVEMENT NOTES

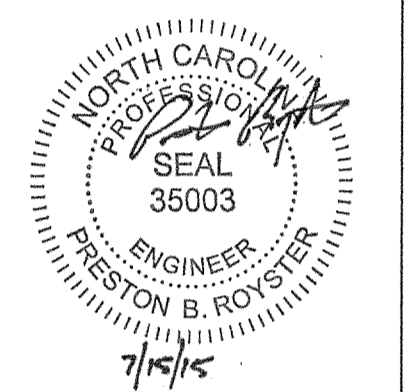
- WHERE EXISTING AGGREGATE STONE BASE DEPTH IS LESS THAN 6 INCHES, THE TOP OF THE EXISTING BASE COURSE SHOULD BE SCARIFIED TO IMPROVE THE BOND BETWEEN THE TWO LAYERS AND AGGREGATE BASE COURSE SHOULD BE ADDED TO BRING THE DEPTH TO 6 INCHES MINIMUM.
- STONE BASE SHOULD BE SET UP AND COMPACTED IN ACCORDANCE WITH NCDOT AND TOWN OF CHAPEL HILL SPECIFICATIONS.
- MINIMUM ASPHALT REQUIREMENTS ARE 2 INCHES OF S9.5B SURFACE MIX INSTALLED IN 1 LIFT.
- COORDINATE ALL WORK WITH TOWN OF CHAPEL HILL.
- STONE BASE SHALL BE PROOF ROLLED AND APPROVED BY TOWN OF CHAPEL HILL AND GEOTECHNICAL ENGINEER PRIOR TO PAVING.



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Project
**McCAULEY
 STREET
 APARTMENTS**
 425 McCauley Street
 Chapel Hill NC, 27517
 ORANGE COUNTY NC

P.I.N. 9788145268

Job Number	1505
Drawn	MTC, JGJ
Checked	FBR, AJP
Date	03/25/2015
Revisions	1. 07/15/2015

SITE PLAN
 NOT ISSUED
 FOR CONSTRUCTION

Sheet Title
**McCAULEY
 STREET
 IMPROVEMENT
 PLAN**

Sheet Number
SD-2.1

UNIVERSITY OF NORTH CAROLINA
9788145406
DB 110 PG. 38
ZONE: R-4
USE: UNC COGENERATION PLANT

2/SD-3.0
GRADING AND STORMWATER PLAN NOTES

GRADING NOTES:

1. ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY REVISIONS OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH TOWN OF CHAPEL HILL STANDARDS AND SPECIFICATIONS.
3. CONTRACTOR SHALL NOTIFY "NORTH CAROLINA ONE CALL" (1-800-632-4949) AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR TO CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NORTH CAROLINA ONE CALL."
4. CONSTRUCTION, MAINTENANCE AND REMOVAL OF ALL EROSION CONTROL DEVICES ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
5. EXISTING UTILITIES AND STRUCTURES SHOWN, BOTH UNDERGROUND AND ABOVE GROUND, ARE BASED ON A FIELD SURVEY AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY FIELD CONDITIONS PRIOR TO BEGINNING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE IMMEDIATELY.
6. SOIL UNDER BUILDING PAD, PAVED AREAS AND WITHIN SLOPES GREATER THAN 3:1 (H:V) SHALL BE APPROVED, PLACED AND COMPACTED AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER. THESE SOILS SHALL BE COMPACTED AS SPECIFIED UNLESS OTHERWISE RECOMMENDED BY THE GEOTECHNICAL ENGINEER. ANY UNDERCUT OF SOILS IN THESE AREAS SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER & OWNER. THE UNDERCUT SOILS SHALL ALSO BE QUANTIFIED BY THE GEOTECHNICAL ENGINEER.
7. ALL GRADING MUST PRODUCE SURFACE DRAINAGE ADEQUATE TO PREVENT STANDING WATER OR WET LAWN AREAS, AND TO ENSURE THAT ALL STORM WATER FLOWS TO INLETS OR OTHER POINTS OF DISCHARGE.
8. ALL SIDEWALKS SHALL BE CONSTRUCTED WITH A MAXIMUM 1.8% CROSS SLOPE IN THE DIRECTION SHOWN ON THE PLAN.

STORM DRAINAGE NOTES:

1. ALL STORM DRAINAGE PIPES SHOWN ARE TO BE CLASS III REINFORCED CONCRETE (RCP) UNLESS NOTED OTHERWISE.
2. ALL STORM DRAINAGE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF CHAPEL HILL STANDARDS.
3. ALL CONCRETE SHALL MEET A MINIMUM 3000 PSI COMPRESSIVE STRENGTH.
4. ALL PIPE IN STORM DRAIN STRUCTURES SHALL BE STRUCK EVEN WITH INSIDE WALL.
5. ALL PIPE JOINTS SHALL BE MADE WITH PREFORMED JOINT SEALER, WHICH CONFORMS TO ASHTO SPECIFICATION M-198 FOR TYPE B FLEXIBLE PLASTIC GASKETS UNLESS OTHERWISE NOTED.
6. THE INTERIOR SURFACES OF ALL STORM DRAINAGE STRUCTURES SHALL BE POINTED AND SMOOTHED TO AN ACCEPTABLE STANDARD USING MORTAR MIXED TO MANUFACTURER'S SPECIFICATIONS.
7. ALL BACKFILL SHALL BE NON-PLASTIC IN NATURE, FREE FROM ROOTS, VEGETATION MATTER, WASTE CONSTRUCTION MATERIAL OR OTHER OBJECTIONABLE MATERIAL. SAID MATERIAL SHALL BE CAPABLE OF BEING COMPACTED BY MECHANICAL MEANS AND SHALL HAVE NO TENDENCY TO FLOW OR BEHAVE IN A PLASTIC MANNER UNDER THE TAMPING BLOWS OR PROOF ROLLING.
8. MATERIALS DEEMED BY THE OWNER'S REPRESENTATIVE AS UNSUITABLE FOR BACKFILL PURPOSES SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL.
9. BACKFILLING OF TRENCHES SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PIPE IS LAID. THE FILL AROUND THE PIPE SHALL BE THOROUGHLY COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY OBTAINABLE WITH THE STANDARD PROCTOR TEST. THE TOP EIGHT (8) INCHES SHALL BE COMPACTED TO 100% STANDARD PROCTOR.
10. UNDER NO CIRCUMSTANCES SHALL WATER BE ALLOWED TO RISE IN UNBACKFILLED TRENCHES AFTER PIPE HAS BEEN PLACED.

3/SD-3.0
ADA ROUTE NOTES APPLIES TO ALL SHEETS

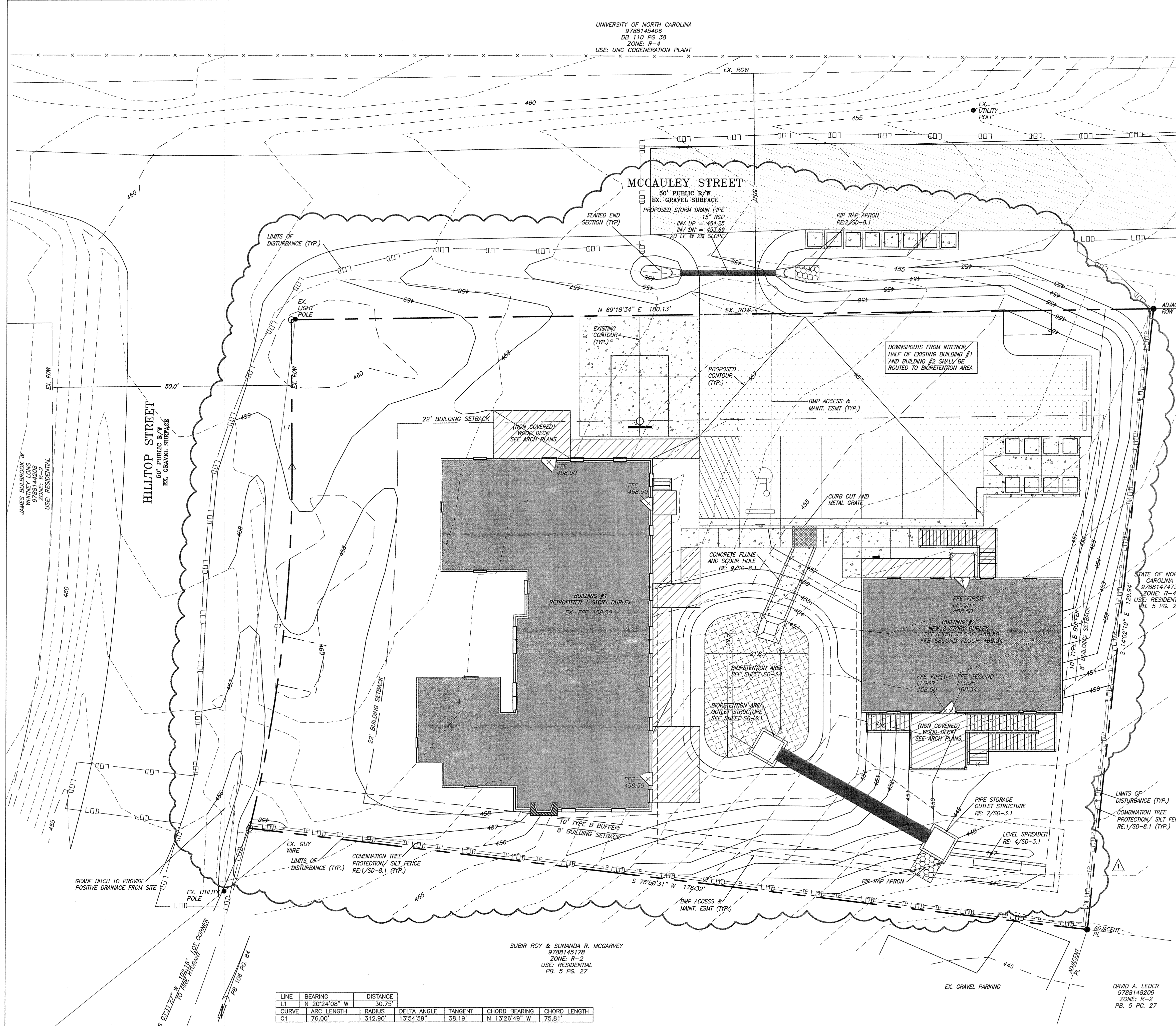
FOR ALL SIDEWALKS THE FOLLOWING APPLIES:

1. SIDEWALK SLOPES TO BE A MAXIMUM 4.8%.
2. SIDEWALK CROSS SLOPES TO BE A MAXIMUM 1.8%.
3. MINIMUM 1' SHOULDER AT MAXIMUM 2% SLOPE ADJACENT TO ADA PAVED ROUTES UNLESS A HANDRAIL IS CALLED OUT.
4. ADA PARKING TO BE A MAXIMUM 1.8% SLOPE IN ANY DIRECTION FOR ENTIRE AREA - PARKING SPACES AND AISLES.
5. ALL ADA ACCESSIBLE DOORS EXITING THE BUILDING REQUIRE AN ACCESSIBLE COMPLIANT ROUTE TO A PUBLIC WAY.

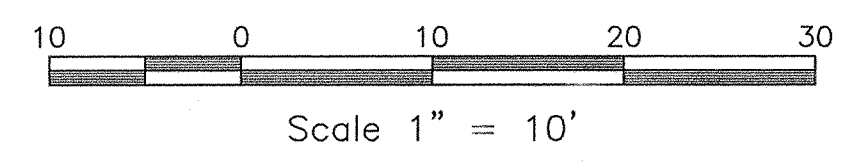
4/SD-3.0
BIORETENSION AREA NOTES

NOTES:

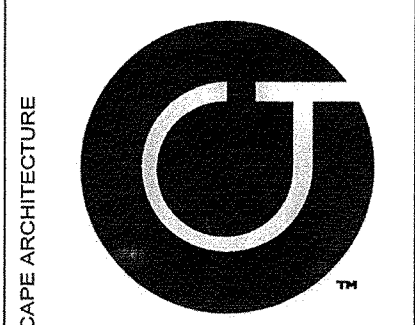
1. ALL SEDIMENT AND EROSION CONTROL PRACTICES SHALL BE IN PLACE AND THE SLOPES DRAINING TO THE BIORETENTION AREA SHALL BE STABILIZED BEFORE CONSTRUCTION OF THE BIORETENTION AREA BEGINS. ALL UPHILL AREAS DRAINING TO THE BIORETENTION AREA INCLUDING PARKING AND BUILDINGS MUST BE STABILIZED AND PAVED PRIOR TO BEGINNING CONSTRUCTION OF THE BIORETENTION AREA.
2. THE BIORETENTION SOIL MIX SHALL BE AT LEAST 36" DEEP AND SHALL BE A MIX THAT MEETS THE FOLLOWING SPECIFICATIONS:
 - 85% - 88% (BY VOLUME) ASTM C-33 SAND
 - 8% - 12% (BY VOLUME) FINES (INCLUDES BOTH SILTS AND CLAYS)
 - 3% - 5% (BY VOLUME) ORGANIC/PRENT MOSS (NOTE: THE ORGANIC MATERIAL SHALL BE WELL MIXED OR LAYERED IN THE UPPER 18" OF THE SOIL MIX.)
 - THE IN-PLACE HYDRAULIC CONDUCTIVITY RANGE OF THE SOIL MIX SHALL BE BETWEEN 1.0-2.0 INCHES/HOUR. THE MEDIA SHOULD BE TESTED TO DETERMINE THE ACTUAL DRAINAGE RATE AFTER PLACEMENT
 - THE SOIL MIX SHALL HAVE A P-INDEX RANGE BETWEEN 10 AND 25
 - SOIL MEDIA SHOULD BE SENT TO NC DEPARTMENT OF AGRICULTURE LABS TO BE ANALYZED
3. SOD THAT IS INSTALLED MUST NOT BE GROWN IN SOIL THAT HAS AN IMPERMEABLE LAYER, SUCH AS CLAY.
4. THE FILL SOIL MEDIA SHALL BE FREE OF STONES, STUMPS, ROOTS, OR SIMILAR OBJECTS LARGER THAN 1". SOIL SHALL BE PLACED IN LAYERS LESS THAN 18".
5. ALL SLOPES DRAINING TO THE BIORETENTION AREA SHALL BE STABILIZED PRIOR TO INSTALLATION OF THE UNDERDRAIN SYSTEM.
6. THE BIORETENTION AREA MUST BE COMPLETE PRIOR TO OBTAINING C.O.
7. CONTRACTOR TO PROVIDE ELEVATIONS AT THE TOP OF THE MULCH, TOP OF PLANTING SOIL MEDIA, TOP OF THE SAND LAYER, TOP OF GRAVEL, AND BOTTOM OF BIORETENTION AREA TO THE ENGINEER. CONTRACTOR SHALL PROVIDE SPACING OF UNDERDRAIN PIPING TO THE ENGINEER. IF THIS INFORMATION IS NOT PROVIDED, CONTRACTOR SHALL VERIFY ELEVATIONS BY EXCAVATING DOWN TO EACH LAYER AND REPAIR BIORETENTION AREA AT NO ADDITIONAL COST TO THE OWNER.
8. CONTRACTOR TO CONDUCT IN-PLACE INFILTRATION TESTING ON THE SOIL MEDIA. THE INFILTRATION RATE MUST BE BETWEEN 1-2 IN/HR. DOUBLE RING INFILTRATION TESTS (MINIMUM OF 2 TESTS OR 1 TEST/1000 SF OF FILTER MEDIA SURFACE AREA, WHICHEVER IS GREATER) SHALL BE PERFORMED AT THE COMPLETION OF THE BIORETENTION AREA CONSTRUCTION. IF THE IN-PLACE INFILTRATION RATE IS OUTSIDE OF THE ALLOWABLE RANGE, THE CONTRACTOR SHALL CORRECT THE RATE BY WHATEVER MEANS ARE NECESSARY AT NO ADDITIONAL COST TO THE OWNER. A COPY OF THE TEST RESULTS SHALL BE PROVIDED TO THE ENGINEER.
9. CONTRACTOR SHALL PROVIDE A COPY OF THE PURCHASE RECEIPTS FOR ALL PIPE INSTALLED AS PART OF THE BIORETENTION AREA. THE RECEIPTS SHOULD IDENTIFY THE ASTM SPECIFICATION GOVERNING THE MANUFACTURE OF THE PIPE.
10. AVOID OVER-COMPACTION BY ALLOWING TIME FOR NATURAL COMPACTION AND SETTLEMENT. NO ADDITIONAL MANUAL COMPACTION OF SOIL IS NECESSARY. RAVE SOIL MATERIAL AS NEEDED TO LEVEL OUT. OVERBILL ABOVE THE PROPOSED SURFACE SUBJECT TO ACCOMMODATE NATURAL SETTLEMENT TO PROPER GRADE. DEPENDING UPON THE SOIL MATERIAL, UP TO 20% NATURAL COMPACTION MAY OCCUR. CONSULT WITH SOIL PROVIDER FOR NATURAL COMPACTION.
11. A COPY OF THE USDA SOIL ANALYSIS MUST BE PROVIDED TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO ORDERING AND INSTALLING THE FILTER MEDIA.



LINE	BEARING	DISTANCE					
L1	N 20°24'08" W	30.75'					
CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	TANGENT	CHORD BEARING	CHORD LENGTH	
C1	76.00'	312.90'	13°54'59"	38.19'	N 13°28'49" W	75.81'	



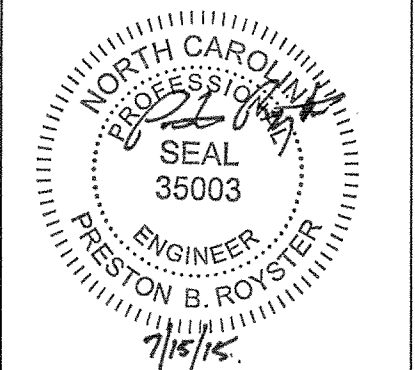
1/SD-3.0
GRADING AND STORMWATER PLAN
SCALE: 1" = 10'



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NC BOARD OF EXAMINERS FOR
ENGINEERS AND SURVEYORS
LIC # C-1209
NC BOARD OF LANDSCAPE
ARCHITECTS LIC # C-104



Project
**McCAULEY
STREET
APARTMENTS**
425 McCAULEY STREET
CHAPEL HILL NC, 27517
ORANGE COUNTY NC

P.I.N. 9788145268

Job Number 1505

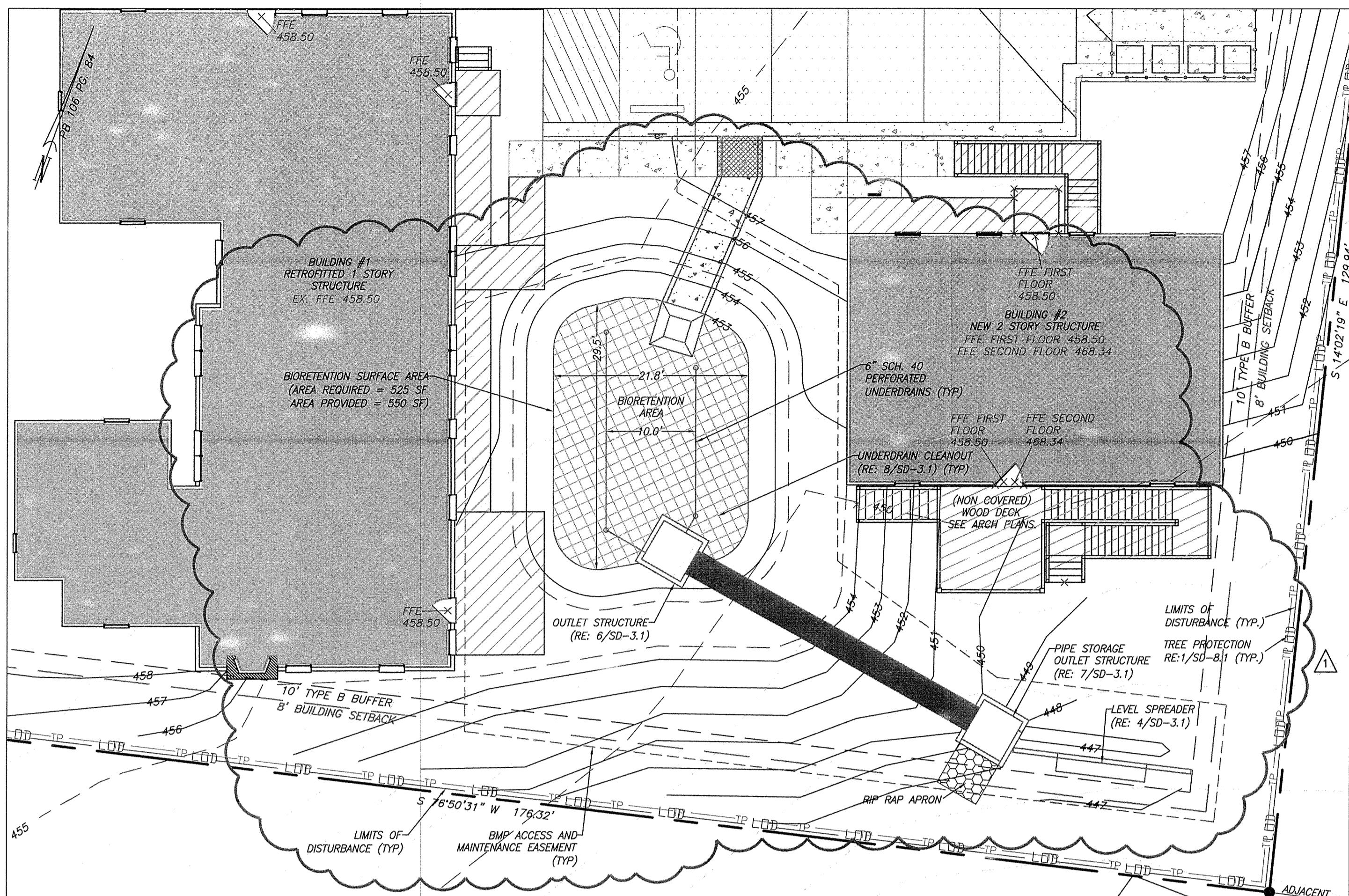
Drawn MTC, JGJ
Checked FBR, AJP
Date 03/25/2015
Revisions 1. 07/15/2015

SITE PLAN
NOT ISSUED
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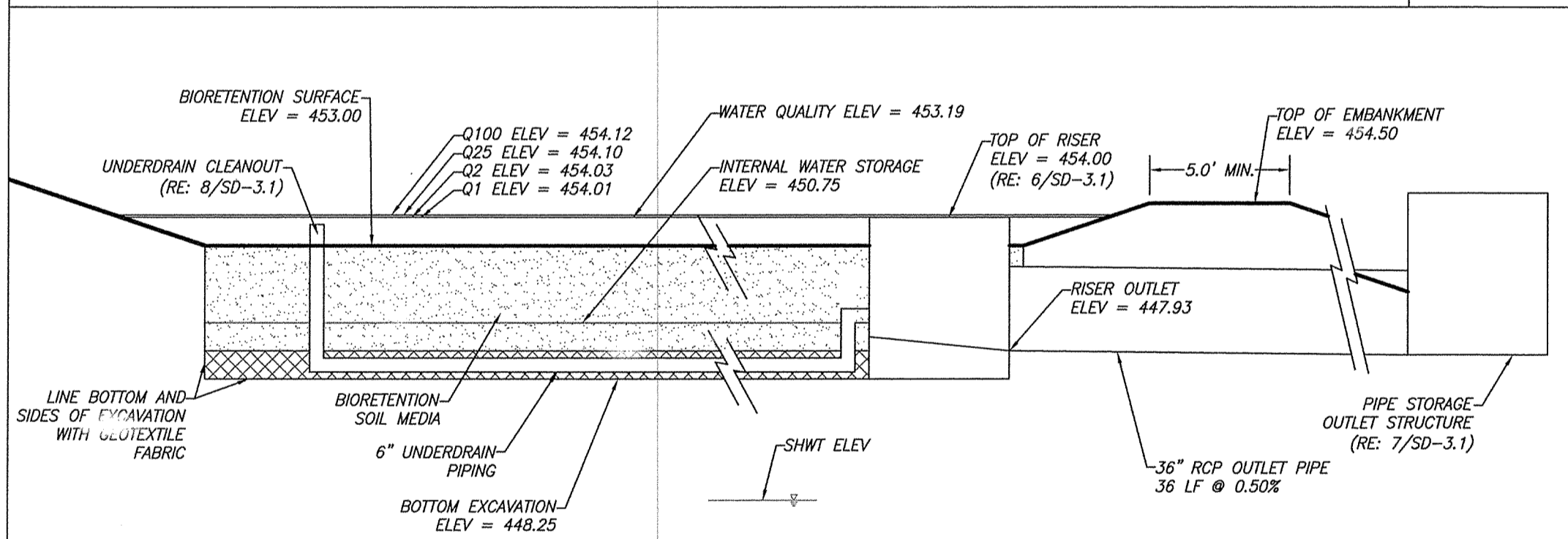
Sheet Title
**GRADING
AND
STORMWATER
PLAN**

Sheet Number

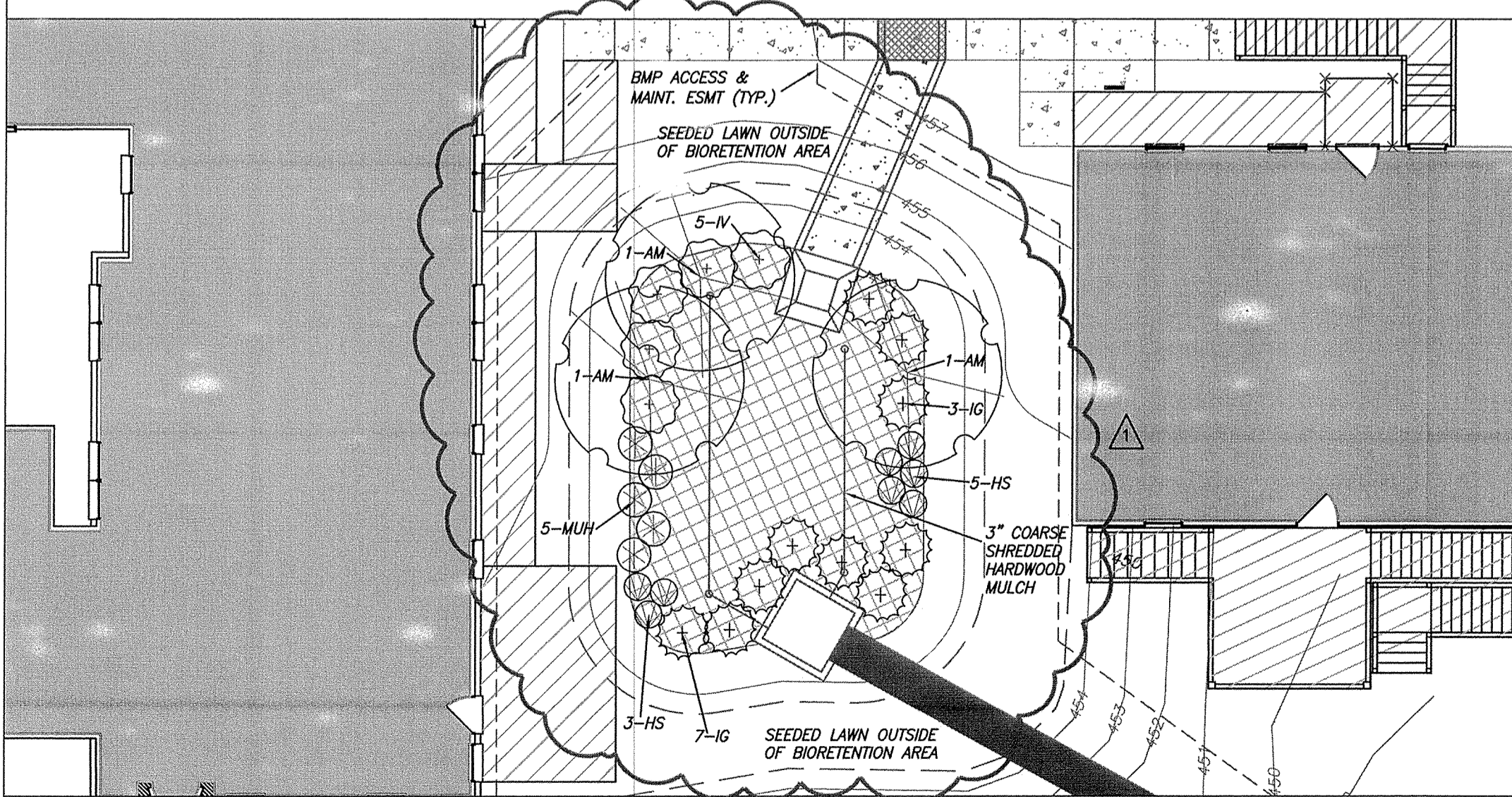
SD-3.0



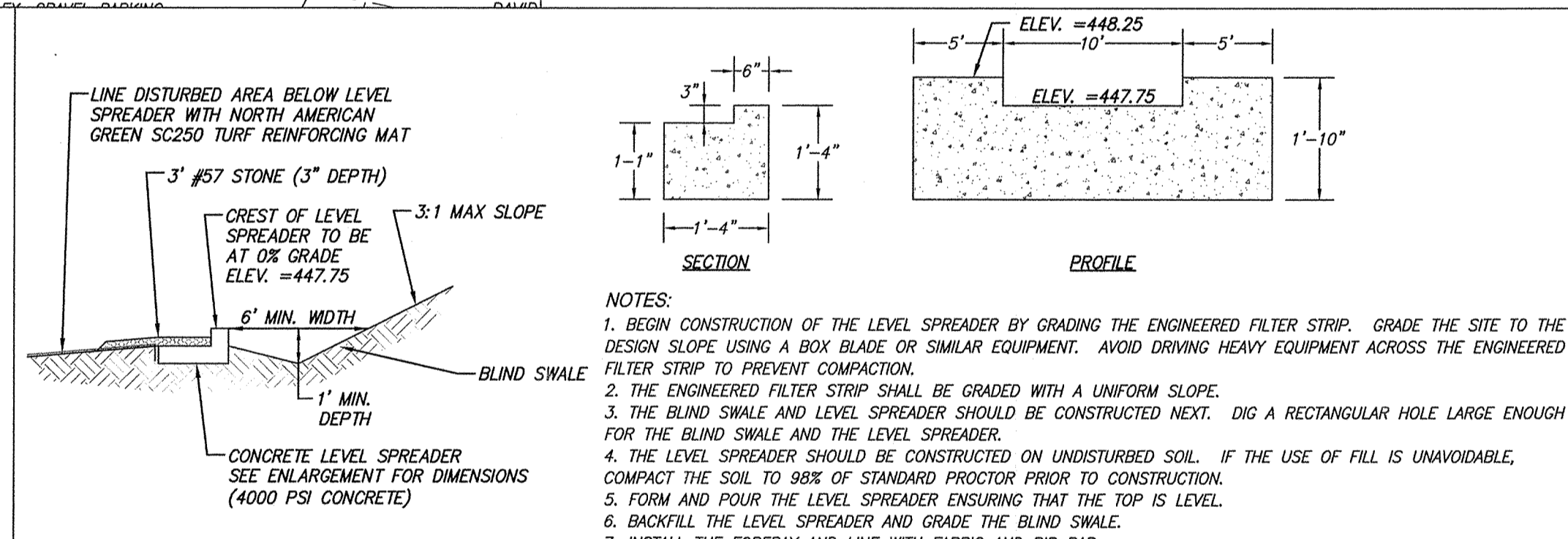
1/SD-3.1
BIORETENTION AREA PLAN VIEW
SCALE: 1" = 10'



