

R-1 (RESIDENTIAL)	REQUIRED	PROPOSED
MIN. LOT AREA	17,000 SF	172,960
MIN. LOT FRONTAGE	64 FT	>64 FT
MIN. LOT WIDTH	80 FT	>80 FT
MAX. BUILDING HEIGHT	29 FT (FRONT) 40 FT (SIDE/REAR)	<29 FT (FRONT) <40 FT (SIDE/REAR)
MAX. FLOOR AREA RATIO	SEE BELOW	SEE BELOW
MAX. LOT COVERAGE	0.7	28,303 SF (14.88% IMPERVIOUS)
BUILDING SETBACK		
MIN. FRONT STREET YARD SETBACK	28 FT	104 FT +/-
MIN. SIDE YARD SETBACK	14 FT	43 FT +/-
MIN. SIDE YARD SETBACK	17 FT	144 FT +/-
MIN. REAR YARD SETBACK	20 FT	20 FT / 30 FT
MIN. SIDE YARD SETBACK	20 FT	20 FT / A.T. BUFFER
MIN. REAR YARD SETBACK	20 FT	20 FT
VEHICLE PARKING	20 min / 25 max	44 (INCLUDE 8 DROP OFF SPACES)
BIKE PARKING	8	4*
TOTAL IMPERVIOUS AREA (OF GLA)	7,896 SF (4.15%)	29,702 SF (15.61%)
NONRED ZONE IMPERVIOUS AREA	7,630 SF (4.41%)	29,436 SF (15.47%)
ZONE 1 IMPERVIOUS AREA	0 SF (0.0%)	0 SF (0.0%)
ZONE 2 IMPERVIOUS AREA	0 SF (0.0%)	0 SF (0.0%)
ZONE 3 IMPERVIOUS AREA	266 SF (0.15%)	266 SF (0.15%)
TOTAL LAND DISTURBANCE AREA		50,632 SF (29.30%)
NONRED ZONE LAND DISTURBANCE AREA	N/A	50,140 SF (29.00%) ZONING
ZONE 1 LAND DISTURBANCE AREA	N/A	0 SF (0.0%)
ZONE 2 LAND DISTURBANCE AREA	N/A	0 SF (0.0%)
ZONE 3 LAND DISTURBANCE AREA	N/A	492 SF (0.28%)
SLOPE CATEGORY	DELINEATED AREAS	DISTURBED AREAS
0% TO 14.99%	31,297 SF (18.09%)	±18,470 SF (10.67%)
15% TO 24.99%	50,356 SF (29.11%)	±29,690 SF (17.17%)
25% & GREATER	91,307 SF (52.79%)	±2,472 SF (1.43%)
FLOOR AREA CALCULATIONS		
GROSS LAND AREA (GLA)	172,960 sf x 1.10 = 190,256 sf	
NONRED ZONE	87,212 sf (90.47%)	(87,212 x 0.07) = 6,628 sf
ZONE 1	24,311 sf (14.06%)	(24,311 x 0.01) = 243 sf
ZONE 2	31,149 sf (18.01%)	(31,149 x 0.019) = 592 sf
ZONE 3	30,288 sf (17.51%)	(30,288 x 0.07) = 2,302 sf
EFFECTIVE FLOOR AREA RATIO (EFAR)		(9,765 sf / 172,960 sf) = 0.0564
ALLOWABLE FLOOR AREA MAXIMUM (GLA x EFAR)		(190,256 sf x 0.0564) = 10,730 sf
PROPOSED FLOOR AREA		9,000 sf
TREE CANOPY AREAS TO REMAIN	69,184 SF (40.00%)	113,275 SF (65.49%)

*AS APPROVED BY PLANNING COMMISSION

CHAPEL HILL COOPERATIVE PRESCHOOL SPECIAL USE PERMIT APPLICATION

PIN: 9787-29-6199; 9787-29-7266; 9787-29-9047; 9787-39-0045

108 MT. CARMEL CHURCH ROAD

2017-12-18

PREPARED FOR:

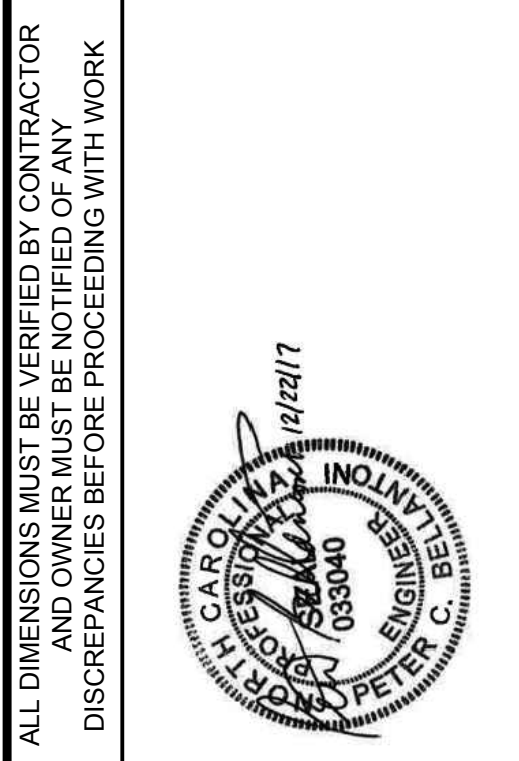
CHAPEL HILL COOPERATIVE PRESCHOOL

106 PUREFOY ROAD

CHAPEL HILL, NC, 27514

(919) 942-3955

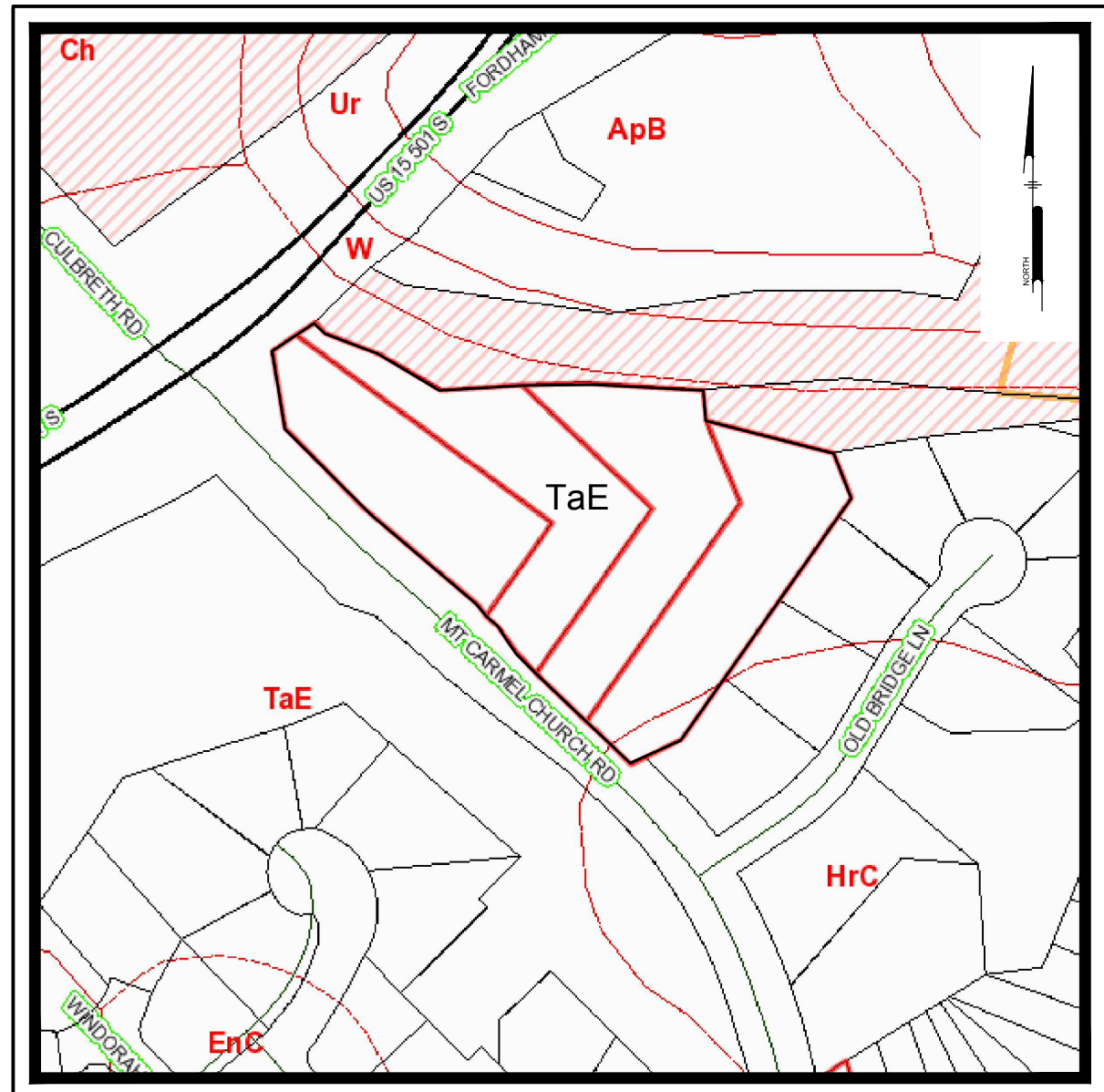
SHEET LIST TABLE				
SHEET	PAGE	DESCRIPTION	DATE SUBMITTED	DATE REVISED
CS0001	1	COVER SHEET	12/18/2017	
CS0002	2	GENERAL NOTES AND LEGEND	12/18/2017	
CS0201	3	EXISTING CONDITIONS	12/18/2017	
CS0202	4	SLOPE ANALYSIS MAP	12/18/2017	
CS0501	5	DEMOLITION PLAN	12/18/2017	
CS1001	6	SITE PLAN	12/18/2017	
CS1501	7	GRADING & DRAINAGE PLAN	12/18/2017	
CS1701	8	UTILITY PLAN	12/18/2017	
CS2001	9	LANDSCAPE & LIGHTING PLAN	12/18/2017	
CS6001	10	SITE DETAILS	12/18/2017	
CS6002	11	SITE DETAILS	12/18/2017	
CS8001	12	EROSION CONTROL PLAN	12/18/2017	
CS8002	13	CONSTRUCTION MANAGEMENT PLAN	12/18/2017	
CS8501	14	EROSION & SEDIMENT CONTROL DETAILS	12/18/2017	
A2.01		3D EXTERIOR VIEWS	12/18/2017	
A2.02		3D EXTERIOR VIEWS	12/18/2017	



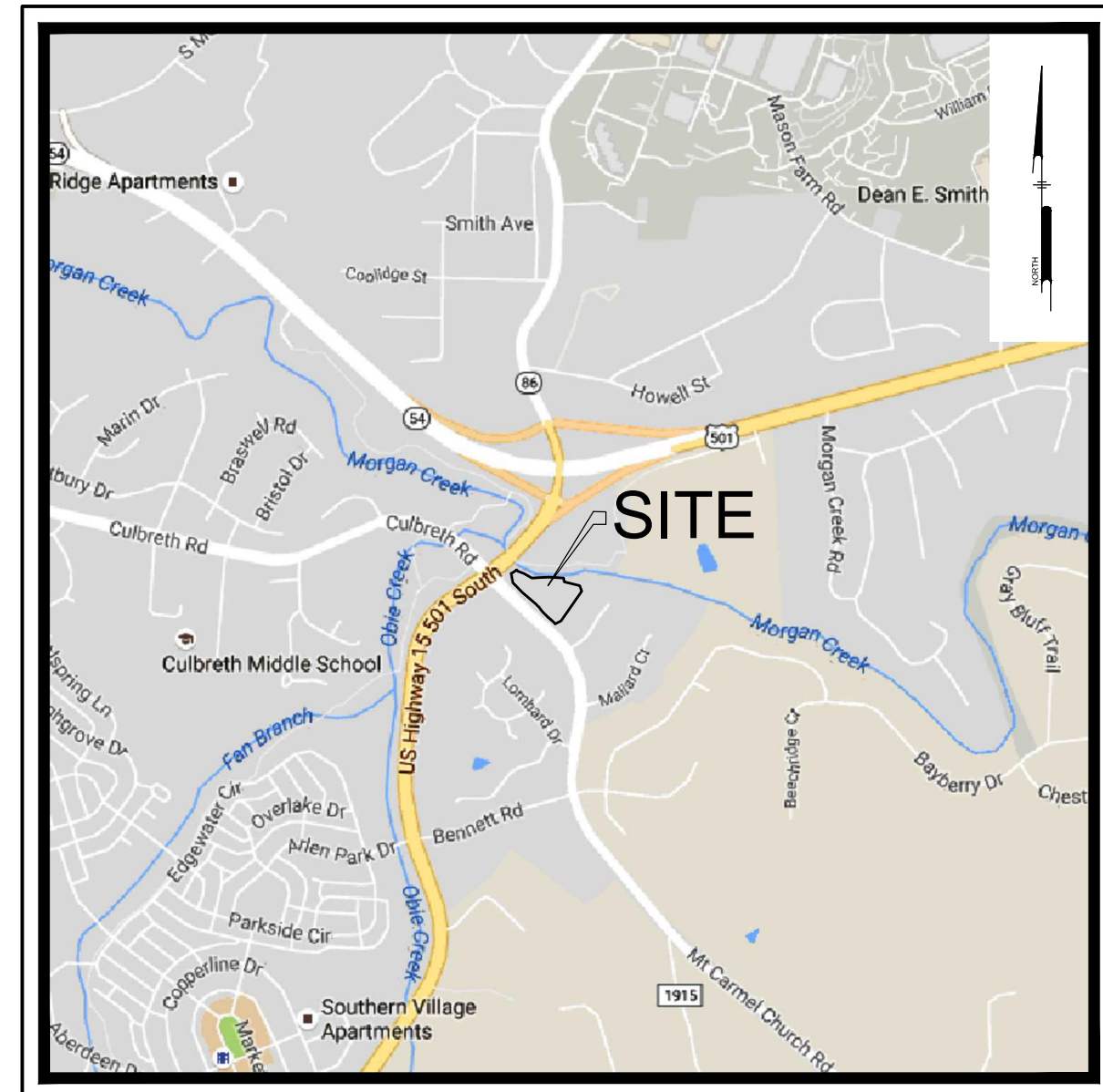
CHAPEL HILL COOPERATIVE PRESCHOOL
108 MT. CARMEL CHURCH ROAD
CHAPEL HILL, NC 27514
COVER SHEET
CHAPEL HILL COOPERATIVE PRESCHOOL
106 PUREFOY ROAD
CHAPEL HILL, NC, 27514

NO.	DATE	REVISIONS	BY

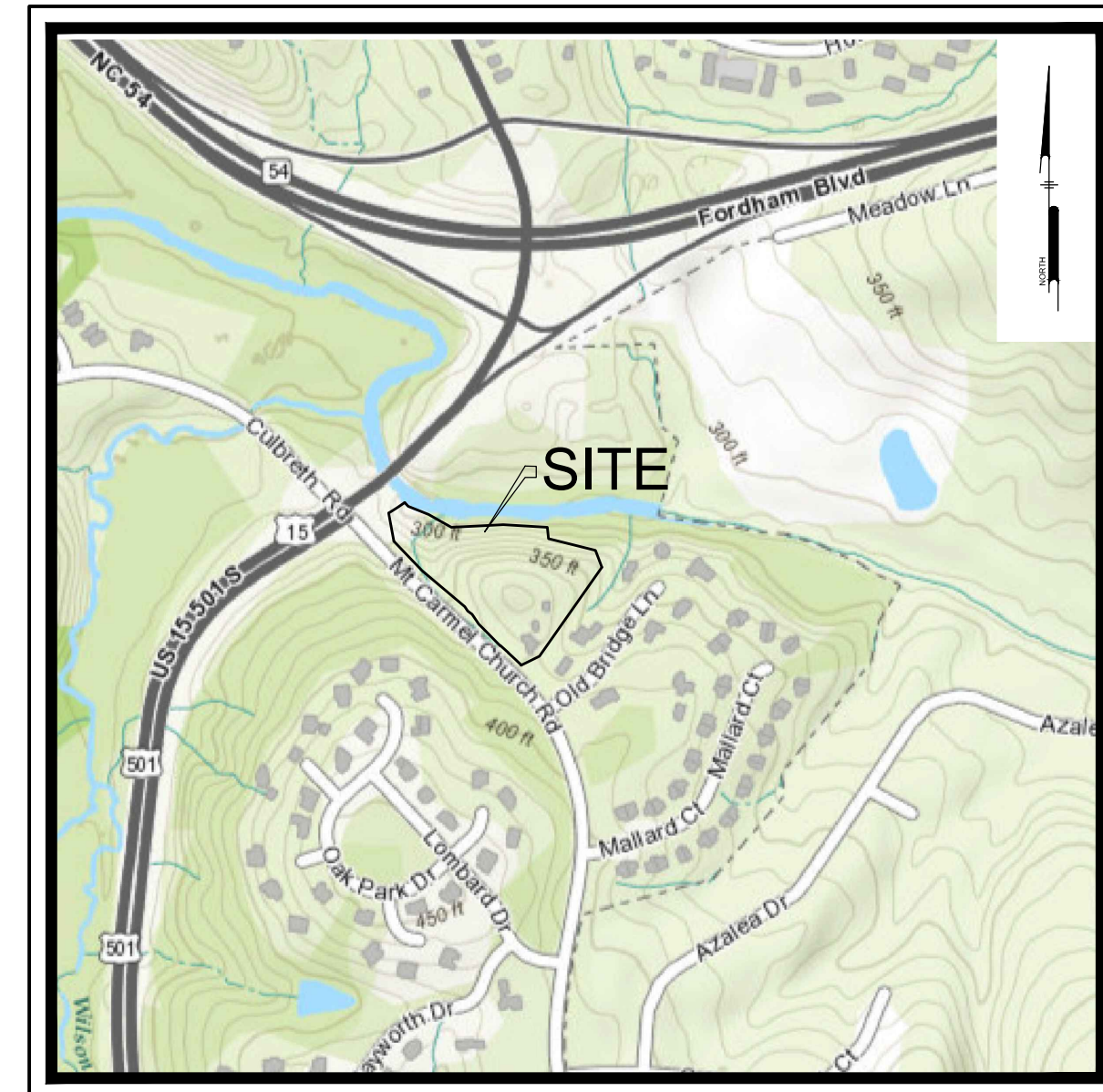
PROJECT	CHCP1601
DATE	2017-12-18
DRAWING SCALE	----
DRAWN BY	DC
APPROVED BY	PCB
CS0001	
SHEET	1 OF 14



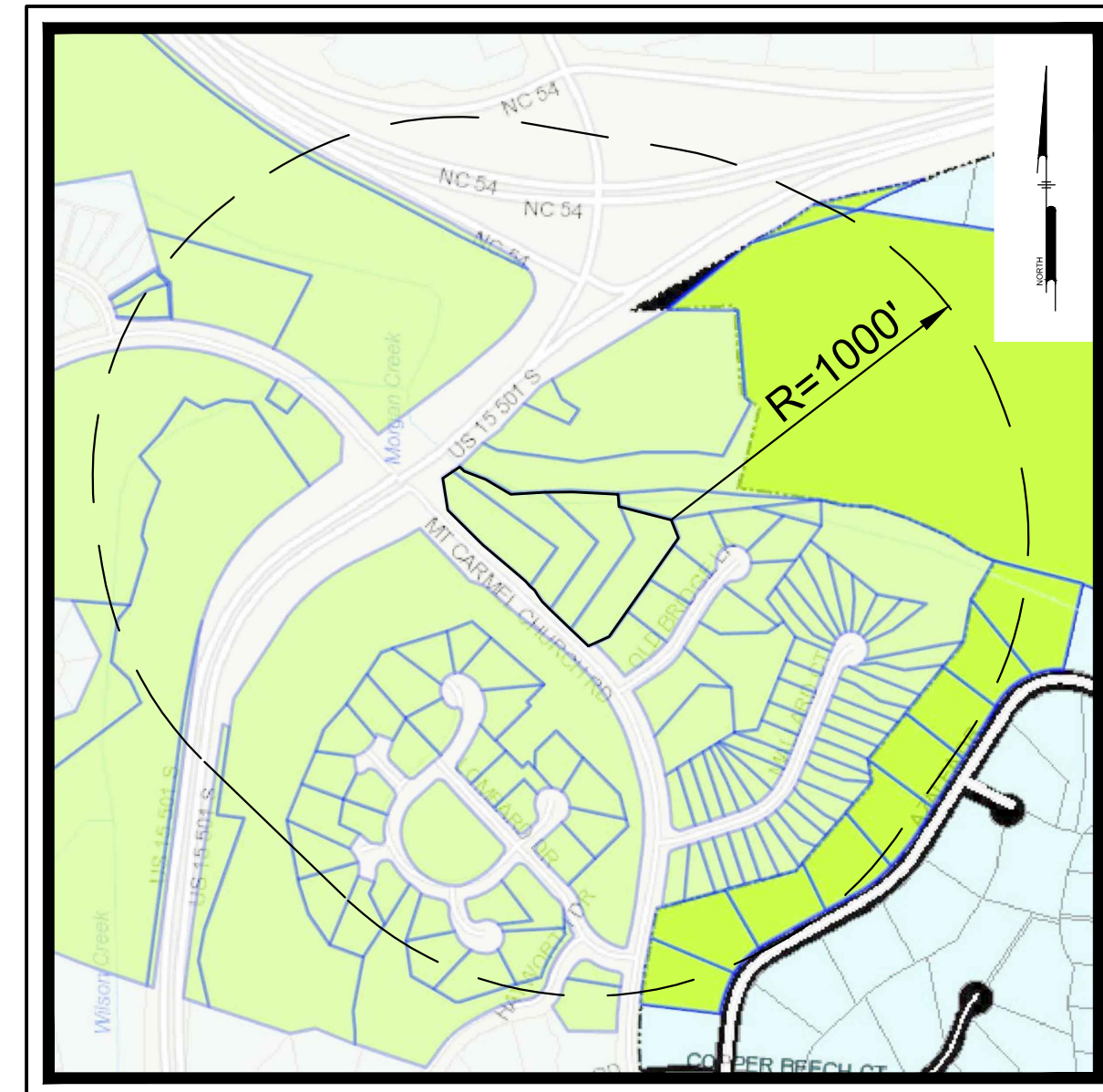
SOILS MAP
Scale: 1" = 250'



LOCATION MAP
Scale: 1" = 1000'



USGS MAP
Scale: 1" = 500'



AREA MAP
Scale: 1" = 500'

PREPARED BY:
PENNONI ASSOCIATES INC.



