

STANDARD TOWN NOTES:

1. Buildings to be demolished must be inspected by a NC accredited asbestos professional. Submit report with demo permit application.

2. Asbestos abatement must be performed by a NC accredited asbestos professional.

3. Separate demo permit is required.

4. Written OWASA approval is required for any installations of: backflow preventers, grease traps, oil/water separators, water meters, elevator sump pumps

5. Confirm the address of your project with Chapel Hill GIS. Once you have written confirmation, then those address numbers must be a minimum of 6 inches high and of contrasting color to their background. Reflective numbers are preferred and required on front and rear doors of strip shopping centers. When the distance from the street or fire department access lane to the front or address side of the building exceeds 25 feet, larger numbers are required. 26 feet to 50 feet shall have 8 inch numbers, 51-75 feet shall have 12 inch numbers and over 75 feet shall have 18 inch numbers. Where access is by private means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure.

6. Any retaining walls over five (5) feet high shall be permitted separately from the building(s) and must be signed by a design professional.

7. Provide onsite parking for inspectors at each building for the duration of the construction project.

8. Provide a tire wash for trucks onsite before they hit the main roads. Curb & gutter and first lift of asphalt for access roads must be down ahead of construction.

9. A single electrical service shall be provided to serve the structure with the exception of the fire pump. Article 230.2 (A) 2017 edition of North Carolina Electric Code.

10. Accessibility Requirements: That prior to issuance of a Certificate of Occupancy, the applicant shall provide the minimum required handicapped parking spaces and design all handicapped parking spaces, ramps, and crosswalks, and associated infrastructure according to Americans with Disabilities Act standards, North Carolina Building Code, American National Standards Institute (ANSI) Code, and Town standard.

Parking - number of spaces to comply with NCBC 2018 section 1106.1, 1 per 6 compliant spaces or portion thereof must be van accessible, No slope to exceed 2% in any direction. Signage per NC requirements, MUT-CD and ICC A 117.1.

Curb cuts and accessible routes Per ICC A117.1 2009 Ed. Cross slope limited to 2%, call for inspection before placement of concrete.

Slope greater than 5% requires construction as a ramp.

11. Cross slope on accessible routes cannot exceed 2%. Slope in excess of 5% constitutes a ramp, requiring hand rails, guards and edge protection per code. Cross slope on accessible parking and loading areas not exceed 2%, call for inspection before placement of any concrete. All public access site features must meet ICC/ANSI A117.1.

12. Parking - Accessible parking per NCBC sect 1106.1; 1 per 6 compliant spaces must be van accessible, no slope exceeding 2% in any direction. Signage per NC requirements and ICC A 117.1.

13. A separate submittal and permit will be required for the construction trailer.

14. A fire sprinkler system will be required for this project per town ordinance 7-56.

15. A fire hydrant will be required within 100 feet of the fire department connection (FDC).

16. A door from the exterior will be required to immediately access the fire sprinkler riser room.

17. A separate submittal and permit will be required for any signage on the building or ground mounted signs

18. FIRE DEPARTMENT ACCESS: All turns, radii, bridges, and depressions within roadways shall be designed and constructed to be accessible by the largest fire apparatus operated by the Town of Chapel Hill. Technical information on this equipment is available from the Towns Fire Marshal. 2018 NCFC Section 503, Appendix D.

19. FIRE DEPARTMENT ACCESS/CONSTRUCTION: Fencing around projects shall include access gates with a 20 foot swing or slide motion. Any areas which will be inaccessible for firefighting or rescue operations shall be noted. Emergency access designation for apparatus shall be provided. 2018 NCFC Section 503, Appendix D.

20. FIRE DEPARTMENT ACCESS/CONSTRUCTION: During construction, vehicle access for firefighting shall be provided. Temporary street signs shall be installed at each street intersection when construction allows the passage of vehicles. Signs shall be of an approved size, weather resistant, and maintained until replaced by permanent signs. 2018 NCFC Section 505.2

21. OBSTRUCTION OF FIRE APPARATUS ACCESS ROADS. Fire apparatus access roads shall not be obstructed in any manner, including the parking of vehicles. The minimum widths and clearances established in Sections 503.2.1 and 503.2.2 shall be maintained at all times. 2018 NCFC 503.4

22. TRAFFIC CALMING DEVICES. Traffic calming devices shall be prohibited unless approved by the fire code official. 2018 NCFC 503.4.1

23. WATER SUPPLY FOR FIRE PROTECTION: When required. An approved water supply for fire protection, either temporary or permanent, shall be made available as soon as combustible material arrives on the site. 2018 NCFC 3312

24. FIRE APPARATUS ACCESS ROADS; 503.1 Where required. Fire apparatus access roads shall be provided and maintained in accordance with Sections 503.1.1 through 503.1.3

503.1.1 Buildings and facilities. Approved fire apparatus access roads shall be provided for every facility, building, or portion of a building hereafter constructed or moved into or within the jurisdiction. The fire apparatus access road shall comply with the requirements of this section and shall extend to within 150 feet (45720 mm) of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility.