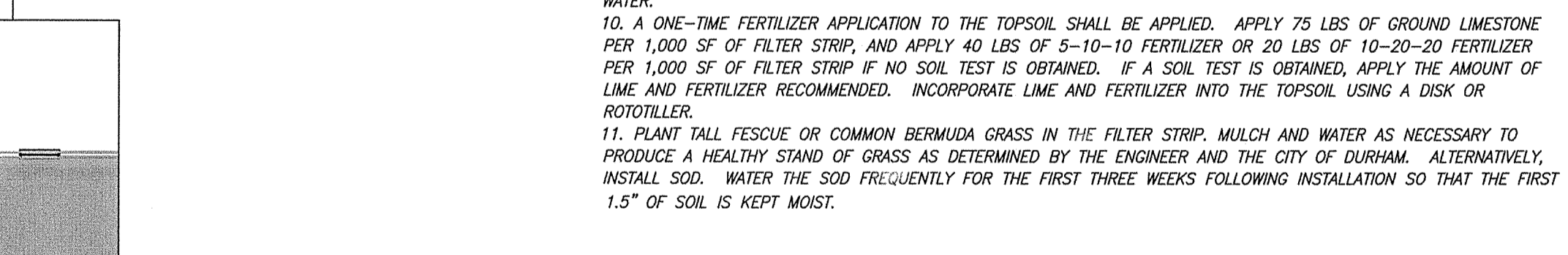
3/SD-3.1
BIORETENTION AREA PLAN VIEW
SCALE: NTS



5/SD-3.1
BIORETENTION AREA PLANTING PLAN
SCALE: 1" = 10'



4/SD-3.1
LEVEL SPREADER DETAIL
SCALE: NTS

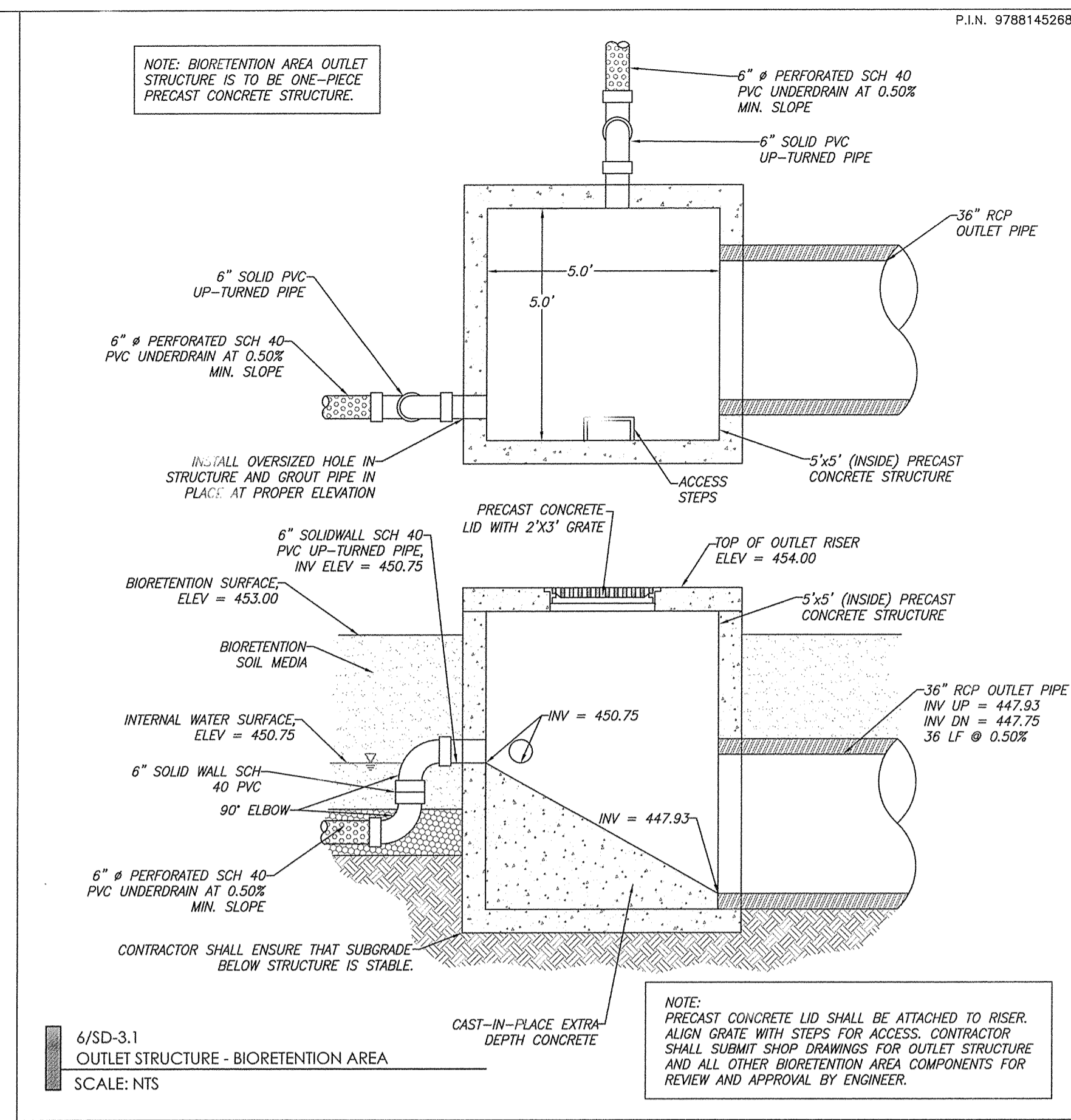


2/SD-3.1
BIORETENTION AREA - SOIL SECTION
SCALE: NTS

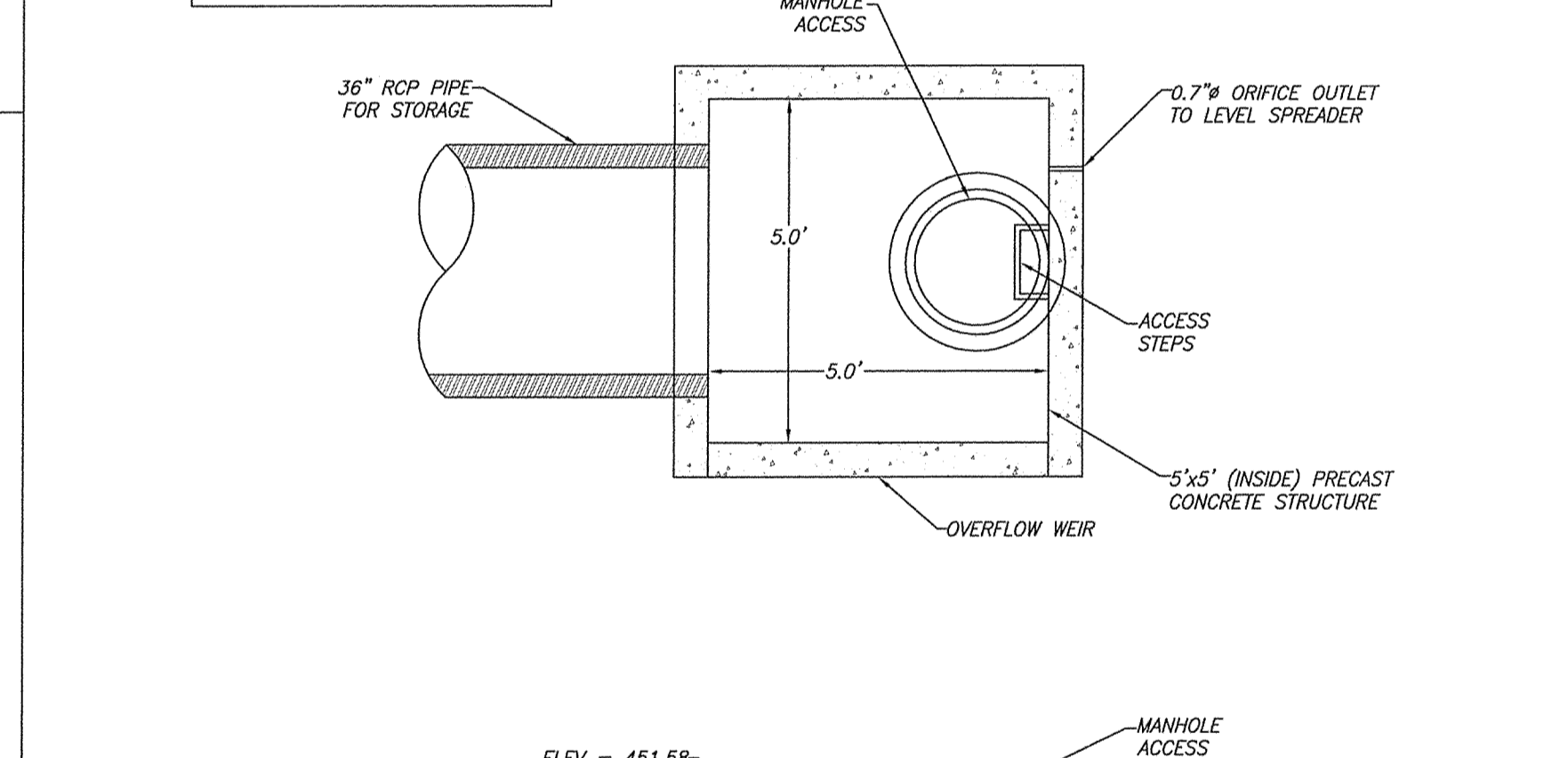
NOTE: CONTRACTOR SHALL REFER TO 2/SD-7.0 FOR PLANTING NOTES.

Qty	Sym	Botanic Name	Common Name	Installation Size	Spacing
3	AM	Amelanchier arborea	Common Serviceberry multi-stem	6' ht	n/a
8	HS	Hemerocallis 'Stella d'Oro'	Stella d'Oro Daylily	1 qt	4'-5' o.c.
10	IG	Ilex glabra 'Compacta'	Dwarf Inkberry Holly	18" ht	4'-5' o.c.
5	IV	Itea virginica	Virginia Sweetspire	18" ht	4'-5' o.c.
5	MU	Muhlenbergia capillaris	Pink Muhly Grass	1 qt	6' o.c.

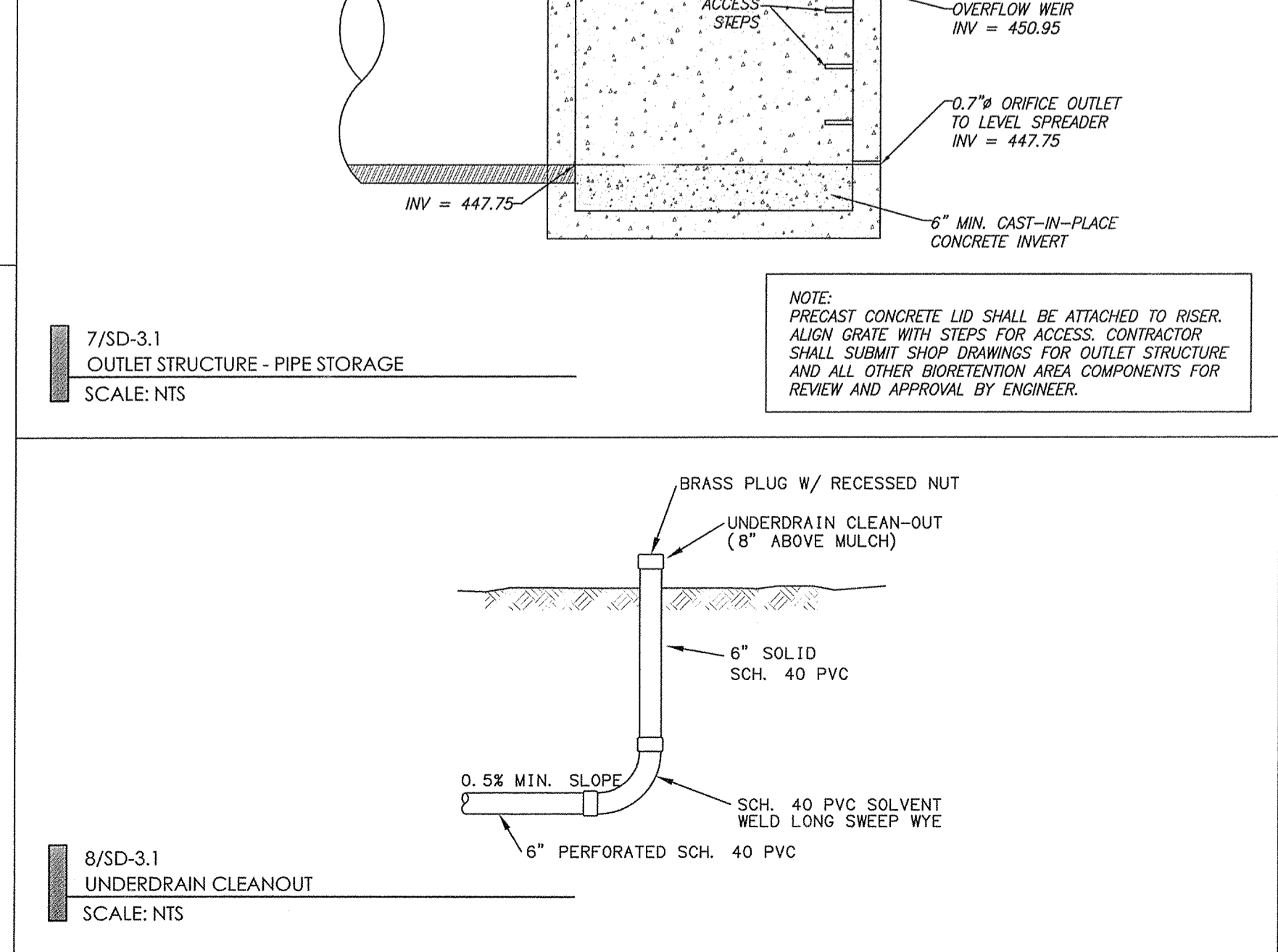
9/SD-3.1
BIORETENTION PLANT SCHEDULE
SCALE: NTS



6/SD-3.1
OUTLET STRUCTURE - BIORETENTION AREA
SCALE: NTS



7/SD-3.1
OUTLET STRUCTURE - PIPE STORAGE
SCALE: NTS



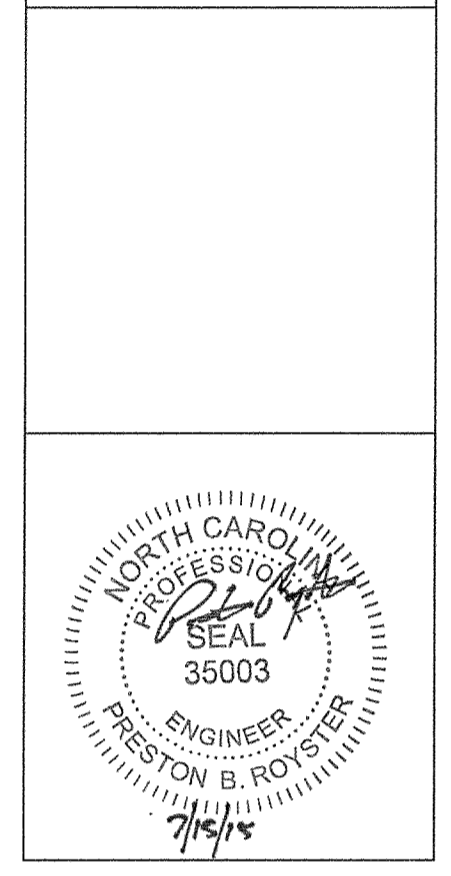
8/SD-3.1
UNDERDRAIN CLEANOUT
SCALE: NTS



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SITE PLAN
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FOR CONSTRUCTION

Sheet Title
STORMWATER DETAILS

Sheet Number
SD-3.1

UNIVERSITY OF NORTH CAROLINA
9788145406
DB 110 PG 3B
ZONE: R-4
USE: UNC COGENERATION PLANT

2/SD-4.0
EROSION CONTROL PLAN NOTES

EROSION CONTROL NOTES:

1. EROSION CONTROL BOND: IF ONE (1) ACRE OR MORE IS UNCOVERED BY LAND-DISTURBING ACTIVITIES FOR THIS PROJECT, THEN A PERFORMANCE GUARANTEE IN ACCORDANCE WITH SECTION 5-97.1 BONDS OF THE TOWN CODE OF ORDNANCES SHALL BE REQUIRED PRIOR TO FINAL AUTHORIZATION TO BEGIN LAND-DISTURBING ACTIVITIES. THIS FINANCIAL GUARANTEE IS INTENDED TO COVER THE COSTS OF RESTORATION OF FAILED OR FAILING SOIL EROSION AND SEDIMENTATION CONTROLS, AND/OR TO REMEDY DAMAGES RESULTING FROM LAND-DISTURBING ACTIVITIES, SHOULD THE RESPONSIBLE PARTY OR PARTIES FAIL TO PROVIDE PROMPT AND EFFECTIVE REMEDIES ACCEPTABLE TO THE TOWN.
2. THE APPLICANT SHALL PROVIDE A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PERMIT FROM ORANGE COUNTY EROSION CONTROL DIVISION PRIOR TO RECEIVING A ZONING COMPLIANCE PERMIT. DURING THE CONSTRUCTION PHASE, ADDITIONAL EROSION AND SEDIMENT CONTROLS MAY BE REQUIRED IF THE PROPOSED MEASURES DO NOT CONTAIN THE SEDIMENT LEAVING THE PROPERTY IS A VIOLATION OF THE TOWN'S EROSION AND SEDIMENT CONTROL ORDINANCE.
3. THE CONTRACTOR SHALL TAKE THE APPROPRIATE MEASURES TO PREVENT AND REMOVE THE DEPOSIT OF WET OR DRY SILT ON ADJACENT PAVED ROADWAYS.
4. EROSION CONTROL INSPECTIONS: IN ADDITION TO THE REQUIREMENT DURING CONSTRUCTION FOR INSPECTION AFTER EVERY RAINFALL, THE APPLICANT SHALL INSPECT THE EROSION AND SEDIMENT CONTROL DEVICES WEEKLY, MAKE ANY NECESSARY REPAIRS OR ADJUSTMENTS TO THE DEVICES, AND MAINTAIN INSPECTION LOGS DOCUMENTING THE DAILY INSPECTIONS AND ANY NECESSARY REPAIRS.

3/SD-4.0
CONSTRUCTION SEQUENCE

ENFORCEMENT NOTE 1. FAILURE TO FOLLOW THIS CONSTRUCTION SEQUENCE MAY RESULT IN LOCAL ENFORCEMENT ACTIONS, INCLUDING BUT NOT LIMITED TO CIVIL PENALTIES, INJUNCTIVE RELIEF, CRIMINAL PENALTIES, AND PERMIT REVOCATION. ADDITIONALLY, OFF-SITE SEDIMENTATION MAY RESULT IN RESTORATION REQUIREMENTS.

ENFORCEMENT NOTE 2. IF THE ORANGE COUNTY S&E STAFF DETERMINES THAT EXCESSIVE SEDIMENT IS LEAVING THE SITE, A REVISED SEDIMENTATION AND EROSION CONTROL PLAN MAY BE REQUIRED, WITH ASSOCIATED REQUIREMENTS FOR ADDITIONAL S&E MEASURES.

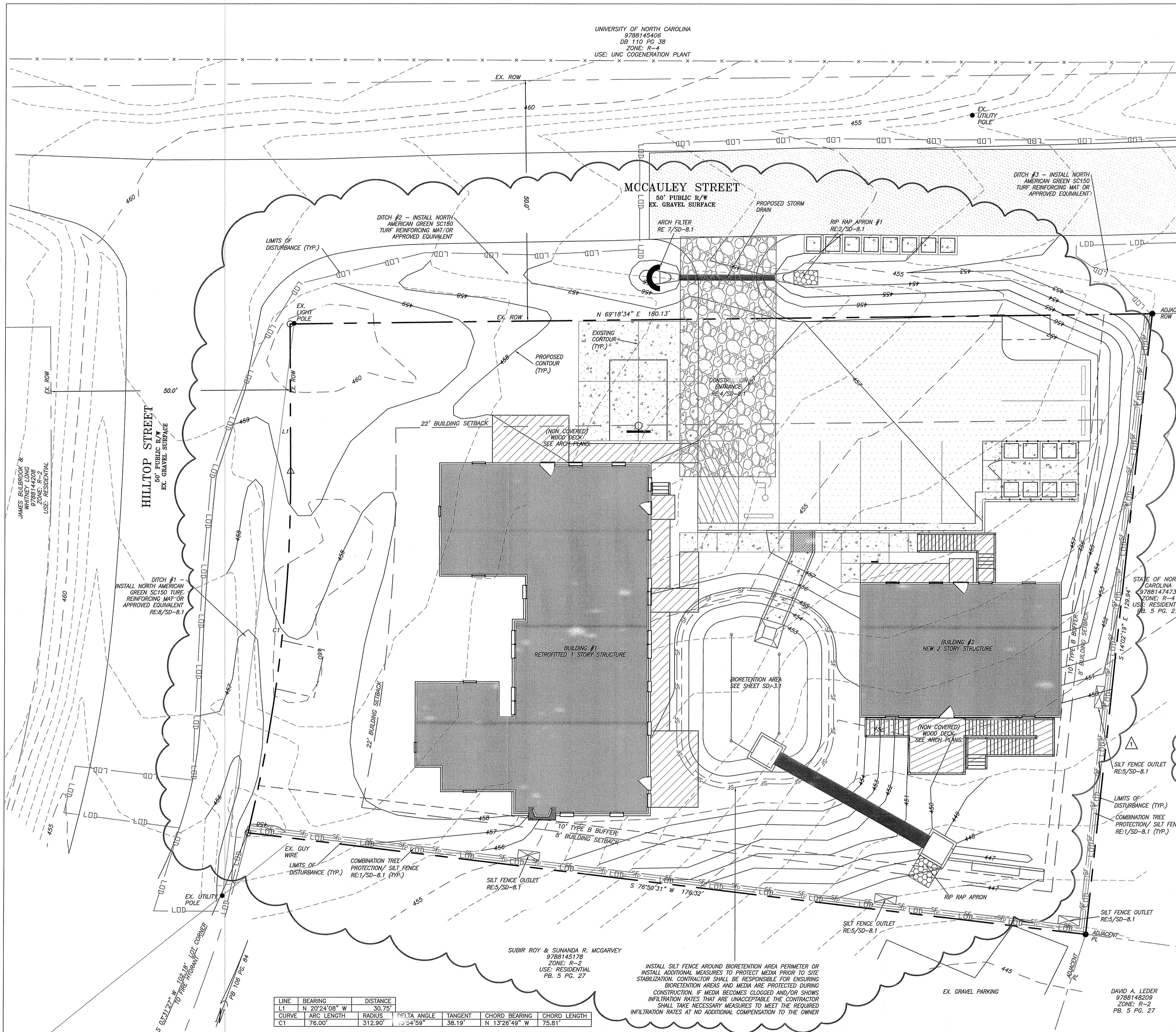
NOTE: IF AN OFFSITE SOIL SPOIL OR BORROW SITE IS UTILIZED, THEN THE DISTURBED AREA FOR THE SPOIL/BORROW SITE MUST BE INCLUDED IN THE LAND-DISTURBANCE PLAN AND PERMIT UNLESS THE SPOIL/BORROW SITE ALREADY HAS A LAND-DISTURBANCE PERMIT

CONSTRUCTION SEQUENCE

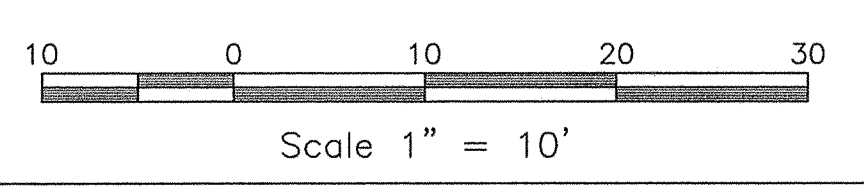
1. INSTALL COMBINATION TREE PROTECTION/SILT FENCING IN ACCORDANCE WITH THE APPROVED SITE PLAN.
2. CALL ORANGE COUNTY S&E OFFICE FOR INSPECTION OF TREE FENCE INSTALLATION (919)245-2586.
3. OBTAIN ALL PERMITS AND APPROVALS NECESSARY TO BEGIN AND COMPLETE THE PROJECT. OBTAIN ALL PERMITS PRIOR TO BEGINNING ANY DISTURBANCE OF THE SITE SO WORK WILL NOT BE INTERRUPTED.
4. SCHEDULE AND HOLD A PRE-CONSTRUCTION CONFERENCE PRIOR TO BEGINNING ANY LAND-DISTURBING ACTIVITIES. THIS CONFERENCE SHOULD BE ATTENDED BY A REPRESENTATIVE OF THE FINANCIALLY RESPONSIBLE PARTY AND/OR THE GENERAL CONTRACTOR, GRADING SUB-CONTRACTOR, EROSION CONTROL SUB-CONTRACTOR AND THE ORANGE COUNTY S&E OFFICE.
5. OBTAIN LAND DISTURBING PERMIT AND PLACARD, AND POST THE PLACARD ON SITE.
6. OBTAIN AN APPROVED (STAMPED) S&E CONTROL PLAN AND KEEP IT ON SITE, EITHER IN THE INSPECTION BOX, CONSTRUCTION OFFICE OR WITH THE CONTRACTOR.
7. ONLY CLEAR THE AREA NECESSARY TO INSTALL GRAVEL CONSTRUCTION ENTRANCE, SILT FENCES, AND OTHER INITIAL EROSION CONTROL MEASURES.
8. NOTIFY THE ORANGE COUNTY S&E SITE INSPECTOR AFTER MEASURES HAVE BEEN INSTALLED AND PROJECT HAS STARTED.
9. BEGIN CLEARING, GRUBBING, AND GRADING OF SITE IN ACCORDANCE WITH APPROVED S&E CONTROL PLAN.
10. PROVIDE ALL DISTURBED AREAS WITH GROUND COVER AFTER COMPLETION OF ANY PHASE OF CLEARING, GRUBBING OR GRADING. THE SEEDING SCHEDULE PREPARATION MULCH AND/OR ROLLED EROSION CONTROL PRODUCT INSTALLATION MUST BE IN ACCORDANCE WITH THE SEEDING SCHEDULE PROVIDED IN THIS S&E PLAN.
11. INSPECT AND MAINTAIN THE SEDIMENT CONTROL DEVICES SO THEY CONTINUE TO FUNCTION PROPERLY. THE PERSON RESPONSIBLE FOR EROSION CONTROL WILL OVERSEE THE INSPECTING AND MAINTENANCE OF THESE DEVICES. MEASURES SHOULD BE INSPECTED WEEKLY AND AFTER A RAINFALL OF MORE THAN 0.5 INCHES. EROSION CONTROL DEVICES SHALL BE REPLACED WHEN DAMAGED OR DO NOT APPEAR TO WORKING PROPERLY.
12. IF IT IS DETERMINED DURING THE COURSE OF CONSTRUCTION THAT SIGNIFICANT SEDIMENT IS LEAVING THE PROJECT SITE DESPITE PROPER IMPLEMENTATION AND MAINTENANCE OF THE EROSION CONTROL PLAN, THE PERSON RESPONSIBLE FOR THE LAND DISTURBING ACTIVITY IS OBLIGATED TO TAKE ADDITIONAL PROTECTIVE ACTION.
13. KEEP MUD AND DEBRIS OFF THE PUBLIC STREET AT ALL TIMES. IF MUD OR DEBRIS IS TRACKED FROM THE SITE, USE A SHOVEL AND BROOM TO REMOVE IT IMMEDIATELY. IF MUD AND DEBRIS ARE NOT KEPT OFF THE STREET, ENFORCEMENT ACTION (REVOKING THE GRADING PERMIT AND/OR A STOP WORK ORDER) MAY BE TAKEN.
14. SEEDING AND RESTABILIZATION OF DISTURBED AREAS MUST BE ACCOMPLISHED PER THE PLANS AND SPECIFICATIONS WITHIN THE TIMEFRAMES GIVEN IN THE STABILIZATION TIME TABLE PROVIDED IN THE SEEDING SCHEDULE (6/SD-B.1). CONTRACTOR IS RESPONSIBLE FOR TEMPORARY SEEDING THAT IS REQUIRED DURING THE PROJECT AT NO ADDITIONAL COST TO THE OWNER.
15. AT THE CONCLUSION OF BUILDING OR IF LAND-DISTURBING ACTIVITY IS STOPPED, TEMPORARY OR PERMANENT VEGETATION COVER SHALL BE INSTALLED.
16. WHEN CONSTRUCTION IS COMPLETE AND STABILIZED, CONTACT EROSION CONTROL PERSONNEL FOR AN INSPECTION.
17. WHEN CONSTRUCTION IS COMPLETE AND ALL DISTURBED AREAS HAVE BEEN PERMANENTLY RESTABILIZED AND APPROVAL HAS BEEN GRANTED BY EROSION CONTROL PERSONNEL, REMOVE ALL TEMPORARY SEDIMENT CONTROL DEVICES. REMOVE AND PROPERLY DISPOSE OF ACCUMULATED SEDIMENT AND DEBRIS FROM THE DEVICES AND RESTABILIZE AREAS DISTURBED BY THEIR REMOVAL.