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Chapel Hill, NC 27514
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Firm License
F-1267



**PRELIMINARY
NOT FOR CONSTRUCTION**

P:\Projects\CHCP\CHCP1601\16-Cover Sheet\Final\DESIGN_PUBLIC\CS0001.dwg PLOTTED: 12/20/2017 9:37 AM BY: David Chilly PROJECT STATUS: SPECIAL USE PERMIT APPLICATION

LEGEND		
EXISTING	PROPOSED	DESCRIPTION
		CABLE TV, JUNCTION BOX
		CABLE TV, MANHOLE
		CABLE TV, OVERHEAD
		CABLE TV, PANEL BOX
		CABLE TV, PEDESTAL
		CABLE TV, STUB OUT
		CABLE TV, UNDERGROUND
		CABLE TV, WITNESS POST
		CHANNEL
		COMMUNICATION, HANDHOLE
		COMMUNICATION, JUNCTION BOX
		COMMUNICATION, MANHOLE
		COMMUNICATION, OVERHEAD
		COMMUNICATION, PANEL BOX
		COMMUNICATION, PEDESTAL
		COMMUNICATION, STUB OUT
		COMMUNICATION, UNDERGROUND
		COMMUNICATION, WITNESS POST
		CONTROL, BENCHMARK
		CONTROL, GPS
		CONTROL, MAPPING
		CONTROL, REFERENCE
		CONTROL, TRAVERSE
		CURB
		CURB DEPRESSION
		EDGE OF PAVEMENT
		EDGE OF GRAVEL
		EASEMENT
		FENCE
		FIBER OPTIC, HANDHOLE
		FIBER OPTIC, JUNCTION BOX
		FIBER OPTIC, MANHOLE
		FIBER OPTIC, OVERHEAD
		FIBER OPTIC, PANEL BOX
		FIBER OPTIC, PEDESTAL
		FIBER OPTIC, STUB OUT
		FIBER OPTIC, UNDERGROUND
		FIBER OPTIC, WITNESS POST
		FLOODPLAIN
		FUEL, MANHOLE
		FUEL, OVERHEAD
		FUEL, PLUG
		FUEL, PUMP
		FUEL, UNDERGROUND
		GUIDE RAIL
		LIMITS OF DISTURBANCE
		MARKING, HANDICAP PARKING
		NATURAL GAS, METER
		NATURAL GAS, MANHOLE
		NATURAL GAS, OVERHEAD
		NATURAL GAS, STUB OUT
		NATURAL GAS, UNDERGROUND
		NATURAL GAS, WITNESS POST
		PHONE, HANDHOLE
		PHONE, JUNCTION BOX
		PHONE, MANHOLE
		PHONE, OVERHEAD
		PHONE, PEDESTAL
		PHONE, PANEL BOX
		PHONE, STUB OUT
		PHONE, UNDERGROUND
		PHONE, WITNESS POST
		POWER, GUY POLE
		POWER, GUY WIRE
		POWER, HANDHOLE
		POWER, JUNCTION BOX
		POWER, SINGLE HEAD LIGHT
		POWER, DOUBLE HEAD LIGHT
		POWER, THREE HEAD LIGHT
		POWER, FOUR HEAD LIGHT
		POWER, LIGHT
		POWER, SPOT LIGHT
		POWER, LIGHT POLE SINGLE
		POWER, LIGHT POLE DOUBLE
		POWER, MANHOLE
		POWER, OVERHEAD
		POWER, METER
		POWER, PANEL BOX
		POWER, PEDESTAL
		POWER, STUB OUT
		POWER, TRANSFORMER
		POWER, UNDERGROUND
		POWER, UTILITY POLE
		POWER, WITNESS POST
		POWER, YARD LIGHT
		PROPERTY, LINE
		LEGAL RIGHT-OF-WAY
		PROPERTY, CORNER FOUND
		PROPERTY, CORNER FOUND (OTHERS)
		PROPERTY, CONCRETE MONUMENT
		PROPERTY, ADJOINING LINED
		PROPERTY, LINE RESERVED
		RAIL, MILE MARKER
		RAIL, PANEL BOX
		RAIL, TRACK
		SITE, AIR COMPRESSOR
		SITE, AIR CONDITIONER
		SITE, BOLLARD
		SITE, BORING LOCATION
		BUILDING
		SITE, FLAG POLE
		SITE, HEAD STONE
		SITE, MAIL BOX
		SITE, MONITOR WELL
		SITE, PARKING METER
		SITE, POST
		SITE, SIGN POST AND BOARD
		SITE, TRAFFIC SIGN
		SOIL BOUNDARY
		SOIL LABEL

GENERAL NOTES:

- 1. APPLICANT: CHAPEL HILL COOPERATIVE PRESCHOOL. RESPONSIBLE OFFICER: MARA DICKINSON. 106 PUREFOY ROAD CHAPEL HILL, NORTH CAROLINA 27514.
- 2. EXISTING TOPOGRAPHIC FEATURES WERE TAKEN FROM A TOPOGRAPHIC SURVEY PLAN PROVIDED BY PHILIP POST & ASSOC. DATED: 6/14/2016.
- 3. UTILITY NOTES:
 - A. COMPLETENESS OR ACCURACY OF LOCATION AND DEPTH OF UNDERGROUND UTILITIES AND STRUCTURES IS NOT GUARANTEED.
 - B. LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND SHALL BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO START OF WORK AND TAKE WHATEVER STEPS NECESSARY TO PROVIDE FOR THEIR PROTECTION. THE ENGINEER HAS DILIGENTLY ATTEMPTED TO LOCATE AND INDICATE ALL EXISTING FACILITIES ON THESE PLANS; HOWEVER, THIS INFORMATION IS SHOWN FOR THE CONTRACTOR'S CONVENIENCE ONLY. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS OF UTILITIES SHOWN OR NOT SHOWN. COMPLETENESS OR ACCURACY OF LOCATION AND DEPTH OF UNDERGROUND UTILITIES AND STRUCTURES IS NOT GUARANTEED.
 - C. ALL UTILITIES AND SERVICES INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC, ETC. WITHIN THE LIMITS OF DISTURBANCE SHALL BE VERTICALLY AND HORIZONTALLY LOCATED. THE CONTRACTOR SHALL USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING UTILITIES DURING CONSTRUCTION AT NO COST TO THE OWNER.
- 4. AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR ORANGE COUNTY, NC, MAP #437087ED (PART OF 977J), EFFECTIVE DATE 04/01/06, THE SITE AREA PROPOSED TO BE DEVELOPED LIES WITHIN "ZONE X" DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 100 YEAR FLOOD PLAIN.
- 5. FIRE WATCH: DURING CONSTRUCTION AND DEMOLITION WHERE HOT WORK, MATERIALS SUBJECT TO SPONTANEOUS COMBUSTION, OR OTHER HAZARDOUS CONSTRUCTION OR DEMOLITION IS OCCURRING, THE OWNER OR THEIR DESIGNEE SHALL BE RESPONSIBLE FOR MAINTAINING A FIRE WATCH. THE FIRE WATCH SHALL CONSIST OF AT LEAST ONE PERSON WITH A MEANS OF COMMUNICATING AN ALARM TO 911. SHALL A WRITTEN ADDRESS POSTED IN A CONSPICUOUS LOCATION AND SHALL MAINTAIN CONSTANT PATROLS. NC FFC 2012 SECTION 1404.
- 6. CONSTRUCTION / DEMOLITION: ALL CONSTRUCTION AND DEMOLITION CONDUCTED SHALL BE IN COMPLIANCE OF THE CURRENT EDITION OF CHAPTER 14 OF THE NC FFC.
- 7. PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY APPLICANT SHALL REPLACE ANY TREES SHOWN AS PRESERVED/PROTECTED ON THE LANDSCAPE PROTECTION PLAN THAT HAVE DIED OR ARE IN POOR HEALTH AS A RESULT OF LAND DISTURBING ACTIVITIES.
- 8. PRIOR TO ISSUANCE OF A ZONING COMPLIANCE PERMIT APPLICANT SHALL RECORD A RECOMBINATION PLAN FOR THE FOUR PROPERTIES WITH THE ORANGE COUNTY REGISTRY, AN EXEMPT PLAN APPLICATION TO BE REVIEWED AND APPROVED BY THE TOWN IS REQUIRED FOR THIS ACTION.
- 9. SITE LAND DISTURBANCE CALCULATIONS:
 - A. OVERALL LAND DISTURBANCE SITE LAND DISTURBANCE: 50,832 SQ.FT.
 - ii. OFF-SITE LAND DISTURBANCE: 2,228 SQ.FT.
 - iii. TOTAL LAND DISTURBANCE (LOD): 52,860 SQ.FT.

LEGEND		
EXISTING	PROPOSED	DESCRIPTION
		SANITARY SEWER, CLEAN-OUT
		SANITARY SEWER, FORCE MAIN
		SANITARY SEWER, FORCE MAIN MANHOLE
		SANITARY SEWER, FORCE STUB OUT
		SANITARY SEWER, LATERAL
		SANITARY SEWER, MANHOLE
		SANITARY SEWER, UNDERGROUND (4" DIA TO 10" DIA)
		SANITARY SEWER, SEPTIC TANK
		SANITARY SEWER, STUB OUT
		SANITARY SEWER, VALVE
		SANITARY SEWER, WITNESS POST
		STREAM
		STORM SEWER, INLET
		STORM SEWER HEADWALL
		STORM SEWER, MANHOLE
		STORM SEWER, UNDERGROUND
		STORM SEWER, DOWNSPOUT LOCATION
		STORM SEWER, ROOF DRAIN LINE
		STORM SEWER, STAND PIPE
		STORM SEWER, CLEAN-OUT
		STORM SEWER, WITNESS POST
		MINOR CONTOUR
	MAJOR CONTOUR	
		SPOT ELEVATION
		TO BE REMOVED
		TRAFFIC, PAVEMENT MARKING, BIKE LANE
		TRAFFIC, PAVEMENT MARKING, TURN ARROWS

		STORM SEWER, INLET
		STORM SEWER HEADWALL
		STORM SEWER, MANHOLE
		STORM SEWER, UNDERGROUND
		STORM SEWER, DOWNSPOUT LOCATION
		STORM SEWER, ROOF DRAIN LINE
		STORM SEWER, STAND PIPE
		STORM SEWER, CLEAN-OUT
		STORM SEWER, WITNESS POST
		MINOR CONTOUR
		MAJOR CONTOUR
		SPOT ELEVATION
		TO BE REMOVED
		TRAFFIC, PAVEMENT MARKING, BIKE LANE
		TRAFFIC, PAVEMENT MARKING, TURN ARROWS
		TRAFFIC, PAVEMENT MARKING, HOV LANE
		TRAFFIC, HAND HOLE
		TRAFFIC, JUNCTION BOX
		TRAFFIC, MANHOLE
		TRAFFIC, PANEL BOX
		TRAFFIC, PEDESTAL
		TRAFFIC, PEDESTRIAN SIGNAL
		TRAFFIC, SIGNAL POLE
		TRAFFIC, SIGNAL POLE & LIGHT ARM
		TRAFFIC, STUB OUT
		VEGETATION, SHRUB
		VEGETATION, GRASS LINE / LANDSCAPED AREA
		VEGETATION, DECIDUOUS SHOWING CANOPY
		VEGETATION, CONIFEROUS SHOWING CANOPY
		VEGETATION, TREE LINE
		WATER, HOSE BIB
		WATER, FIRE HYDRANT
		WATER, IRRIGATION HEAD
		WATER, IRRIGATION VALVE BOX
		WATER, MANHOLE
		WATER, METER
		WATER, POST INDICATOR VALVE
		WATER, SIAMESE CONNECTION
		WATER, STUB OUT
		WATER, UNDERGROUND
		WATER, UNDERGROUND FIRE
		WATER, VALVE
		WATER, WITNESS POST

GENERAL CONSTRUCTION AND GRADING NOTES:

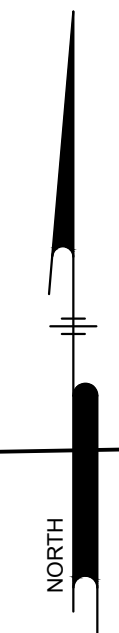
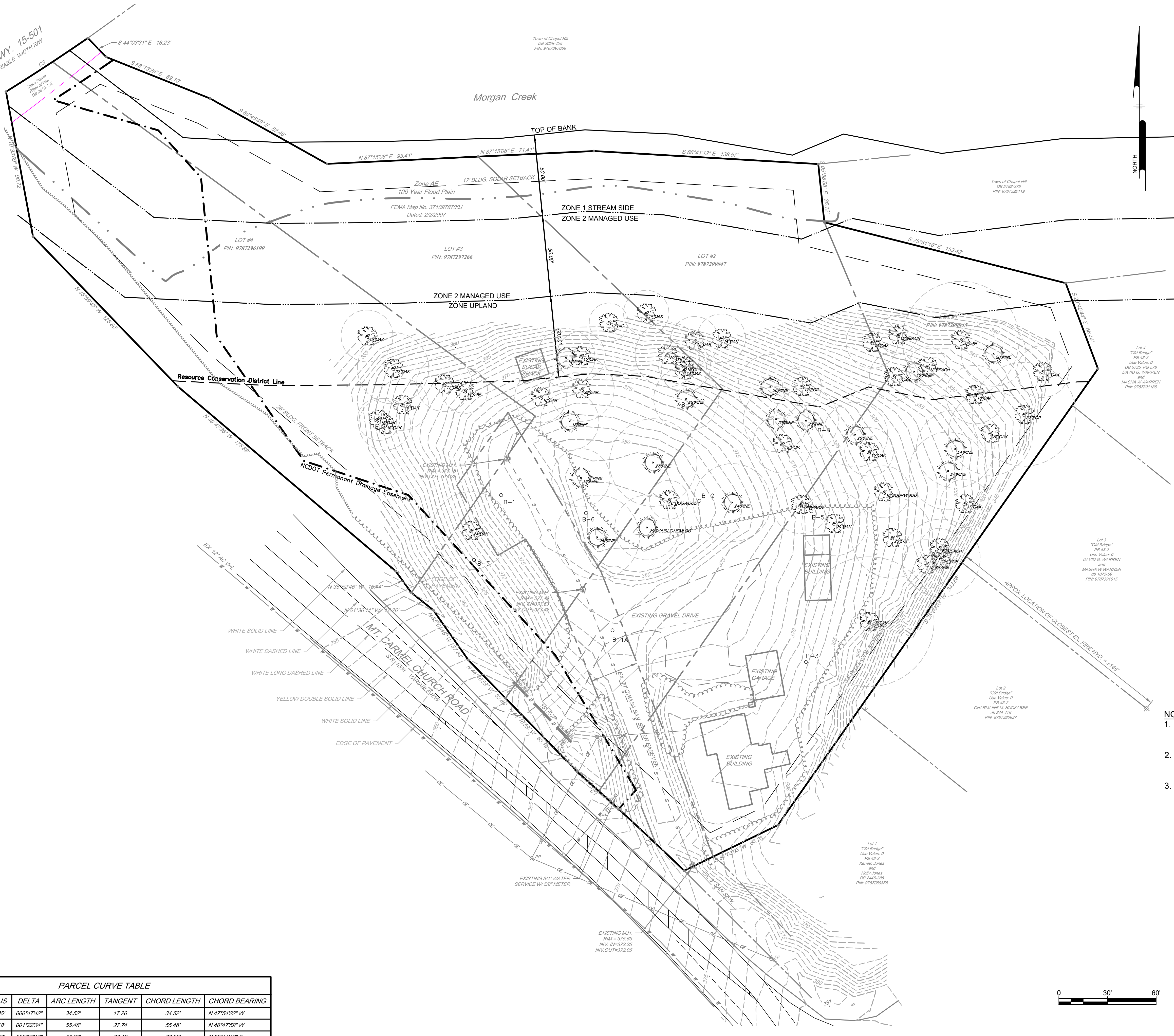
- 1. ALL WORK SHALL COMPLY WITH APPLICABLE STATE, FEDERAL AND LOCAL CODES AND OSHA STANDARDS. ALL NECESSARY LICENSES AND PERMITS SHALL BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE UNLESS PREVIOUSLY OBTAINED BY THE OWNER/DEVELOPER.
- 2. THE CONTRACTOR SHALL BE REQUIRED TO REVIEW AND ABIDE BY SPECIFICATIONS OF THE PLAN AND ALL SUPPORTING DOCUMENTS, PERMITS, AND REPORTS FOR THIS SITE, INCLUDING BUT NOT LIMITED TO:
 - EROSION AND SEDIMENTATION CONTROL PLAN
 - STORMWATER MANAGEMENT PLAN.
- 3. THE CONTRACTOR SHALL IMMEDIATELY INFORM THE ENGINEER OF ANY DISCREPANCIES OR ERROR THEY DISCOVER IN THE PLANS.
- 4. DEVIATION FROM THESE PLANS AND NOTES WITHOUT THE PRIOR CONSENT OF THE OWNER OR HIS REPRESENTATIVE OR THE ENGINEER MAY BE CAUSE OF THE WORK TO BE UNACCEPTABLE.
- 5. UTILITY COORDINATION SHALL BE INCLUDED IN THE PROJECT SCHEDULE AND IT IS THE EXPLICIT RESPONSIBILITY OF THE CONTRACTOR TO ASSURE THAT THE PROJECT SCHEDULE INCLUDES THE NECESSARY RELOCATIONS. THE CONTRACTOR WILL NOT BE PAID ADDITIONALLY FOR THIS COORDINATION. THE CONTRACTOR SHOULD SEEK ASSISTANCE FROM ALL UTILITY COMPANIES TO LOCATE AND PROTECT THEIR FACILITIES. IF CONFLICTS ARE FOUND, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND DESIGN ENGINEER FOR INSTRUCTION BEFORE PROCEEDING WITH WORK.
- 6. ALL MATERIALS SHALL BE NEW UNLESS USED OR SALVAGED MATERIALS ARE AUTHORIZED BY THE OWNER AND APPLICANT.
- 7. TRAFFIC CONTROL METHODS, SUCH AS BARRICADES, SUFFICIENT LIGHTS, SIGNS, ETC., MAY BE NECESSARY FOR THE PROTECTION AND SAFETY OF THE PUBLIC SHALL BE PROVIDED AND MAINTAINED THROUGHOUT THE CONSTRUCTION IN ACCORDANCE WITH CURRENT AND NCDDT STANDARDS.
- 8. CONTRACTOR SHALL FURNISH AND MAINTAIN ALL NECESSARY BARRICADES, FENCING AND OTHER APPROPRIATE SAFETY ITEMS/MEASURES NECESSARY TO PROTECT THE PUBLIC FROM THE WORK AREA CONSTRUCTION ACTIVITIES.
- 9. HIGH INTENSITY LIGHTING FACILITIES SHALL BE SO ARRANGED THAT THE SOURCE OF ANY LIGHT IS CONCEALED FROM PUBLIC VIEW AND FROM ADJACENT RESIDENTIAL PROPERTY AND DOES NOT INTERFERE WITH TRAFFIC.
- 10. THE CONTRACTOR SHALL MAINTAIN ACCESS FOR EMERGENCY VEHICLES AROUND AND TO ALL BUILDINGS NEAR CONSTRUCTION. IN TIME OF RAIN OR MUD, ROADS SHALL BE ABLE TO CARRY A FIRE TRUCK BY BEING PAVED OR HAVING A CRUSHED STONE BASE, ETC., WITH A MINIMUM WIDTH OF 20 FEET. ACCESS TO BUILDINGS THAT HAVE SPRINKLER OR STANDPIPE SYSTEMS SHALL BE WITHIN 40 FEET OF THE FIRE DEPARTMENT CONNECTOR. (NFPA 1141 3-1)
- 11. BEDDING REQUIREMENTS SPECIFIED HEREIN ARE TO BE CONSIDERED AS MINIMUMS FOR RELATIVELY DRY, STABLE EARTH CONDITIONS. ADDITIONALLY BEDDING SHALL BE REQUIRED FOR ROCK TRENCHES AND WET AREAS. CONTRACTOR SHALL HAVE THE RESPONSIBILITY TO PROVIDE SUCH ADDITIONAL BEDDING AS MAY BE REQUIRED TO PROPERLY CONSTRUCT THE WORK.
- 12. BACKFILL OF ALL TRENCHES SHALL BE COMPACTED TO THE DENSITY OF 95% OF THEORETICAL MAXIMUM DRY DENSITY (ASTM D698). BACKFILL MATERIAL SHALL BE FREE FROM ROCKS, STUMPS, OR OTHER FOREIGN DEBRIS AND SHALL BE PLACED IN LAYERS NOT TO EXCEED SIX (6) INCHES IN COMPACTED FILL THICKNESS. A REPORT FROM A GEOTECHNICAL ENGINEER MAY BE REQUIRED BY THE PUBLIC WORKS INSPECTOR. CORRECTION OF ANY TRENCH SETTLEMENT WITHIN A YEAR FROM THE DATE OF APPROVAL WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- 13. THE CONTRACTOR WILL ENSURE THAT POSITIVE AND ADEQUATE DRAINAGE IS MAINTAINED AT ALL TIMES WITHIN THE PROJECT LIMITS. THIS MAY INCLUDE BUT NOT BE LIMITED TO: A) REPLACEMENT OR RECONSTRUCTION OF EXISTING DRAINAGE STRUCTURES THAT HAVE BEEN DAMAGED OR REMOVED, OR B) REGRADING AS REQUIRED BY THE ENGINEER, EXCEPT FOR THOSE DRAINAGE ITEMS SHOWN AT SPECIFIC LOCATIONS AND HAVING SPECIFIC NOTES IN THE DETAILED ESTIMATE. NO SEPARATE PAYMENT WILL BE MADE FOR ANY COSTS INCURRED TO COMPLY WITH THIS REQUIREMENT.
- 14. THE CONTRACTOR SHALL PROVIDE ANY AND ALL EXCAVATION AND MATERIAL SAMPLES NECESSARY TO CONDUCT REQUIRED SOIL TESTS. ALL ARRANGEMENTS AND SCHEDULING FOR THE TESTING SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- 15. SOIL TESTING AND ON-SITE INSPECTION SHALL BE PERFORMED BY AN INDEPENDENT GEOTECHNICAL ENGINEER. A GEOTECHNICAL ENGINEER IS REQUIRED TO INSPECT, TEST AND CERTIFY TO THE COMPACTION OF ALL LOAD BEARING FILLS. THE GEOTECHNICAL ENGINEER SHALL PROVIDE COPIES OF TEST REPORTS TO THE CONTRACTOR, THE OWNER AND TO THE OWNER'S REPRESENTATIVE AND SHALL PROMPTLY NOTIFY THE OWNER, HIS REPRESENTATIVE AND THE CONTRACTOR, SHOULD WORK PERFORMED BY THE CONTRACTOR FAIL TO MEET THESE SPECIFICATIONS.
- 16. ALL PERMITS MUST BE OBTAINED PRIOR TO THE START OF CONSTRUCTION.
- 17. ALL PAVEMENT MARKINGS AND REGULATORY SIGNS ON PRIVATE PROPERTY SHALL CONFORM TO CURRENT MUTCD STANDARDS.