Exceptions:

1. The fire code official is authorized to increase the dimension of 150 feet (45720 mm) where any of the following conditions occur:

1.1. When the building is equipped throughout with an approved automatic sprinkler system installed in accordance with Section 903.3.1.1 or 903.3.1.2 the dimension shall increase to a minimum of 200 feet (60960 mm).

1.2 Fire apparatus access roads cannot be installed because of location on property, topography, waterways, nonnegotiable grades, or other similar conditions, and an approved alternative means of fire protection is provided.

1.3. There are not more than two Group R-3 or Group U occupancies.

2. The fire code official is authorized to modify or exempt fire apparatus access roads for solar photovoltaic power generation facilities. 2018 NCFC Section 503

25. GRADE AND APPROACH; 503.2.7 Grade. The grade of the fire apparatus access road shall be within the limits established by the fire code official based on the fire department's apparatus.

503.2.8 Angles of approach and departure. The angles of approach and departure for fire apparatus access roads shall be within the limits established by the fire code official based on the fire department's apparatus.

D 103.2 Grade. Fire apparatus access roads shall not exceed 10 percent in grade.

Exception: Grades steeper than 10 percent as approved by the fire chief. 2018 NCFC Section 503 and Appendix D.

26. FIRE APPARATUS ACCESS ROADS AUTHORITY; 503.2. Authority. The fire code official shall have the authority to require or permit modifications to the required access widths where they are inadequate for fire or rescue operations or where necessary to meet the public safety objectives of the jurisdiction. 2018 NCFC Section 503

27. GATES AND BARRICADES; 03.5 Required gates or barricades. The fire code official is authorized to require the installation and maintenance of gates or other approved barricades across fire apparatus access roads, trails, or other accessways; not including public streets, alleys, or highways. Electric gate operators, where provided, shall be listed in accordance with UL 325. Gates intended for automatic operation shall be designed, constructed, and installed to comply with the requirements of ASTM F2200. 2018 NCFC Section 503 and Appendix D103

28. FIRE LANES; Where required by the fire code official, approved signs or other approved notices or markings that include the words NO PARKING-FIRE LANE shall be provided for fire apparatus access roads to identify such roads or prohibit the obstruction thereof. The means by which fire lanes are designated shall be maintained in a clean and legible condition at all times and be replaced or repaired when necessary to provide adequate visibility. 2018 NCFC Section 503.3 and Appendix D D 103.6, D 1036.1, D 103.6.2

29. DEVELOPMENTS; D104.1 Buildings exceeding three stories or 30 feet in height. Buildings or facilities exceeding 30 feet (9144 mm) or three stories in height shall have at least two means of fire apparatus access for each structure.

D104.2 Buildings exceeding 62,000 square feet in area. Buildings or facilities having a gross building area of more than 62,000 square feet (5760 m²) shall be provided with two separate and approved fire apparatus access roads.

Exception: Projects having a gross building area of up to 124,000 square feet (11520 m²) that have a single approved fire apparatus access road when all buildings are equipped throughout with approved automatic sprinkler systems.

D104.3 Remoteness. Where two fire apparatus access roads are required, they shall be placed a distance apart equal to not less than one half of the length of the maximum overall diagonal dimension of the lot or area to be served, measured in a straight line between accesses. 2018 NCFC Appendix D104

30. AERIAL FIRE APPARATUS ACCESS ROADS; D105.1 Where required. Where the vertical distance between the grade plane and the highest roof surface exceeds 30 feet (9144 mm), approved aerial fire apparatus access roads shall be provided. For purposes of this section, the highest roof surface shall be determined by measurement to the eave of a pitched roof, the intersection of the roof to the exterior wall, or the top of parapet walls, whichever is greater.

D105.2 Width. Aerial fire apparatus access roads a minimum unobstructed width of 26 feet (7925 mm), exclusive of shoulders, in the immediate vicinity of the building or portion thereof.

D105.3 Proximity to building. At least one of the required access routes meeting this condition shall be located within a minimum of 15 ft (4572 mm) and a maximum of 30 feet (9144) from the building, and shall be positioned parallel to one entire side of the building.

The side of the building on which the aerial fire apparatus access road is positioned or shall be approved by the fire code official.

D105.4 Obstructions. Overhead utility and power lines shall not be located over the aerial fire apparatus access road or between the aerial fire apparatus road and the building. Other obstructions shall be permitted to be placed with the approval of the fire code official. 2018 NCFC Appendix D105

31. ADDRESS IDENTIFICATION; 505.1 Address identification. New and existing buildings shall be provided with approved address identification. The address identification shall be legible and placed in a position that is visible from the street or road front the property.