4/SD-4.0
AREA OF DISTURBANCE NOTES

TOTAL DISTURBED AREA = 25,011 SF / 0.57 AC
ON-SITE DISTURBED AREA = 20,587 SF / 0.47 AC



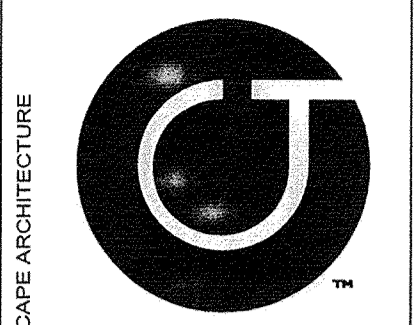
LINE	BEARING	DISTANCE
LT	N 20°24'08" W	30.75'
CR	ARC LENGTH	RADIUS
CT	76.00'	312.90'



INSTALL SILT FENCE AROUND BIORETENTION AREA PERIMETER OR INSTALL ADDITIONAL MEASURES TO PROTECT MEDIA PRIOR TO SITE STABILIZATION. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING BIORETENTION AREAS AND MEDIA ARE PROTECTED DURING CONSTRUCTION. IF MEDIA BECOMES CLOGGED AND/OR SHOWS INFILTRATION RATES THAT ARE UNACCEPTABLE THE CONTRACTOR SHALL TAKE NECESSARY MEASURES TO MEET THE REQUIRED INFILTRATION RATES AT NO ADDITIONAL COMPENSATION TO THE OWNER

SUBIR ROY & SUNANDA R. MCGARVEY
9788145178
ZONE: R-2
USE: RESIDENTIAL
PB. 5 PG. 27

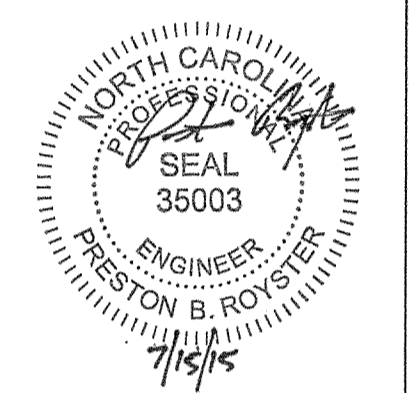
DAVID A. LEDER
9788148209
ZONE: R-2
PB. 5 PG. 27



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SITE PLAN
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EROSION CONTROL PLAN

Sheet Number
SD-4.0

1/SD-4.0
EROSION CONTROL PLAN
SCALE: 1" = 10'

2/SD-5.0
UTILITY PLAN NOTES

GENERAL NOTES:

1. CONTRACTOR SHALL NOTIFY "NORTH CAROLINA ONE CALL" (1-800-632-4949) AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR TO CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICE INDEPENDENT OF "NORTH CAROLINA ONE CALL."
2. ALL WATER AND SEWER MAINS WITHIN PUBLIC EASEMENTS AND RIGHT-OF-WAYS TO BE OWNED, OPERATED AND MAINTAINED BY THE TOWN OF CHAPEL HILL AND/OR OWASA.
3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF CHAPEL HILL AND OWASA STANDARDS AND SPECIFICATIONS.
4. ALL EXISTING UNDERGROUND UTILITIES ARE APPROXIMATELY LOCATED. ACTUAL LOCATION AND DEPTH SHALL BE CONFIRMED IN THE FIELD PRIOR TO CONSTRUCTION.
5. BEFORE STARTING ANY CONSTRUCTION OR IMPROVEMENTS WITHIN ANY TOWN OR N.C.D.O.T. STREET OR HIGHWAY RIGHT-OF-WAY THE FOLLOWING PROCEDURES SHOULD BE UNDERTAKEN: TOWN RIGHT-OF-WAY: CONTACT LOCAL AUTHORITIES' TRAFFIC ENGINEERING DEPT. FOR INFORMATION ON DETOURS, OPEN CUTTING OF STREETS OR FOR ANY CONSTRUCTION WITHIN RIGHT-OF-WAY. N.C.D.O.T. RIGHT-OF-WAY: CONTACT PROJECT ENGINEERS AND OBTAIN ALL PERMITS AND ENCROACHMENTS (KEEP COPIES ON CONSTRUCTION SITE, ALSO CONTACT N.C.D.O.T. DISTRICT OFFICE 24 HOURS IN ADVANCE BEFORE PLACING CURB AND GUTTER).
6. ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADING CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
7. POWER, TELEPHONE, AND GAS SERVICES TO BUILDINGS SHALL BE UNDERGROUND. ACCESS AND SERVICE ROUTES TO BE COORDINATED WITH THE PUBLIC UTILITIES, CONTRACTOR AND THE OWNER.
8. RESURFACING OF STREET DUE TO UTILITY CUTS SHALL BE REQUIRED AT THE DIRECTION OF ENGINEERING. (MINIMUM 50' TO EITHER SIDE OF UTILITY CUTS).

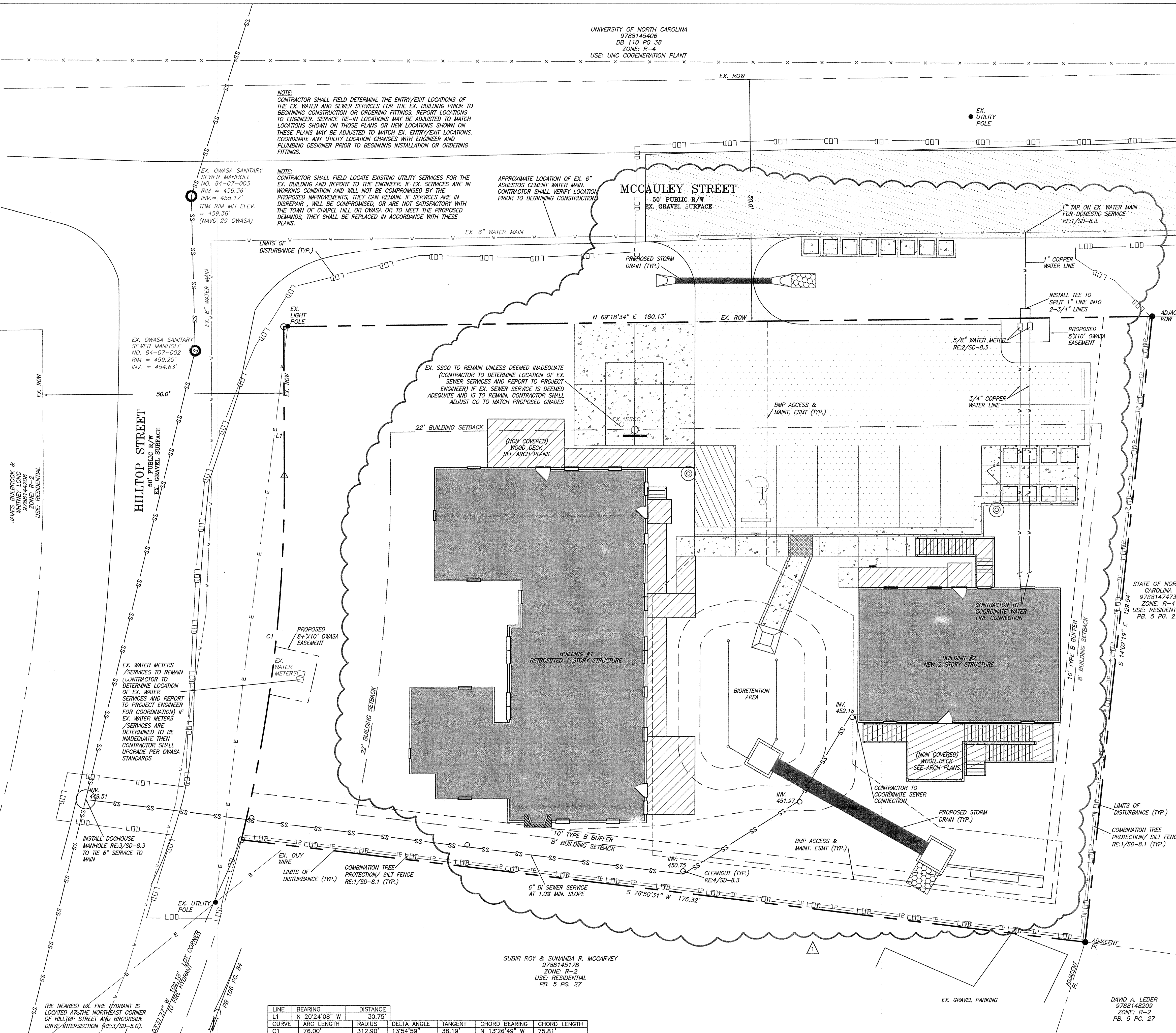
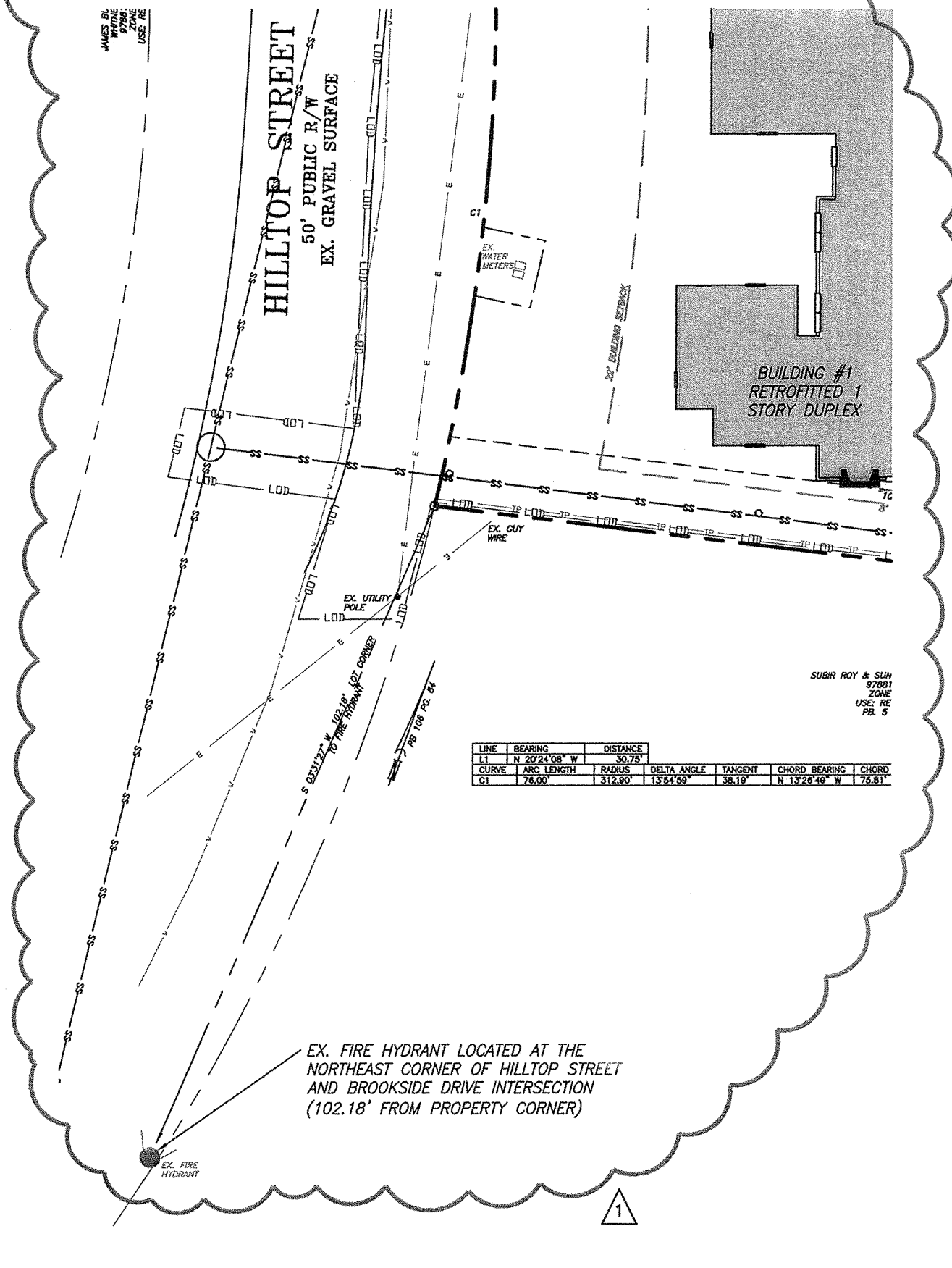
SANITARY SEWER:

1. BACKFLOW PREVENTORS SHALL BE PROVIDED FOR ALL UNITS WITH FINAL FLOOR ELEVATIONS OF BUILDINGS LESS THAN 1'-0" ABOVE UPSTREAM MANHOLE.
2. MINIMUM COVER OF 5 FEET IN TRAFFIC AREAS TO BE PROVIDED FOR ALL COLLECTOR LINES 4 INCHES AND LARGER. IF LESS THAN 5 FEET, DUCTILE IRON PIPE SHALL BE REQUIRED.
3. MINIMUM SLOPE FOR 4 INCH SANITARY SEWER COLLECTION LINES SHALL BE NO LESS THAN 2.0% WITH CLEANOUTS EVERY 75 LINEAL FEET.
4. MINIMUM SLOPE FOR 6 INCH SANITARY SEWER COLLECTION LINES SHALL BE NO LESS THAN 1.0% WITH CLEANOUTS EVERY 75 LINEAL FEET.

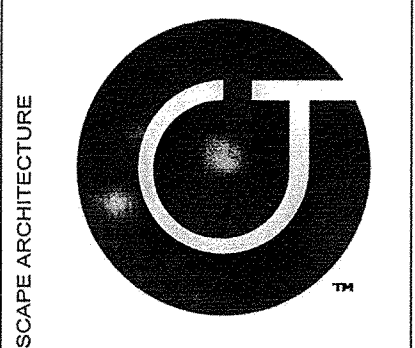
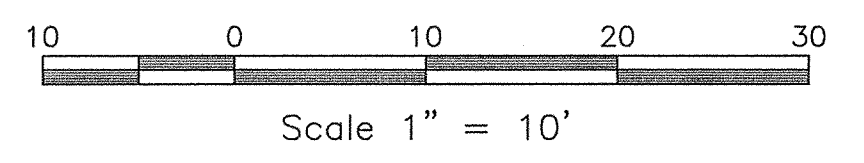
WATER:

1. WATERLINES WILL BE 3' OFF CURB AND GUTTER UNLESS SHOWN OTHERWISE.
2. LAY WATER MAINS AT LEAST 10 FEET LATERALLY FROM EXISTING OR PROPOSED SANITARY SEWERS. IF LOCAL CONDITIONS OR BARRIERS PREVENT A 10 FOOT SEPARATION, LAY THE WATER MAIN WITH AT LEAST 18" SEPARATION ABOVE THE TOP OF THE SANITARY SEWER PIPE EITHER IN A SEPARATE TRENCH OR IN THE SAME TRENCH ON A BENCH OF UNDISTURBED EARTH.
3. WHEN A PROPOSED WATER MAIN CROSSES OVER A PROPOSED OR EXISTING SANITARY SEWER, LAY THE WATER MAIN WITH AT LEAST 18" VERTICAL SEPARATION ABOVE THE TOP OF THE SANITARY SEWER. IF LOCAL CONDITIONS PREVENT AN 18" VERTICAL SEPARATION, CONSTRUCT BOTH THE WATER MAIN AND THE SANITARY SEWER FOR A DISTANCE OF 10 FEET ON EACH SIDE TO THE POINT OF CROSSING WITH FERROUS PIPE HAVING WATER MAIN QUALITY JOINTS.
4. WHEN A PROPOSED WATER MAIN CROSSES UNDER A PROPOSED OR EXISTING SANITARY SEWER, CONSTRUCT BOTH THE WATER MAIN AND THE SANITARY SEWER OF FERROUS MATERIALS WITH JOINTS THAT ARE EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING. CENTER THE SECTION OF WATER PIPE AT THE POINT OF CROSSING.
5. MAINTAIN A MINIMUM COVER OF 42" BELOW FINISHED GRADE OVER ALL PIPES UNLESS OTHERWISE DIRECTED OR SHOWN ON THE PLANS. DUE TO THE HEIGHTS OF VALVES, INCREASE THE COVER DEPTHS ADJACENT TO THE VALVES OR VARIED AT POINTS OF TIE-IN TO EXISTING LINES.
6. ALL FDC(S) AND HYDRANT(S) TO BE PROVIDED WITH 5 INCH DIAMETER STORZ CONNECTIONS.

3/SD-5.0
FIRE HYDRANT LOCATION
SCALE: 1" = 20'



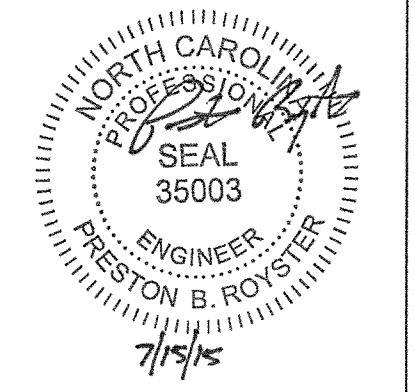
LINE	BEARING	DISTANCE	ARC LENGTH	RADIUS	DELTA ANGLE	TANGENT	CHORD BEARING	CHORD LENGTH
L1	N 20°24'08" W	30.75'	76.00'	312.90'	13°54'59"	38.19'	N 13°28'49" W	75.81'
C1								



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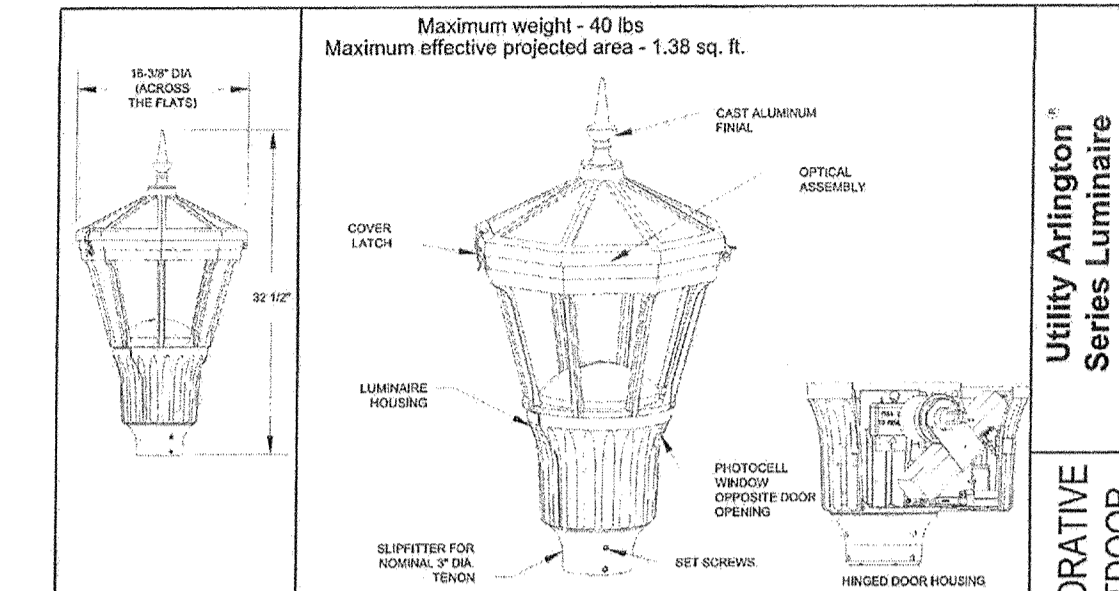
SITE PLAN
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FOR CONSTRUCTION

Sheet Title
UTILITY PLAN

Sheet Number
SD-5.0

2/SD-6.0
LIGHTING PLAN NOTES

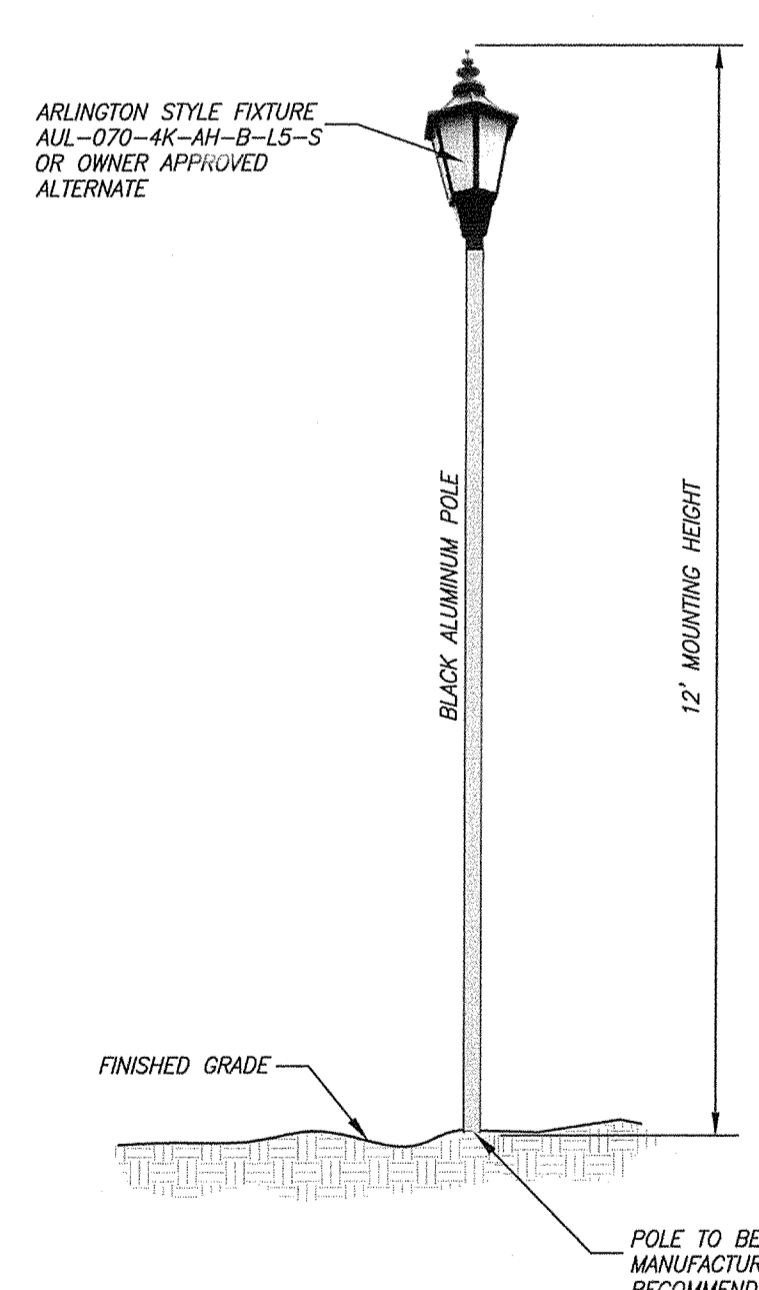
- MEASURES SHALL BE PROVIDED TO PREVENT LIGHT SPOILOVER ONTO ADJACENT PROPERTIES AND CLARE TOWARD MOTOR VEHICLE OPERATORS. EXTERIOR LIGHTS SHALL BE SHIELDED SO THEY DO NOT CAST DIRECT LIGHT BEYOND THE PROPERTY LINE.
- CONTRACTOR TO PROVIDE 2" SCH 40 PVC GRAY ELECTRICAL CONDUIT UNDER PAVEMENT, UNDER HEAVILY LANDSCAPED AREAS AND AS NECESSARY TO PROVIDE ACCESS TO ALL LIGHT FIXTURES AND CONNECT BACK TO ELECTRICAL TRAILER LOCATIONS.
- CONTRACTOR TO COORDINATE LIGHT AND CONDUIT LOCATIONS PRIOR TO PAVING.
- ALL ELECTRICAL CONDUIT, LIGHT POLES AND FIXTURES SHALL BE FURNISHED BY THE CONTRACTOR.
- ALL CONDUIT ENDS ARE TO BE CAPPED TO PREVENT ENTRY OF DEBRIS.
- ALL CONDUITS MORE THAN 30' IN LENGTH SHALL HAVE A POLY STRING INSTALLED.
- ALL JOINTS ARE TO BE SOLVENT WELDED.



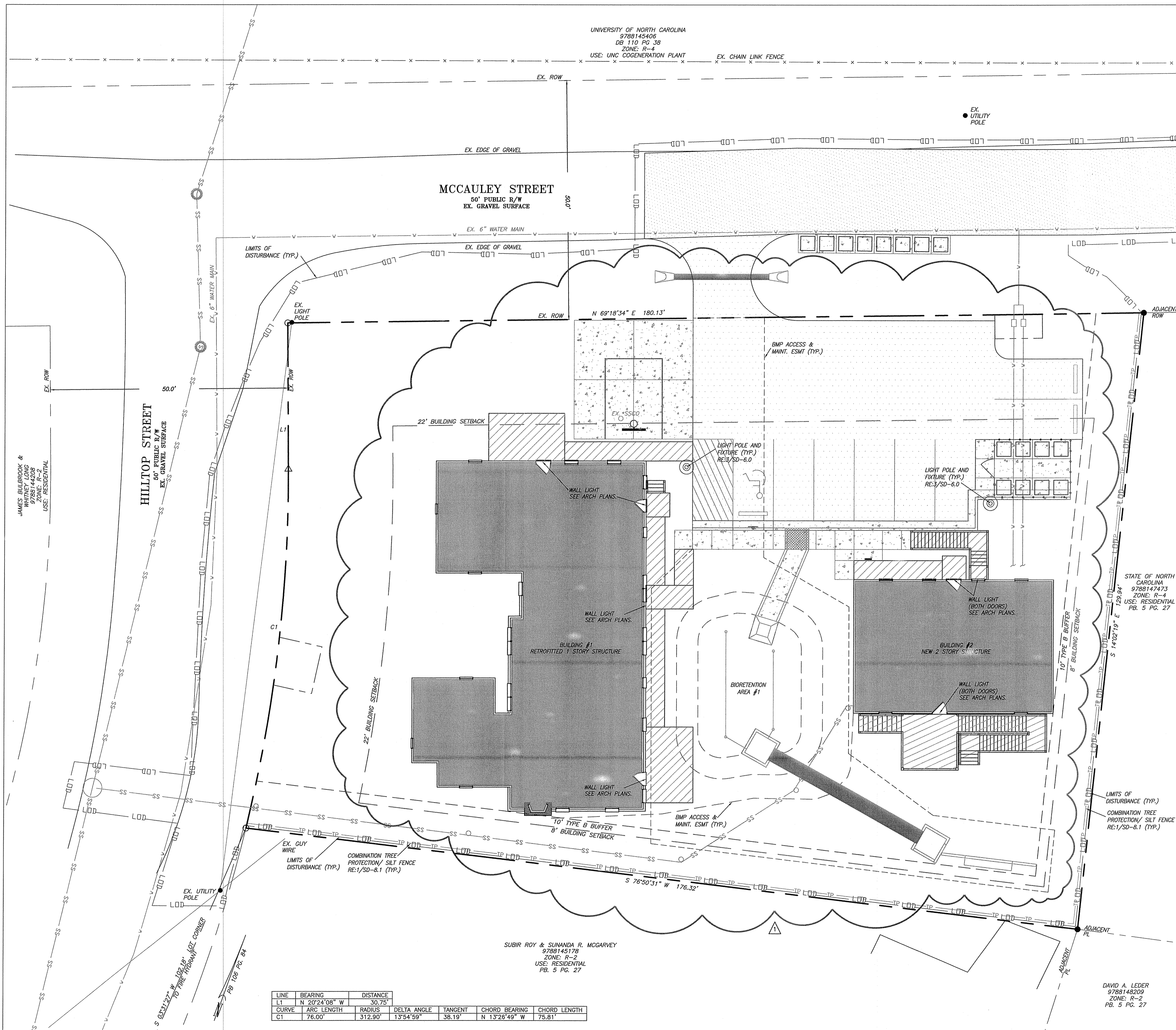
ORDERING INFORMATION:	WATTAGE / DRIVER	VOLTAGE	COLOR	OPTICS	FINISH (FACTORY)
AUL	070	4K	AH	B	L5
	100W (500mA)	120V (277V)	A = CLEAR B = BLACK C = BROWN GREEN E = BROWN GREEN F = DARK GREEN H = DARK GREEN K = BLACK M = MOUNTAIN W = WHITE Z = ZINC	L5 = REMITING FULL CUTOFF PLAT GLASS L6 = CLEAR FULL CUTOFF PLAT GLASS L7 = CLEAR PLAT GLASS	STAINLESS B = BELL S = SPRING

OPTIONS:
DA = 5' IN GARDEN
H = HANG PHOTOCONTROL PHOTOCONTROL ONLY
LD = 5 FEET OF PREWIRED LEADS
LE = 15 FEET OF PREWIRED LEADS
LZ = 25 FEET OF PREWIRED LEADS
LS = 35 FEET OF PREWIRED LEADS
LX = 45 FEET OF PREWIRED LEADS
PC = 10' UTILITY PHOTOCONTROL (SEE VOLTAGE) MUST BE USED WITH OPTION TP
PE = 10' UTILITY PHOTOCONTROL (SEE VOLTAGE) MUST BE USED WITH OPTION TP
PS = SIGHTING CAP MUST BE USED WITH OPTION TP
TP = 10' TYPE B BUFFER

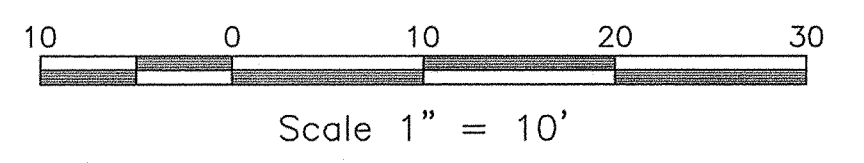
Utility Arlington Series Luminaire Full Cutoff LED
DECORATIVE OUTDOOR
HOLOPHANE



3/SD-6.0
LIGHT POLE AND FIXTURE
NTS



LINE	BEARING	DISTANCE
L1	N 20°24'08" W	30.75'
C1	ARC LENGTH	RADIUS
	76.00'	312.90'
	DELTA ANGLE	TANGENT
	13°54'59"	38.19'
	CHORD BEARING	CHORD LENGTH
	N 13°28'49" W	75.81'



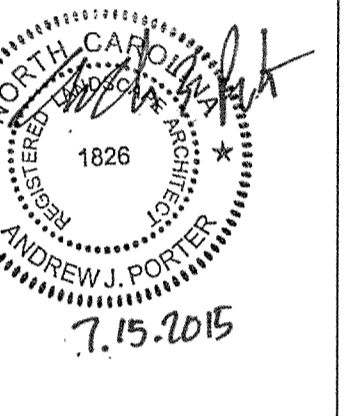
1/SD-6.0
LIGHTING PLAN
SCALE: 1" = 10'