LEGEND		
EXISTING	PROPOSED	DESCRIPTION
		SANITARY SEWER, CLEAN-OUT
		SANITARY SEWER, FORCE MAIN
		SANITARY SEWER, FORCE MAIN MANHOLE
		SANITARY SEWER, FORCE STUB OUT
		SANITARY SEWER, LATERAL
		SANITARY SEWER, MANHOLE
		SANITARY SEWER, UNDERGROUND (4" DIA TO 10" DIA)
		SANITARY SEWER, SEPTIC TANK
		SANITARY SEWER, STUB OUT
		SANITARY SEWER, VALVE
		SANITARY SEWER, WITNESS POST
		STREAM
		STORM SEWER, INLET
		STORM SEWER HEADWALL
		STORM SEWER, MANHOLE
		STORM SEWER, UNDERGROUND
		STORM SEWER, DOWNSPOUT LOCATION
		STORM SEWER, ROOF DRAIN LINE
		STORM SEWER, STAND PIPE
		STORM SEWER, CLEAN-OUT
		STORM SEWER, WITNESS POST
		MINOR CONTOUR
		MAJOR CONTOUR
		SPOT ELEVATION
		TO BE REMOVED
		TRAFFIC, PAVEMENT MARKING, BIKE LANE
		TRAFFIC, PAVEMENT MARKING, TURN ARROWS

WATER AND SEWER SERVICE NOTES:

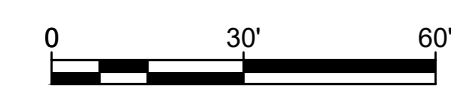
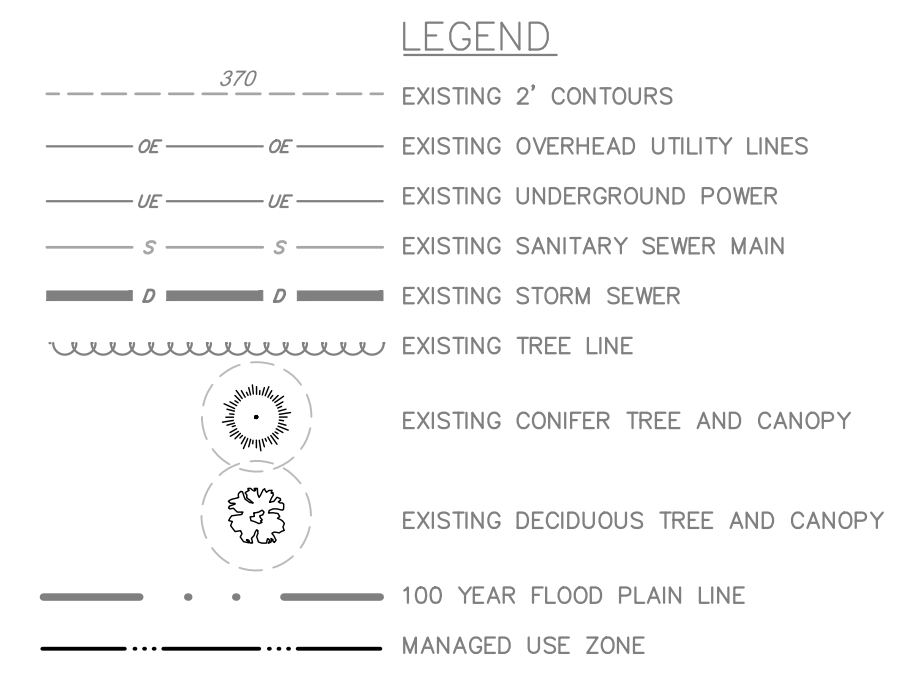
- 1. **HORIZONTAL AND VERTICAL SEPARATION**
 - 1.1. SANITARY SEWERS SHALL BE LAID AT LEAST 10-FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED WATER MAIN. THE DISTANCE SHALL BE MEASURED EDGE TO EDGE. IN CASES WHERE IT IS NOT PRACTICAL TO MAINTAIN A 10-FOOT SEPARATION, THE PUBLIC WORKS SUPPLY MAY ALLOW DEVIATION A CASE-BY-CASE BASIS, IF SUPPORTED BY DATA FROM THE DESIGN

U.S. HWY. 15-501
VARIABLE WIDTH RW



PARCEL CURVE TABLE						
CURVE #	RADIUS	DELTA	ARC LENGTH	TANGENT	CHORD LENGTH	CHORD BEARING
C1	2487.85'	000°47'42"	34.52'	17.26	34.52'	N 47°54'22" W
C2	2310.18'	001°22'34"	55.48'	27.74	55.48'	N 46°47'59" W
C3	1318.46'	002°37'17"	60.37'	30.19	60.36'	N 58°44'46" E

- NOTES:**
1. TOPOGRAPHIC INFORMATION SHOWN HEREON OBTAINED FROM PHILIP POST & ASSOC.
 2. SUBJECT LOTS ARE LOCATED WITHIN THE WATERSHED PROTECTION DISTRICT.
 3. SOUTHERN TOP OF MORGAN CREEK BANK OBTAINED IN THE FIELD BY PHILIP POST & ASSOC. ON 10/12/2016.



**PRELIMINARY
NOT FOR CONSTRUCTION**

Pennoni
Firm License
F-1287
PENNONI ASSOCIATES, INC.
401 Providence Road #200
Chapel Hill, NC 27514
T 919.929.1173 F 919.493.6548

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

CHAPEL HILL COOPERATIVE PRESCHOOL
108 MT. CARMEL CHURCH ROAD
CHAPEL HILL, NC 27514

EXISTING CONDITIONS PLAN

CHAPEL HILL COOPERATIVE PRESCHOOL
106 PUREFOY ROAD
CHAPEL HILL, NC, 27514

NO.	DATE	REVISIONS	BY

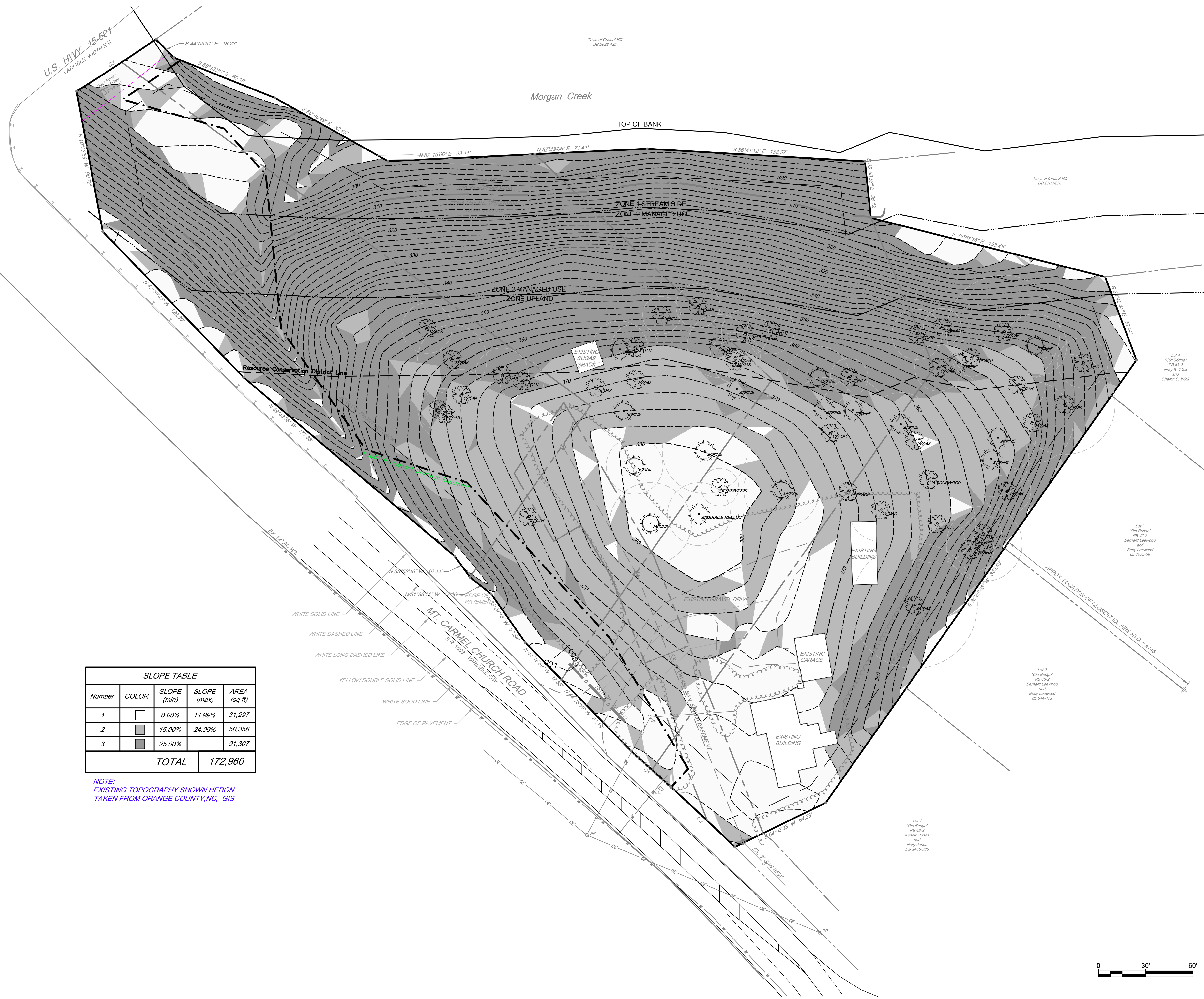
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PROJECT: **CHCP1601**
DATE: 2017-12-18
DRAWING SCALE: 1" = 30'
DRAWN BY: DC
APPROVED BY: PCB

CS0201
SHEET 3 OF 14

P:\Projects\CHCP1601\CHCP1601.dwg, Created: Cheryl Reed/CS0201.dwg, PUBLISHED: 12/27/2017 4:21 PM BY: David Chilly, PLOTTED: 12/27/2017 4:21 PM BY: David Chilly, PROJECT STATUS: SPECIAL USE PERMIT APPLICATION

P:\Projects\CHCP1601\CHCP1601.dwg, C:\Users\Cheryl.Rand\Documents\CHCP1601.dwg, P:\Projects\CHCP1601\CHCP1601.dwg, PLOTFILE: Pennon\NC.dwg, PROJECT STATUS: SPECIAL USE PERMIT APPLICATION, PLOTTED: 12/27/2017 4:32 PM BY: David Chilly



SLOPE TABLE				
Number	COLOR	SLOPE (min)	SLOPE (max)	AREA (sq ft)
1		0.00%	14.99%	31,297
2		15.00%	24.99%	50,356
3		25.00%		91,307
TOTAL				172,960

NOTE:
EXISTING TOPOGRAPHY SHOWN HERON
TAKEN FROM ORANGE COUNTY, NC, GIS

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CHAPEL HILL, NC 27514

SLOPE ANALYSIS PLAN

CHAPEL HILL COOPERATIVE PRESCHOOL
106 PUREFOY ROAD
CHAPEL HILL, NC, 27514

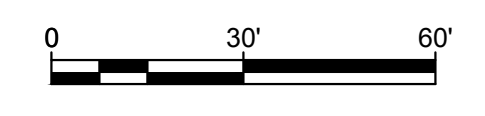
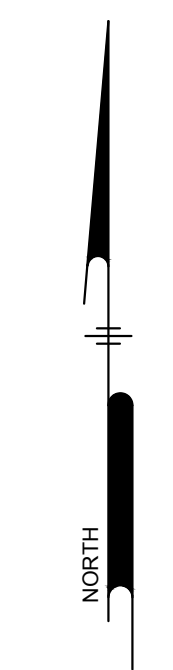
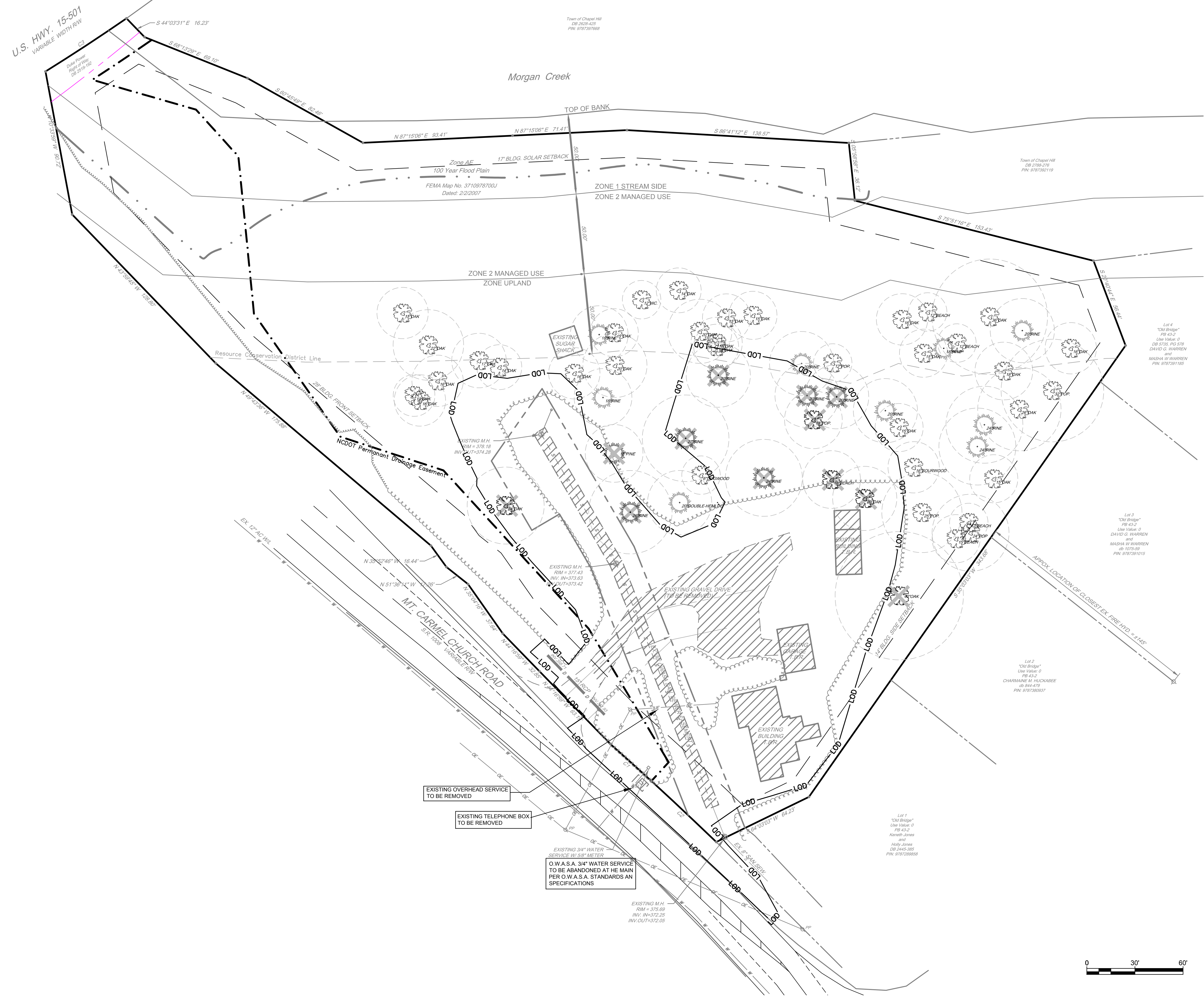
NO.	DATE	REVISIONS	BY

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PROJECT	CHCP1601
DATE	2017-12-18
DRAWING SCALE	1" = 30'
DRAWN BY	DC
APPROVED BY	PCB

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P:\Projects\CHCP1601\CHCP1601.dwg, C:\Users\David.Chilly\OneDrive\Documents\CHCP1601.dwg, C:\Users\David.Chilly\OneDrive\Documents\CHCP1601.dwg
 PLOTTED: 12/20/17 9:59 AM BY: David.Chilly PROJECT STATUS: SPECIAL USE PERMIT APPLICATION



LEGEND

	EXISTING DECIDUOUS TREE TO BE REMOVED
	EXISTING CONIFER TREE TO BE REMOVED
	LINE OF DISTURBANCE
	ITEMS TO BE REMOVED

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Chapel Hill, NC 27514
T 919.929.1173 F 919.493.6548

CAROLINA PROFESSIONAL ENGINEERS
DAVID G. WARREN
M.A.S.H.A. W. WARREN
033040
12/21/17

CHAPEL HILL COOPERATIVE PRESCHOOL
108 MT. CARMEL CHURCH ROAD
CHAPEL HILL, NC 27514

DEMOLITION PLAN

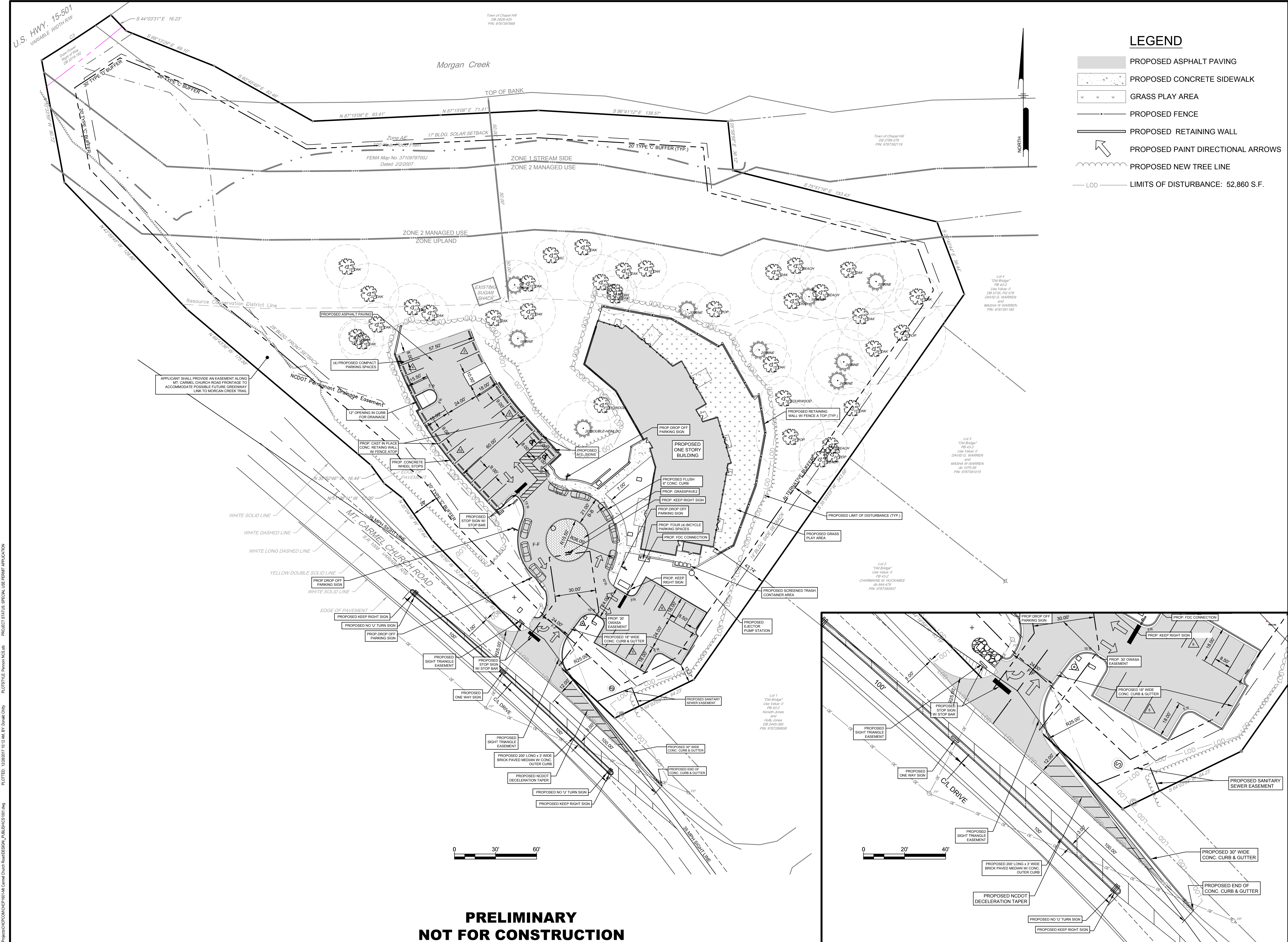
CHAPEL HILL COOPERATIVE PRESCHOOL
106 PUREFOY ROAD
CHAPEL HILL, NC, 27514

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PROJECT: **CHCP1601**
DATE: 2017-12-18
DRAWING SCALE: 1"= 30'
DRAWN BY: DC
APPROVED BY: PCB

CS0501
SHEET 5 OF 14



LEGEND

- PROPOSED ASPHALT PAVING
- PROPOSED CONCRETE SIDEWALK
- GRASS PLAY AREA
- PROPOSED FENCE
- PROPOSED RETAINING WALL
- PROPOSED PAINT DIRECTIONAL ARROWS
- PROPOSED NEW TREE LINE
- LIMITS OF DISTURBANCE: 52,860 S.F.