Address identification characters shall contrast with their background. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall not be spelled out. Each character shall be not less than 6 inches (153 mm) high with a minimum stroke width of 3/4 inch (20 mm). Where required by the fire code official, address identification shall be provided in additional approved locations to facilitate emergency response. Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole, or other sign or means shall be used to identify the structure. Address identification shall be maintained. 2018 NCFC 505.1

32. KEY BOXES; 506.1 Where required. Where access to or within a structure or an area is restricted because of secured openings or where immediate access is necessary for life-saving or fire-fighting purposes, the fire code official is authorized to require a key box to be installed in an approved location. The key box shall be of an approved type listed in accordance with UL 1037, and shall contain keys to gain necessary access as required by the fire code official. 2018 NCFC 506.1

33. SPRINKLERS: Any building with more than 6000 sf of floor space is required to have a sprinkler system. Town Ordinance 7-56.

34. FIRE PROTECTION AND UTILITY PLAN; shall include the fire flow report: for a hydrant within 500' of each building, provide the calculated gallons per minute of with a residual pressure of 20 pounds per square inch. The calculations should be sealed by a professional engineer licensed in the State of NC and accompanied by a water supply flow test conducted within one year of the submittal. Reference Town Design Manual for required gallons per minute. (Fire)

35. FIRE DEPARTMENT CONNECTIONS, LOCATIONS; Any required FDCs for any buildings shall meet the design and installation requirements for the current, approved edition of NFPA 13, 13D, 13R, or 14 of the NCFC and Town Ordinances; 7-38 for location. FDCs shall be installed on the street/address side f the building and within 100' of a hydrant or unless otherwise approved by the fire code official and shall not be obstructed or hindered by parking or landscaping.

36. FIRE DEPARTMENT CONNECTIONS, INSTALLATION; A working space of not less than 36" in width and depth and a working space of 78" in height shall be provided on all sides with the exception of wall mounted FDCs unless otherwise approved by the fire code official. The FDCs where required must be physically protected by an approved barrier from impacts. 2018 NCFC Section 912

37. CONSTRUCTION/DEMOLITION; All Construction and demolition conducted shall be in compliance of the current edition of the NC Fire Code. 2018 NCFC Chapter 33

38. NCFC Section 510. Emergency responder radio coverage in new buildings. All new buildings shall have approved radio coverage for emergency responders within the building based upon the existing coverage levels of the public safety communication systems of the jurisdiction at the exterior of the building. This section shall not require improvement of the existing public safety communication systems.

39. A travel management plan (TMP) will be submitted as part of ZCP Construction plans.

40. CDC Review of Elevations, Lighting plan and Alternative buffers is required.

Orange County Solid Waste Standard Plan Notes (Construction Waste):

OCSW Construction Waste Requirements:

1. All existing structures 500 square feet and larger shall be assessed prior to the issuance of a demolition permit to ensure compliance with the County's Regulated Recyclable Materials Ordinance (RRMO) and to assess the potential for deconstruction and/or the reuse of salvageable materials. Contact the Orange County SW Enforcement Officer at 919-968-2788 to arrange for the assessment.

2. Pursuant to the County's RRMO, clean wood waste, scrap metal, and corrugated cardboard present in construction or demolition waste must be recycled.

3. Pursuant to the County's RRMO, all haulers of mixed construction and demolition waste which includes any regulated recyclable materials shall be licensed by Orange County.

4. Prior to any demolition or construction activity on the site, the applicant shall hold a pre-demolition/pre-construction conference with Solid Waste staff. This may be the same preconstruction meeting held with other development/enforcement officials.

5. The presence if any asbestos containing materials (ACM) and/or other hazardous materials shall be handled in accordance with any and all local, state, and federal regulations and guidelines.

Philip N. Post, PE, PLS
(919) 818-7862
philip.n.post@gmail.com
PO Box 4912
Chapel Hill, NC 27515

PHILIP
POST
ENGINEERING
FIRM: C-347

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR
AND OWNER MUST BE NOTIFIED OF ANY
DISCREPANCIES BEFORE PROCEEDING WITH WORK

CHRIST COMMUNITY CHURCH
141 ERWIN ROAD, CHAPEL HILL, N.C. 27514
PIN# 9799-39-9116 AND 9799-49-0235
NOTES
APPLICANT:
CHRIST COMMUNITY CHURCH
1528 E. FRANKLIN STREET, SUITE 201
CHAPEL HILL, N.C. 27514