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LIC # C-1209
NC BOARD OF LANDSCAPE ARCHITECTS LIC # C-104



Project
McCAULEY STREET APARTMENTS

425 McCauley Street
Chapel Hill NC, 27517
ORANGE COUNTY NC

P.I.N. 9788145268

Job Number 1505

Drawn MTC, JCL
Checked PBR, AJP
Date 03/25/2015
Revisions 1. 07/15/2015

SITE PLAN
NOT ISSUED
FOR CONSTRUCTION

Sheet Title
SITE LIGHTING PLAN

Sheet Number
SD-6.0

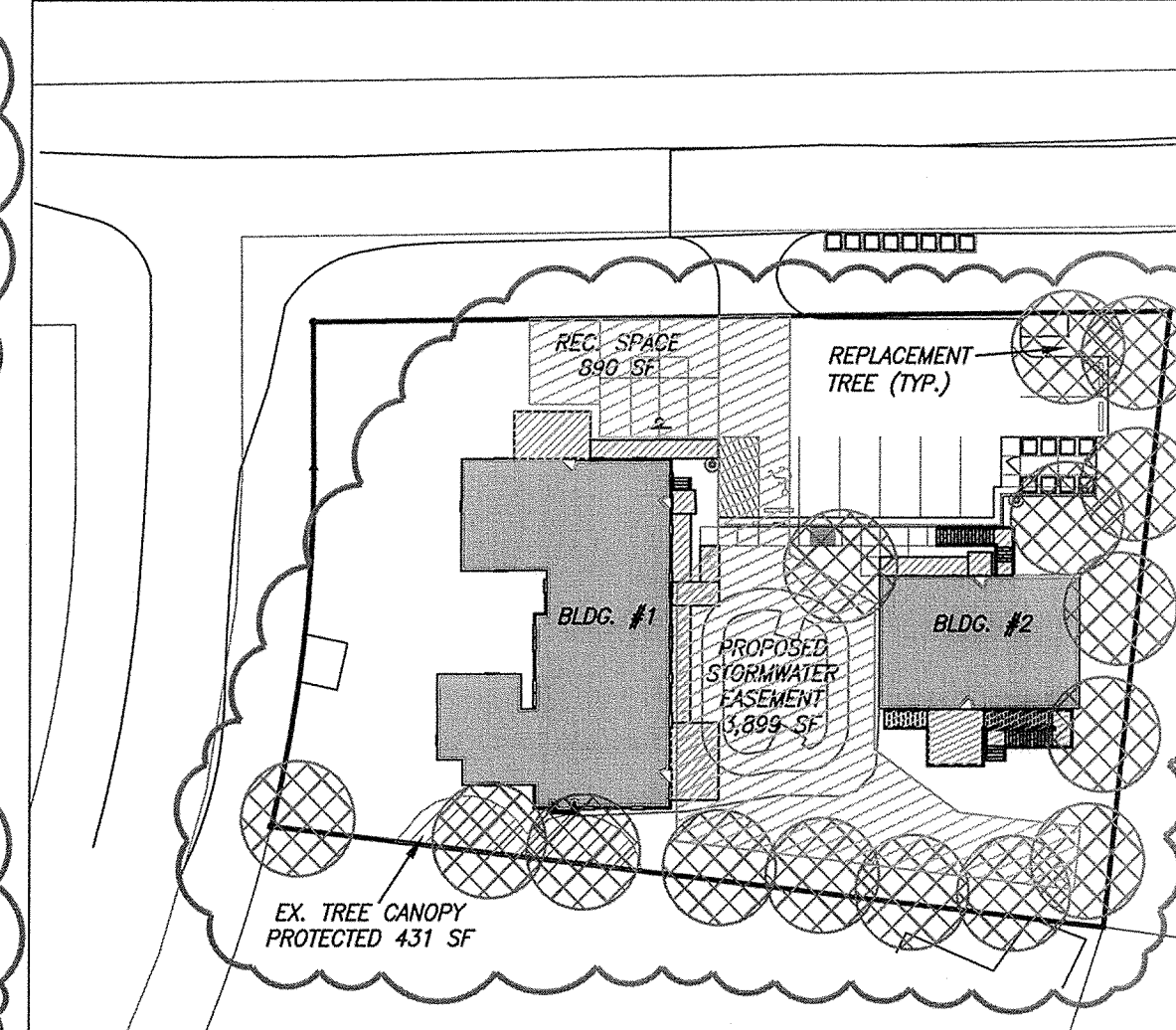
PLANT SCHEDULE	KEY	QTY.	BOTANICAL NAME	COMMON NAME	Cal*	HT*	ROOT	REMARKS
DECIDUOUS CANOPY TREES								
20%	AR	7	<i>Acer rubrum</i> 'Red Sunset'	Red Sunset Red Maple	2.5"	12-14'	B&B	Full, Match, Straight leader
22%	ZG	8	<i>Zelkova serrata</i> 'Village Green'	Village Green Japanese Zelkova	2.5"	12-14'	B&B	Full, Match, Straight leader
DECIDUOUS UNDERSTORY TREES								
29%	CC	10	<i>Cercis canadensis</i> 'Forest Pansy'	Forest Pansy Red Bud	1.5"	8-10'	B&B	Full, Match, Straight leader
29%	PC	10	<i>Prunus cerasifera</i>	Purple Leaf plum	1.5"	8-10'	B&B	Full, Match, Straight leader
DECIDUOUS / EVERGREEN SHRUBS								
41%	AZ	14	<i>Azalea X indica</i> 'George L. Tabor'	George Tabor Azalea	-	18"	3 GAL	Full, Match
12%	IF	4	<i>Ilex cornuta</i> 'Fine Line'	Fine Line Holly	-	18"	3 GAL	Full, Match
47%	OF	16	<i>Osmanthus fragrans</i>	Tea Olive	-	18"	3 GAL	Full, Match

*CA. AND HT. REFERS TO SIZE OF PLANT MATERIAL AT TIME OF INSTALLATION. ALL PLANT MATERIAL SPECIFIED MUST MEET OR EXCEED THE PLANT CAL. AND HT. AT TIME OF INSTALLATION.

UNIVERSITY OF NORTH CAROLINA
9788145406
DB 110 PG. 38
ZONE: R-4
USE: UNC COGENERATION PLANT EX. CHAIN LINK FENCE

NOTE:
REFERENCE 4/SD-8.0 AND 5/SD-8.0
FOR TREE AND SHRUB PLANTING DETAILS

- LANDSCAPING MUST BE IN PLACE PRIOR TO REQUEST FOR A CERTIFICATE OF OCCUPANCY OR CERTIFICATE OF COMPLIANCE.
- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, DEPTHS, QUANTITIES, DISTANCES, ANGLES AND SLOPES PRIOR TO ORDERING MATERIALS OR INSTALLING PROJECT.
- IN AREAS OF GROUND COVER, MAINTAIN A 12" MINIMUM DISTANCE BETWEEN PLANTS AND HARD IMPROVEMENTS.
- BED LINES SHALL CONFORM TO CONFIGURATION SHOWN ON THE PLANS. BED LINES SHALL MEET CURBS, WALKS, BUILDINGS, ETC. AT RIGHT ANGLES UNLESS SHOWN OTHERWISE.
- CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH ACTUAL CONDITIONS AND VERIFY EXISTING CONDITIONS IN THE FIELD. CONTRACTOR SHALL REPORT ALL DISCREPANCIES TO LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL ACCEPT ACTUAL CONDITIONS AT SITE AND PERFORM THE WORK SPECIFIED INCLUDING FINE GRADING AND INCORPORATION OF TOP SOIL INTO PLANTING AREAS, WITHOUT ADDITIONAL COMPENSATION FOR POSSIBLE VARIATION FROM GRADES AND CONDITIONS SHOWN, WHETHER SURFACE OR SUBSURFACE, EXCEPT AS PROVIDED FOR IN CONTRACT DOCUMENTS.
- IN LAWN AREAS, 2" TOPSOIL SHALL BE TILLED INTO THE TOP 5" OF GROUND PRIOR TO SEEDING.
- CONTRACTOR WILL OBTAIN WRITTEN APPROVAL FROM LANDSCAPE ARCHITECT FOR ANY PLANT SUBSTITUTIONS OF SPECIES, SIZE, OR TYPE OF CONTAINER.
- CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF THESE UTILITIES DURING INSTALLATION, AND SHALL PROMPTLY REPAIR AND RESTORE SERVICES AT NO ADDITIONAL COST TO THE OWNER IF DAMAGE OCCURS DURING INSTALLATION. CONTRACTOR SHALL BECOME THOROUGHLY FAMILIAR WITH THE FULL SET OF CONSTRUCTION DRAWINGS AND SPECIFICATIONS FOR COORDINATION WITH UTILITIES, ARCHITECTURAL FEATURES, ETC.
- CONTRACTOR WILL LEAVE DISTURBED AREAS LEVEL AND RAKED SMOOTH, REMOVING ALL ROCKS AND DEBRIS.
- MULCH IS TO BE 3" LAYER OF TRIPLE SHREDDED HARDWOOD MULCH. MULCH IS TO BE KEPT AWAY FROM TREE TRUNKS.
- ANY DAMAGE TO EXISTING CONDITIONS OUTSIDE THE CONTRACT LIMITS, INCLUDING CURBS, SIDEWALKS, TURF AREAS AND PAVING, SHALL BE RESTORED TO ORIGINAL CONDITION BY THE CONTRACTOR WITHOUT EXTRA COST TO THE OWNER.
- IN CASE OF DISCREPANCY BETWEEN THE QUANTITY OF PLANTS ON THE PLANS COMPARED TO THE PLANT LIST, THE CONTRACTOR SHALL SUPPLY QUANTITIES AS SHOWN ON THE PLANS.
- ALL UNPAVED SURFACES ARE TO BE COVERED IN PLANTS, MULCH, OR GRASS.



USE CLASSIFICATION - MULTI-FAMILY
NET LOT AREA = 20,740 SF

CREDITS
RECREATION SPACE: - 809 SF
STORMWATER EASEMENT: - 3,899 SF
TOTAL CREDITS: - 4,708 SF

ADJUSTED NET LOT AREA = 16,032 SF

MINIMUM TREE CANOPY COVERAGE (MULTI-FAMILY USE) = 40%
16,032 X 0.4 = 6,413 SF REQUIRED

EXISTING TREE CANOPY PROTECTED = 431 SF
AREA TO BE REPLANTED IN TREES = 5,982 SF

1 - 2.5" CALIPER CANOPY TREE / 500 SF
5,982 / 500 = 12 REPLACEMENT CANOPY TREES REQUIRED
15 REPLACEMENT CANOPY TREES PROVIDED

PARKING AREAS SHALL BE SHADED A MINIMUM OF 35%

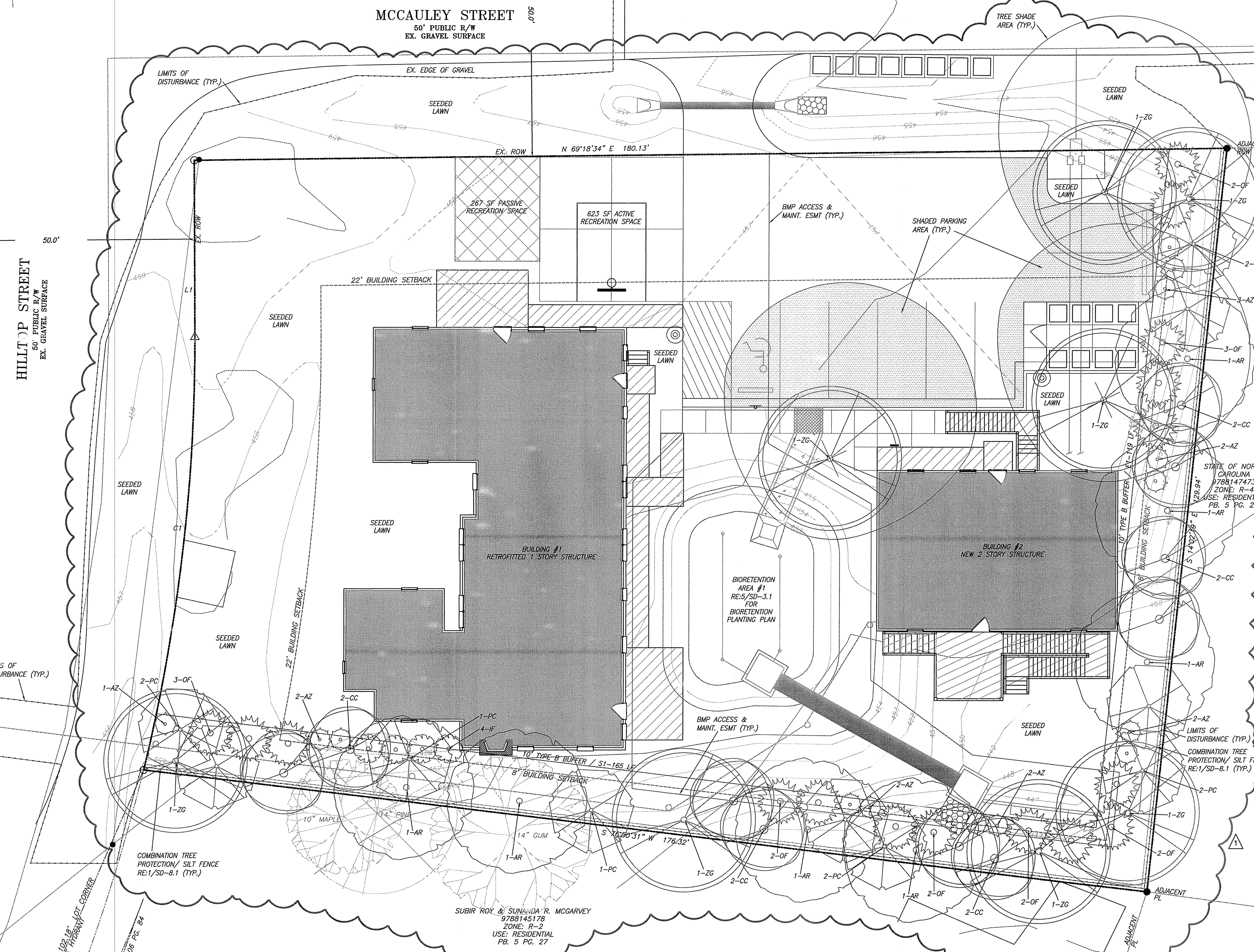
PARKING AREA #1 = 3,016 SF
TOTAL PARKING AREA = 3,016 SF

MIN SHADED AREA REQUIRED = 3,016 X .35 = 1,056 SF (35%)
TOTAL SHADED AREA PROVIDED = 1,278 SF (42%)

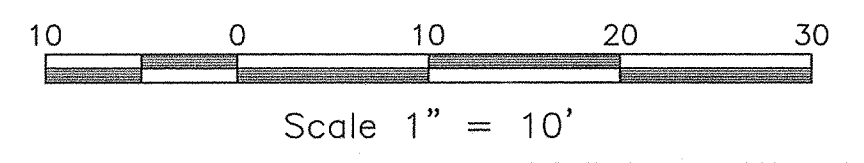
TYPE "B" LANDSCAPE BUFFER REQUIREMENTS:
LARGE TREES 4/100 = 0.04 LARGE TREES PER 100 LF
SMALL TREES 7/100 = 0.07 SMALL TREES PER 100 LF
SHRUBS 12/100 = 0.12 SHRUBS PER 100 LF

10' TYPE "B" LANDSCAPE BUFFER / E1-119 LF:
119 X 0.04 = 4.76 LARGE TREES REQUIRED (5 PROVIDED)
119 X 0.07 = 8.33 SMALL TREE REQUIRED (8 PROVIDED)
119 X 0.12 = 14.28 SHRUBS REQUIRED (14 PROVIDED)

10' TYPE "B" LANDSCAPE BUFFER / S1-165 LF:
165 X 0.04 = 6.6 LARGE TREE REQUIRED (7 PROVIDED)
165 X 0.07 = 11.55 SMALL TREE REQUIRED (12 PROVIDED)
165 X 0.12 = 19.8 SHRUBS REQUIRED (20 PROVIDED)



LINE	BEARING	DISTANCE	RADIUS	DELTA ANGLE	TANGENT	CHORD BEARING	CHORD LENGTH
L1	N 20°24'08" W	30.75'					
C1		75.00'	312.80'	135°4'58"	38.19'	N 13°26'49" W	75.81'



JAMES BULLBROOK & WHITNEY LONG
9788144208
REGISTERED PROFESSIONAL ENGINEERS

HILLTOP STREET
60' PUBLIC R/W
EX. GRAVEL SURFACE

MCCAULEY STREET
50' PUBLIC R/W
EX. GRAVEL SURFACE

SUBIR ROY & SUNANDA R. MCGARVEY
9788145178
ZONE: R-2
USE: RESIDENTIAL
PB. 5 PG. 27

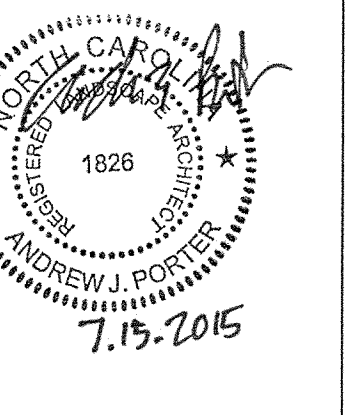
DAVID A. LEDER
9788148209
ZONE: R-2
PB. 5 PG. 27



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ENGINEERING - LAND SURVEYING - LANDSCAPE ARCHITECTURE

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Project
McCAULEY STREET APARTMENTS
425 McCAULEY STREET
CHAPEL HILL NC, 27517
ORANGE COUNTY NC

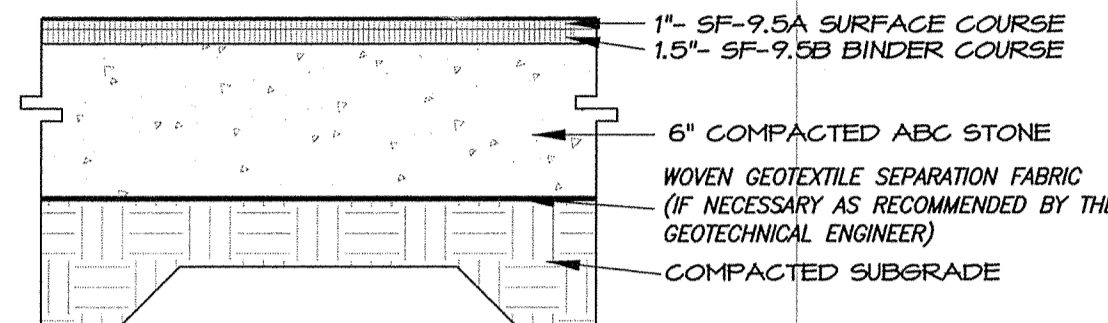
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PBR, AJP
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SITE PLAN
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Sheet Title
LANDSCAPE PLAN

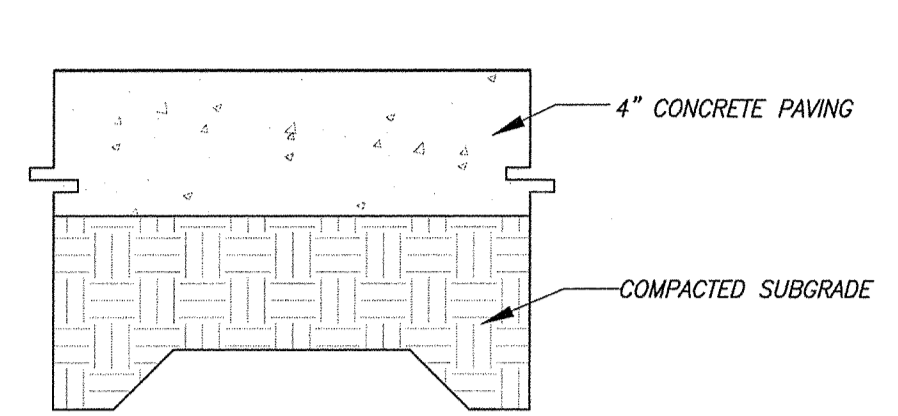
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SD-7.0

1 / SD-8.0
NOT USED
NTS



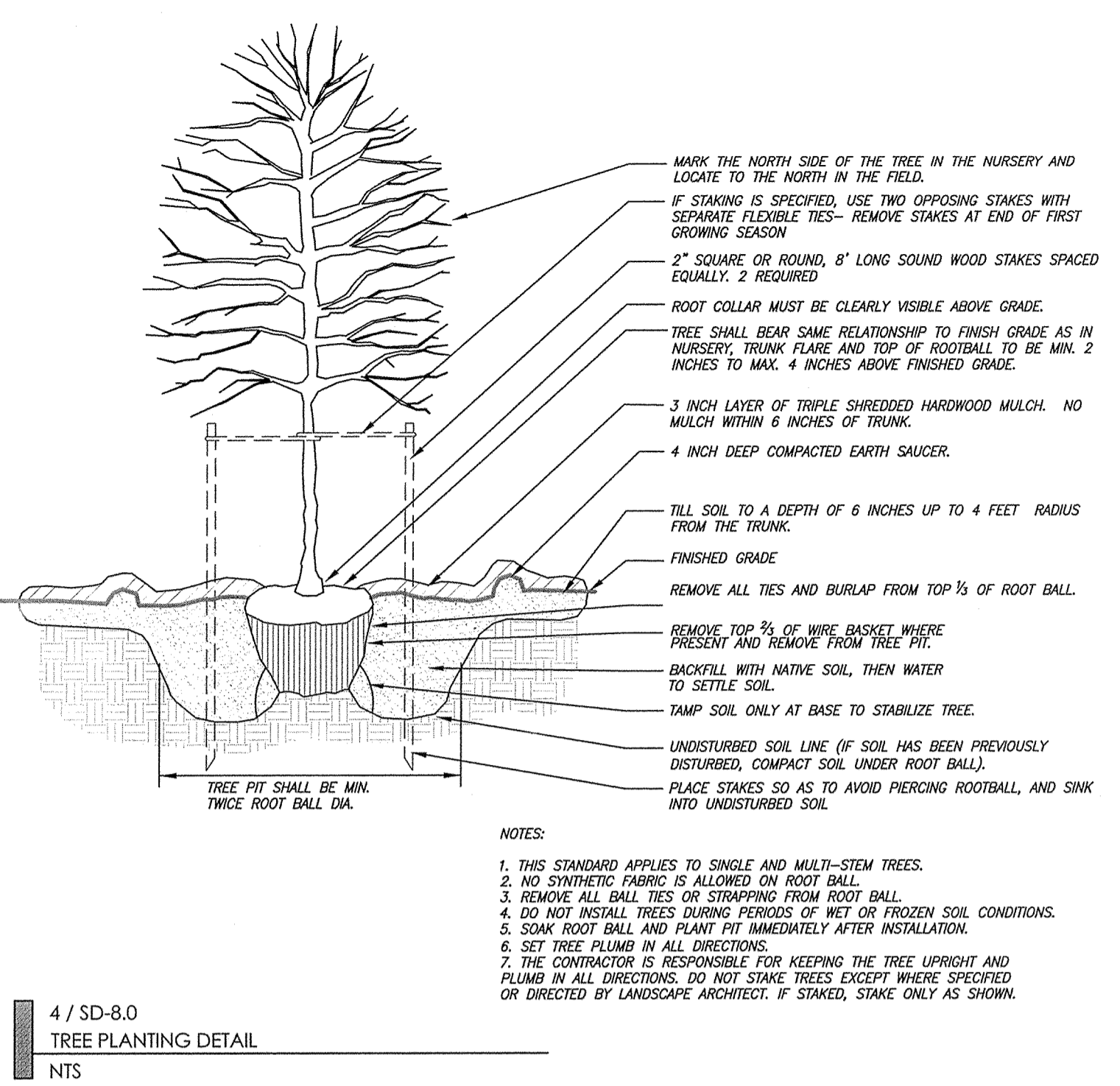
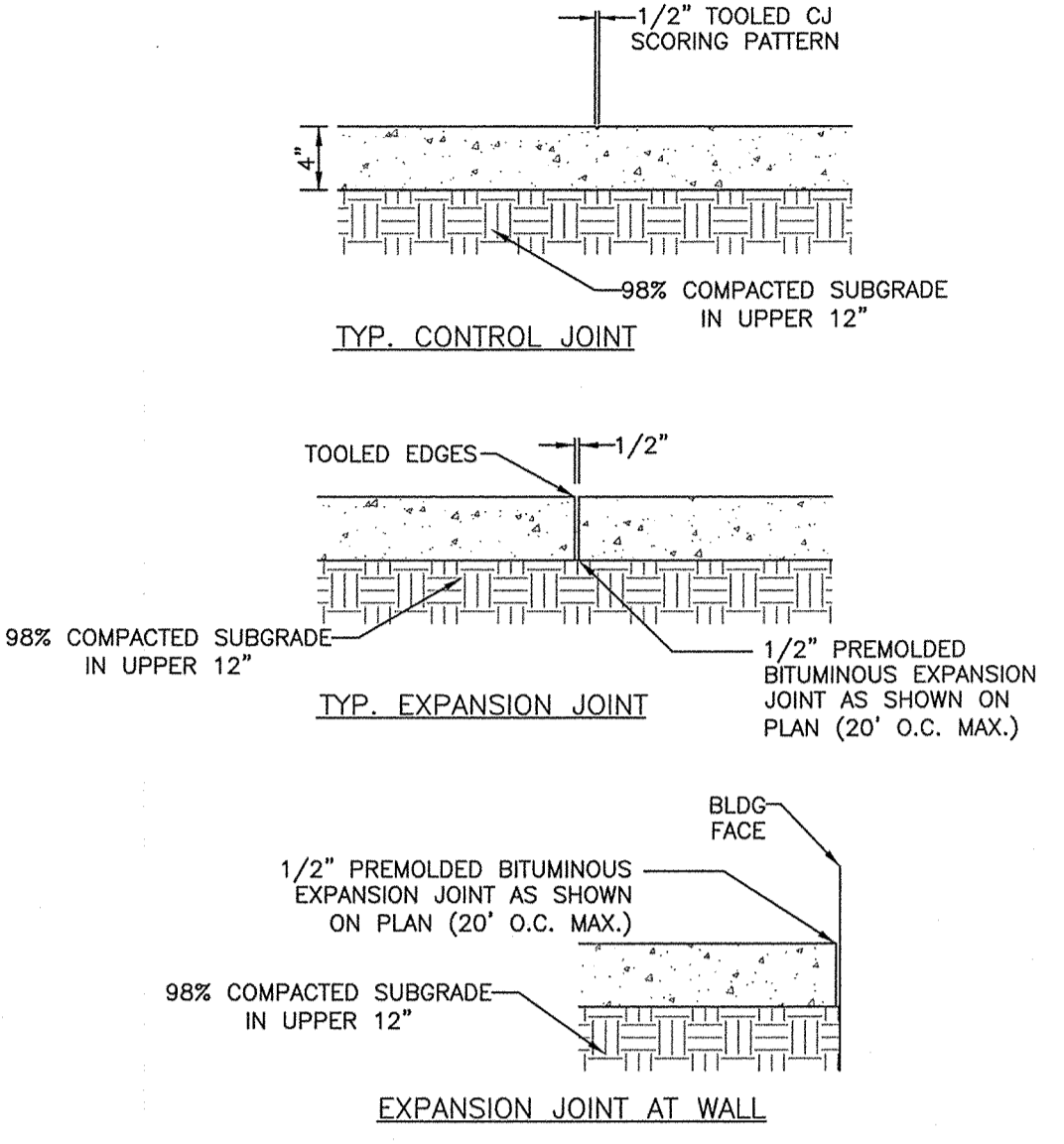
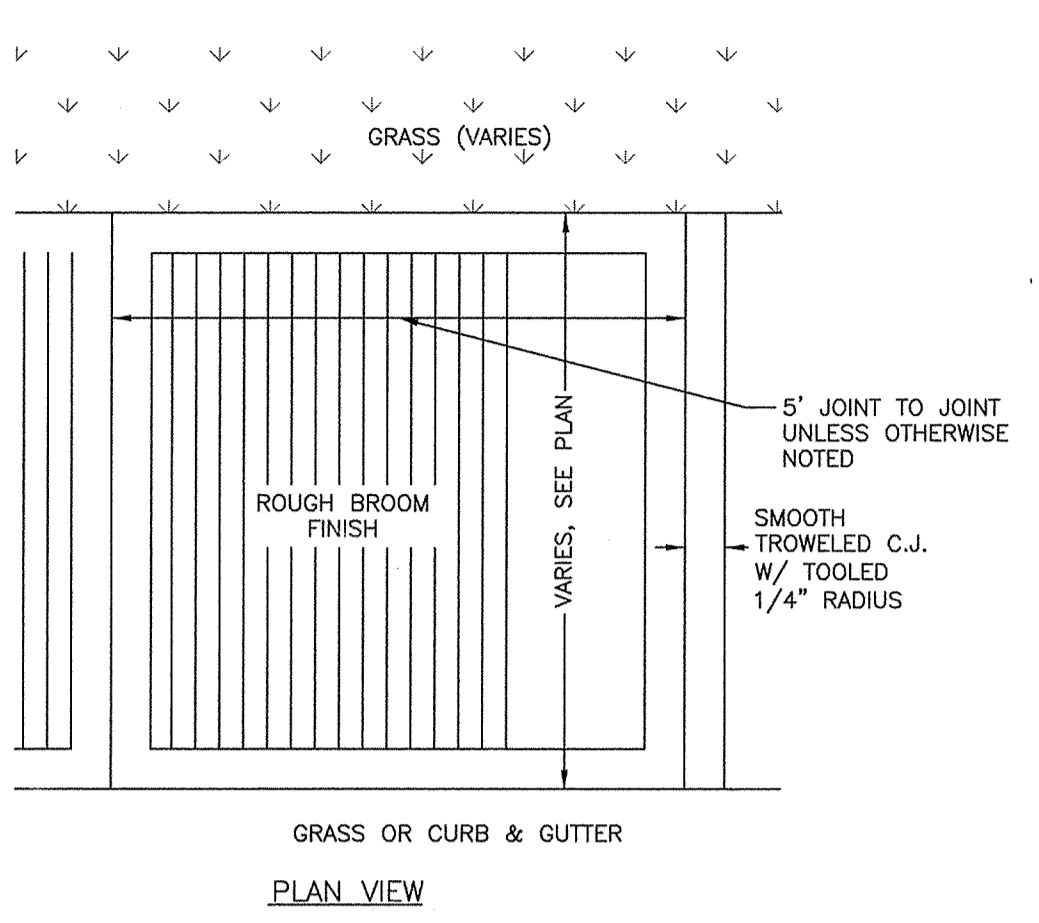
WHERE THE ASPHALT PAVEMENT SECTION ADJOINS THE GRAVEL DRIVEWAY SECTION THE ASPHALT SHALL BE TAPERED DOWN AS TO PROVIDE A SMOOTH TRANSITION BETWEEN THE TWO SURFACES.