**PRELIMINARY
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CHAPEL HILL, NC 27514

SITE PLAN

CHAPEL HILL COOPERATIVE PRESCHOOL
106 PUREFOY ROAD
CHAPEL HILL, NC, 27514

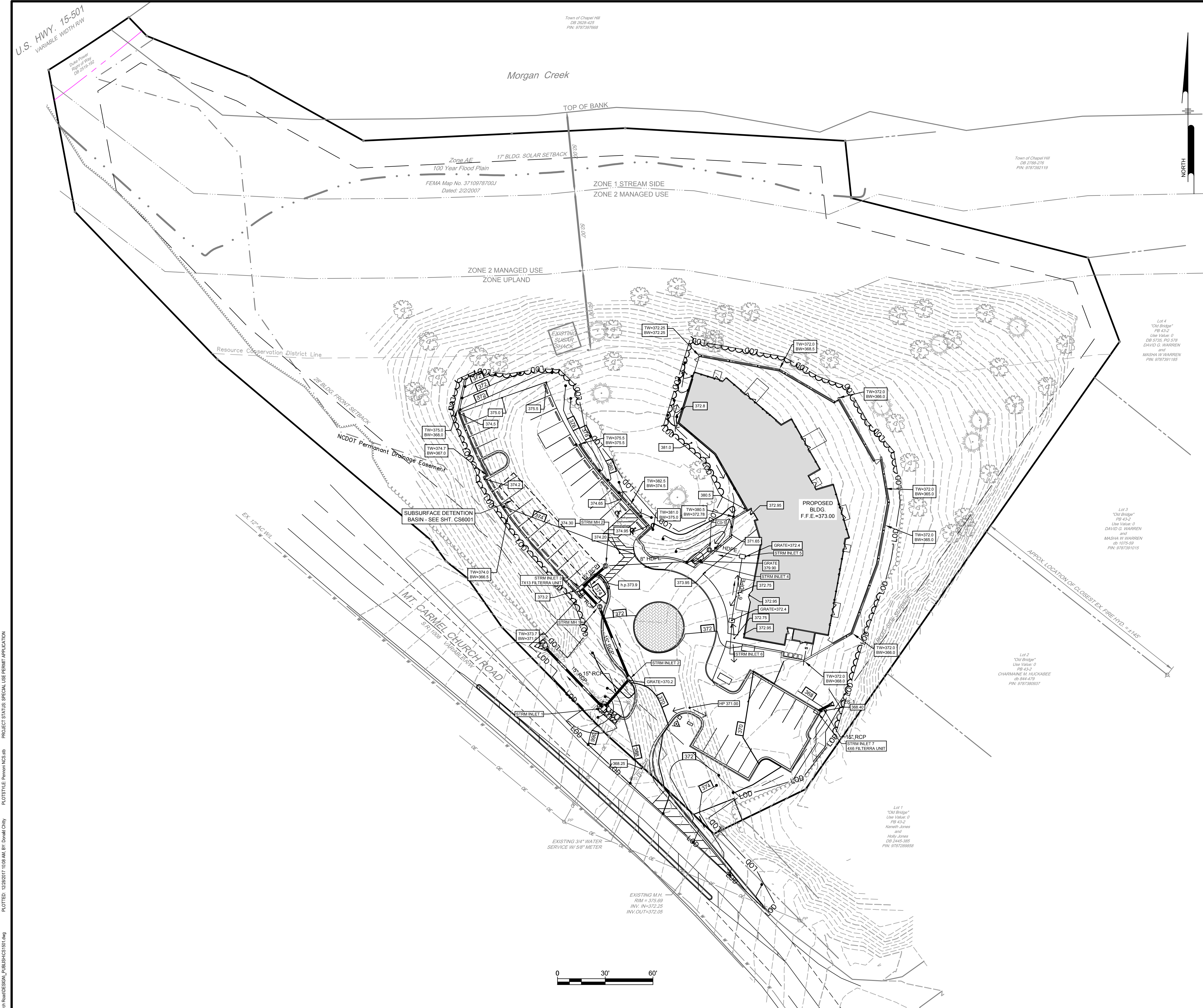
NO.	DATE	REVISIONS	BY

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PROJECT: **CHCP1601**
DATE: 2017-12-18
DRAWING SCALE: 1"= 30'
DRAWN BY: DC
APPROVED BY: PCB

CS1001
SHEET 6 OF 14

P:\Projects\CHCP\CHCP1601\CHCP1601.dwg
 PLOTTED: 12/28/2017 10:12 AM BY: DimaK (31)
 PROJECT STATUS: SPECIAL USE PERMIT APPLICATION
 PLOTTED BY: Pennoni\DC



P-1 (RESIDENTIAL)	REQUIRED	PROPOSED
MIN. LOT AREA:	17,000 SF	172,960
MIN. LOT FRONTAGE:	64 FT	~64 FT
MIN. LOT WIDTH:	80 FT	~80 FT
MAX. BUILDING HEIGHT:	29 FT (PRIMARY) 40 FT (SECONDARY)	~29 FT (PRIMARY) ~40 FT (SECONDARY)
MAX. FLOOR AREA RATIO:	SEE BELOW	SEE BELOW
MAX. LOT COVERAGE:	0.7	28,303 SF (14.88% IMPERVIOUS)
BUILDING SETBACK:		
MIN. FRONT STREET YARD SETBACK:	28 FT	104 FT +/-
MIN. SIDE YARD SETBACK:	14 FT	43 FT +/-
MIN. SOLAR (NORTHERN REAR) YARD SETBACK:	17 FT	144 FT +/-
BUFFER YARD SETBACK:		
MIN. FRONT YARD SETBACK:	20 FT / 30 FT	20 FT / 30 FT
MIN. SIDE YARD SETBACK:	20 FT	20 FT / ALT. BUFFER
MIN. REAR YARD SETBACK:	20 FT	20 FT
VEHICLE PARKING:	20 min/25 max	44 (INCLUDE 8 DROP OFF SPACES)
BICYCLE PARKING:	8	4
TOTAL IMPERVIOUS AREA (OF GLA):	7,896 SF (4.15%)	29,702 SF (15.61%)
NON RCD ZONE IMPERVIOUS AREA:	7,630 SF (4.41%)	29,436 SF (15.47%)
ZONE 1 IMPERVIOUS AREA:	0 SF (0.0%)	0 SF (0.0%)
ZONE 2 IMPERVIOUS AREA:	0 SF (0.0%)	0 SF (0.0%)
ZONE 3 IMPERVIOUS AREA:	266 SF (0.15%)	266 SF (0.15%)
TOTAL LAND DISTURBANCE AREA:		50,632 SF (29.30%)
NON RCD ZONE LAND DISTURBANCE AREA:	N/A	50,140 SF (29.00%) ZONING
ZONE 1 LAND DISTURBANCE AREA:	N/A	0 SF (0.0%)
ZONE 2 LAND DISTURBANCE AREA:	N/A	0 SF (0.0%)
ZONE 3 LAND DISTURBANCE AREA:	N/A	492 SF (0.28%)
SLOPE CATEGORY:	DELINATED AREAS	DISTURBED AREAS
0% TO 14.99%:	31,297 SF (18.09%)	+18,470 SF (10.67%)
15% TO 24.99%:	50,356 SF (29.11%)	+29,690 SF (17.17%)
25% & GREATER:	91,307 SF (52.79%)	+ 2,472 SF (1.43%)
FLOOR AREA CALCULATIONS:		
GROSS LAND AREA (GLA):	172,960 sf x 1.10 = 190,256 sf	
NON RCD ZONE:	87,211 sf (50.42%)	(87,211 x 0.076) = 6,628 sf
ZONE 1:	24,311 sf (14.06%)	(24,311 x 0.01) = 243 sf
ZONE 2:	31,149 sf (18.01%)	(31,149 x 0.019) = 592 sf
ZONE 3:	30,288 sf (17.51%)	(30,288 x 0.076) = 2,302 sf
EFFECTIVE FLOOR AREA RATIO (EFAR):		(9,765 sf / 172,960 sf) = 0.0564
ALLOWABLE FLOOR AREA MAXIMUM (GLA x EFAR):		(190,256 sf x 0.0564) = 10,730 sf
PROPOSED FLOOR AREA:		9,000 sf
TREE CANOPY AREA TO REMAIN:	69,184 SF (40.00%)	113,275 SF (65.49%)

*AS APPROVED BY PLANNING COMMISSION

Pennoni
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PENNONI ASSOCIATES INC.
401 Providence Road #200
Chapel Hill, NC 27514
T 919.929.1173 F 919.933.6548

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CHAPEL HILL COOPERATIVE PRESCHOOL
108 MT. CARMEL CHURCH ROAD
CHAPEL HILL, NC 27514

GRADING & DRAINAGE PLAN

CHAPEL HILL COOPERATIVE PRESCHOOL
106 PUREFOY ROAD
CHAPEL HILL, NC, 27514

NO.	DATE	REVISIONS	BY

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PROJECT: **CHCP1601**
DATE: 2017-12-18
DRAWING SCALE: 1" = 30'
DRAWN BY: DC
APPROVED BY: PCB

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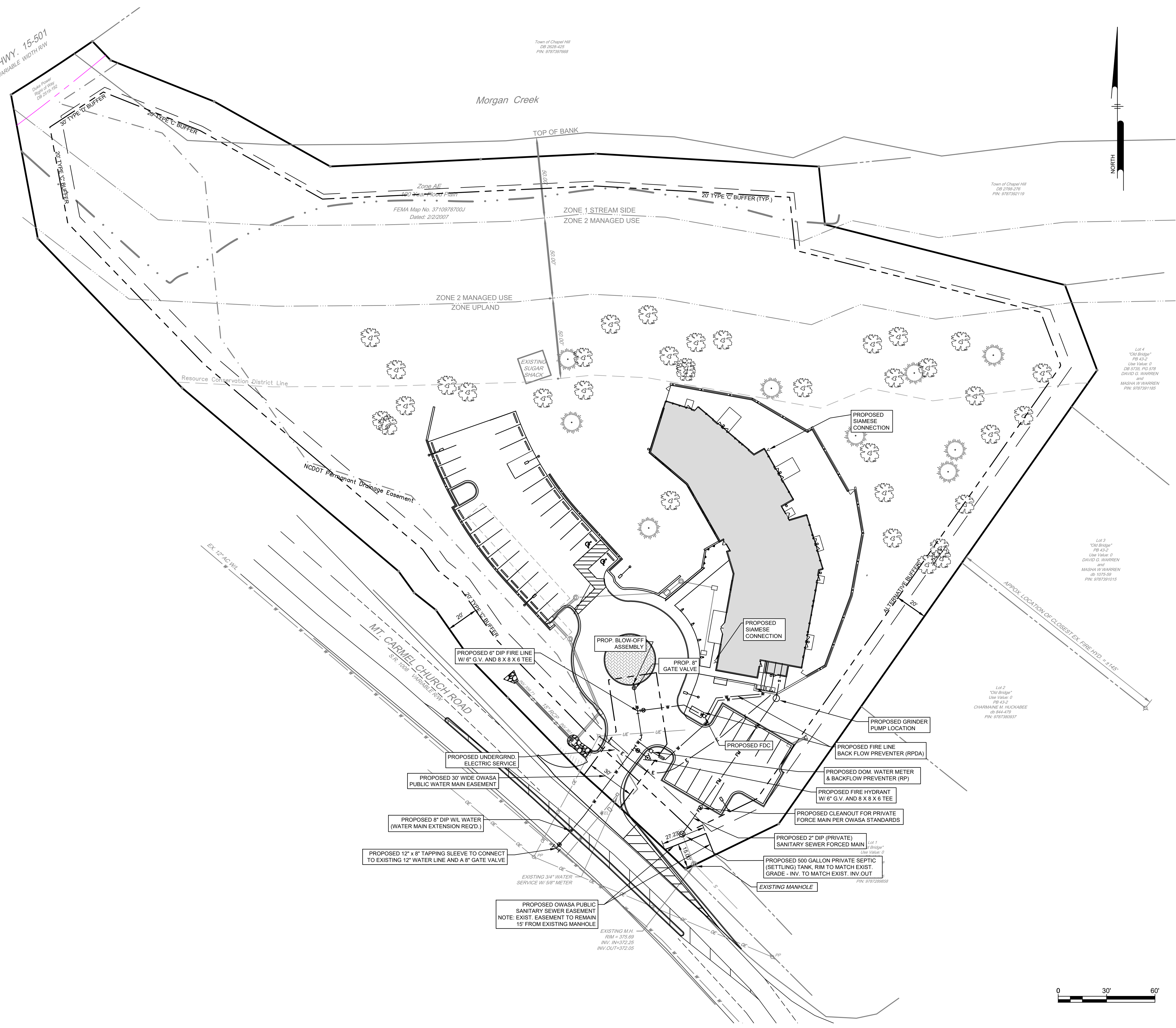
CS1501
SHEET 7 OF 14

NOTE:
TOPOGRAPHIC INFORMATION WITHIN DEVELOPMENT AREA OBTAINED FROM A FIELD SURVEY PROVIDED BY:
PHILIP POST & ASSC.
401 PROVIDENCE ROAD, STE 200
CHAPEL HILL, NC 27514
TEL. 919.929.1173

P:\Projects\CHCP1601\CHCP1601-14-Civil\Chapel Hill Preschool\DESIGN_PUBLISHING\CS1501.dwg PLOTTED: 12/29/2017 10:01 AM BY: Dima G. Plot DATE: 12/29/2017 10:01 AM BY: Dima G. Plot PROJECT STATUS: SPECIAL USE PERMIT APPLICATION

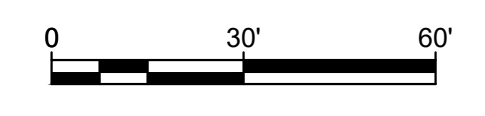
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 PLOTTED: 12/27/2017 4:27 PM BY: David.Chilly
 PLOTSTYLE: Pennon1.ctb
 PROJECT STATUS: SPECIAL USE PERMIT APPLICATION

U.S. HWY. 15-501
VARIABLE WIDTH RW



LEGEND

- FM — PROPOSED SANITARY SEWER (FORCED MAIN)
- W — PROPOSED WATER LINE
- E — PROPOSED UNDERGROUND ELECTRICAL / COMMUNICATIONS



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F-1267
PENNON ASSOCIATES INC.
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T 919.929.1173 F 919.993.6548

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Professional Engineer Seal:
CAROLINA PROFESSIONAL ENGINEERS
DAVID G. WARREN
033040
12/27/17

CHAPEL HILL COOPERATIVE PRESCHOOL
108 MT. CARMEL CHURCH ROAD
CHAPEL HILL, NC 27514

UTILITY PLAN

CHAPEL HILL COOPERATIVE PRESCHOOL
106 PUREFOY ROAD
CHAPEL HILL, NC, 27514

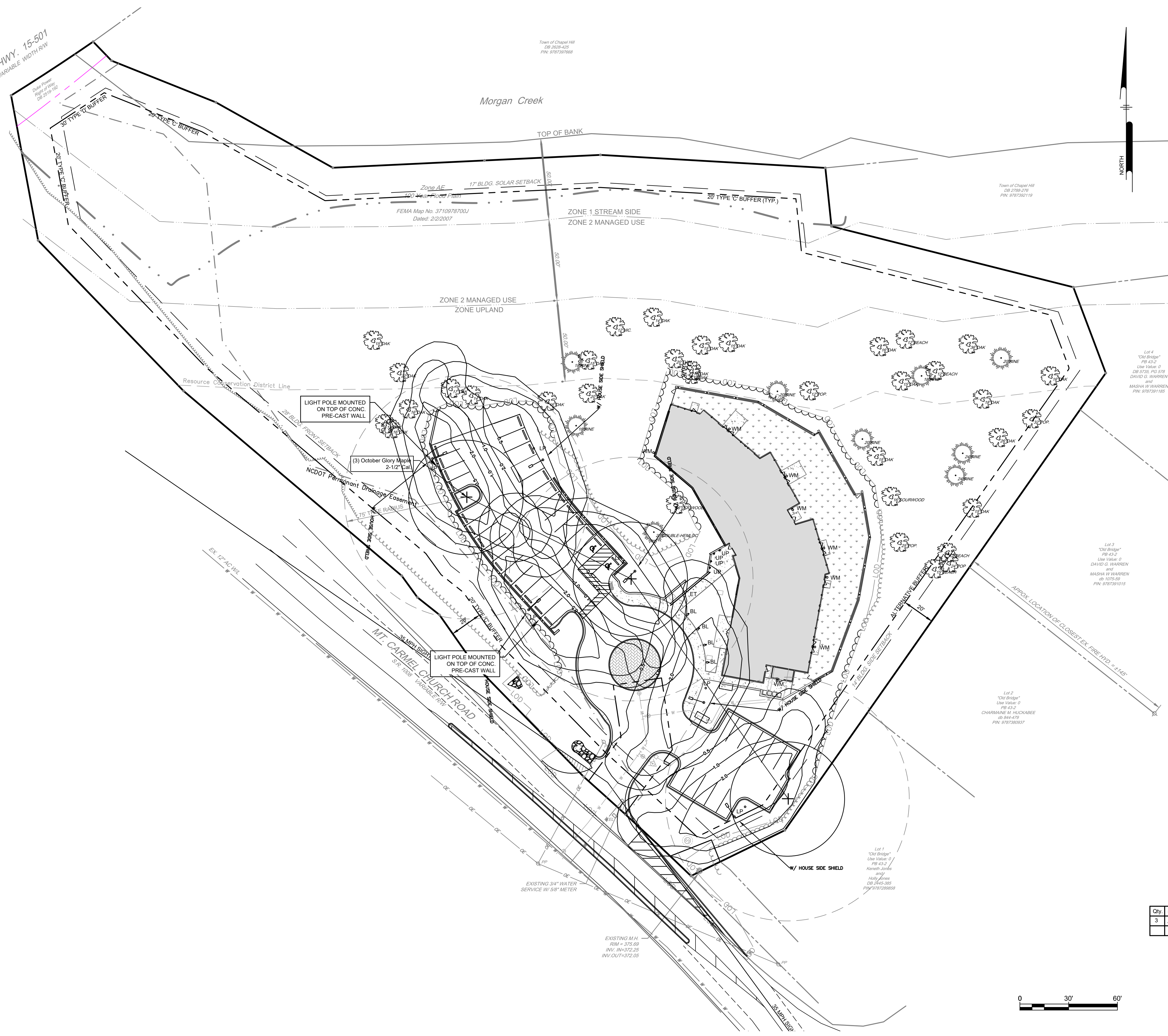
NO.	DATE	REVISIONS	BY

PROJECT: CHCP1601
DATE: 2017-12-18
DRAWING SCALE: 1" = 30'
DRAWN BY: DC
APPROVED BY: PCB

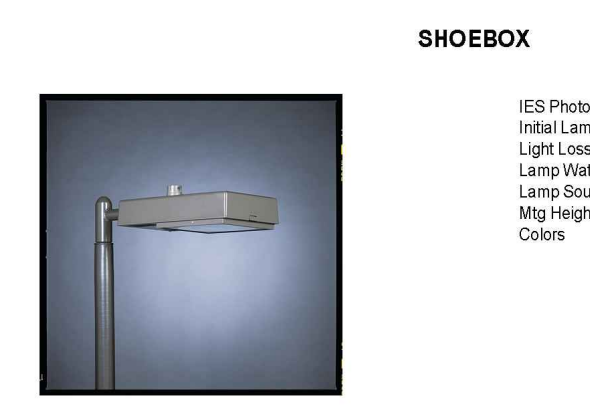
CS1701
SHEET 8 OF 14

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 PLOTTED: 12/27/2017 4:38 PM BY: David Chilly
 PROJECT STATUS: SPECIAL USE PERMIT APPLICATION
 PLOT STYLE: Pennoni.rwl

U.S. HWY. 15-501
VARIABLE WIDTH RW

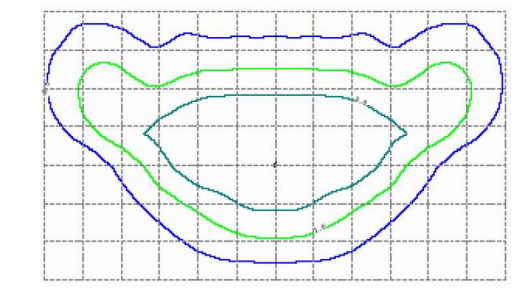


Fixture Specifications



SHOEBOX

IES Photometric file	DE40bx
Initial Lamp lumens	40000
Light Loss Factor	0.83
Lamp Wattage	400
Lamp Source	LED
Mtg Height	5'0"
Colors	Bronze, Black, Gray, Green

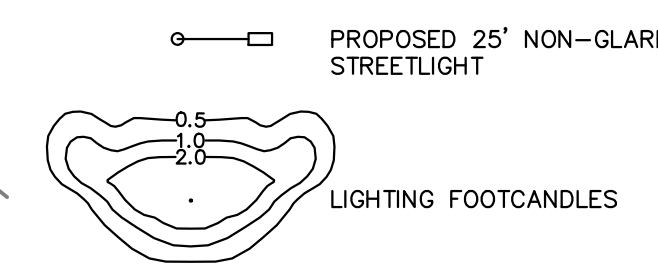


Grid spacing	12.5 ft
ISO Template lines	
Light Blue	2.0 FC
Green	1.0 FC
Dark Blue	0.5 FC

The values shown for the ISO template lines are standard values based on applicable Light Loss Factor (LLF). Values are representative of manufacturer specific photometric data, which is subject to change without notification due to availability and product offering modification. When reviewing photometric data, please note that values are representative and not a guarantee of performance. Values are representative of 50000 lumens. Values are representative of 50000 lumens. Values are representative of 50000 lumens. Values are representative of 50000 lumens.

LIGHTING NOTES:

1. THE APPLICANT BELIEVES THAT ALL PUBLIC STREET INTERSECTIONS SHOULD BE LIGHTED FOR PEDESTRIAN AND TRAFFIC SAFETY, IN THE 1 TO 3 OUTCANDLES RANGE. THE APPLICANT BELIEVES 0.2 FOOTCANDLES IS NOT IN THE BEST INTEREST OF PUBLIC SAFETY.
2. HOURS OF OPERATION: DUSK TO DAWN.
3. LIGHTING MAINTENANCE: BY DUKE ENERGY
4. ALL DPCCO FIXTURES WILL BE FULL CUTOFF WITH NO LENS BELOW THE CASING.
5. ALL FIXTURES AND POLES WILL BE DUKE ENERGY STANDARD LIGHTS AND POLES.



- LEGEND**
- LP LIGHT POLE
 - BL BOLLARD LIGHT
 - ET EXTERIOR TAPE LIGHT
 - UP UP LIGHT
 - WM WALL MOUNTED LIGHT

ALL PROPOSED PLANTS USED IN THIS PLAN ARE EITHER NATIVE OR A NON-INVASIVE IN NATURE

PLANT SCHEDULE

Qty	Scientific Name	Common Name	Planting Size	Mature Height
3	Acer rubrum 'October Glory'	October Glory Maple	2 1/2"-Cal	50'



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T 919.929.1173 F 919.993.6548

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CHAPEL HILL COOPERATIVE PRESCHOOL
108 MT. CARMEL CHURCH ROAD
CHAPEL HILL, NC 27514

LANDSCAPE & LIGHTING PLAN

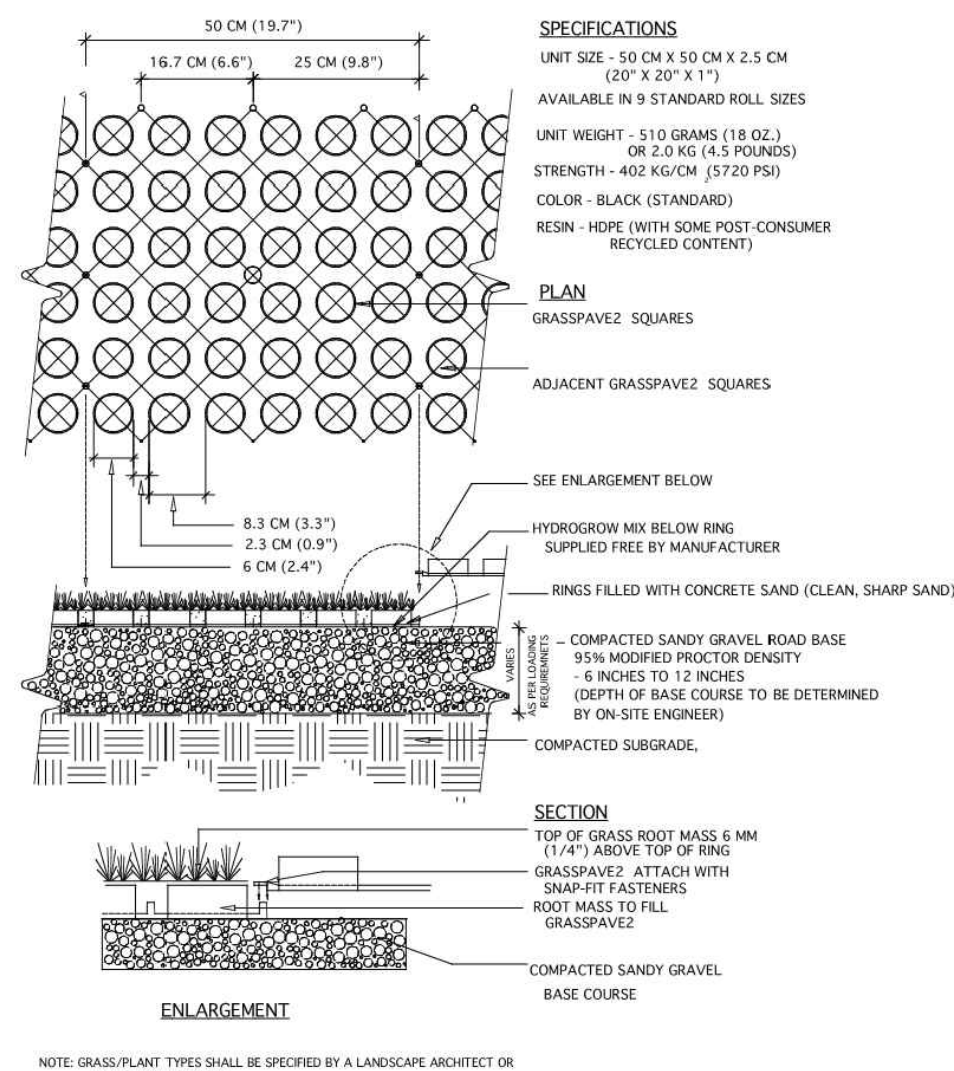
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106 PUREFOY ROAD
CHAPEL HILL, NC 27514

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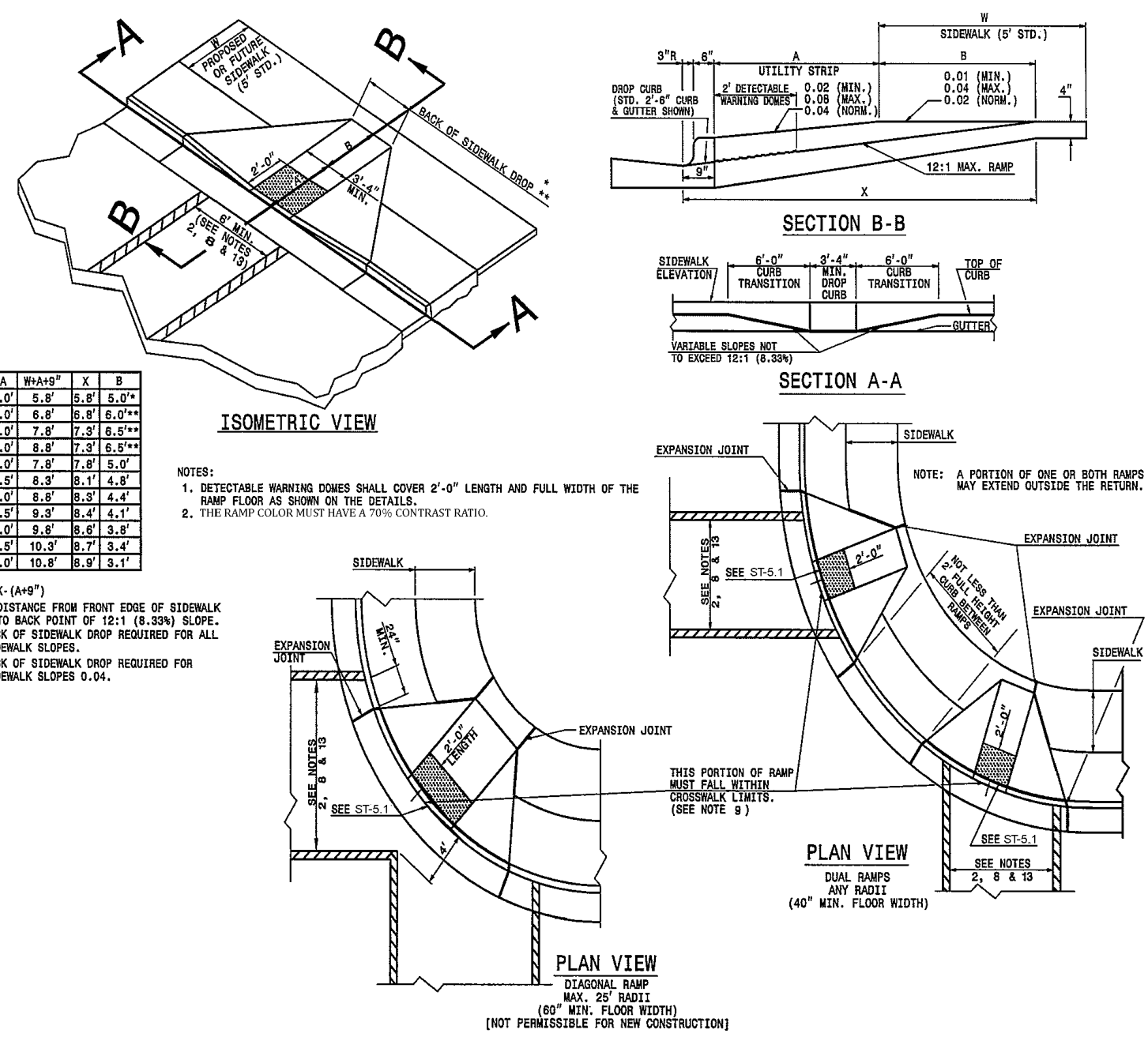
PROJECT	CHCP1601
DATE	2017-12-18
DRAWING SCALE	1" = 30'
DRAWN BY	DC
APPROVED BY	PCB

CS2001
SHEET 9 OF 14

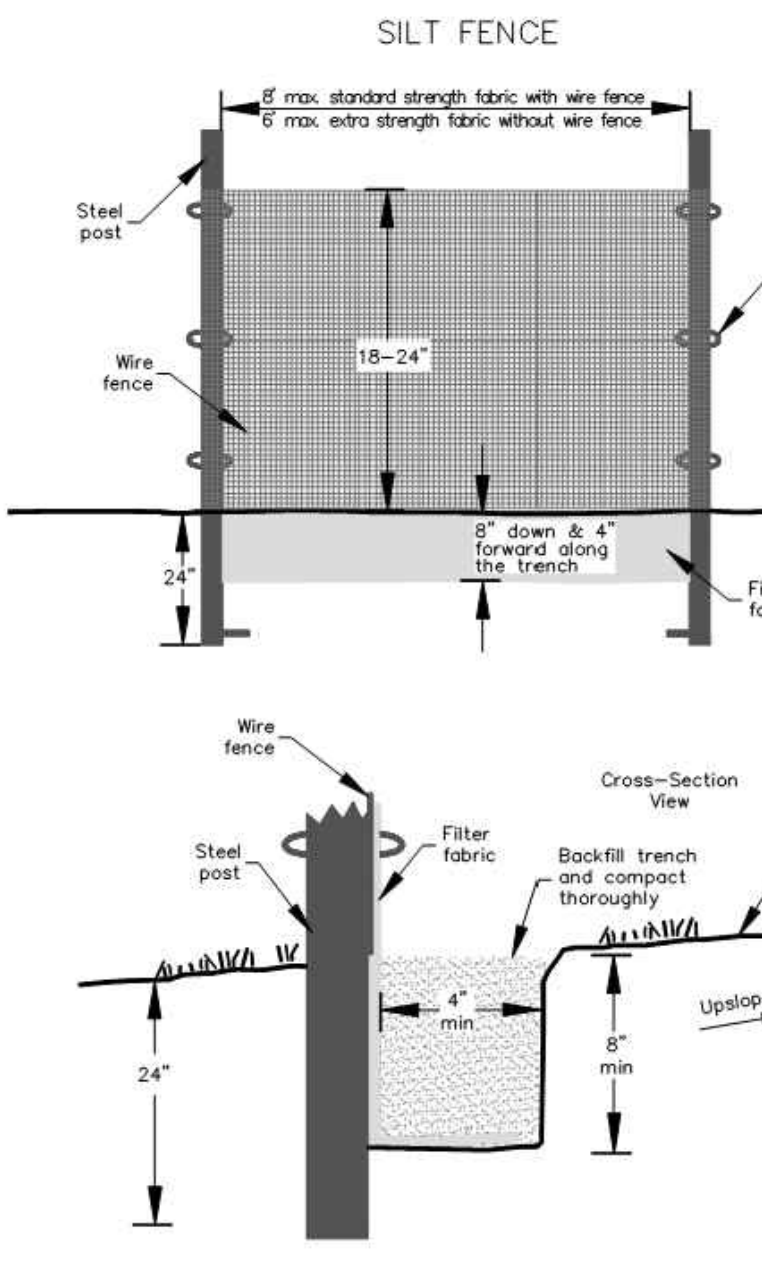


1600 Jackson St., Ste. 110
 Golden, Colorado 80401
 800.233.1522 OR 303.233.8282
 www.pennington.com
 INC. 10/05

TITLE: GRASSPAVE DETAIL
REVISIONS:
DET. NO.: SD-5C



TITLE: ACCESSIBLE RAMP
REVISIONS: 09/03, 02/08
DET. NO.: ST-5.3



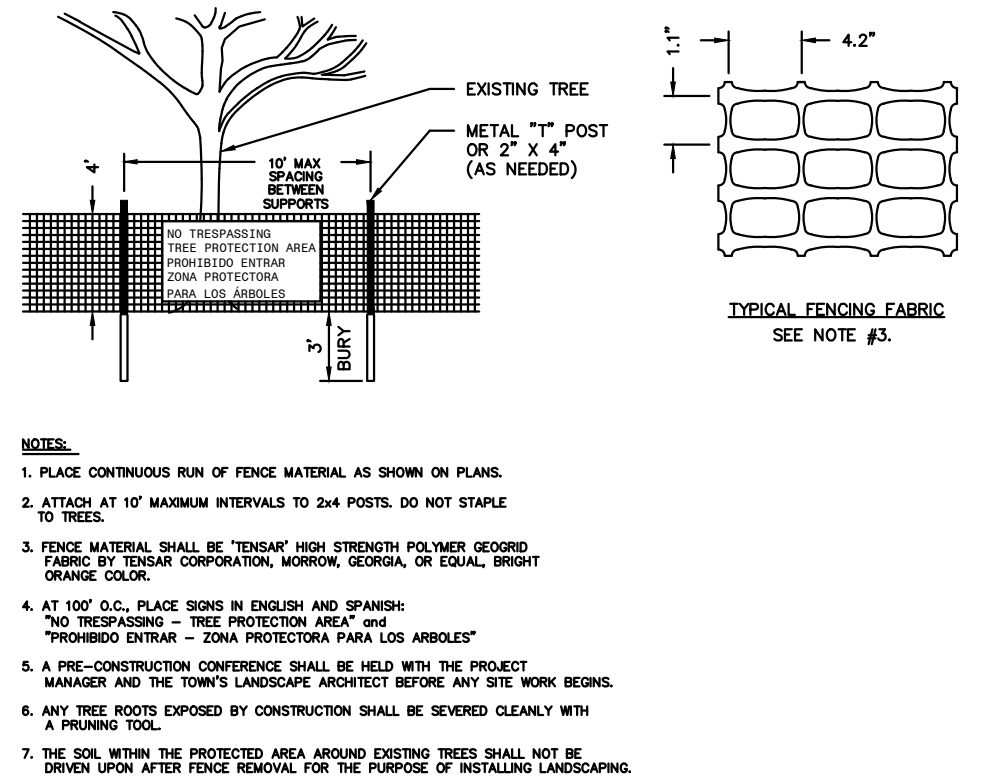
TITLE: SILT FENCE
REVISIONS: 08/13, 15
DET. NO.: SD-18

**PRELIMINARY
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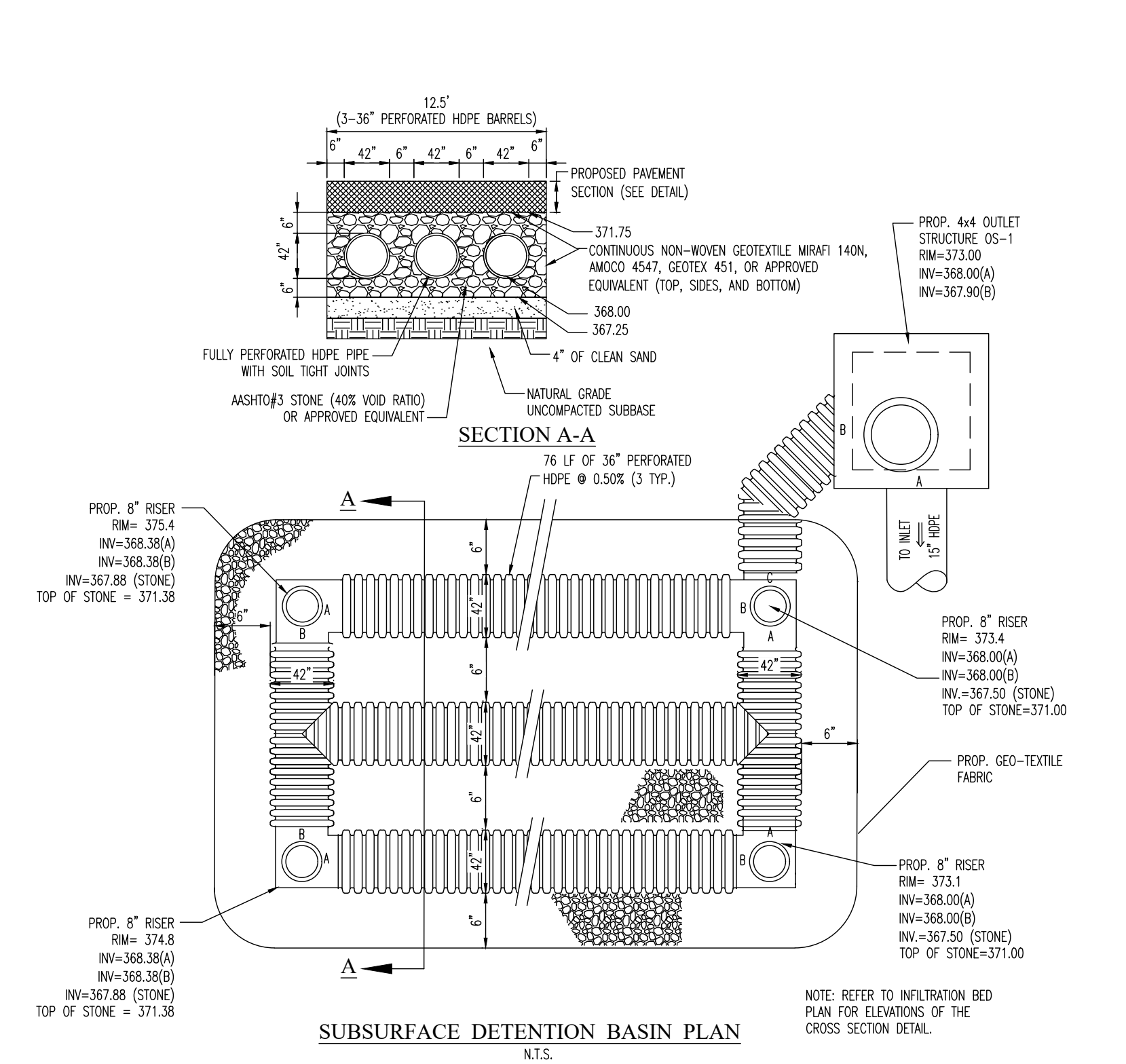
TITLE: SILT FENCE
REVISIONS: 08/13, 15
DET. NO.: SD-18

GENERAL NOTES:

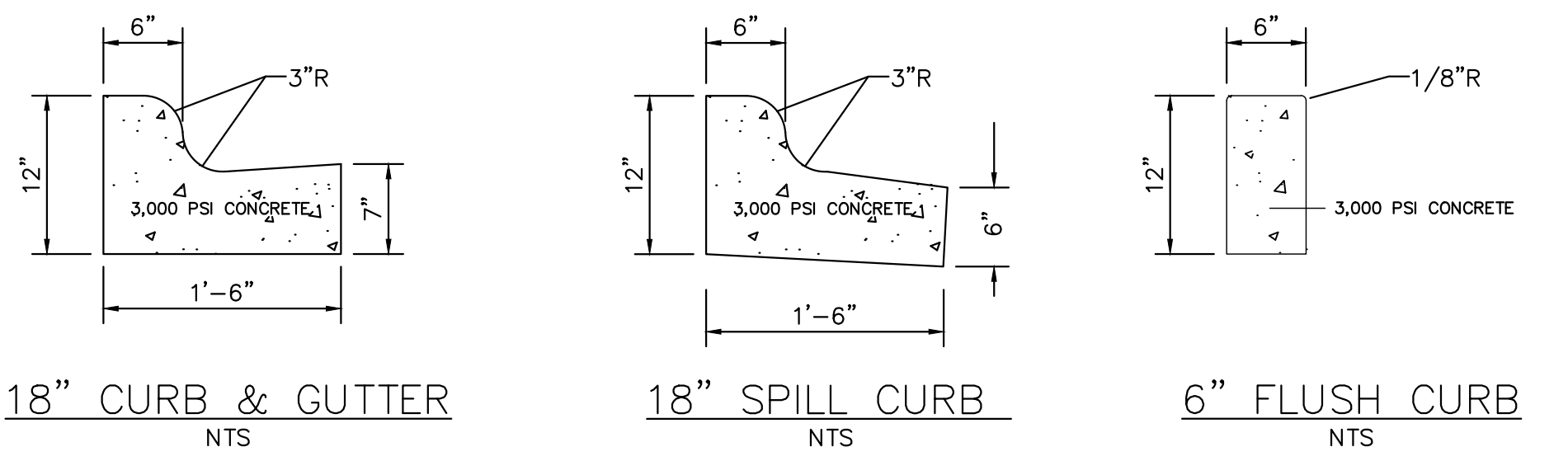
- Use silt fence only when drainage area does not exceed 1/4 acre and never in areas of concentrated flow.
- Silt fence shall not be removed unless site is stabilized and inspected by Town of Chapel Hill staff.