2 / SD-8.0
ASPHALT PAVING
NTS

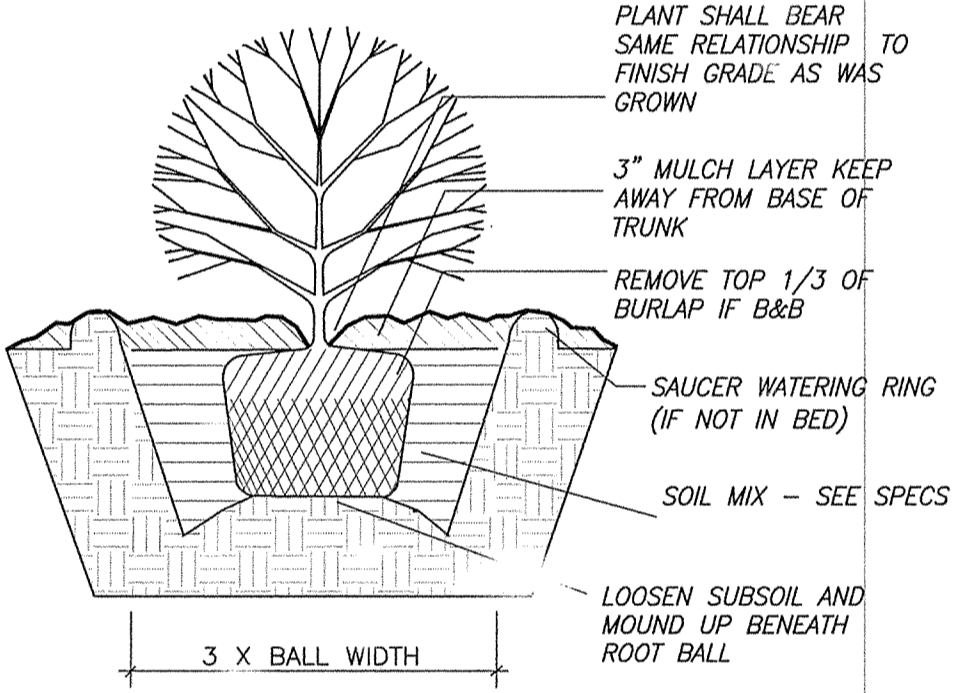


NOTES:
1. ALL CONCRETE 4000 PSI.
2. ALL SIDEWALKS SHALL BE CONSTRUCTED WITH TOOLED 1/4" EDGE RADIUS
3. BROOM FINISH
4. SIDEWALK CROSS SLOPES ARE TO BE A MAXIMUM 1.8%

3 / SD-8.0
CONCRETE SIDEWALK/PAD/PATIO
NTS



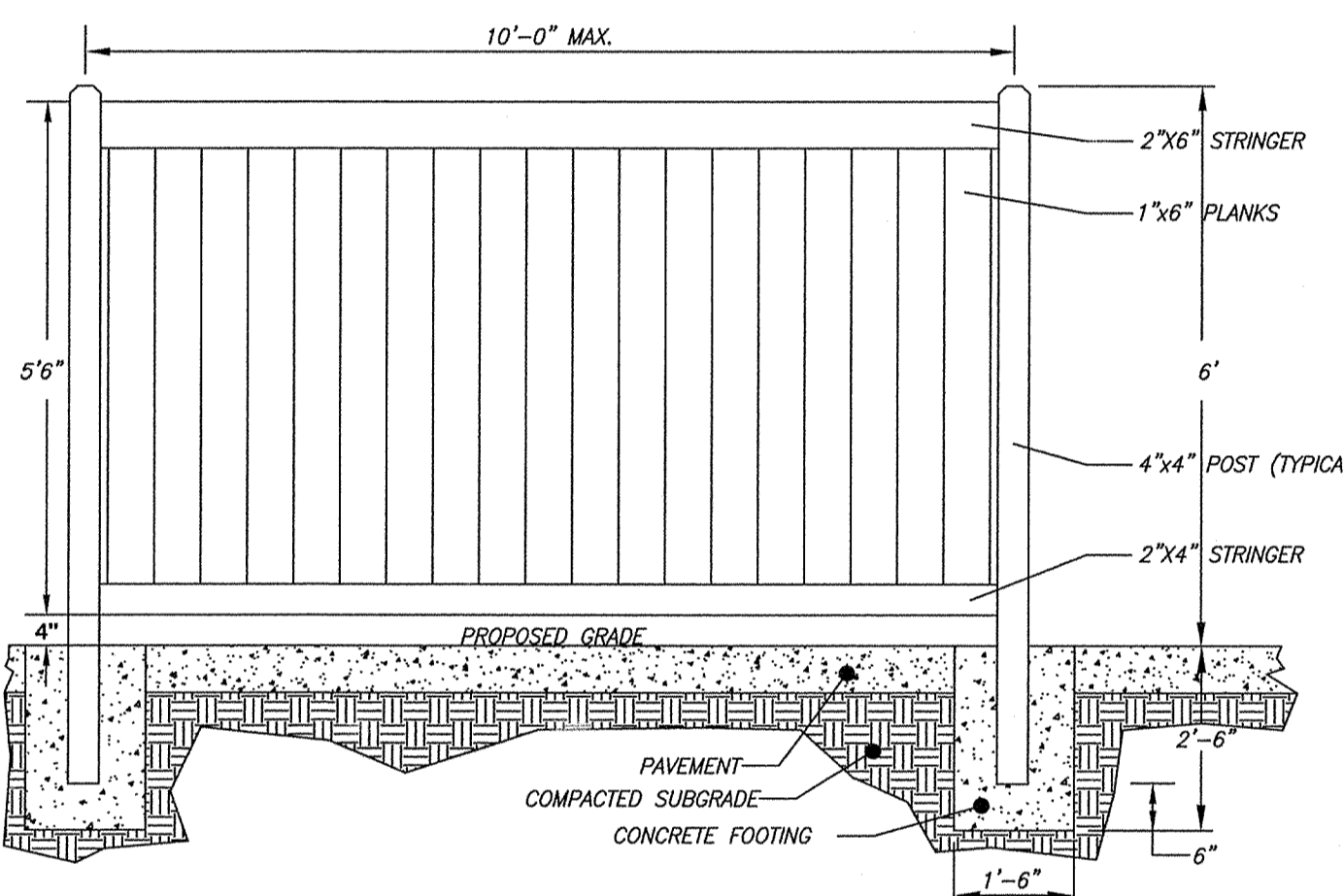
4 / SD-8.0
TREE PLANTING DETAIL
NTS



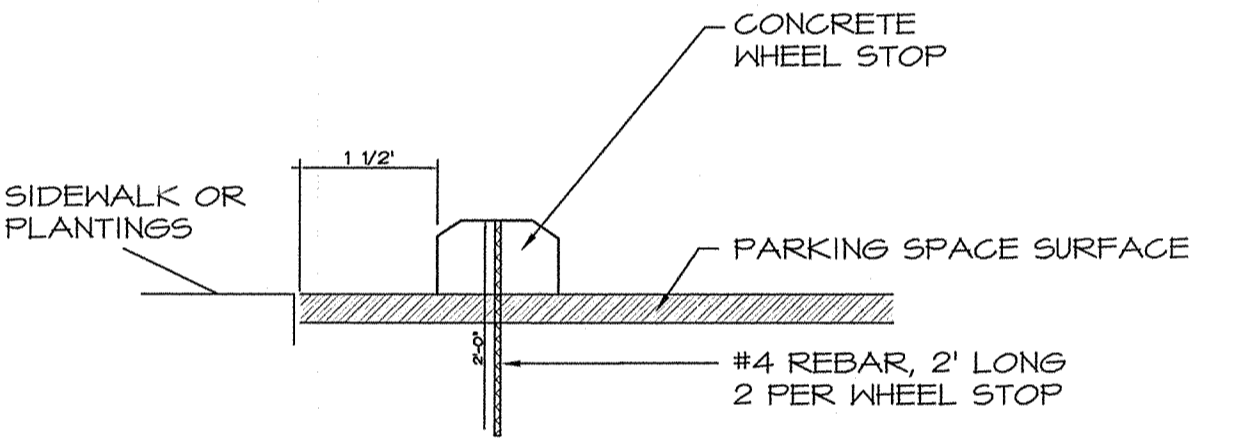
5 / SD-8.0
SHRUB PLANTING DETAIL
NTS

FRONT VIEW

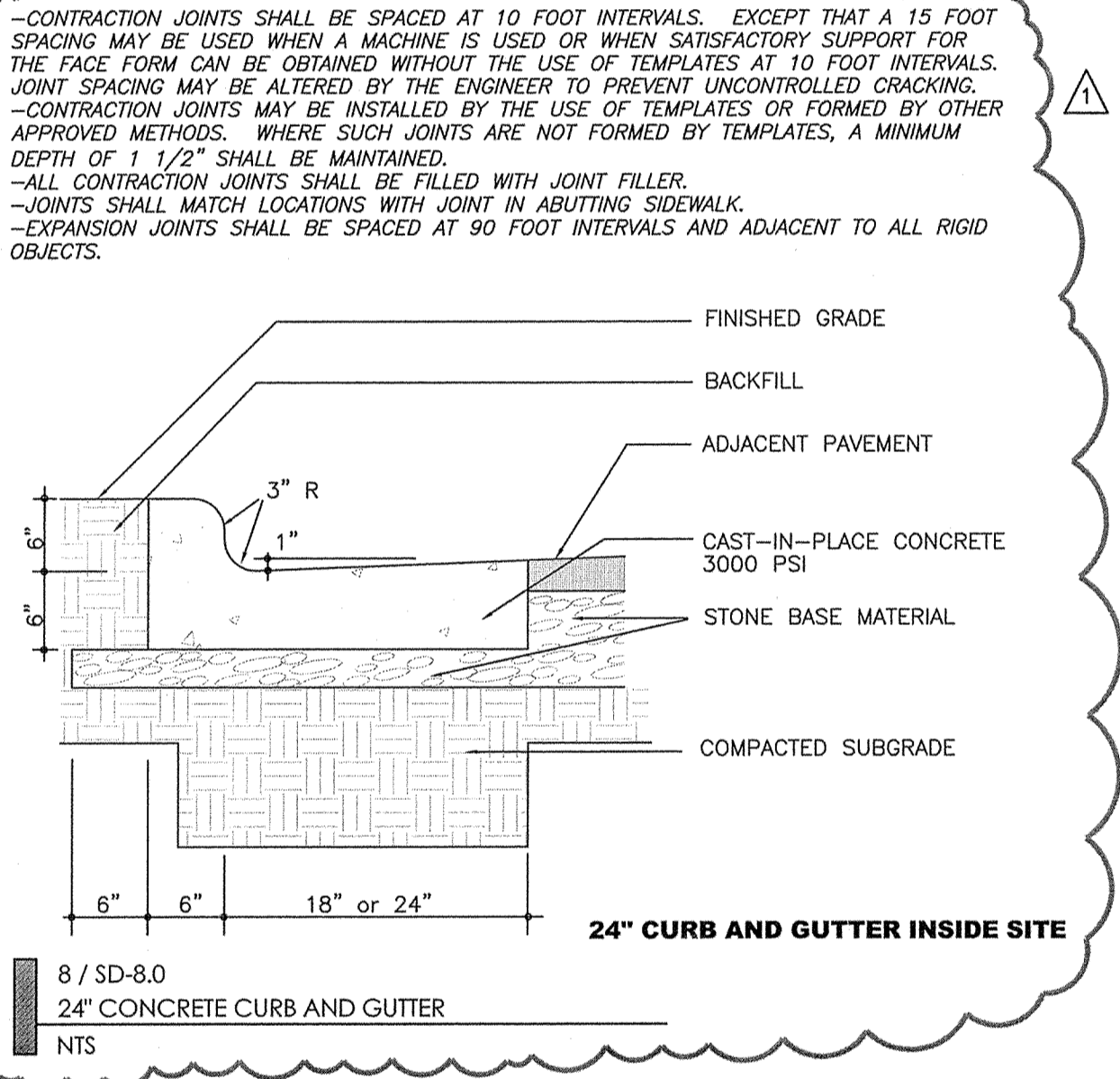
NOTES:
1) ALL WOOD FOR FENCE SHALL BE PRESSURE TREATED.
2) ALL NAILS AND HARDWARE TO BE HOT DIPPED GALVANIZED.



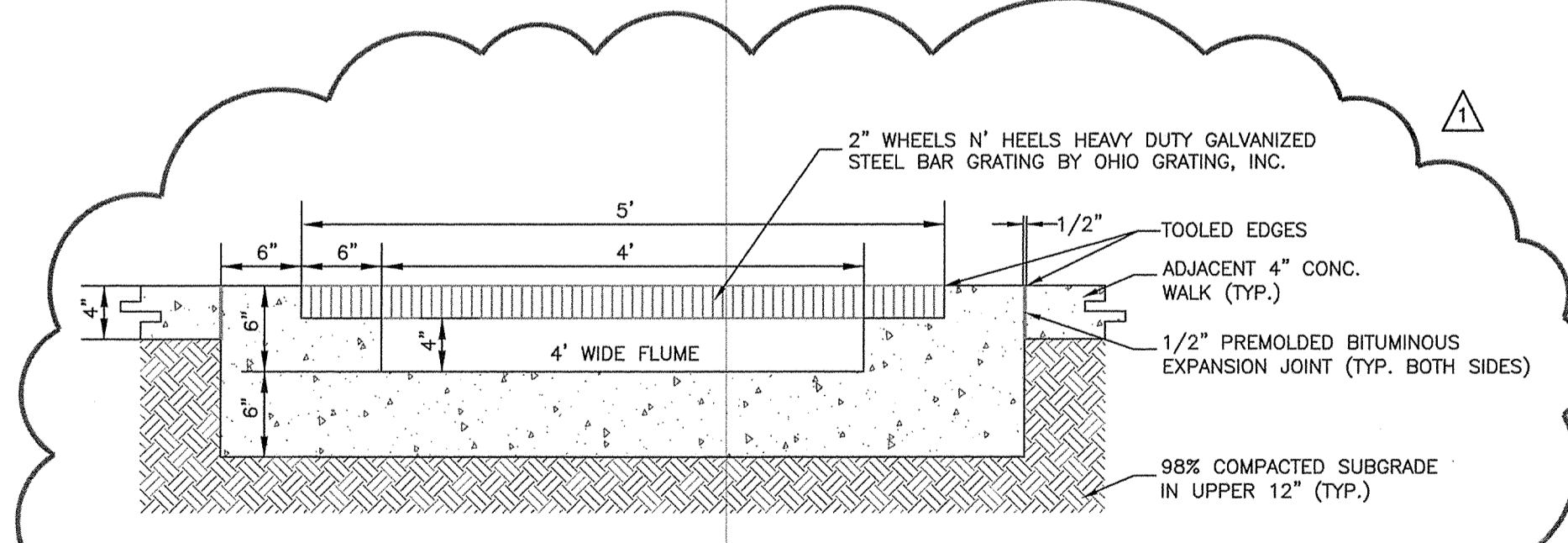
6 / SD-8.0
6' TALL WOODEN PRIVACY FENCE
NTS



7 / SD-8.0
CONCRETE WHEEL STOP
NTS

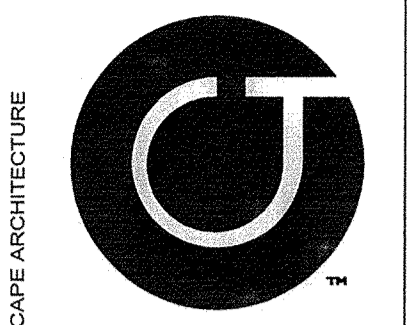


8 / SD-8.0
24" CONCRETE CURB AND GUTTER
NTS



NOTES:
1. ALL CONCRETE 4000 PSI.
2. ALL SIDEWALKS SHALL BE CONSTRUCTED WITH TOOLED 1/4" EDGE RADIUS.
3. BROOM FINISH.
4. 2" WHEELS N' HEELS HEAVY DUTY GALVANIZED STEEL BAR GRATING BY OHIO GRATING, INC.
5. GRATE SHALL SUPPORT A PARTIALLY DISTRIBUTED H2O LOAD.
6. CONTRACTOR TO COORDINATE LOAD REQUIREMENTS WITH MANUFACTURE TO DETERMINE BAR SPACING AND END BANDING.
7. GRATE MUST CONFORM TO ADA GUIDELINES BE HIGH HEEL WALKABLE AND SLIP RESISTANT.
8. GRATE SHALL BE ANCHORED PER MANUFACTURED RECOMMENDATIONS

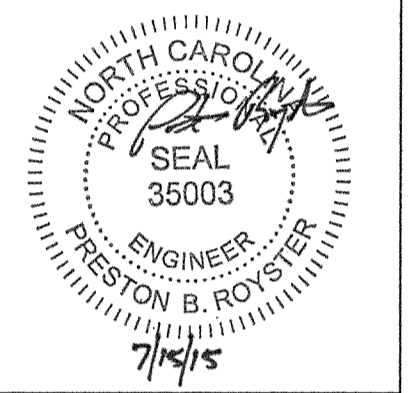
9 / SD-8.0
CONCRETE FLUME WITH GRATE
NTS



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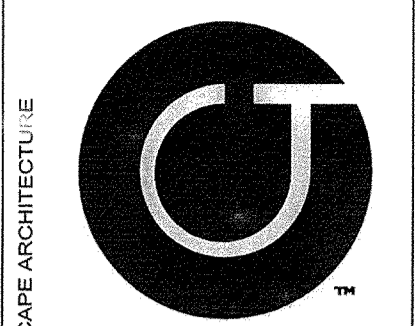
Project
McCAULEY STREET APARTMENTS
425 McCAULEY STREET
CHAPEL HILL NC, 27517
ORANGE COUNTY NC

Job Number 1505
Drawn MTC, JGJ
Checked PBR, ASP
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SITE PLAN
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Sheet Title
SITE DETAILS

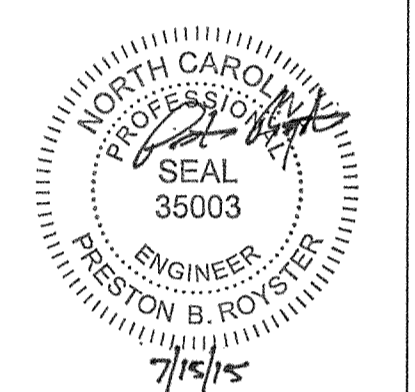
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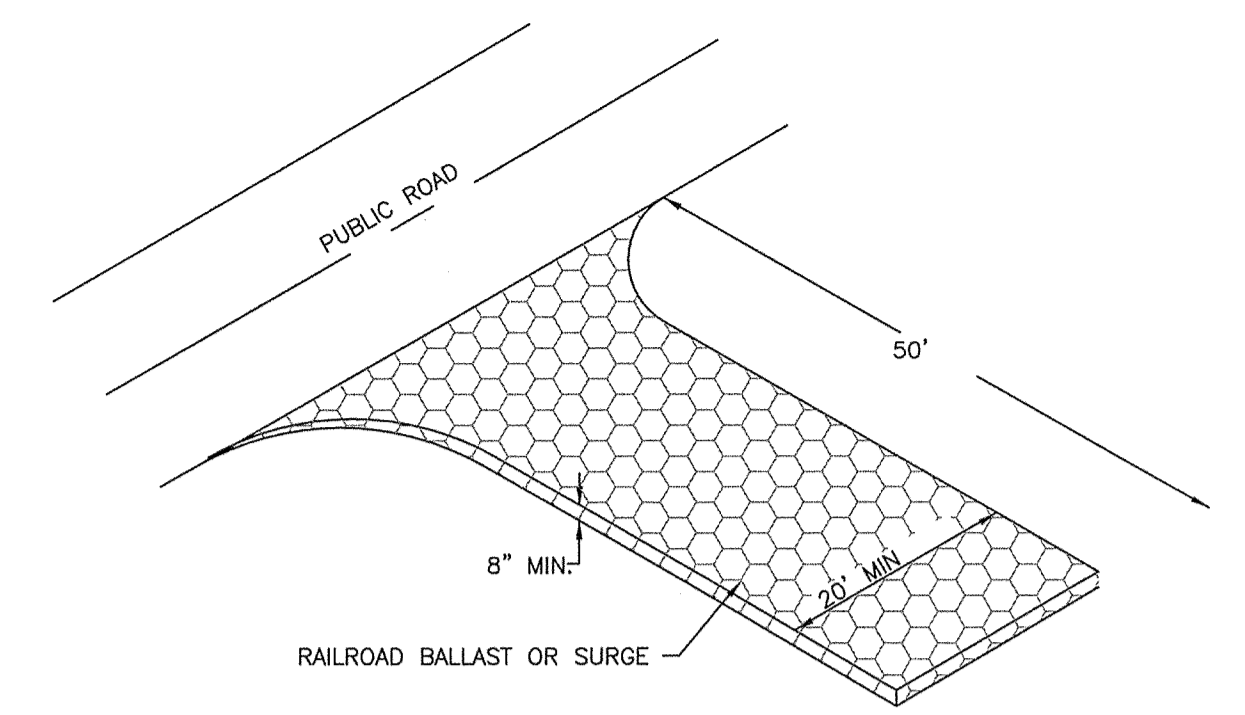
P.I.N. 9788145268

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Revisions 1, 07/15/2015

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Sheet Title
EROSION CONTROL DETAILS

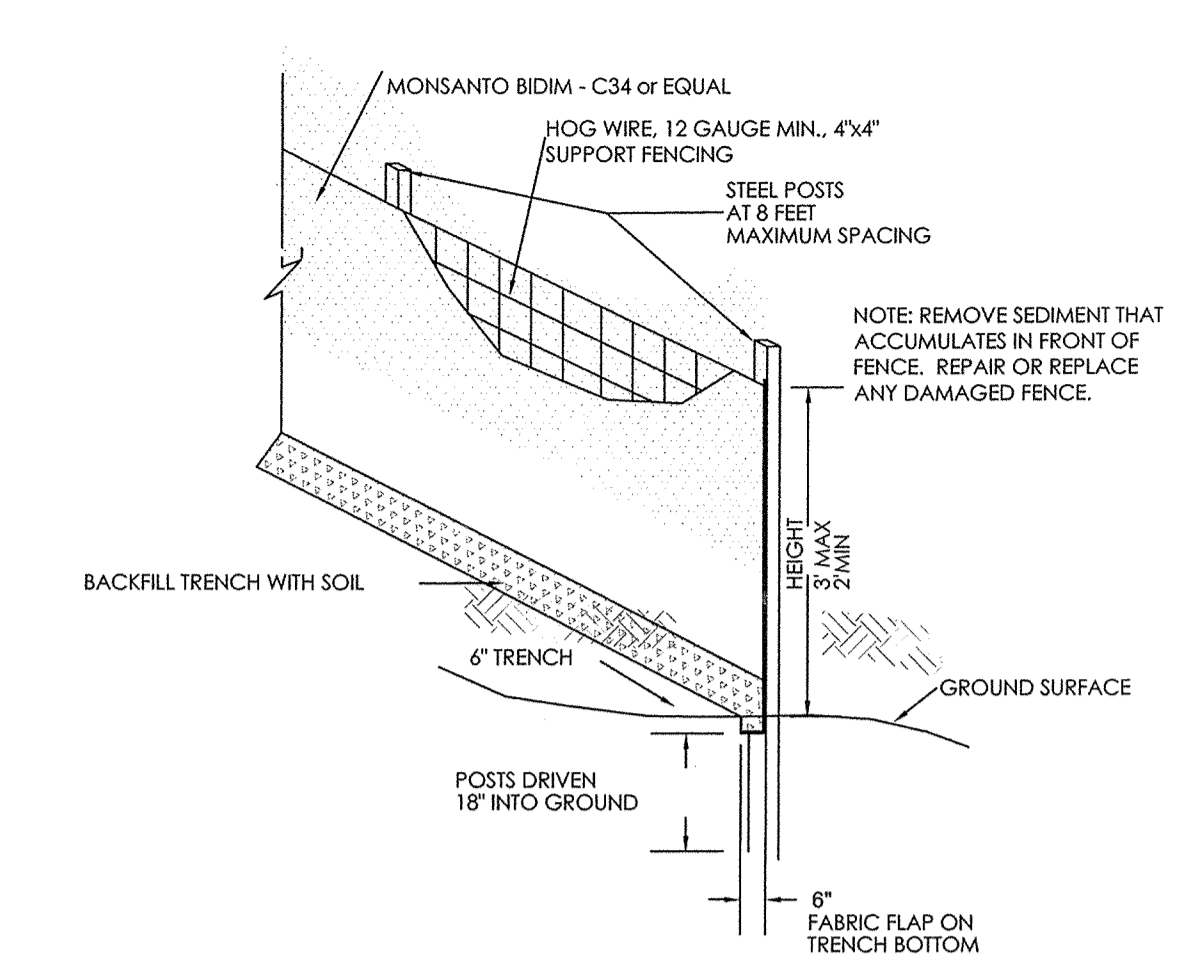
Sheet Number
SD-8.1



- CONSTRUCTION SPECIFICATIONS**
1. AVOID CURVES IN PUBLIC ROADS AND STEEP SLOPES. REMOVE ALL VEGETATION AND OTHER OBJECTIONABLE MATERIAL FROM FOUNDATION AREA. GRADE AND CROWN FOUNDATION FOR POSITIVE DRAINAGE.
 2. IF THE SLOPE TOWARD THE ROAD EXCEEDS 2%, CONSTRUCT A RIDGE 6 TO 8 INCHES HIGH WITH 2:1 SIDE SLOPES. ACROSS THE FOUNDATION APPROXIMATELY 15 FT FROM THE ENTRANCE TO DIVERT RUNOFF AWAY FROM THE PUBLIC ROAD.
 3. PLACE NON-WOVEN GEO-TEXTILE FABRIC ON GRADED FOUNDATION TO IMPROVE STABILITY, ESPECIALLY WHERE WET CONDITIONS ARE ANTICIPATED.
 4. PLACE STONE TO DIMENSIONS AND GRADE SHOWN ON PLANS. LEAVE SURFACE SMOOTH AND SLOPED FOR DRAINAGE.
 5. INSTALL PIPE UNDER PAD IF NEEDED TO MAINTAIN PROPER PUBLIC ROAD DRAINAGE.

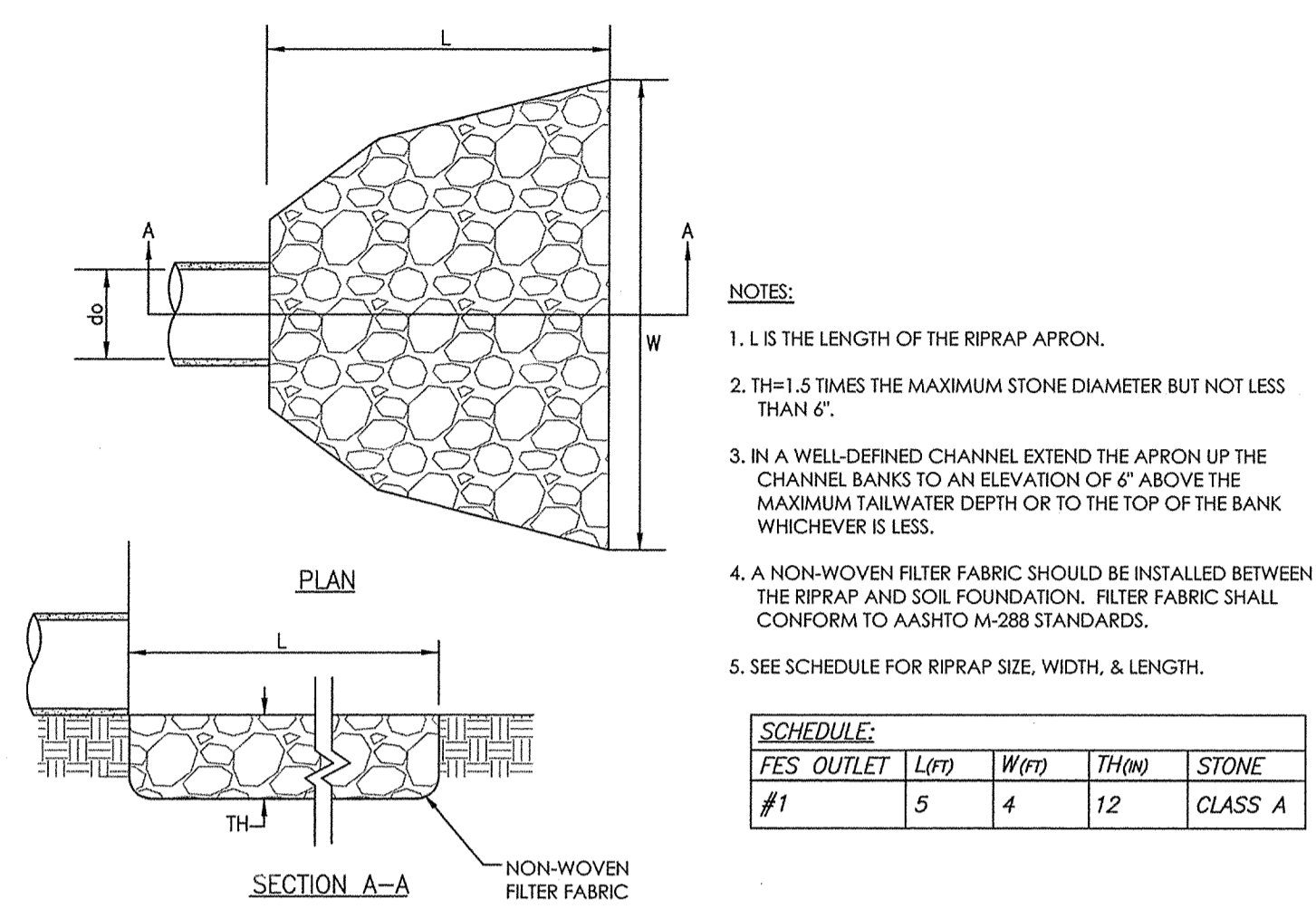
MAINTENANCE:
MAINTAIN THE GRAVEL PAD IN A CONDITION TO PREVENT MUD OR SEDIMENT FROM LEAVING THE CONSTRUCTION SITE. THIS MAY REQUIRE PERIODIC REMOVAL AND REPLACEMENT OF STONE, AS NECESSARY. IMMEDIATELY REMOVE ALL OBJECTIONABLE MATERIALS SPILLED, WASHED, OR TRACKED ONTO PUBLIC ROADWAYS.

4 / SD-8.1
GRAVEL CONSTRUCTION ENTRANCE
NTS



- Maintenance**
1. Inspect sediment fences at least once a week and after each rainfall. Make any required repairs immediately.
 2. Should the fabric of a sediment fence collapse, tear, decompose or become ineffective, replace it promptly.
 3. Remove sediment deposits as necessary to provide adequate storage volume for the next rain and to reduce pressure on the fence. Take care to avoid undermining the fence during cleanout.
 4. Remove all fencing materials and unstable sediment deposits and bring the area to grade and stabilize it after the contributing drainage area has been properly stabilized.