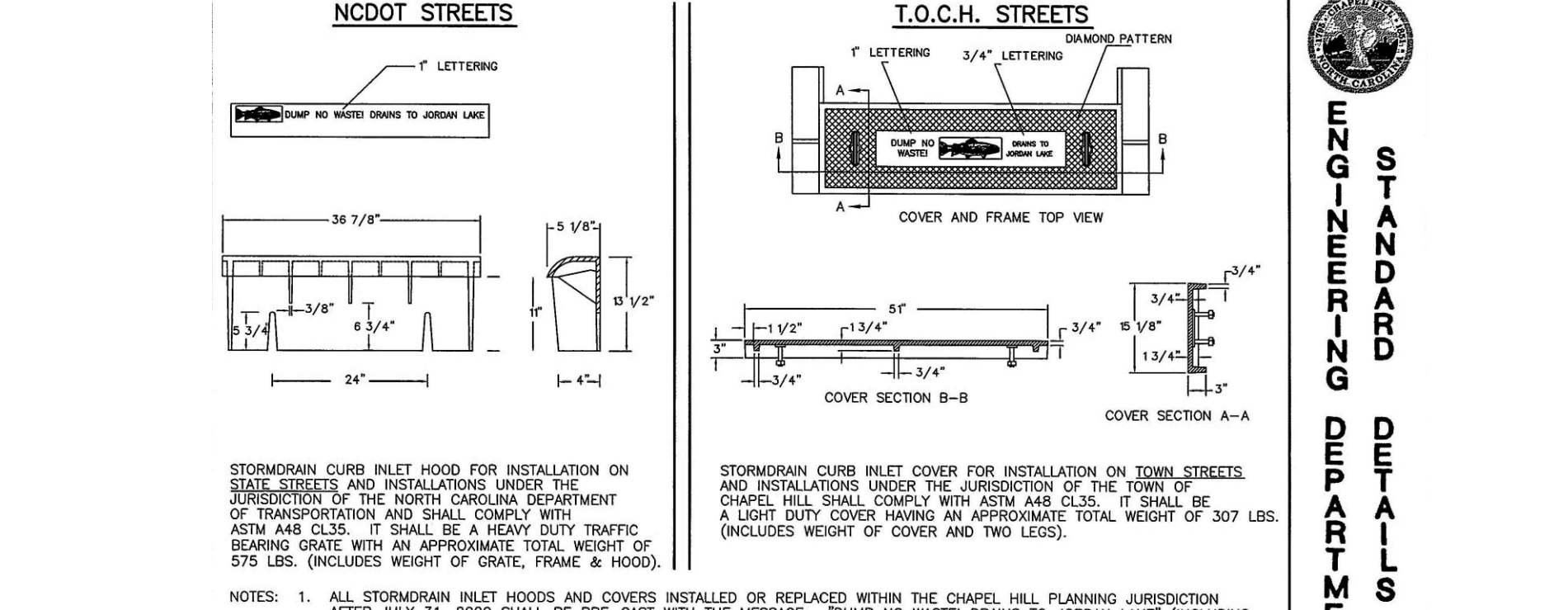
TITLE: TREE PROTECTION FENCE
REVISIONS:
DET. NO.: NOT TO SCALE



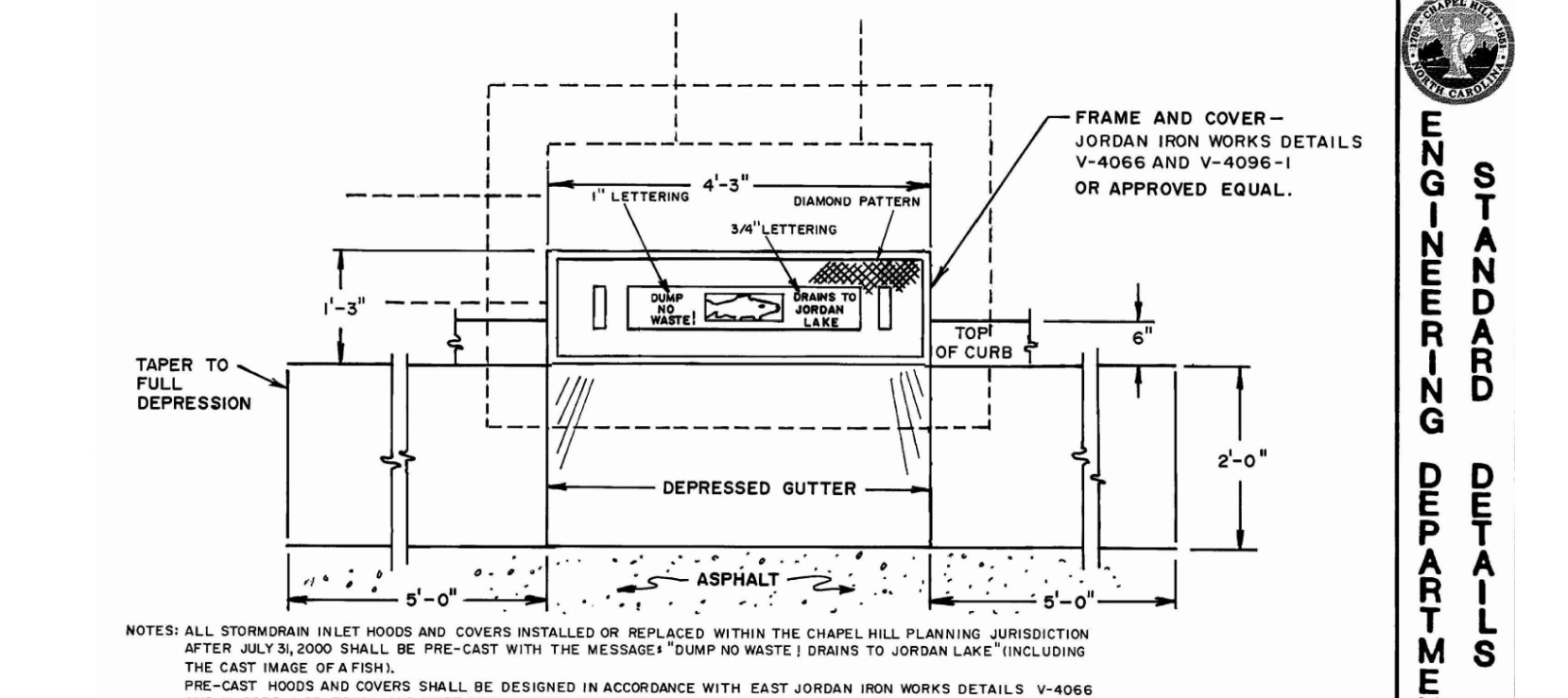
TITLE: SUBSURFACE DETENTION BASIN PLAN
REVISIONS:
DET. NO.: N.T.S.



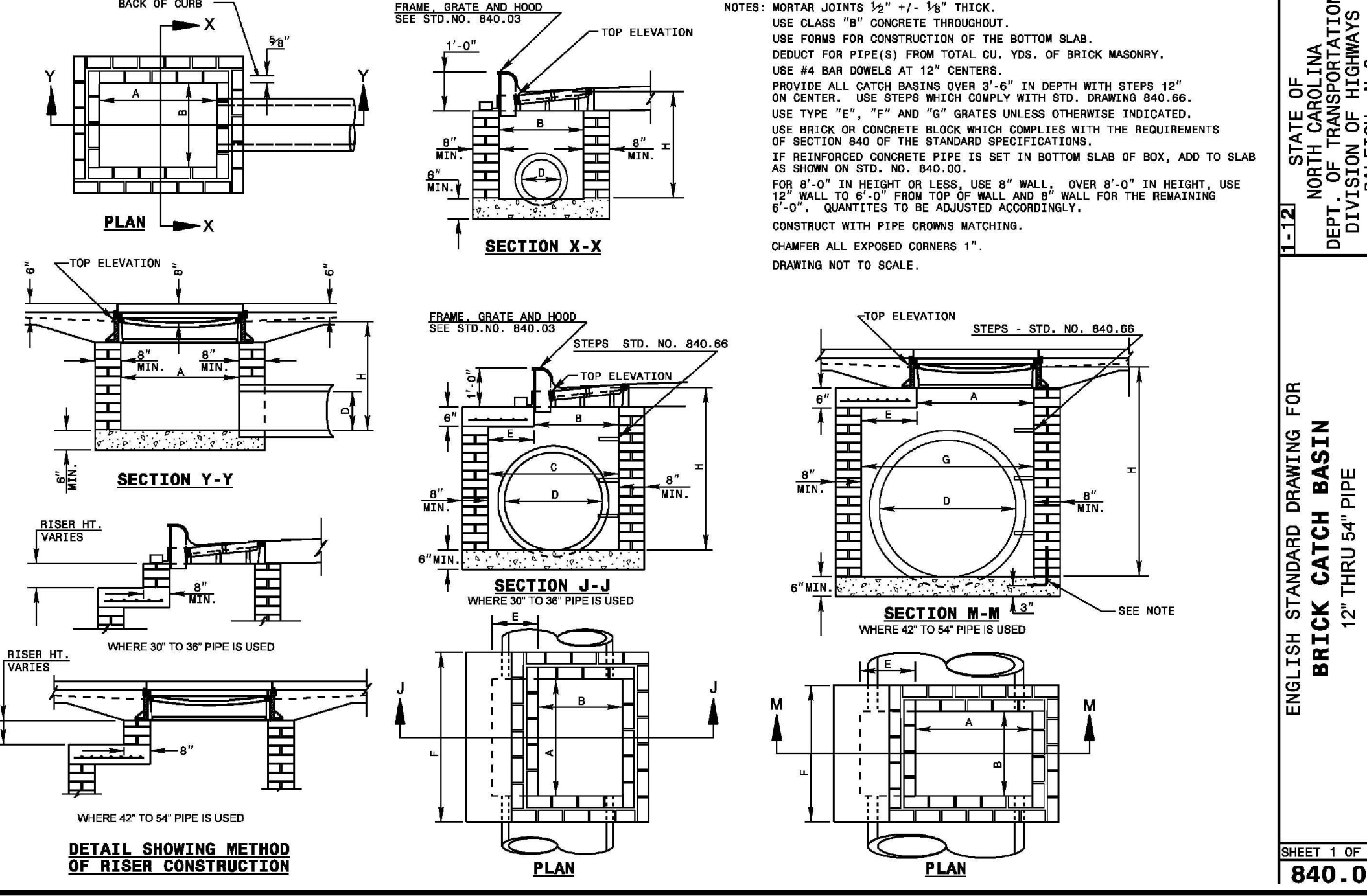
TITLE: CURB & GUTTER
REVISIONS:
DET. NO.: NTS



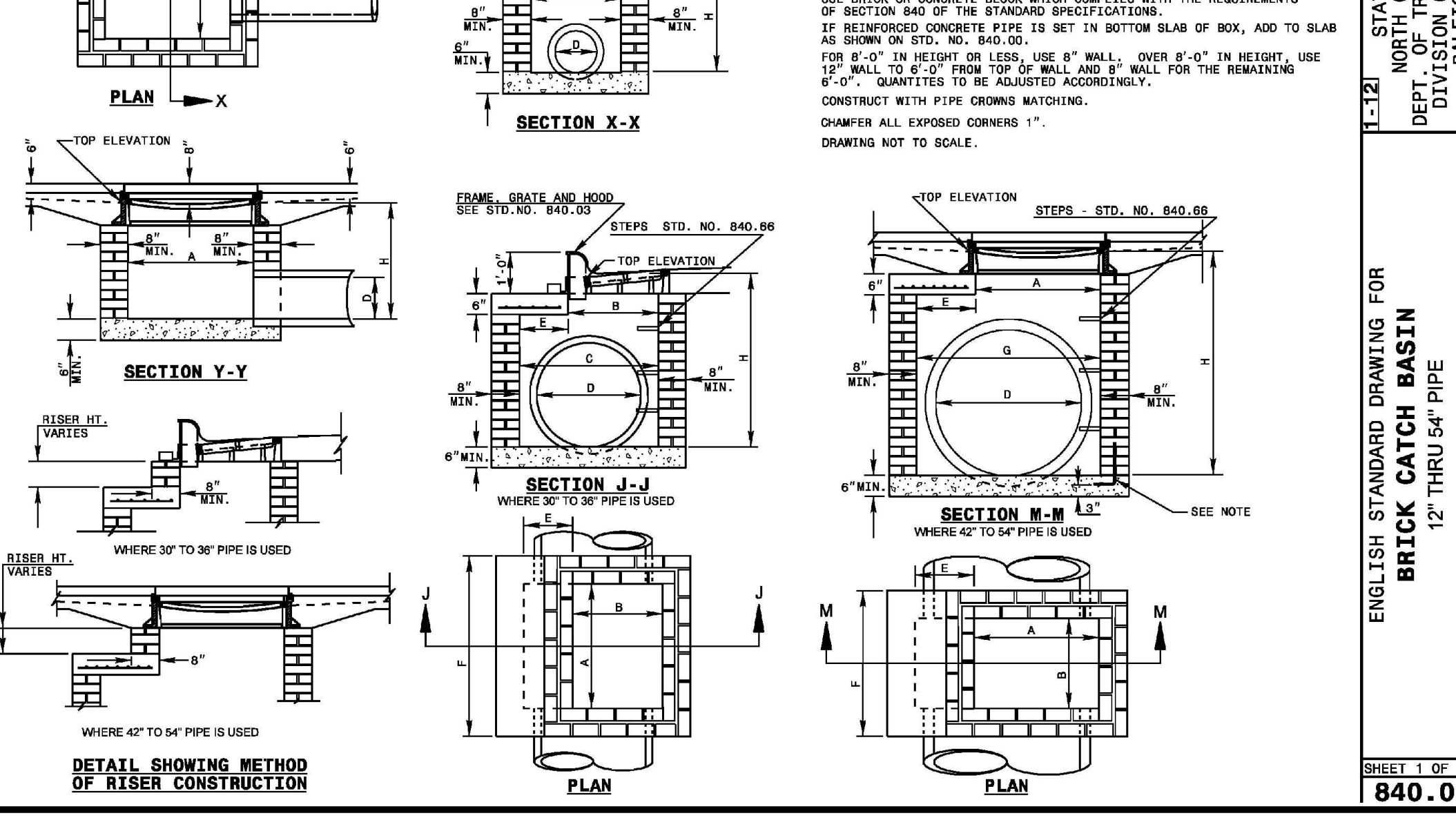
TITLE: CURB INLET HOOD AND COVER
REVISIONS: 6/03, 1/03
DET. NO.: SD-5C



TITLE: CURB INLET - TOP VIEW
REVISIONS:
DET. NO.: SD-5A



TITLE: BRICK CATCH BASIN
REVISIONS:
DET. NO.: 840.01



TITLE: BRICK CATCH BASIN
REVISIONS:
DET. NO.: 840.01

TOWN OF CHAPEL HILL

ENGINEERING DEPARTMENT

PENNINGTON ASSOCIATES INC.
 Firm License F-287
 401 Providence Road #200
 Chapel Hill, NC 27514
 T 919.929.1173 F 919.935.6548

CS6001

CHAPEL HILL COOPERATIVE PRESCHOOL

SITE DETAILS

108 MT. CARMEL CHURCH ROAD
 CHAPEL HILL, NC 27514

106 PUREFOY ROAD
 CHAPEL HILL, NC 27514

ENGLISH STANDARD DRAWING FOR BRICK CATCH BASIN

SECTION 1 OF 2
840.01

CHAPEL HILL COOPERATIVE PRESCHOOL

SITE DETAILS

108 MT. CARMEL CHURCH ROAD
 CHAPEL HILL, NC 27514

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ENGLISH STANDARD DRAWING FOR BRICK CATCH BASIN

SECTION 1 OF 2
840.01

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PROJECT: CHCP1601
DATE: 2017-12-18
DRAWING SCALE: NTS
DRAWN BY: DC
APPROVED BY: PCB

CS6001

SHEET 10 OF 14

FILTERRA DESIGN NOTES

THE FILTERRA TREATMENT CAPACITY IS DETERMINED BY THE TREATMENT RATE OF THE FILTERRA MEDIA. A SEPARATE INLET STRUCTURE MUST BE INSTALLED DOWNSTREAM OF THE OFFLINE FILTERRA TO CONVEY FLOWS IN EXCESS OF THE SYSTEM DESIGN CAPACITY. SEE THE FILTERRA DESIGN, OPERATION AND PERFORMANCE GUIDE FOR MORE INFORMATION.

Ø 7" x 8" [178 x 203] CLEANOUT
(ACTUAL PRODUCT MAY VARY) N.T.S.

48" x 48" [1219 x 1219] TREE GRATE
(ACTUAL PRODUCT MAY VARY) N.T.S.

OUTFLOW PIPE ORIENTATION OPTIONS
ORIENTATION REFERENCE IS INLET THROAT

CURB INLET DETAIL

OPTIONAL RECESSED TOP SLAB DETAIL
(TYPICAL TOP SLAB DETAIL SHOWN IN SECTION B-B)

GENERAL NOTES

- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
- PLANT, MULCH, AND DISSIPATION ROCK ARE SUPPLIED BY CONTECH AND DELIVERED AT TIME OF SYSTEM ACTIVATION. PLANT SELECTION SHALL BE DONE BY THE ENGINEER OF RECORD IN ACCORDANCE WITH THE PROJECT PLANS AND SPECIFICATIONS.
- DIMENSIONS MARKED WITH [] ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.
- FOR SITE SPECIFIC DRAWINGS WITH DETAILED VAULT DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH REPRESENTATIVE. www.ContechES.com
- FILTERRA WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
- STRUCTURE DESIGNED FOR PEDESTRIAN LIVE LOAD WITH HS (4,000 LBS.) WHEEL LOAD MOUNTING THE CURB AND ADJACENT HS-2 LIVE LOAD SURCHARGE ON THE WALLS ON THE STRUCTURE.
- FILTERRA STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C-857, ASTM C-919, AND ACI-318 LOAD FACTOR DESIGN METHOD.

INSTALLATION NOTES

- ANY SUB-BASE, BACKFILL, DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
- CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE FILTERRA VAULT (LIFTING CLUTCHES PROVIDED). SPREADER BAR WITH SUFFICIENT CABLE IS REQUIRED FOR SAFETY AND REDUCTION OF DAMAGE TO CONCRETE STRUCTURE.
- CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL VAULT SECTIONS AND ASSEMBLE VAULT.
- CONTRACTOR TO PROVIDE AND INSTALL OUTLET PIPE. PVC COUPLING CAST-IN TO WALL FOR OUTLET PIPE CONNECTION.
- CONTRACTOR TO SUPPLY AND INSTALL INLET PROTECTION BAR IF REQUIRED BY LOCAL JURISDICTION.
- CONTRACTOR TO TAKE APPROPRIATE MEASURES TO PROTECT FILTERRA MEDIA BAY FROM CONSTRUCTION-RELATED EROSION RUNOFF.
- CONTECH IS RESPONSIBLE FOR ACTIVATION OF THE SYSTEM AND PLANTING OF THE PLANT THAT IS SPECIFIED. ACTIVATION ONLY OCCURS WHEN THE SITE IS FULLY STABILIZED, FINAL PAVEMENT INSTALLED AND SWEEP CLEAN OF CONSTRUCTION SEDIMENT.
- ALL FILTERRA UNITS MUST BE WATERED BY IRRIGATION LINES OR SPRINKLER SYSTEMS ON A REGULAR BASIS. EACH FILTERRA UNIT INCLUDES IRRIGATION HOLES FOR NEW OR EXISTING IRRIGATION LINES.

CONTECH ENGINEERED SOLUTIONS LLC
www.ContechES.com
9030 Corbin Plaza Dr., Suite 400, West Chester, OH 45390
910-332-1172 513-245-7029 513-245-7991 FAX

FILTERRA 6x12 OFFLINE STANDARD DETAIL SHORT SIDE INLET MODEL: FT0612

FILTERRA DESIGN NOTES

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910-332-1172 513-245-7029 513-245-7991 FAX

FILTERRA 12x6 OFFLINE STANDARD LONG SIDE INLET MODEL: FT1206

**PRELIMINARY
NOT FOR CONSTRUCTION**

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK



CHAPEL HILL COOPERATIVE PRESCHOOL
108 MT. CARMEL CHURCH ROAD
CHAPEL HILL, NC 27514

SITE DETAILS

CHAPEL HILL COOPERATIVE PRESCHOOL
106 PUREFOY ROAD
CHAPEL HILL, NC 27514

NO.	DATE	REVISIONS	BY

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PROJECT **CHCP1601**
DATE **2017-12-18**
DRAWING SCALE **1" = 30'**
DRAWN BY **DC**
APPROVED BY **PCB**

CS6002
SHEET **11** OF **14**

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 PLOT STYLE: Pennoni.ctb
 PROJECT STATUS: SPECIAL USE PERMIT APPLICATION



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Pennoni
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 Chapel Hill, NC 27514
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Professional Engineer Seal: CAROLINA STATE ENGINEER, DAVID G. WARREN, 003940, 12/27/17

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

CHAPEL HILL COOPERATIVE PRESCHOOL
 108 MT. CARMEL CHURCH ROAD
 CHAPEL HILL, NC 27514

EROSION CONTROL PLAN

CHAPEL HILL COOPERATIVE PRESCHOOL
 106 PUREFOY ROAD
 CHAPEL HILL, NC 27514

NO.	DATE	REVISIONS	BY

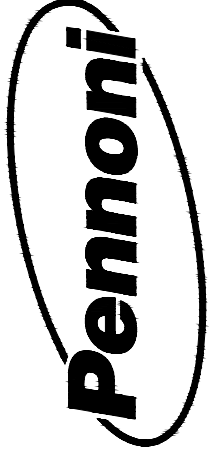
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PROJECT	CHCP1601
DATE	2017-12-18
DRAWING SCALE	1" = 30'
DRAWN BY	DC
APPROVED BY	PCB
CS8001	SHEET 12 OF 14

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 PLOTTED: 12/27/2017 4:17 PM BY: David.Chilly PROJECT STATUS: SPECIAL USE PERMIT APPLICATION



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CHAPEL HILL COOPERATIVE PRESCHOOL
 108 MT. CARMEL CHURCH ROAD
 CHAPEL HILL, NC 27514
CONSTRUCTION MANAGEMENT
PLAN
 CHAPEL HILL COOPERATIVE PRESCHOOL
 106 PUREFOY ROAD
 CHAPEL HILL, NC, 27514

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PROJECT	CHCP1601
DATE	2017-12-18
DRAWING SCALE	1" = 30'
DRAWN BY	DC
APPROVED BY	PCB

CS8002
 SHEET 13 OF 14

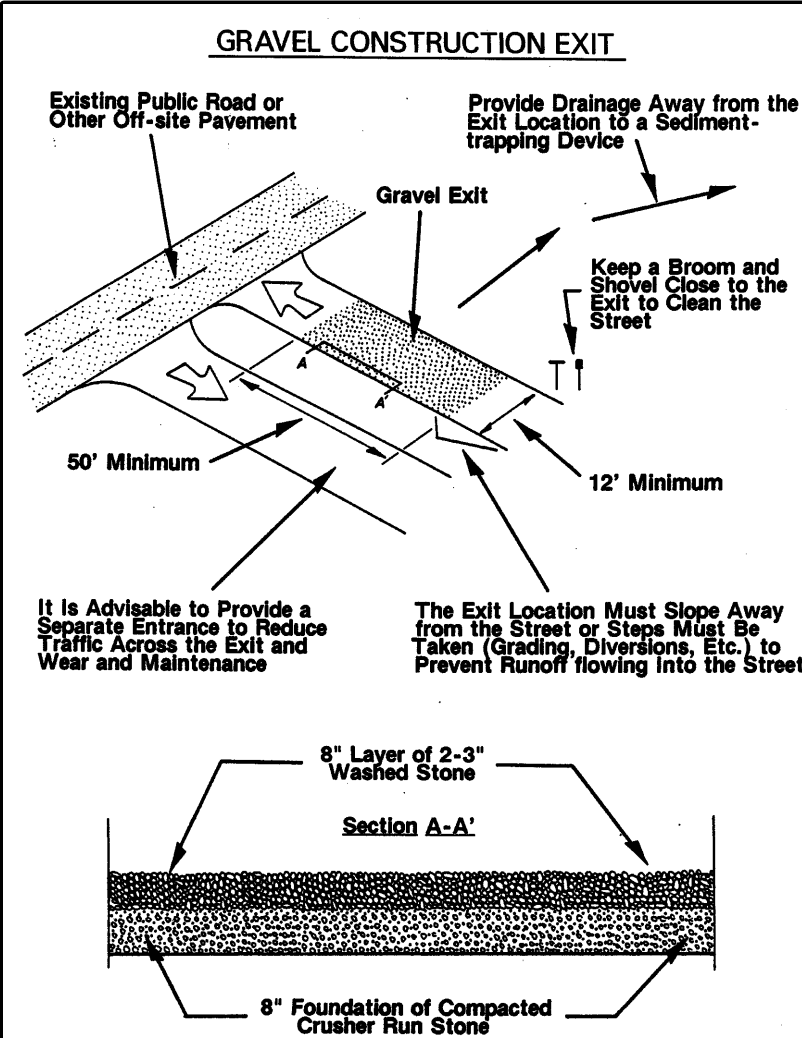


Figure 2: Illustration of a Gravel Construction Exit.

INSTRUCTIONS FOR TEMPORARY STABILIZATION USING VEGETATION
INSTALLATION
1. REFER TO PLANS FOR LOCATION, EXTENT, AND SPECIFICATIONS. IF THERE ARE QUESTIONS OR PROBLEMS WITH THE LOCATION, EXTENT, OR METHODS OF INSTALLATION, CONTACT THE ENGINEER, ARCHITECT, OR RESPONSIBLE PERSONNEL ON THE SITE FOR ASSISTANCE.

SEEDING PREPARATION: REMOVE ROCKS, STUMPS, ROOTS, ETC. SINCE THEY WILL INTERFERE WITH SEEDING AND MAINTENANCE. THE SHOULDER CONSTRUCTED SURFACE OF CUT AND FILL SLOPES IS NOT A GOOD SEED BED; APPLY LIME AND FERTILIZER, THEREAFTER THE AREA SHOULD BE MIXED AND RESEED.

SEEDING RATES: FEBRUARY 15 - MAY, OR AUGUST 15 - OCTOBER 15
LIME: 150 POUNDS PER 1000 SQUARE FEET (3 TONS PER ACRE)
FERTILIZER: 10-10-10: 150 POUNDS PER 1000 SQUARE FEET (3 TONS PER ACRE)

REMOVAL
1. WHEN THE GRAVEL CONSTRUCTION EXIT IS NO LONGER NEEDED, WHEN THE TRAVEL LANE HAS BEEN STABILIZED AND THE POTENTIAL FOR TRAPPING SOIL AND SEDIMENT HAS BEEN REMOVED, THE GRAVEL CONSTRUCTION EXIT MAY BE REMOVED.

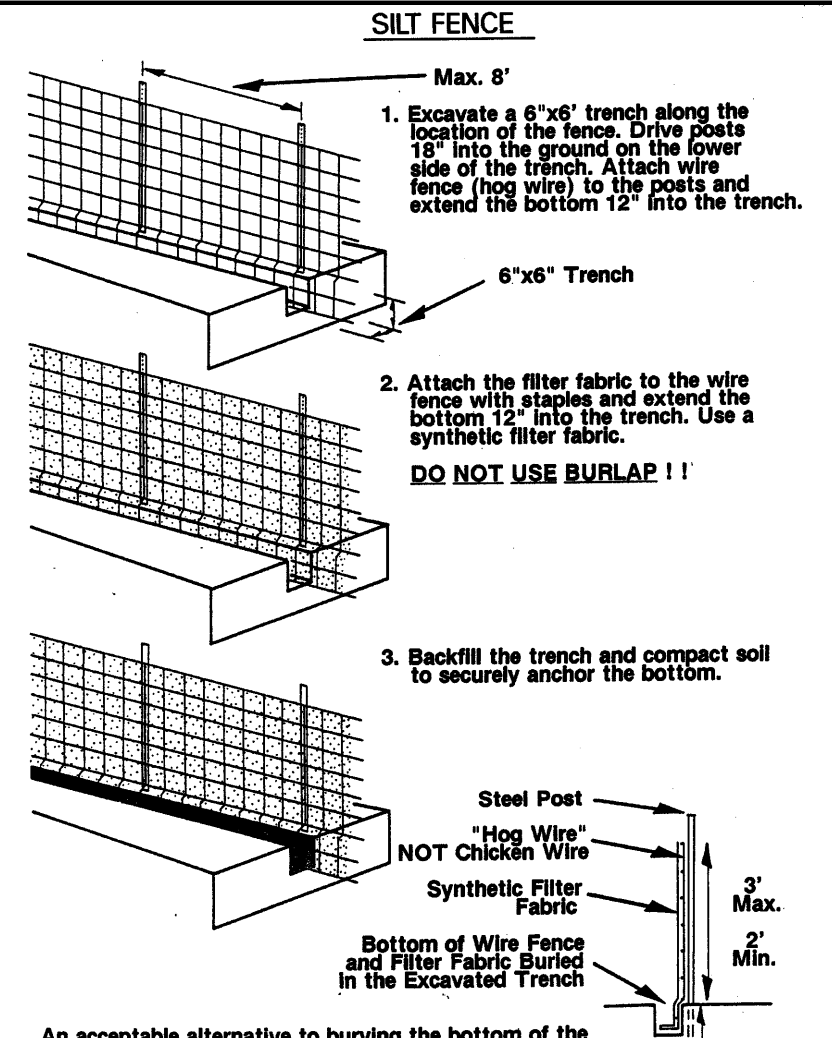


Figure 3: Illustration of Silt Fence Installation.

INSTALLATION
1. REFER TO PLANS FOR LOCATION, EXTENT, AND SPECIFICATIONS. IF THERE ARE QUESTIONS OR PROBLEMS WITH THE LOCATION, EXTENT, OR METHODS OF INSTALLATION, CONTACT THE ENGINEER, ARCHITECT, OR RESPONSIBLE PERSONNEL ON THE SITE FOR ASSISTANCE.

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REMOVAL
1. WHEN GRADING IN THE DRAINAGE AREA ABOVE THE SILT FENCE HAS BEEN COMPLETED AND THE DISTURBED AREA SUFFICIENTLY STABILIZED TO RESTRAIN EROSION, THE SILT FENCE AND ANY OUTLETS MUST BE REMOVED.

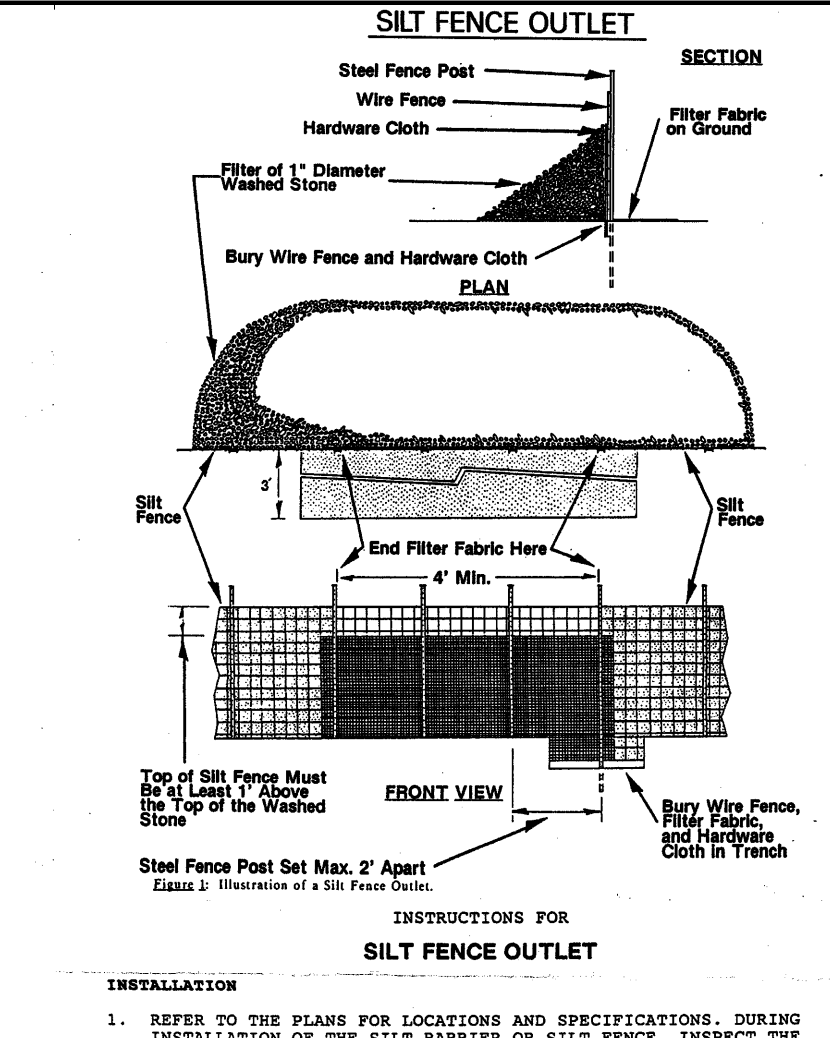


Figure 4: Illustration of Silt Fence Outlet Installation.

INSTALLATION
1. REFER TO PLANS FOR LOCATION, EXTENT, AND SPECIFICATIONS. DURING INSTALLATION OF THE SILT FENCE, INSPECT THE OUTLET FOR PROBLEMS WITH THE LOCATION, EXTENT, OR METHODS OF INSTALLATION.

REMOVAL
1. WHEN GRADING IN THE DRAINAGE AREA ABOVE THE SILT FENCE HAS BEEN COMPLETED AND THE DISTURBED AREA SUFFICIENTLY STABILIZED TO RESTRAIN EROSION, THE SILT FENCE AND ANY OUTLETS MUST BE REMOVED.

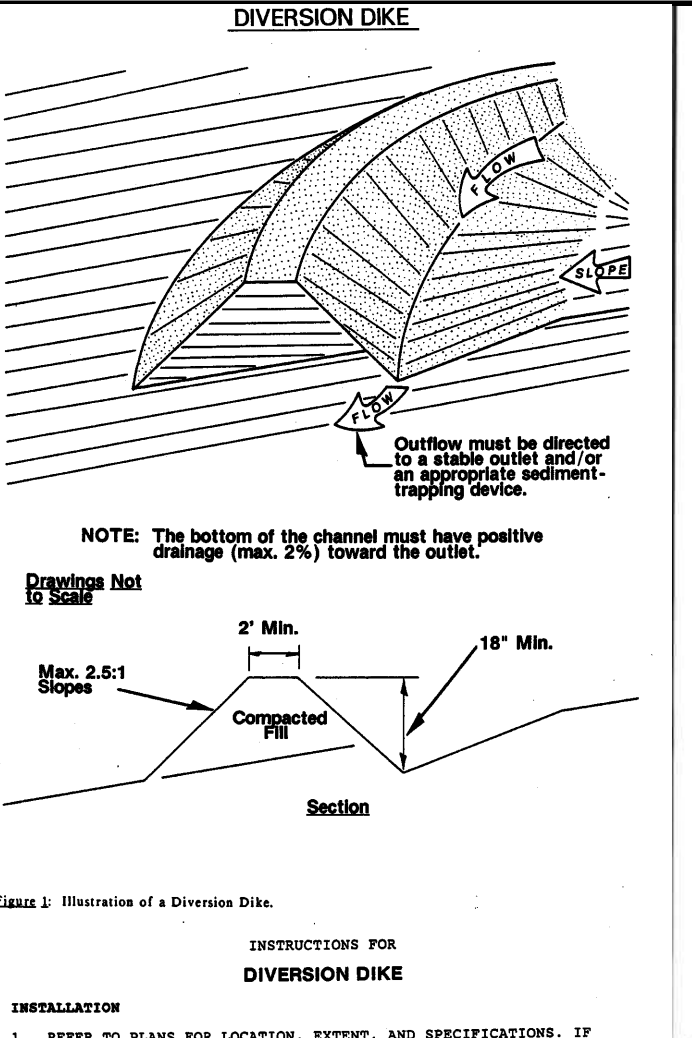


Figure 5: Illustration of a Diversion Dike.

INSTALLATION
1. REFER TO PLANS FOR LOCATION, EXTENT, AND SPECIFICATIONS. IF THERE ARE QUESTIONS OR PROBLEMS WITH THE LOCATION, EXTENT, OR METHODS OF INSTALLATION, CONTACT THE ENGINEER, ARCHITECT, OR RESPONSIBLE PERSONNEL ON THE SITE FOR ASSISTANCE.

REMOVAL
1. WHEN GRADING ABOVE THE DIVERSION IS FINISHED AND THE AREA IS STABILIZED, IT MUST BE REMOVED.

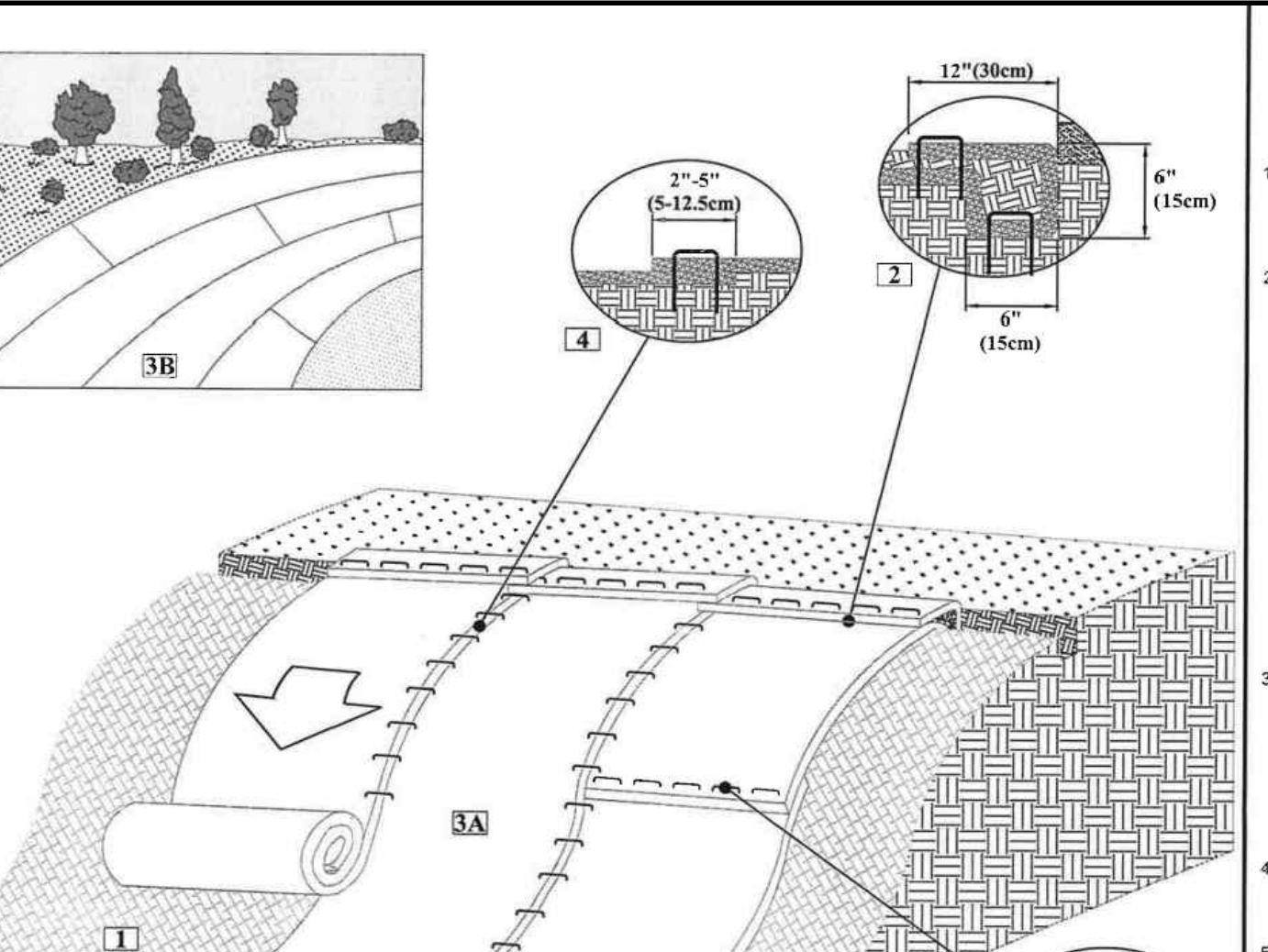


Figure 6: Illustration of a Slope Installation Detail.