3 / SD-8.1
SILT FENCE
NTS

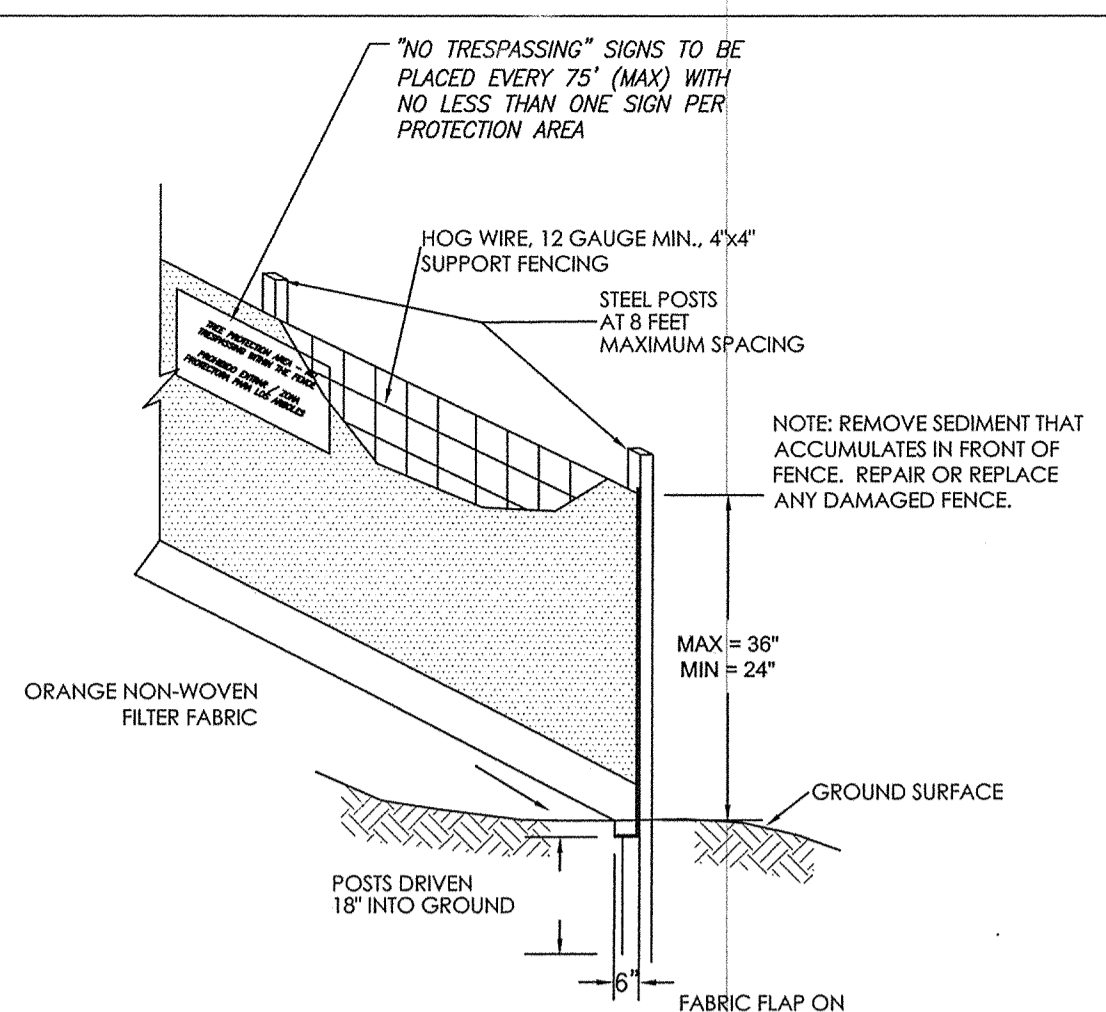


- NOTES:**
1. L IS THE LENGTH OF THE RIPRAP APRON.
 2. TH=1.5 TIMES THE MAXIMUM STONE DIAMETER BUT NOT LESS THAN 6".
 3. IN A WELL-DEFINED CHANNEL EXTEND THE APRON UP THE CHANNEL BANKS TO AN ELEVATION OF 6" ABOVE THE MAXIMUM TAILWATER DEPTH OR TO THE TOP OF THE BANK WHICHEVER IS LESS.
 4. A NON-WOVEN FILTER FABRIC SHOULD BE INSTALLED BETWEEN THE RIPRAP AND SOIL FOUNDATION. FILTER FABRIC SHALL CONFORM TO AASHTO M-288 STANDARDS.
 5. SEE SCHEDULE FOR RIPRAP SIZE, WIDTH, & LENGTH.

SCHEDULE	FES OUTLET	L(FT)	W(FT)	TH(IN)	STONE
#1	5	4	12		CLASS A

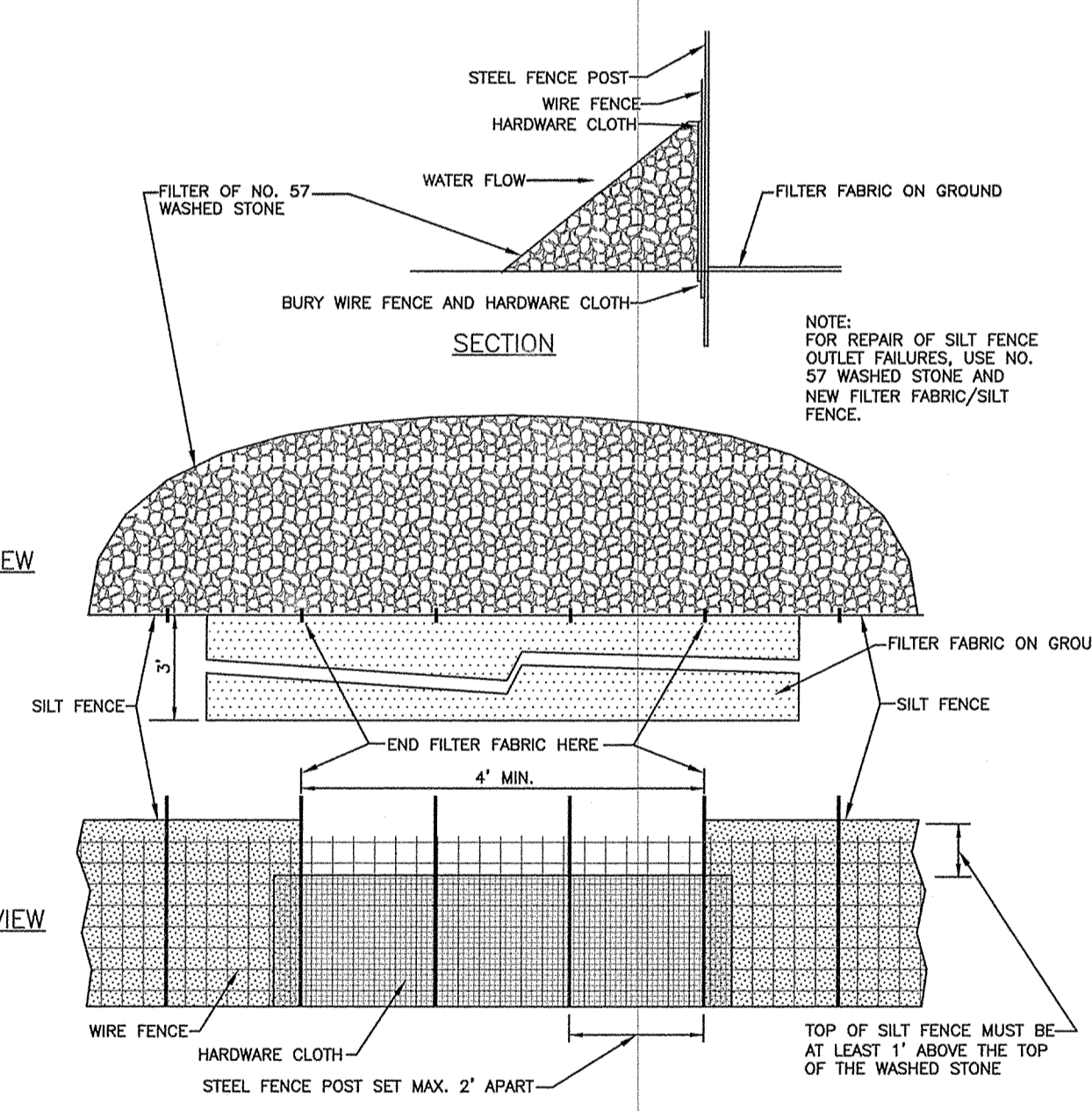
MAINTENANCE:
INSPECT RIPRAP OUTLET STRUCTURES WEEKLY AND AFTER SIGNIFICANT (1/2" OR GREATER) RAINFALL EVENTS TO SEE IF ANY EROSION AROUND OR BELOW THE RIPRAP HAS TAKEN PLACE. OR IF STONES HAVE BEEN DISLODGED. IMMEDIATELY MAKE ALL NEEDED REPAIRS TO PREVENT FURTHER DAMAGE.

2 / SD-8.1
RIP RAP APRON
NTS



- NOTES:**
1. MOVE FENCE OR REMOVE TREE IF MORE THAN 20% OF A TREE'S ROOT PROTECTION ZONE AREA IS UNPROTECTED.
 2. ROOT PRUNE THE TREES TO REMAIN WHERE CONSTRUCTION ACTIVITIES WILL SEVER ROOTS.
 3. ANY TREE ROOTS EXPOSED BY CONSTRUCTION SHALL BE SEVERED CLEANLY WITH A PRUNING TOOL.
 4. DO NOT DISPOSE OF ANY CHEMICALS OR REMOVE SOIL OUTSIDE THE LIMITS OF WORK.
 5. WHEN INSTALLING NEW LANDSCAPE PLANTS, DO NOT DRIVE EQUIPMENT UPON OR DISTURB THE SOIL WITHIN THE ROOT ZONE PROTECTION AREA OF EXISTING TREES.
 6. SIGNAGE IN BOTH ENGLISH AND SPANISH MUST BE PLACED ON TREE PROTECTION FENCING WITH A MINIMUM SPACING OF 75' O.C. SIGNAGE IS TO READ:
TREE PROTECTION AREA - NO TRESPASSING WITHIN THE FENCE
PROHIBIDO ENTRAR / ZONA PROTECTORA PARA LOS ARBOLES
 7. INSPECT SEDIMENT FENCES AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY.
 8. SHOULD THE FABRIC OF A SEDIMENT FENCE COLLAPSE, TEAR, DECOMPOSE OR BECOME INEFFECTIVE, REPLACE IT PROMPTLY.
 9. REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE FENCE. TAKE CARE TO AVOID UNDERMINING THE FENCE DURING CLEANOUT.
 10. REMOVE ALL FENCING MATERIALS AND UNSTABLE SEDIMENT DEPOSITS AND BRING THE AREA TO GRADE AND STABILIZE IT AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

1 / SD-8.1
COMBINATION TREE PROTECTION FENCE SILT FENCE
NTS



MAINTENANCE:
INSPECT SILT FENCE OUTLETS AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS AS NEEDED.

REMOVE SEDIMENT AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR SUBSEQUENT RAINS.

WHEN THE CONTRIBUTING DRAINAGE AREA HAS BEEN ADEQUATELY STABILIZED, REMOVE ALL MATERIALS AND ANY UNSTABLE SOIL, AND EITHER SALVAGE OR DISPOSE OF IT PROPERLY.

BRING THE DISTURBED AREA TO PROPER GRADE, THEN SMOOTH AND COMPACT IT. STABILIZE AREAS AROUND THE OUTLET.

5 / SD-8.1
SILT FENCE OUTLET
NTS

FALL/WINTER/SPRING TEMPORARY COVER	AUGUST 15 - MAY 1
Lime	100 lbs/1000 sf
10-10-10 Fertilizer	25 lbs/1000 sf
Oat Seed	2 lbs/1000 sf
Rye Grain Seed	1 lbs/1000 sf
Stow Mulch *	100 lbs/1000 sf
SUMMER TEMPORARY COVER	MAY 1 - AUGUST 15
Lime	100 lbs/1000 sf
10-10-10 Fertilizer	15 lbs/1000 sf
Showstop Millet Seed	1 lbs/1000 sf
Stow Mulch *	100 lbs/1000 sf
SPRING/FALL PERMANENT COVER	MARCH 1 - APRIL 30
Lime	100 lbs/1000 sf
10-10-10 Fertilizer	25 lbs/1000 sf
Improved Turf Type Fine Fescue Seed	8 lbs/1000 sf
Stow Mulch *	100 lbs/1000 sf
SUMMER PERMANENT COVER	APRIL 1 - AUGUST 15
GRASS	PLANTING DATE ¹ SEEDS ² SPRIGS ³ STOLONS
BERMUDAGRASS	APRIL-JULY 1-2 .75 3-5
BERMUDAGRASS(HYBRID)	APRIL-JULY - .75 3-5
CENTIPEDGRASS	MARCH-JULY .25-.50 .75 -
ST.AUGUSTINEGRASS	APRIL-JULY - 1.0 -
TALL FESCUE	SEPT.-OCT.15 6 -
ZOYSIAGRASS	MAY-JULY .50-1.0 .25 3-5

1. OPTIMUM DATE OF PLANTING. SEEDING BEYOND THESE DATES INCREASES THE CHANCE OF FAILURE.
 2. POUNDS PER 1000 SQ.FT.
 3. BUSHELS PER 1000 SQ.FT.
- Seedbed Preparation: Remove rocks, stumps, roots, etc. Apply lime and fertilizer then rip the soil 4 to 6 inches to mix the nutrients into the soil and to loosen and roughen it to receive seed.
- Seed Temporary cover to stabilize temporary sedimentation control measures and other accomplished. If planting season is not suitable for installation of permanent cover. Contractor shall install temporary cover suitable for that season and reseed with permanent grass at earliest possible date.
- * Anchor straw mulch by applying an asphalt binder emulsion at a rate of 10 gallons per 1000 SF, or install jute, paper or twine netting or excelsior mats staked to ground according to the manufacturer's instructions.

STABILIZATION TIME TABLE

1. All permanent dikes, swales, ditches, perimeter slopes, and all slopes steeper than 3:1 shall be provided with temporary or permanent stabilization with groundcover as soon as practicable but within 7 calendar days from last land-disturbing activity.
2. All other disturbed areas shall be provided with temporary or permanent stabilization with groundcover as soon as practicable but in any event within 14 calendar days from last land-disturbing activity.

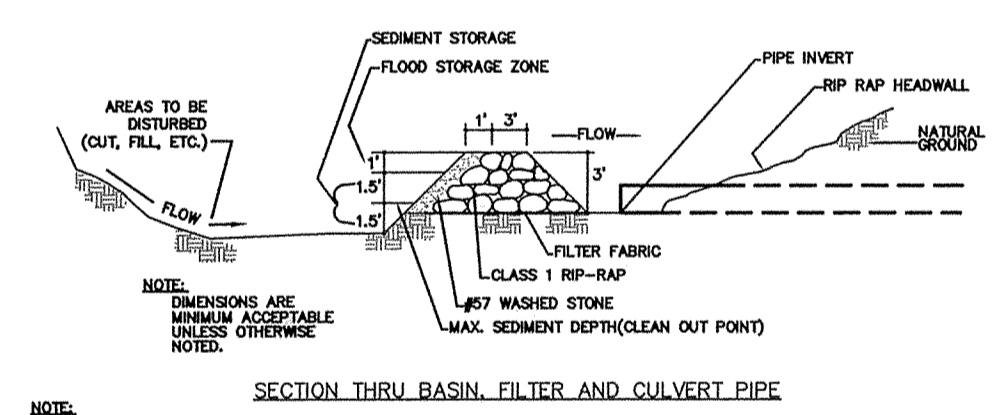
- 'EXPOSED' AREAS INCLUDE, BUT ARE NOT LIMITED TO:**
- AREAS CLEARED FOR ROADWAY CONSTRUCTION.
 - AREAS CLEARED ON RESIDENTIAL BUILDING LOTS.
 - DRAINAGE EASEMENTS AND OPEN DRAINAGE CHANNELS.
 - SEDIMENT AND EROSION CONTROL MEASURES (SEDIMENT TRAPS, DIVERSION DITCHES, ETC.) AND THE AREAS ADJACENT TO SUCH MEASURES.

6 / SD-8.1
SEEDING SCHEDULE
NTS

Site Area Description	Stabilization Time Frame	Stabilization Time Frame Exceptions
Perimeter dikes, swales, ditches, and slopes	7 days	None
High Quality Water (HQW) Zones	7 days	None
Slopes steeper than 3:1	7 days	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed
Slopes 3:1 or flatter	14 days	7 days for slopes greater than 50 feet in length
All other areas with slopes flatter than 4:1	14 days	None (except for perimeters and HQW Zones)

*Extensions of time may be approved by the permitting authority based on weather or other site-specific conditions that make compliance impracticable" (Section 11.B(2)(b))

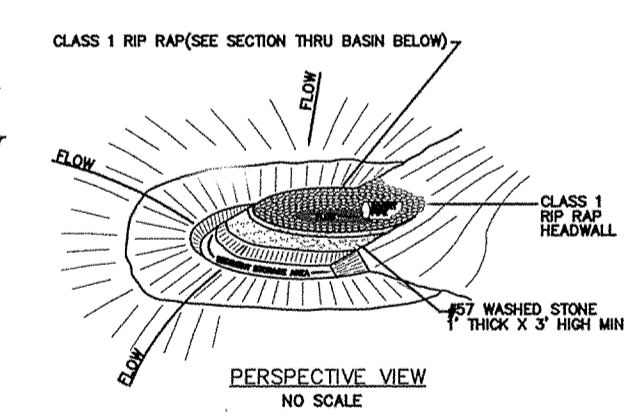
NOTE: BASE BID TO INCLUDE ANY TEMPORARY SEEDING REQUIRED



SECTION THRU BASIN, FILTER AND CULVERT PIPE

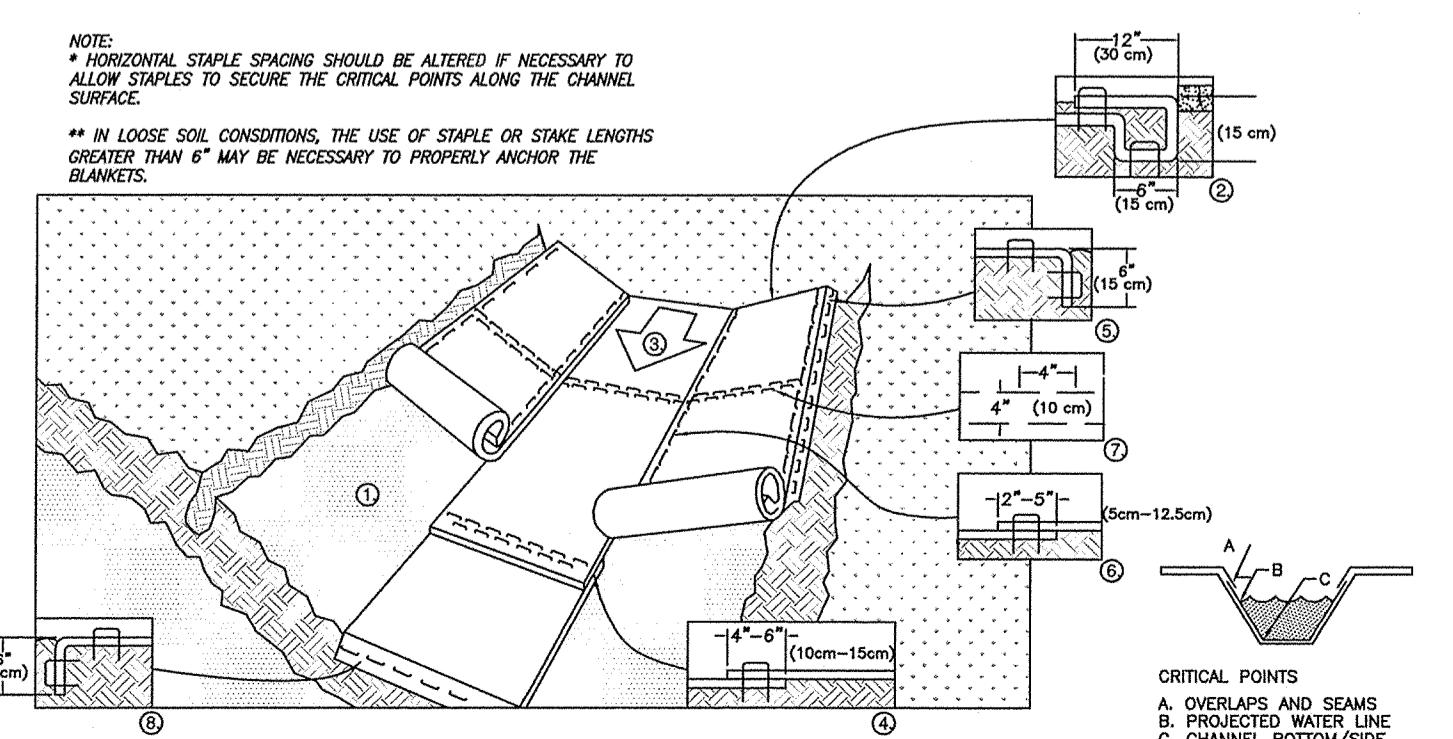
NOTE: GRVEL & RIP RAP FILTER NEAR BASIN DETAIL IS DESIGNED TO PROTECT EXISTING PIPE INVERTS THAT DRAIN TO AREAS OR LESS.

Maintenance
Inspect the filter at least weekly and after each significant (1/2 inch or greater) rainfall and make repairs as needed. Remove sediment as necessary to provide adequate storage volume for subsequent rains. Replace stone as necessary along face of filter. When the contributing drainage area has been adequately stabilized, remove all materials and any unstable soil, and either salvage or dispose of it properly. Bring the disturbed area to proper grade, then smooth and compact it. Appropriately stabilize all bare areas around the inlet.



7 / SD-8.1
ARCH FILTER
NTS

1. Prepare soil before installing blankets, including any necessary application of lime, fertilizer, and seed.
2. Begin at the top of the channel by anchoring the blanket in a 6" deep x 6" wide trench. Anchor the blanket with a row of staples/stakes approximately 12" apart in the bottom of the trench. Backfill and compact the trench after stapling. Apply seed to compacted soil and fold remaining 12" portion of blanket back over seed and compacted soil. Secure blanket over compacted soil with a row of staples/stakes spaced approximately 12" apart across the width of the blanket.
3. Roll center blanket in direction of water flow in bottom of channel. Unroll blankets with appropriate side against the soil surface. All blankets must be securely fastened to soil surface by placing staples/stakes in appropriate locations as shown by manufacturer.
4. Place consecutive blankets end over end (shingle style) with a 4"-6" overlap. Use a double row of staples staggered 4" apart and 4" on center to secure blankets.
5. Full length edge of blankets at top of side slopes must be anchored with a row of staples/stakes approximately 12" apart in a 6" deep x 6" wide trench. Backfill and compact the trench after stapling.
6. Adjacent blankets must be overlapped approximately 2"-5" (depending on blanket type) and stapled.
7. A staple check slot is recommended at 30 to 40 foot intervals. Use a double row of staples staggered 4" apart and 4" on center over entire width of the channel.
8. The terminal end of the blankets must be anchored with a row of staples/stakes approximately 12" apart in a 6" deep x 6" wide trench. Backfill and compact the trench after stapling.

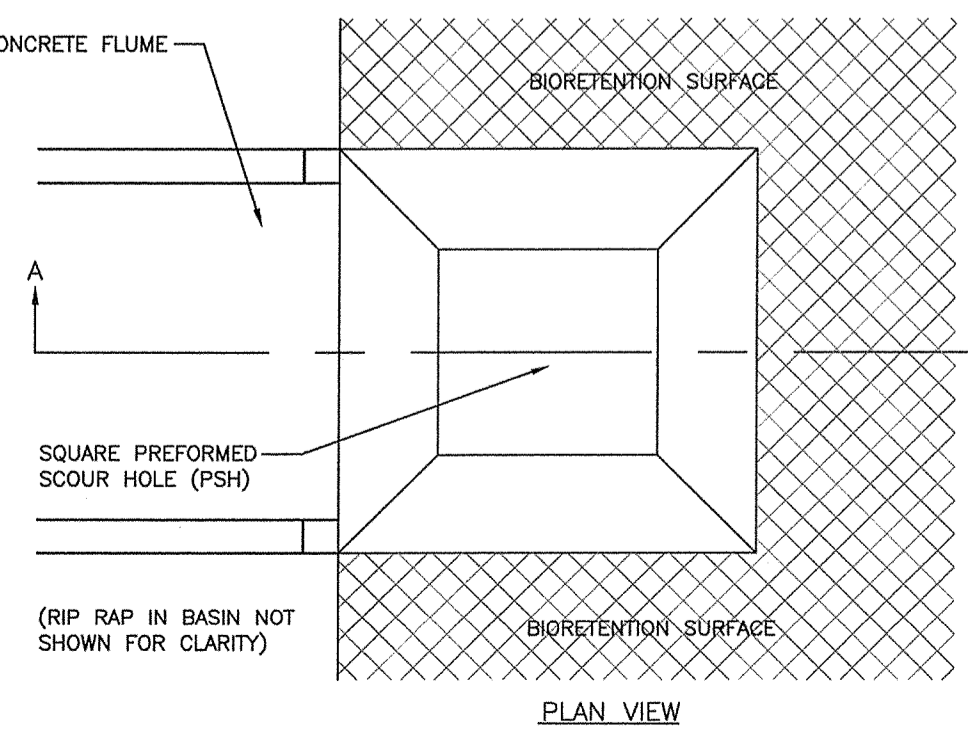


NOTE:
* HORIZONTAL STAPLE SPACING SHOULD BE ALTERED IF NECESSARY TO ALLOW STAPLES TO SECURE THE CRITICAL POINTS ALONG THE CHANNEL SURFACE.
** IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" MAY BE NECESSARY TO PROPERLY ANCHOR THE BLANKETS.

8 / SD-8.1
TURF REINFORCING MAT
NTS

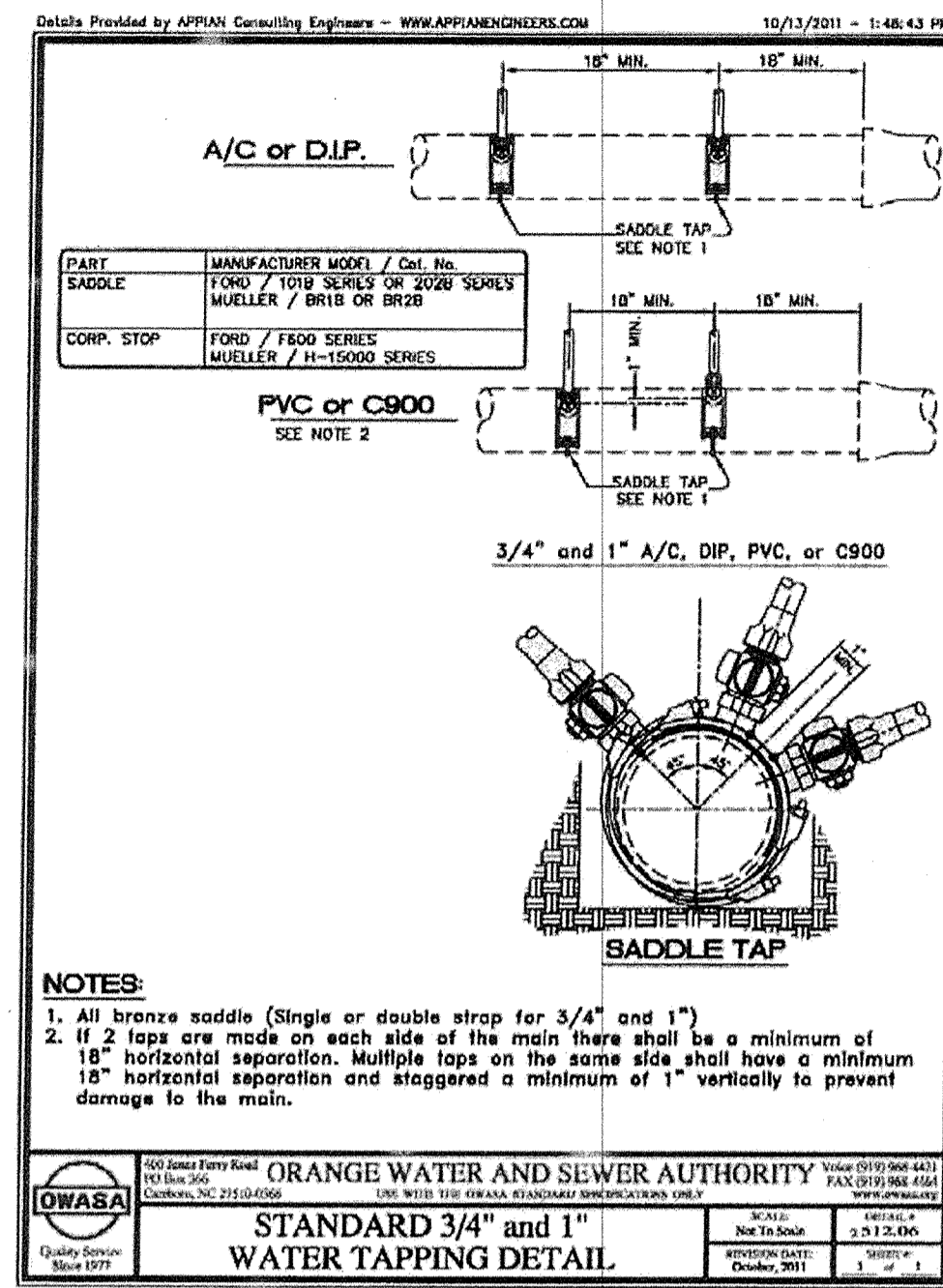
- NOTES:**
1. TO AVOID SHIFTING OF THE SCOUR HOLE AFTER INSTALLATION, THE SCOUR HOLE SHOULD BE INSTALLED IN UNDISTURBED SOIL INSTEAD OF IN FILL MATERIAL.
 2. INSTALL PRE-FORMED SCOUR HOLE AFTER SITE STABILIZATION.
 3. THE ELEVATION OF THE TOP OF THE PREFORMED SCOUR HOLE SHOULD BE THE SAME AS THE ELEVATION OF THE BIORETENTION AREA.
 4. ENSURE THAT THE RIP RAP CONSISTS OF A WELL-GRADED MIXTURE OF STONE. SMALLER-SIZE RIP RAP STONES SHOULD BE USED TO FILL VOID BETWEEN LARGER STONES.
 5. WHERE PRACTICAL, ROUTE OFF-SITE RUNOFF AWAY FROM SCOUR HOLE.
 6. IMMEDIATELY AFTER CONSTRUCTION, STABILIZE THE EXIT AREAS WITH VEGETATION.
 7. CLEAR THE AREA OF ALL CONSTRUCTION DEBRIS AND CHECK THE EXIT AREAS FOR ANY POTENTIAL OBSTRUCTIONS THAT COULD PROMOTE CHANNELIZED FLOW.
 8. TOP OF RIP RAP SHALL BE INSTALLED AT THE SAME ELEVATION AS THE FLUME INVERT.