INSTALLATION
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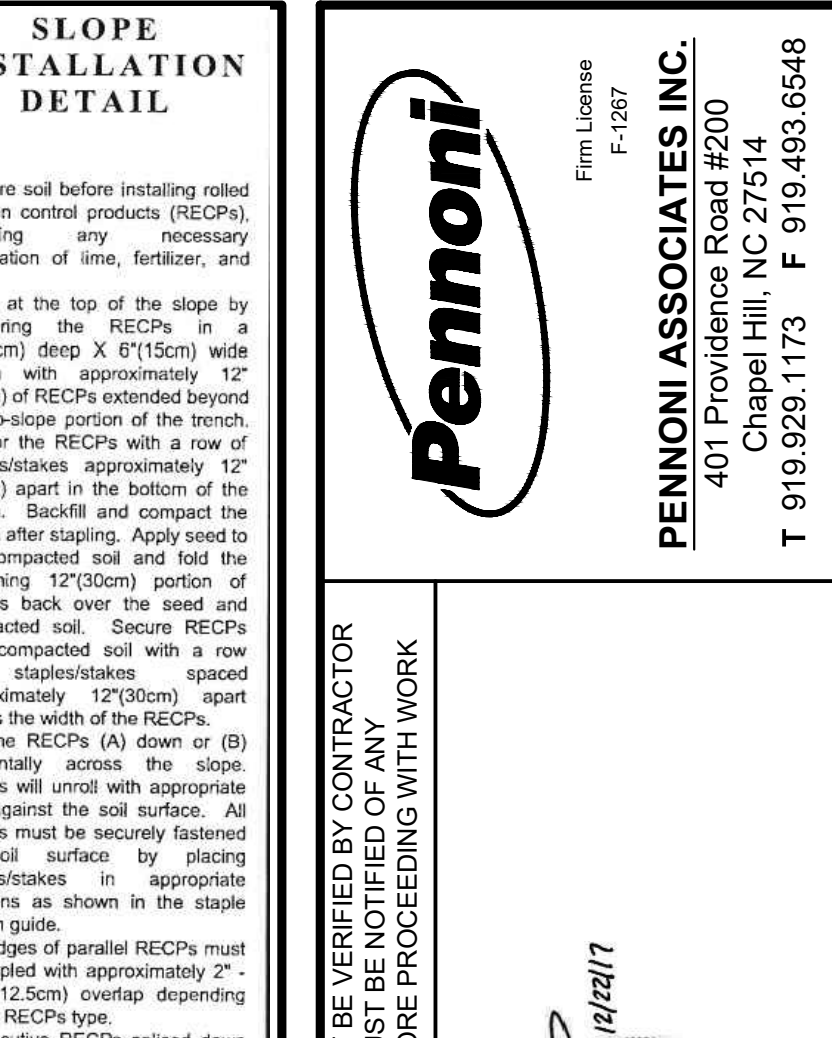


Figure 7: Illustration of a Stone Apron Outlet Protection.

INSTALLATION
1. REFER TO PLANS FOR LOCATION, EXTENT, AND SPECIFICATIONS. IF THERE ARE QUESTIONS OR PROBLEMS WITH THE LOCATION, EXTENT, OR METHODS OF INSTALLATION, CONTACT THE ENGINEER, ARCHITECT, OR RESPONSIBLE PERSONNEL ON THE SITE FOR ASSISTANCE.

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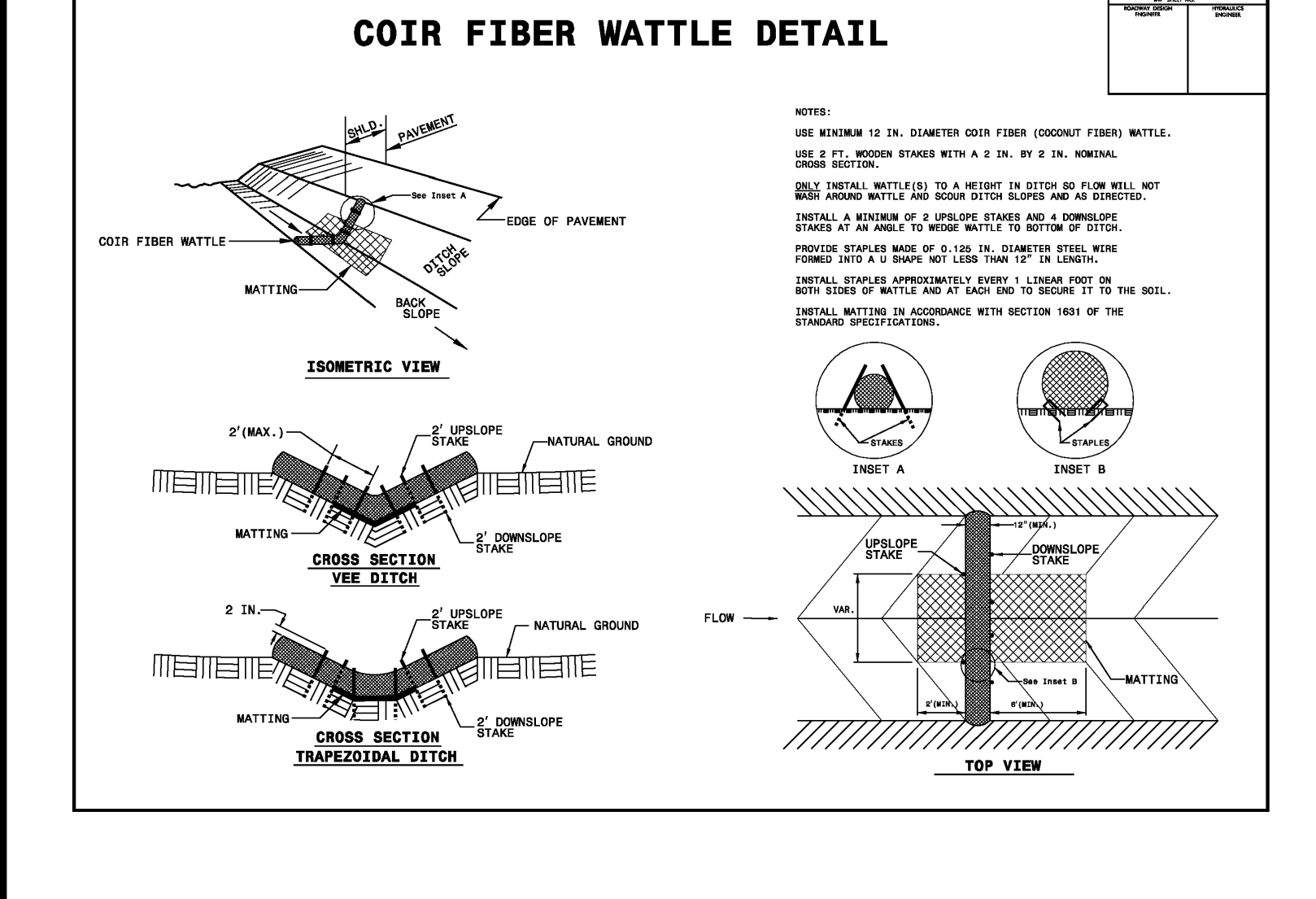


Figure 8: Illustration of a Coir Fiber Wattle Detail.

INSTALLATION
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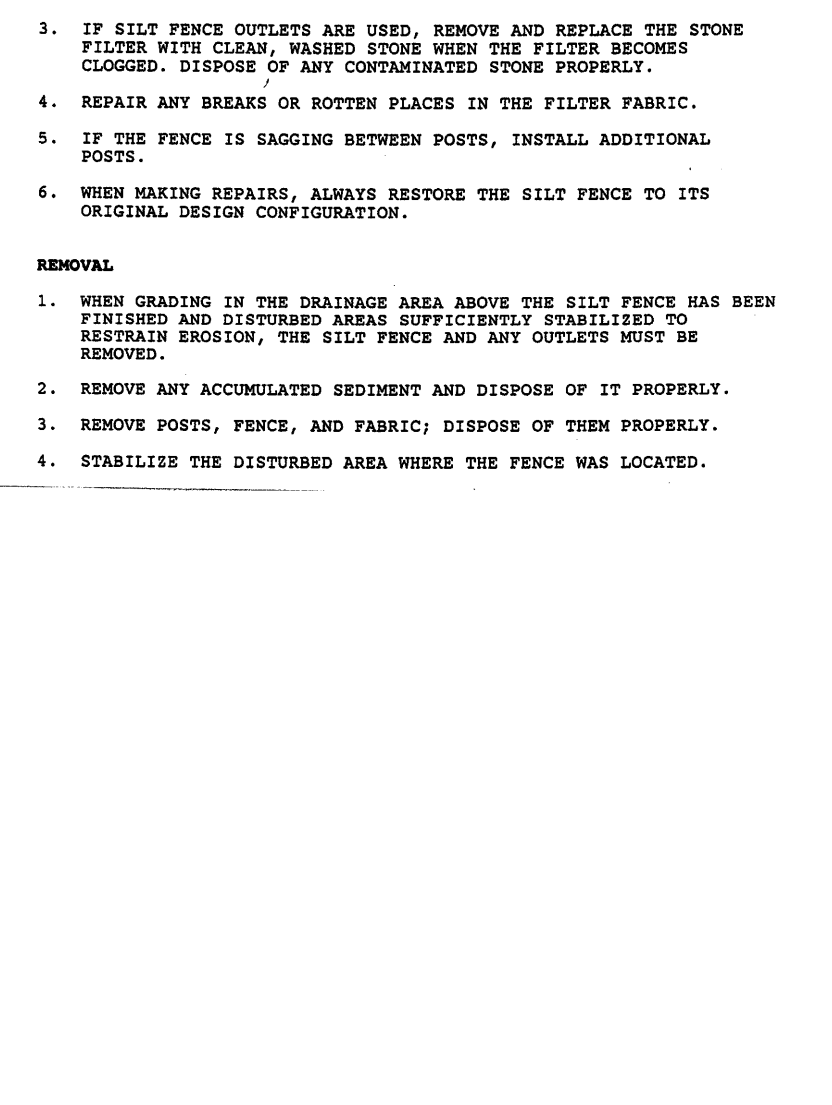


Figure 9: Illustration of a Vegetation Strip.

INSTALLATION
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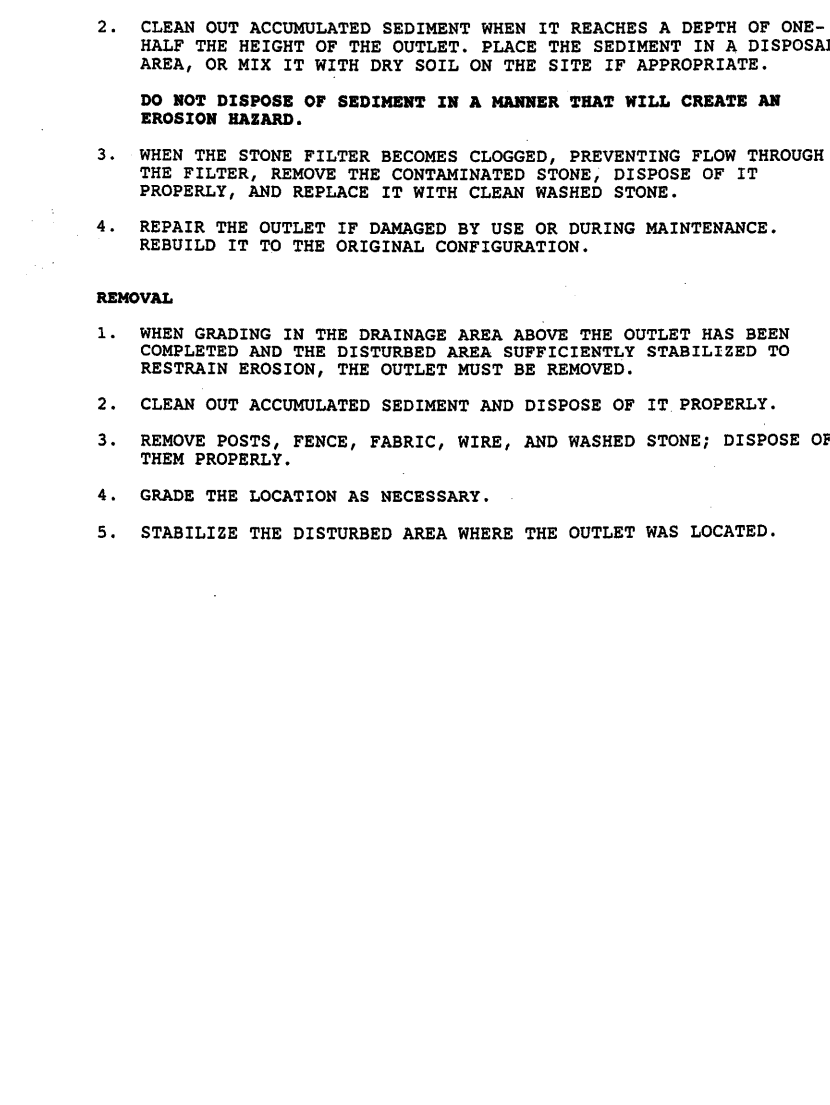


Figure 10: Illustration of a Silt Fence Outlet.

INSTALLATION
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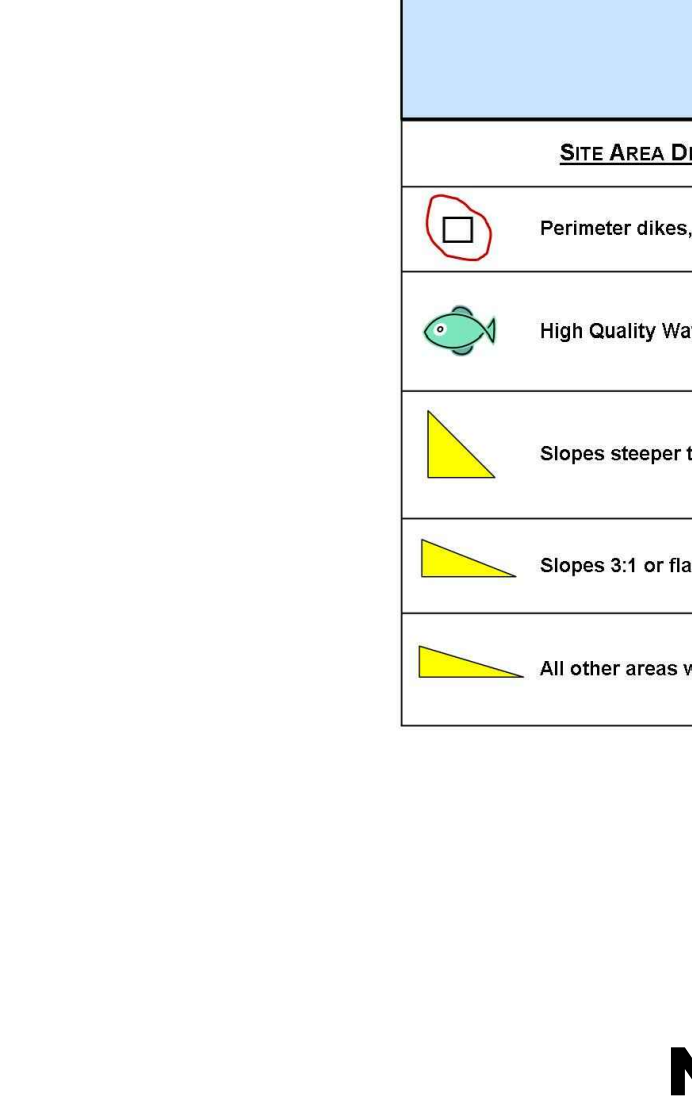


Figure 11: Illustration of a Diversion Dike.

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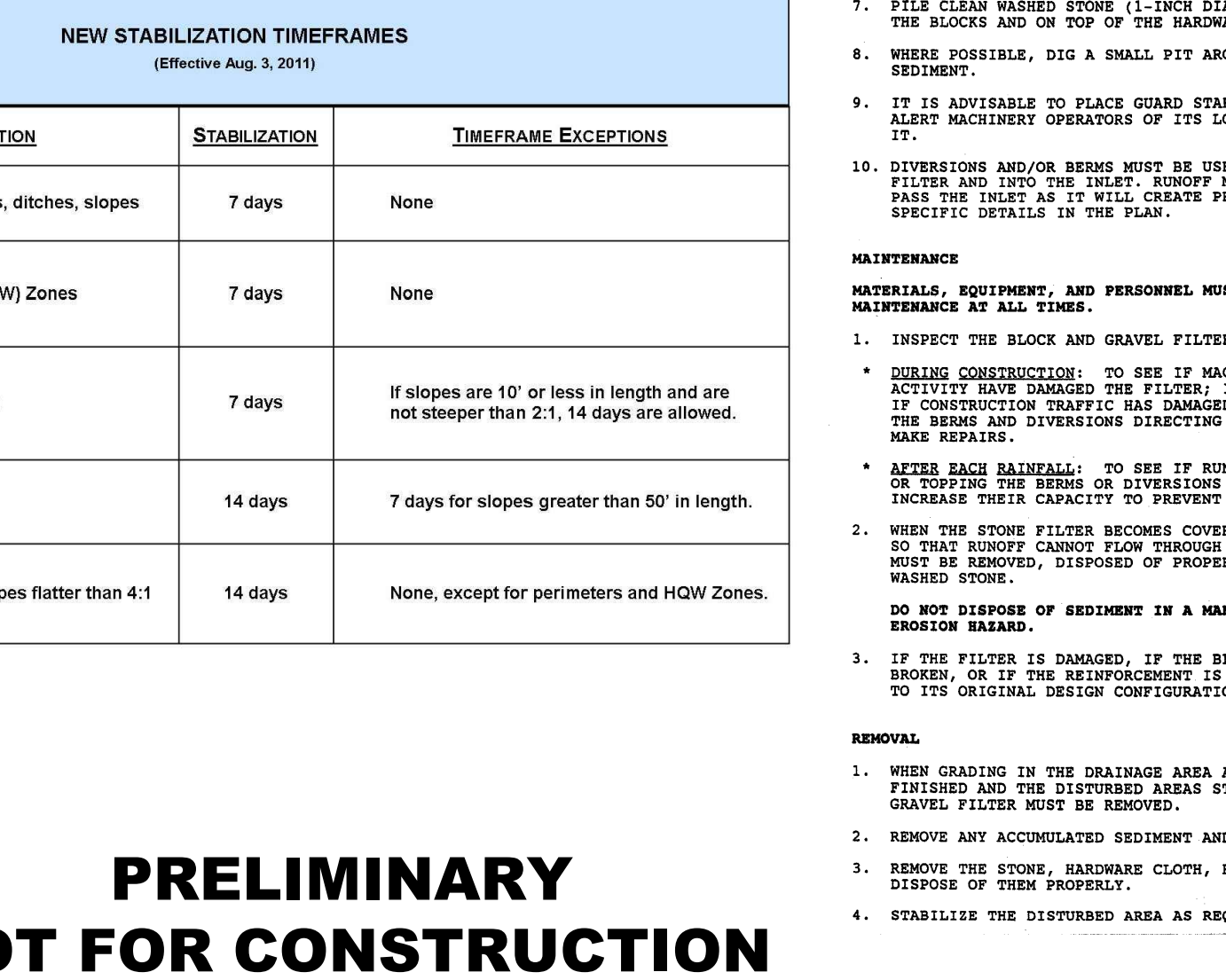


Figure 12: Illustration of a Stone Apron Outlet Protection.

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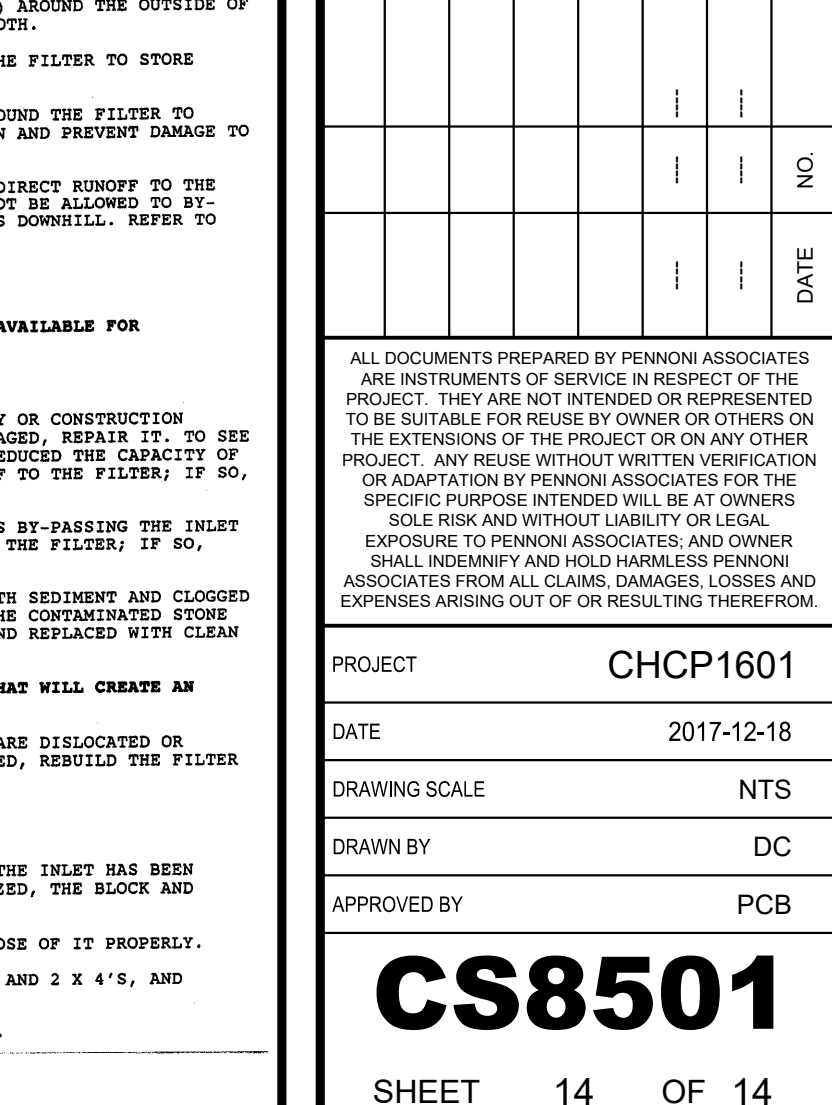


Figure 13: Illustration of a Block and Gravel Filter.

INSTALLATION
1. REFER TO PLANS FOR LOCATIONS AND SPECIFICATIONS. IF THERE ARE QUESTIONS OR PROBLEMS WITH THE LOCATION, EXTENT, OR METHODS OF INSTALLATION, CONTACT THE ENGINEER, ARCHITECT, OR RESPONSIBLE PERSONNEL ON THE SITE FOR ASSISTANCE.