9 / SD-8.1
CONCRETE FLUME AND PREFORMED SCOUR HOLE
NTS



9 / SD-8.1
CONCRETE FLUME AND PREFORMED SCOUR HOLE
NTS

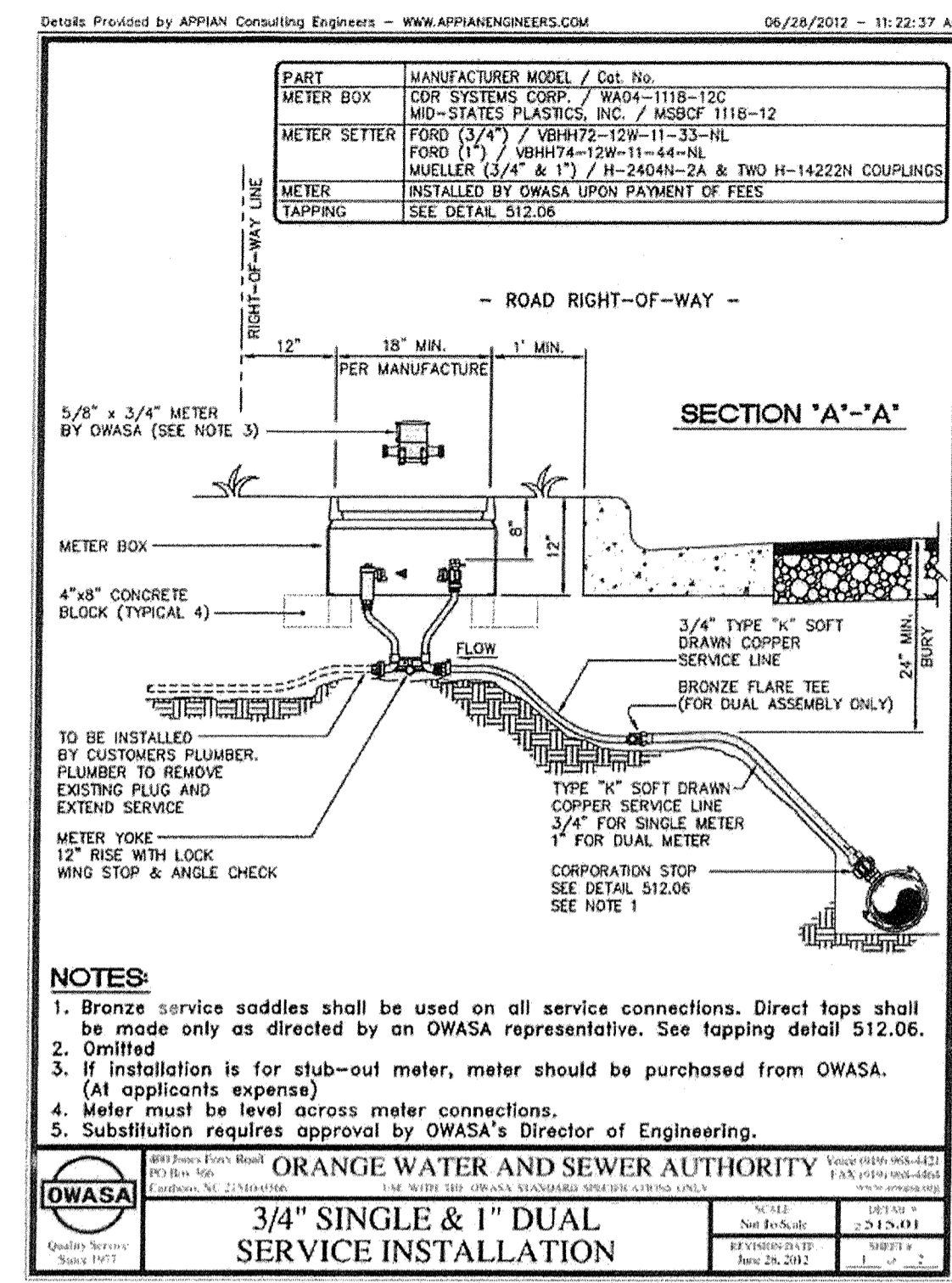
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OWASA - Manual of Specifications, Standards and Design June 2013

1 / SD-8.3
3/4" WATER TAPPING DETAIL
NTS

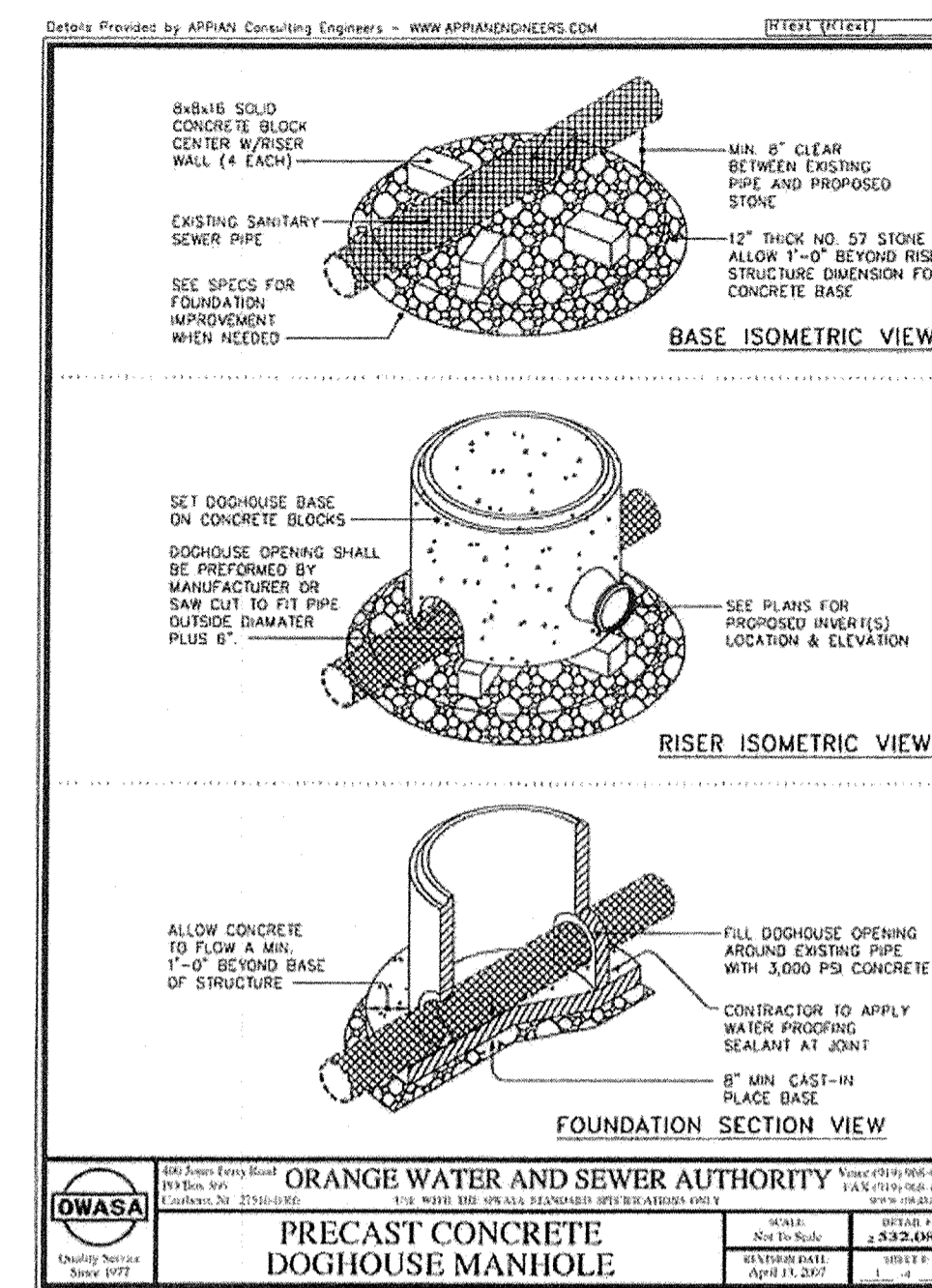
Return to Table of Details



OWASA - Manual of Specifications, Standards and Design June 2013

2 / SD-8.3
3/4" DUAL SERVICE INSTALLATION
NTS

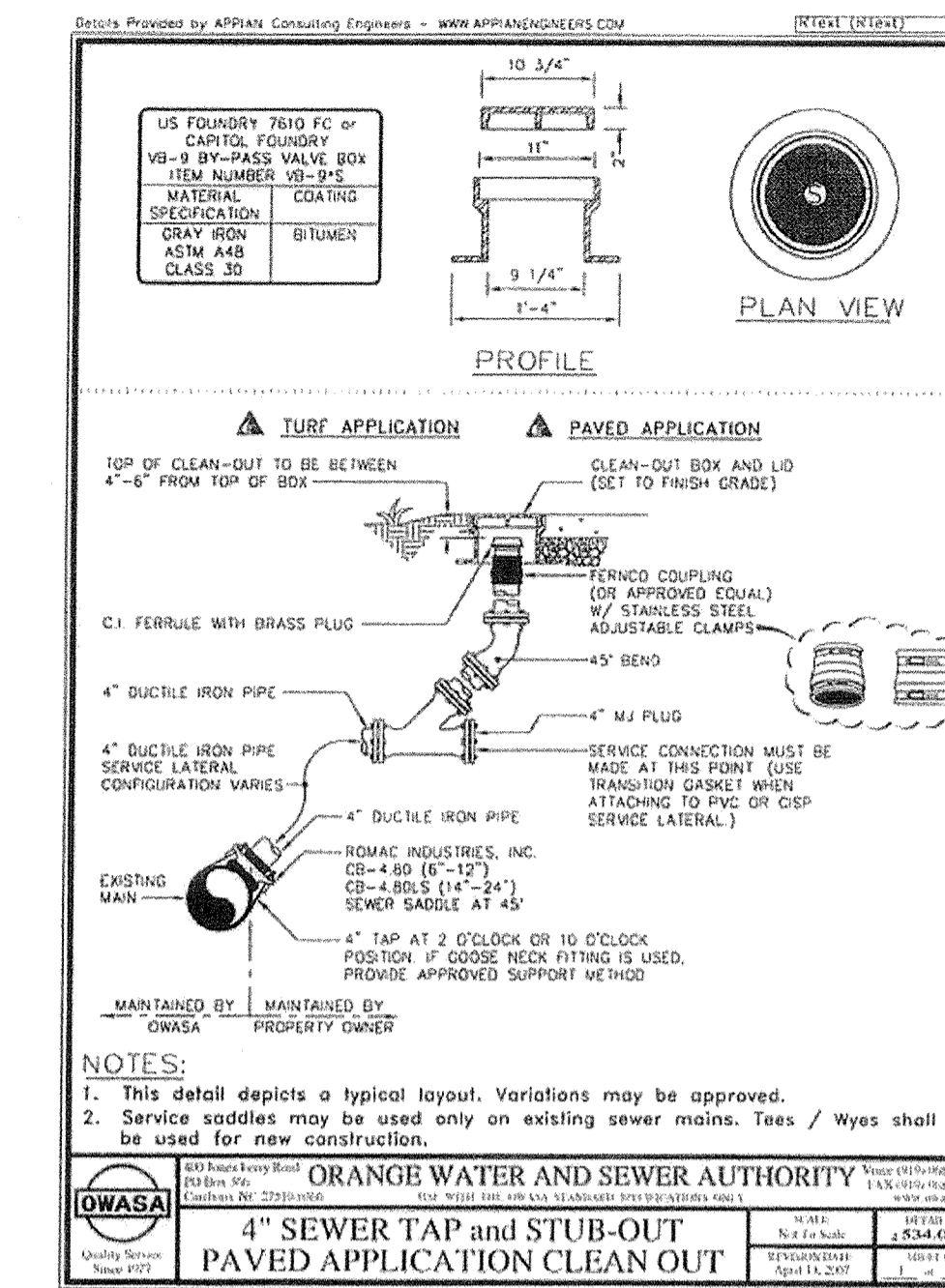
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OWASA - Manual of Specifications, Standards and Design June 2013

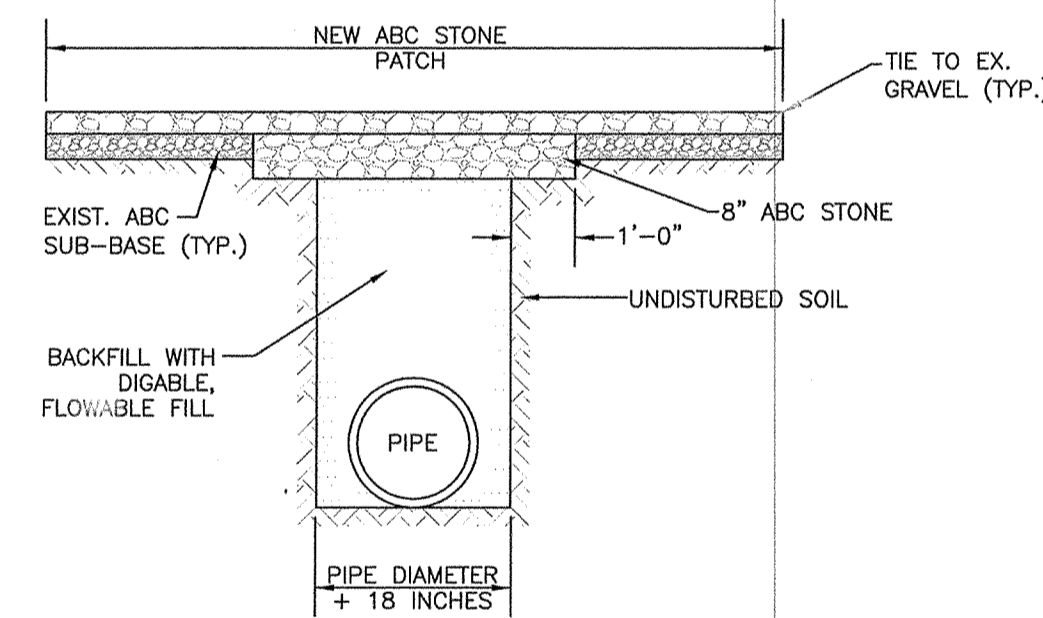
3 / SD-8.3
PRECAST CONCRETE DOGHOUSE MANHOLE
NTS

Return to Table of Details



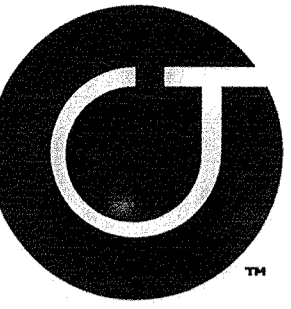
OWASA - Manual of Specifications, Standards and Design June 2013

4 / SD-8.3
4" SEWER TAP AND STUB OUT
NTS



NOTES:
 1. PATCHES MUST BE REGULAR, SQUARE, OR RECTANGULAR (4 STRAIGHT EDGES).
 2. FINAL SURFACE MUST BE FLUSH WITH THE EDGE OF EXISTING GRAVEL, VERTICALLY AND HORIZONTALLY, WITH NO SPILLOVER.
 3. CARE MUST BE TAKEN NOT TO DAMAGE INTEGRITY OR APPEARANCE OF SURROUNDING GRAVEL. IF DAMAGED, THE ENTIRE SURFACE PATCH MUST BE EXPANDED TO COVER DAMAGES.
 4. ALL STRIPING IMPACTED BY REPAIRS MUST BE REPLACED.
 5. PROPER TRAFFIC CONTROL AND PLATING OF THE ROAD DURING CURE TIME FOR FLOWABLE FILL MUST BE CONDUCTED APPROPRIATELY.
 6. THE MAXIMUM TIME TO COMPLETE FULL REPAIR SHALL NOT EXCEED 10 WORKING DAYS.

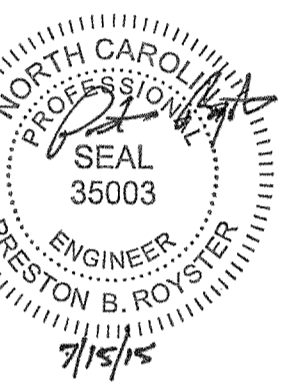
5 / SD-8.3
OPEN CUT AND REPAIR
NTS



Coulter Jewell Thames

111 West Main Street
Durham, N.C. 27701
p 919.682.0368
f 919.688.5646
www.cjtpa.com

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NC BOARD OF LANDSCAPE ARCHITECTS LIC # C-104



Project
McCAULEY STREET APARTMENTS

425 McCAULEY STREET CHAPEL HILL NC, 27517
ORANGE COUNTY NC

P.I.N. 9788145268

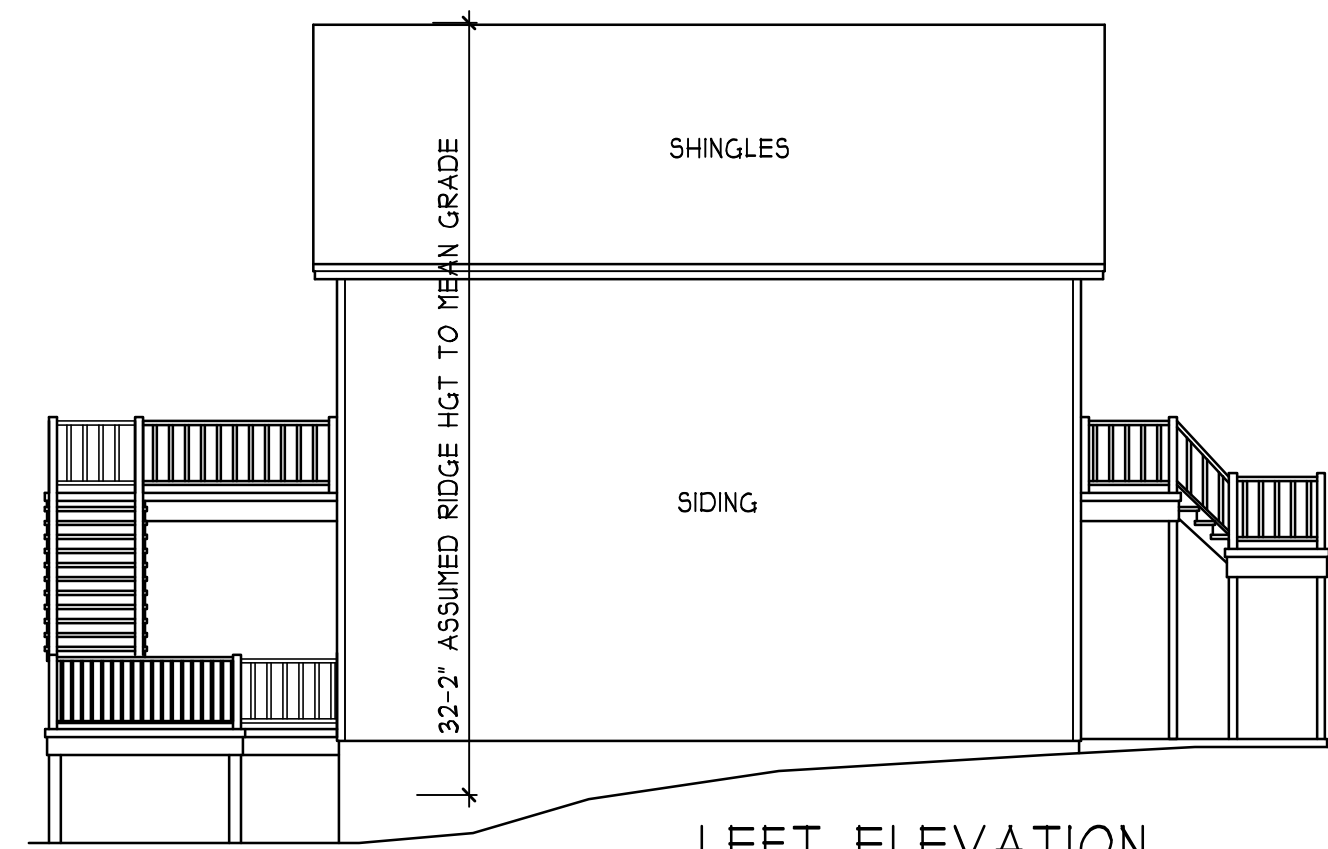
Job Number 1505

Drawn MTC, JCD
Checked FRB, AJR
Date 03/25/2015
Revisions 1. 07/15/2015

SITE PLAN NOT ISSUED FOR CONSTRUCTION

Sheet Title
UTILITY DETAILS

Sheet Number
SD-8.3



LEFT ELEVATION
SCALE 1/8" = 1'-0"



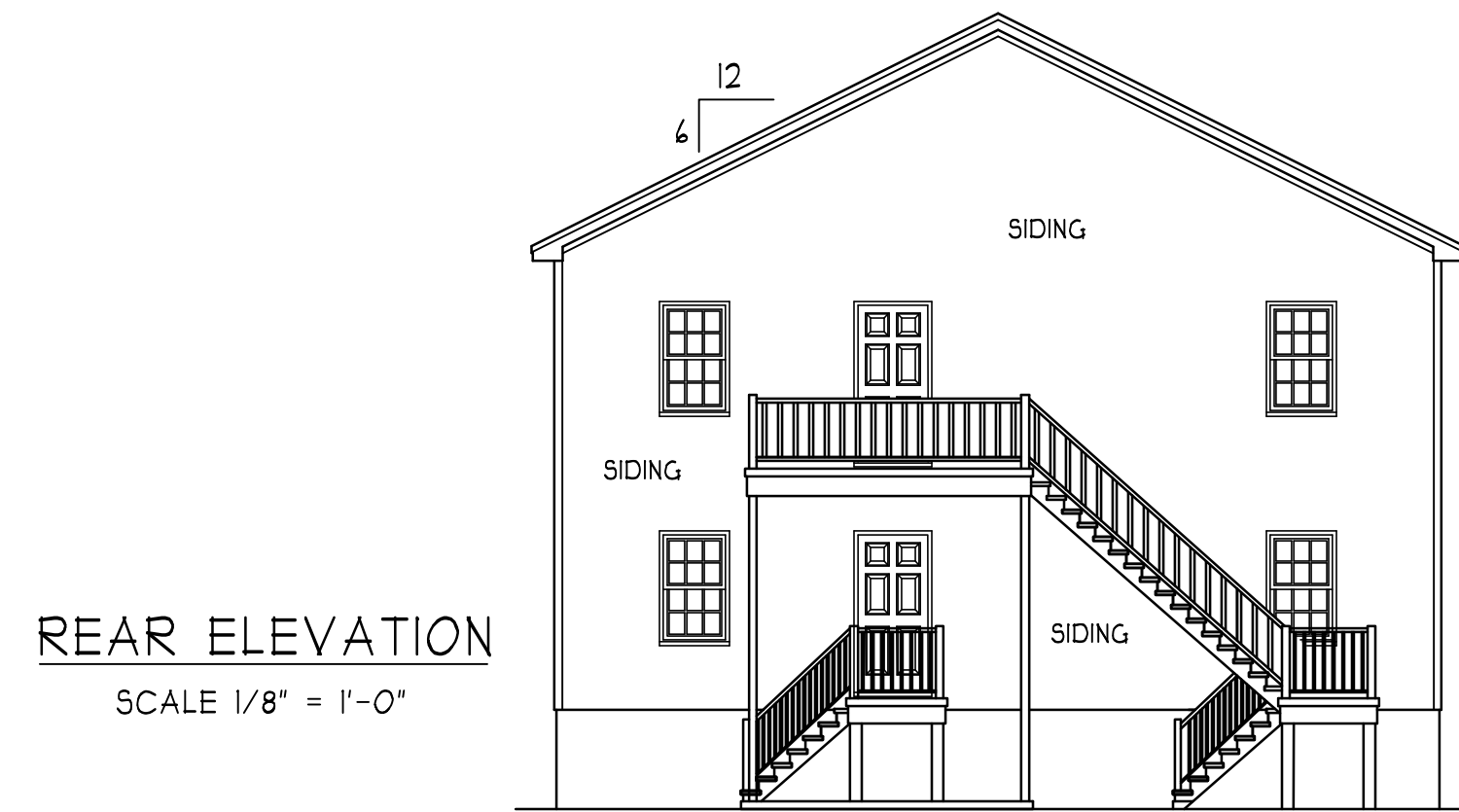
FRONT ELEVATION
SCALE 1/4" = 1'-0"

ATTIC VENTILATION:

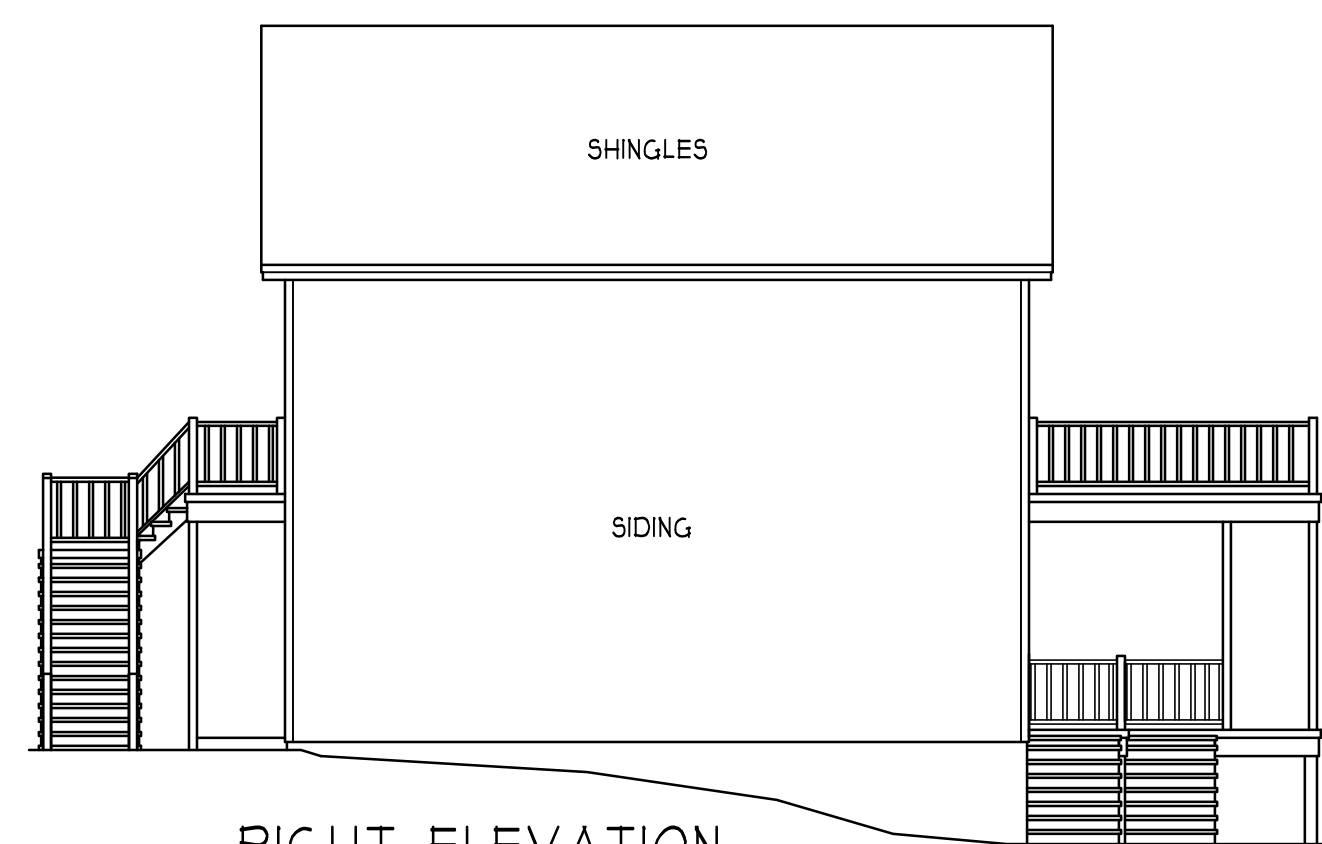
THE NET FREE VENTILATING AREA SHALL BE NOT LESS THAN 1 TO 150 OF THE AREA OF THE SPACE VENTILATED EXCEPT THAT THE AREA MAY BE 1 TO 300, PROVIDED AT LEAST 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE EAVE OR CORNICE VENTS WITH THE BALANCE OF THE REQUIRED VENTILATION TO BE PROVIDED BY EAVE OR CORNICE VENTS.
GROSS ATTIC AREA TO BE VENTILATED 1114 SQ.FT.
1114/150 = 7.42 SQ.FT. NET FREE AREA

ENERGY COMPLIANCE

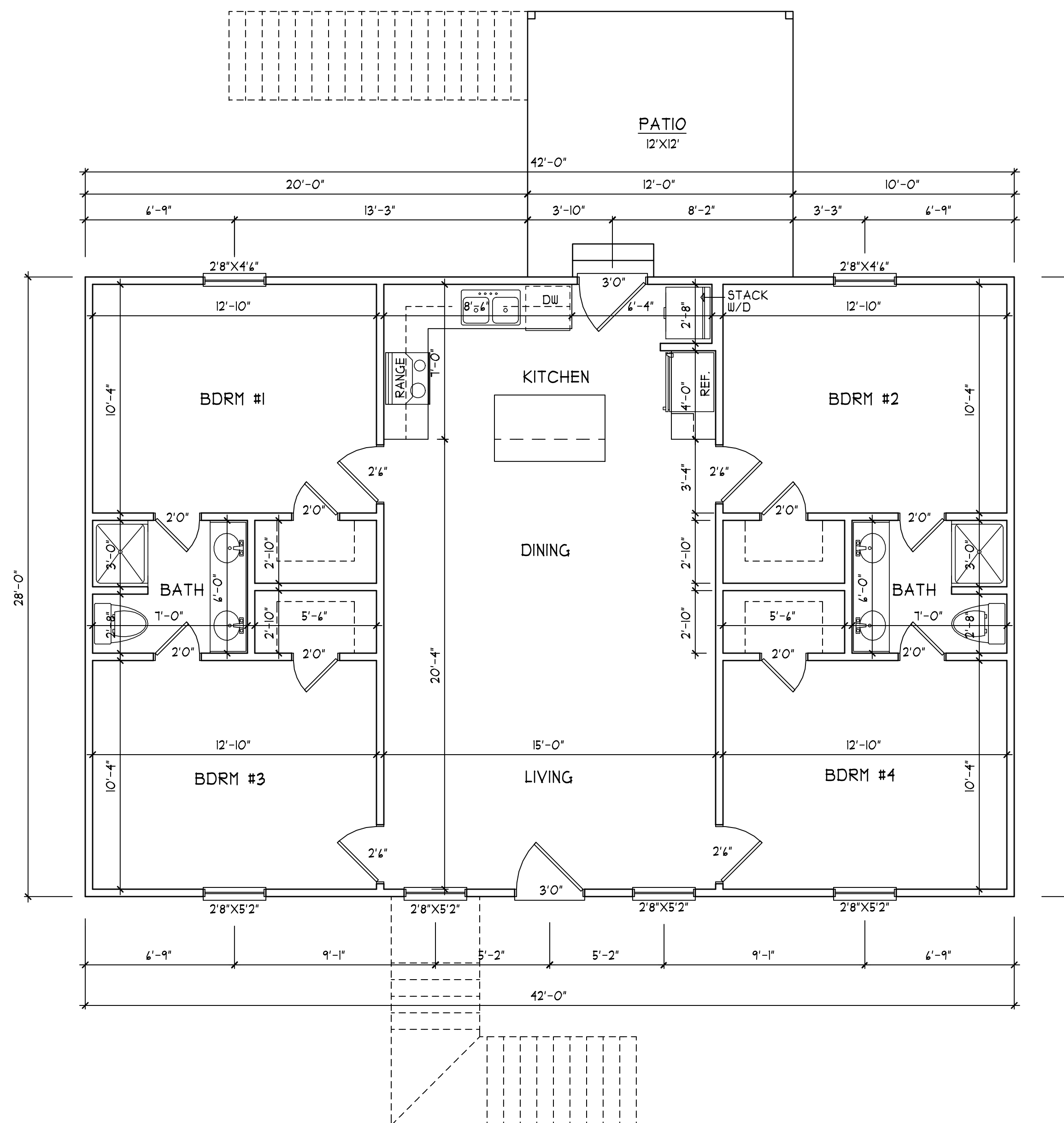
ZONE 3 = MAX. GLAZING U-FACTOR .35
R-VALUE = CEILING R30, WALLS R13,
FLOORS R19 FOR JOHNSTON, WAYNE COUNTY
ZONE 4 = MAX. GLAZING U-FACTOR .35
R-VALUE = CEILING R38, WALLS R15,
FLOORS R19 FOR WAKE, ORANGE COUNTY



REAR ELEVATION
SCALE 1/8" = 1'-0"



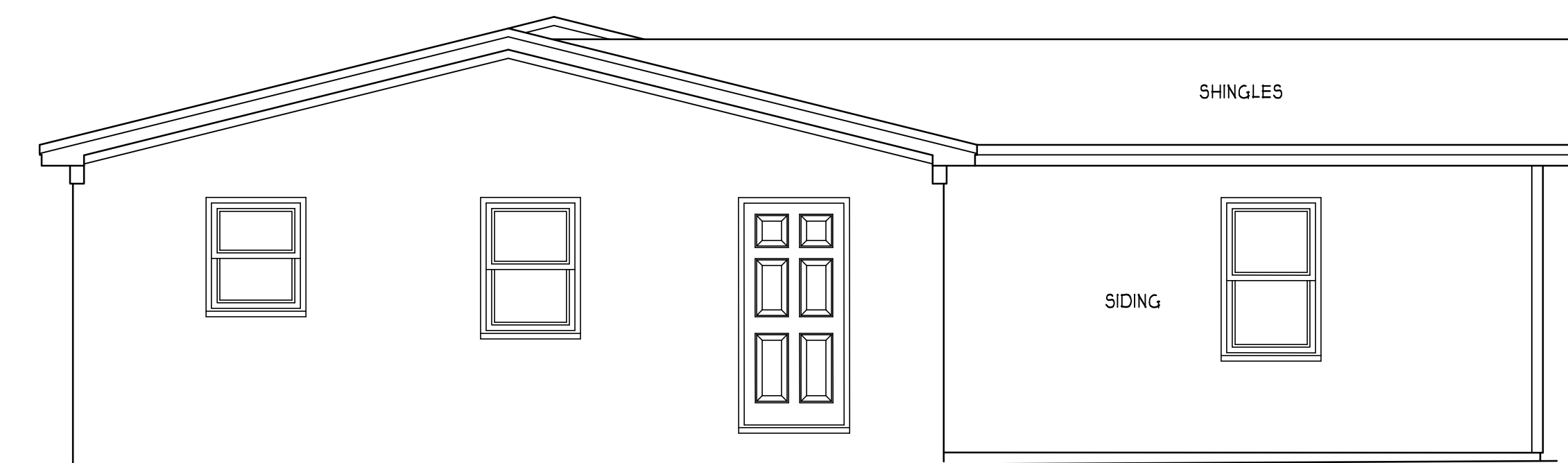
RIGHT ELEVATION
SCALE 1/8" = 1'-0"



*SECOND FLOOR
LIKE FIRST*

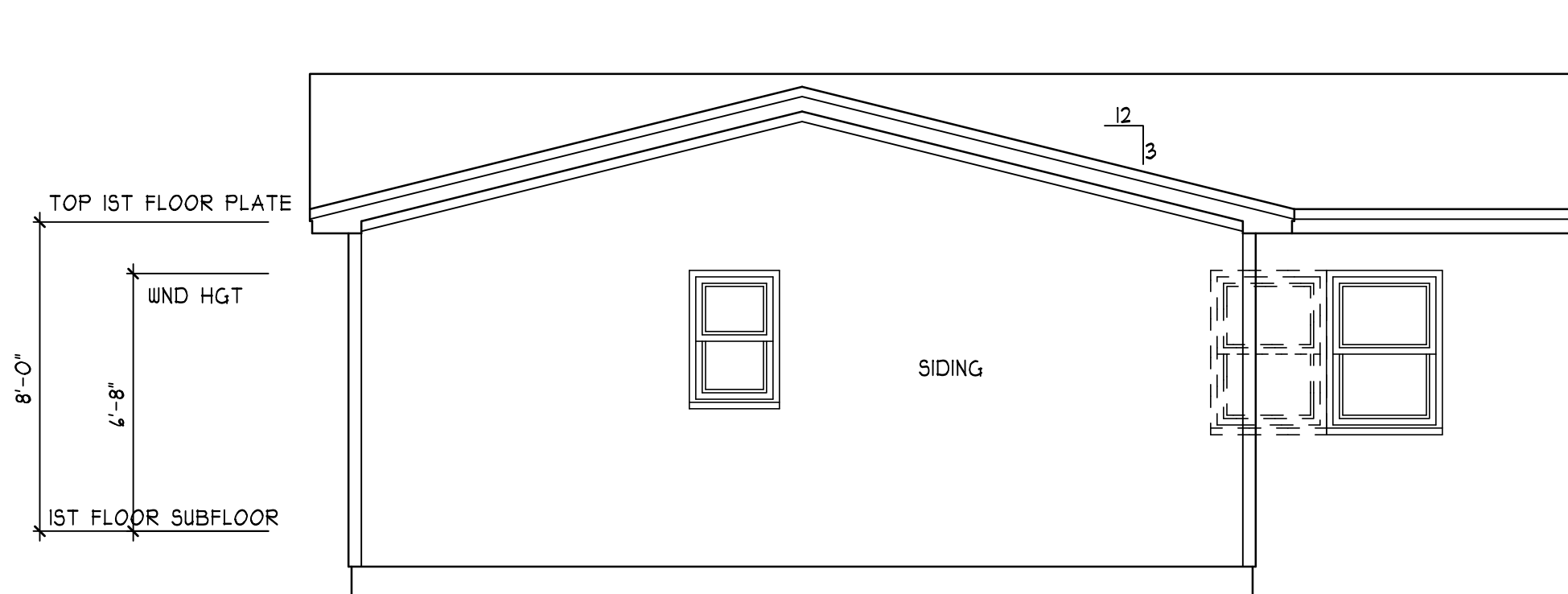
FIRST FLOOR PLAN
SCALE 1/4" = 1'-0"

ANY DEVIATION OF THIS PLAN, DIMENSIONS OR OTHERWISE, H SQUARED HOME DESIGN, INC. IS NOT LIABLE. <small>THIS PLAN HAS BEEN DRAWN IN ACCORDANCE WITH THE RESIDENTIAL BUILDING CODES AND ORDINANCES.</small>	
DATE: 07/13/15	FILE: 021215.2
2 STORY	
SQUARE FOOTAGE: FIRST FLOOR UNITS = 1176 SECOND FLOOR UNITS = 1176	HEATED FOOTAGE: #2352
HEATHER HALL 165 HEATHERSTONE CT BENSON NC 27504 (819) 207-1403	
425 C- D McCAULEY NEW APARTMENTS KEN GORFKLE	



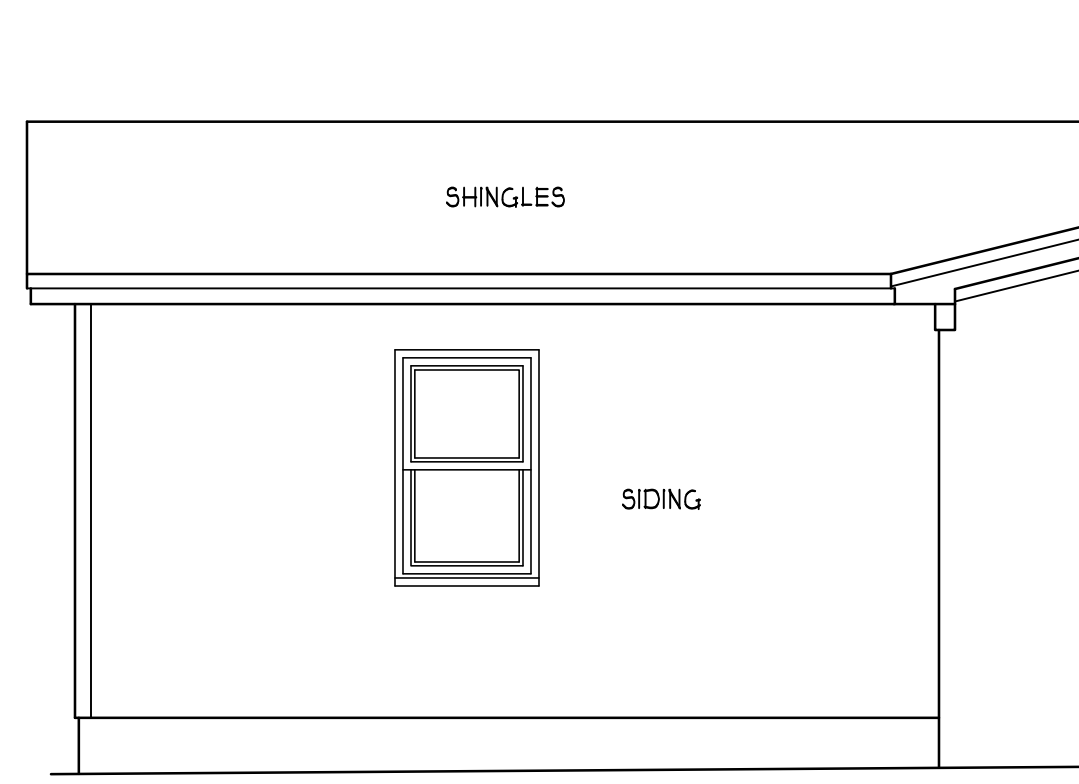
RIGHT ELEVATION

SCALE 1/4" = 1'-0"



REAR ELEVATION

SCALE 1/4" = 1'-0"



LEFT ELEVATION

SCALE 1/4" = 1'-0"

ATTIC VENTILATION:

THE NET FREE VENTILATING AREA SHALL BE NOT LESS THAN 1 TO 150 OF THE AREA OF THE SPACE VENTILATED EXCEPT THAT THE AREA MAY BE 1 TO 300 PROVIDED AT LEAST 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE EAVE OR CORNICE VENTS WITH THE BALANCE OF THE REQUIRED VENTILATION TO BE PROVIDED BY EAVE OR CORNICE VENTS.

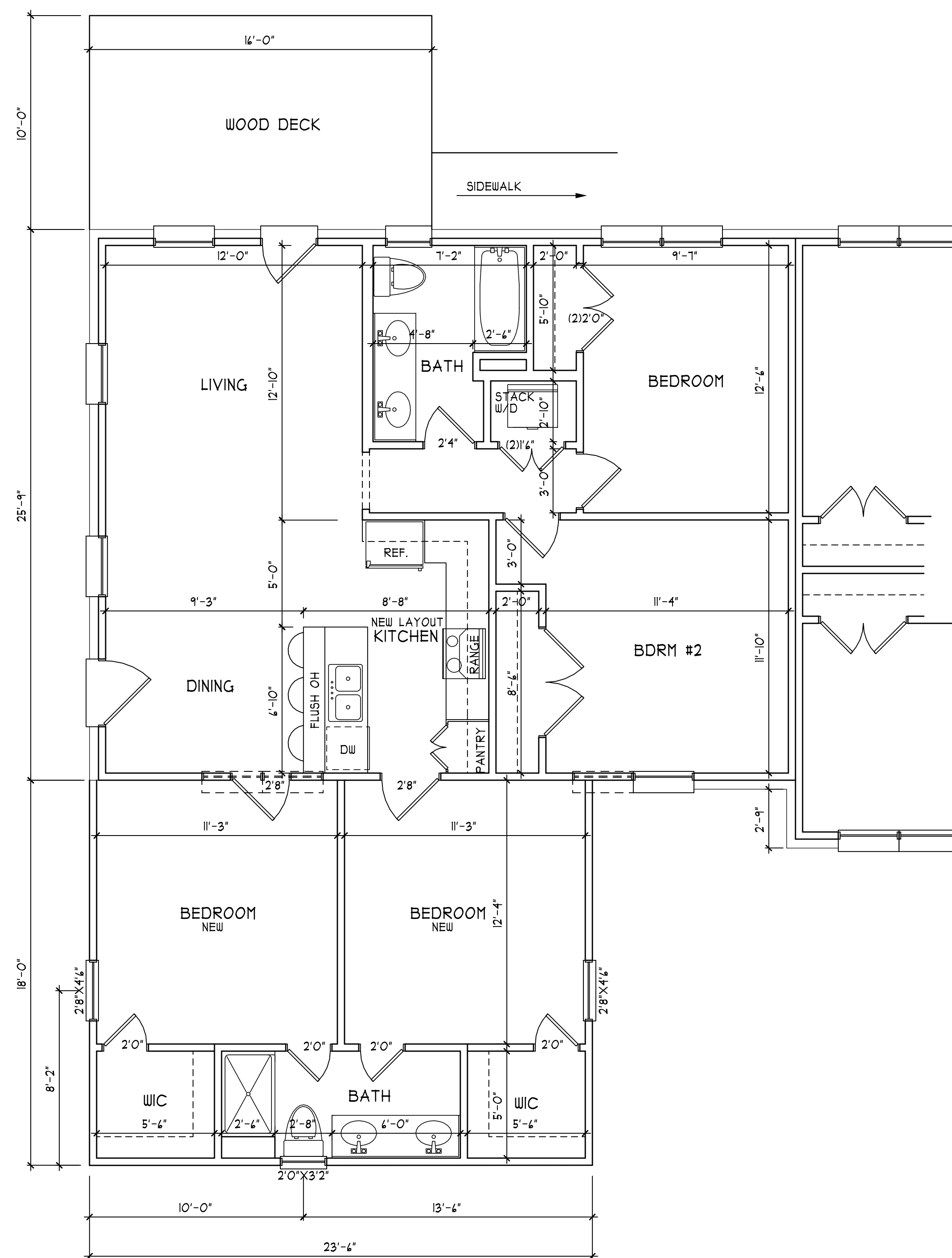
GROSS ATTIC AREA TO BE VENTILATED 423 SQ.FT.

423/150 = 2.82 SQ.FT. NET FREE AREA

ENERGY COMPLIANCE

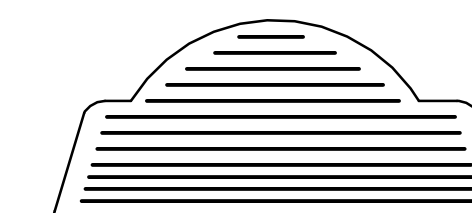
ZONE 3 = MAX. GLAZING U-FACTOR .35
R-VALUE = CEILING R20, WALLS R13,
FLOORS R19 FOR JOHNSTON, WAYNE COUNTY

ZONE 4 = MAX. GLAZING U-FACTOR .35
R-VALUE = CEILING R28, WALLS R15,
FLOORS R19 FOR WAKE, ORANGE COUNTY



PROPOSED ADDITION
FIRST FLOOR PLAN

SCALE 1/4" = 1'-0"



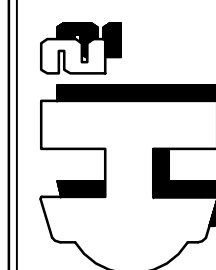
425A McCAULEY
KEN GORFKLE

HEATED FOOTAGE:
#2460

SQUARE FOOTAGE:
DBL APT = 863
TRIPLE APT = 1174
ADDITION = 423

HEATHER HALL
165 HEATHERSTONE CT
BENSON NC 27504
(919) 207-1403

H SQUARED
HOME
DESIGN, INC.

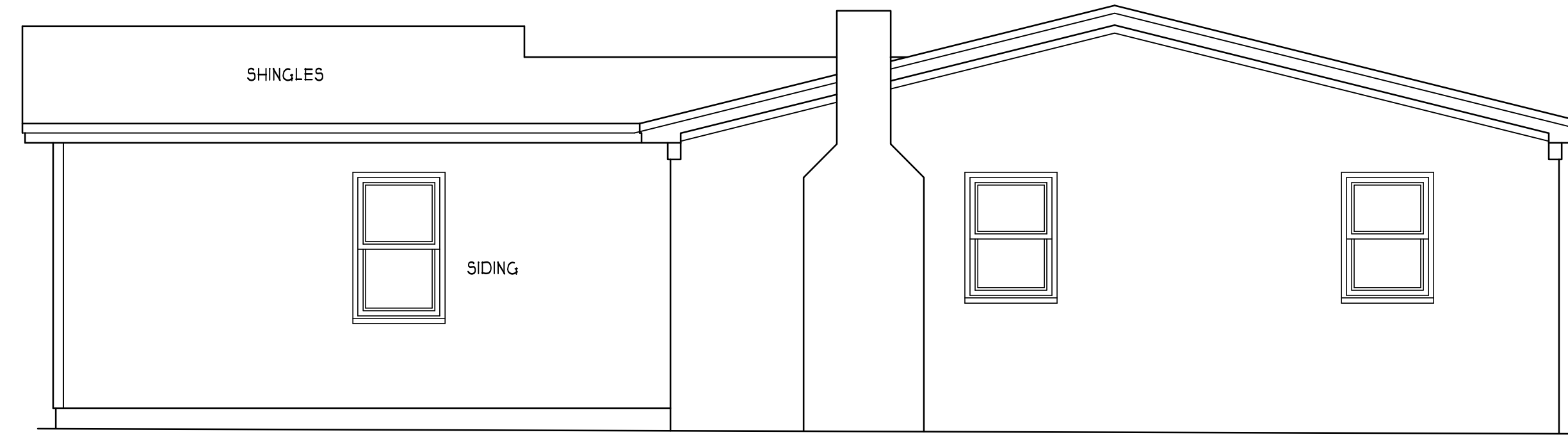


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THIS PLAN HAS BEEN DRAWN IN ACCORDANCE WITH THE NATIONAL BUILDING CODES 2003 EDITION.

DATE:
01/13/15

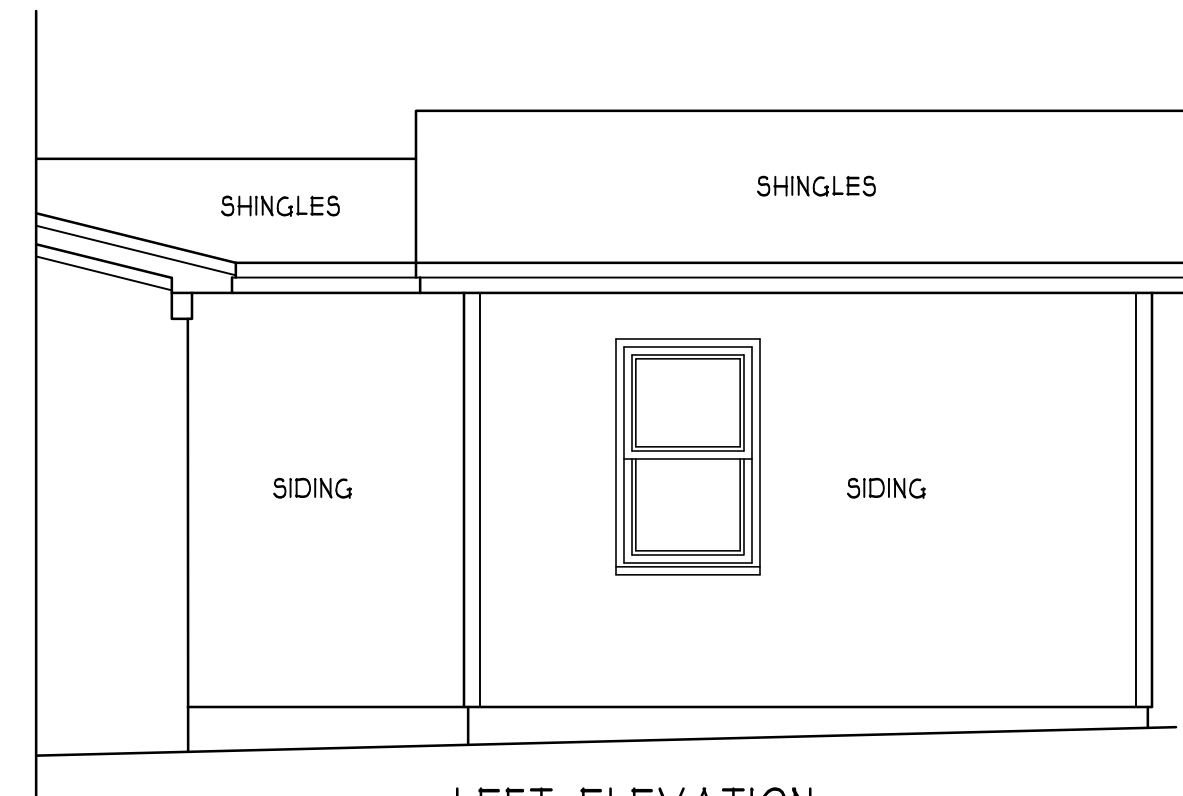
REMODEL

FILE:
010915



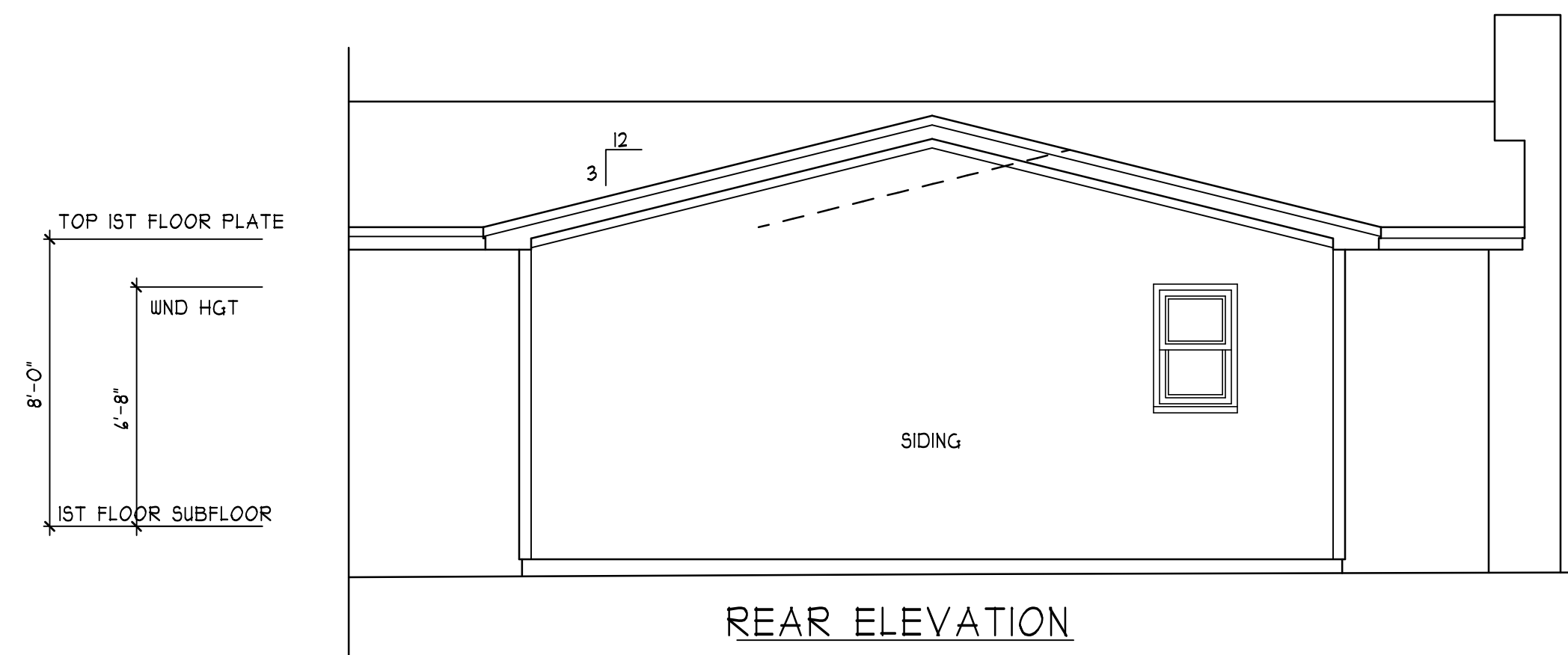
RIGHT ELEVATION

SCALE 1/4" = 1'-0"



LEFT ELEVATION

SCALE 1/4" = 1'-0"



REAR ELEVATION

SCALE 1/4" = 1'-0"

ATTIC VENTILATION:

THE NET FREE VENTILATING AREA SHALL BE NOT LESS THAN 1 TO 150 OF THE AREA OF THE SPACE VENTILATED EXCEPT THAT THE AREA MAY BE 1 TO 300, PROVIDED AT LEAST 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE EAVE OR CORNICE VENTS WITH THE BALANCE OF THE REQUIRED VENTILATION TO BE PROVIDED BY EAVE OR CORNICE VENTS.

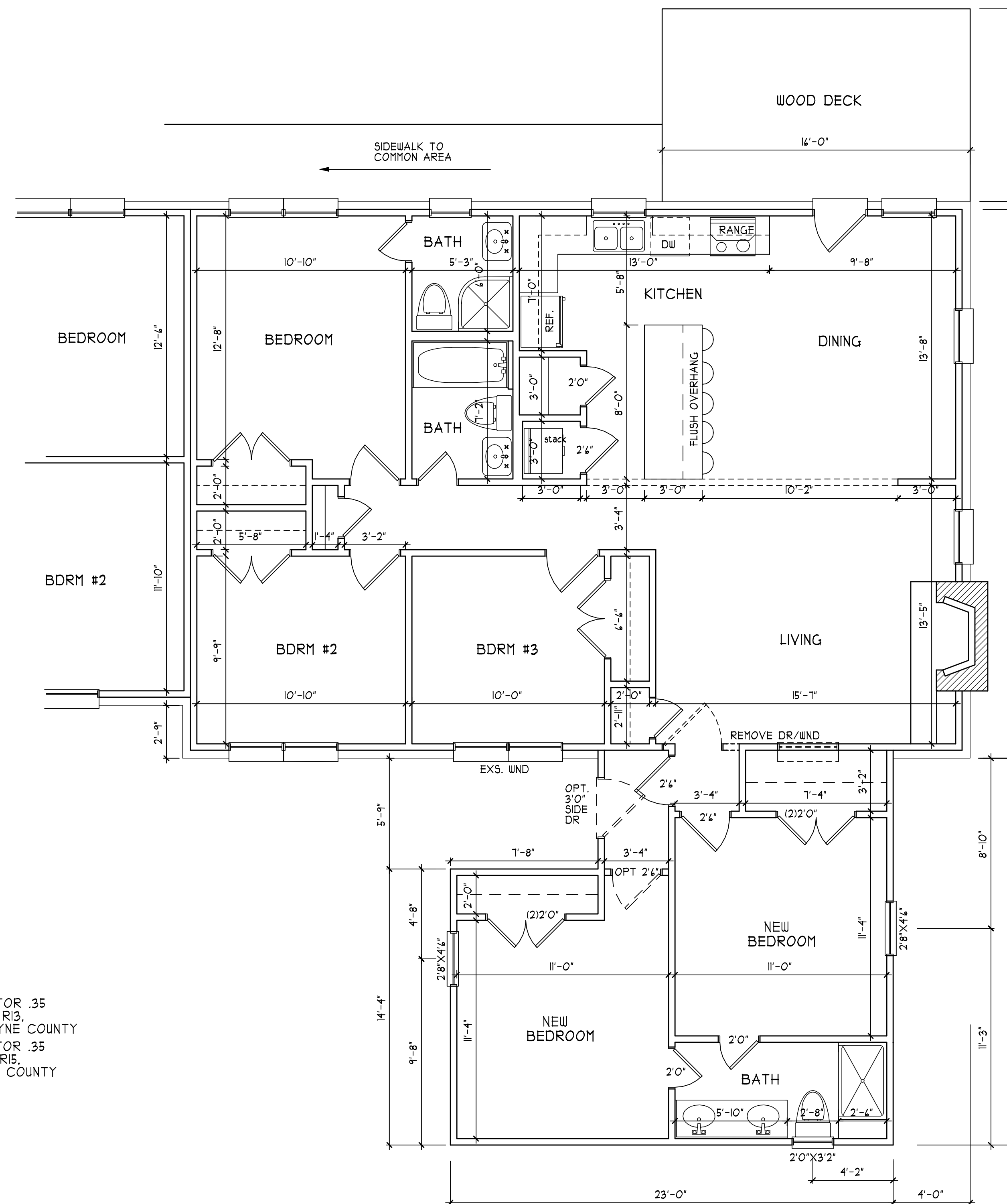
GROSS ATTIC AREA TO BE VENTILATED 424 SQ.FT.

424/150 = 2.82 SQ.FT. NET FREE AREA

NEW ADDITION ONLY

ENERGY COMPLIANCE

ZONE 3 = MAX. GLAZING U-FACTOR .35
 R-VALUE = CEILING R30, WALLS R13,
 FLOORS R19 FOR JOHNSTON, WAYNE COUNTY
 ZONE 4 = MAX. GLAZING U-FACTOR .35
 R-VALUE = CEILING R38, WALLS R13,
 FLOORS R19 FOR WAKE, ORANGE COUNTY



EXISTING & PROPOSED ADDITION
 FIRST FLOOR PLAN
 SCALE 1/4" = 1'-0"

	HILLTOP ST SIDE
	KEN GORFKLE
HEATED FOOTAGE:	#2884
SQUARE FOOTAGE:	DBL APT w/ NEW = 1286 TRIPLE APT = 1174 ADDITION = 424
HEATHER HALL 185 HEATHERSTONE CT BENSON NC 27504 (919) 207-1403	
H SQUARED HOME DESIGN, INC.	
ANY DEVIATION OF THIS PLAN, DIMENSIONS OR MATERIALS TO BE USED IN CONSTRUCTION OF THIS PROJECT SHALL BE IN ACCORDANCE WITH NORTH CAROLINA BUILDING CODES 2008 EDITION	
DATE:	04/30/15
REMODEL	
FILE:	010915