#	#	#	#	#	#	DC	BY
#	#	#	#	#	#		
#	#	#	#	#	#	SUBMITTAL #1	COMMENTS
#	#	#	#	#	#	1	NO.
#	#	#	#	#	#	11-17-2019	DATE

ALL DOCUMENTS PREPARED BY PHILIP POST ENGINEERING ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PHILIP POST ENGINEERING FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PHILIP POST ENGINEERING, AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS PHILIP POST ENGINEERING FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

PROJECT401801

DATE8/28/2019

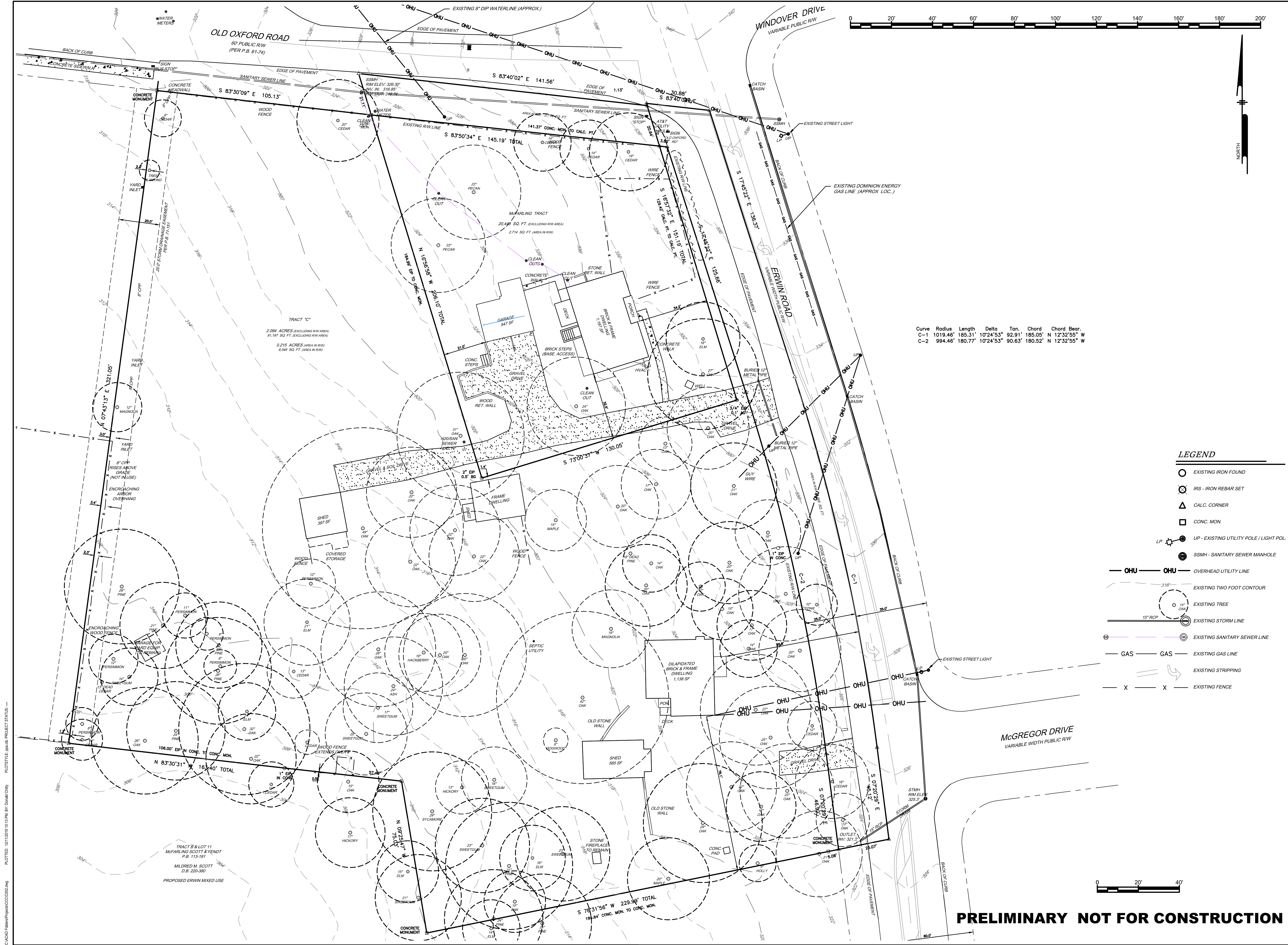
DRAWING SCALE-

DRAWN BYDC

APPROVED BYPP

C001B

SHEET1OF16



Curve	Radius	Length	Delta	Tan.	Chord	Chord Bear.
C-1	1019.46'	185.31'	10°24'53"	92.91'	185.05'	N 12°32'55" W
C-2	994.46'	180.77'	10°24'53"	90.63'	180.52'	N 12°32'55" W

LEGEND

- EXISTING IRON FOUND
- IRS - IRON REBAR SET
- CALC. CORNER
- CONC. MON.
- UP - EXISTING UTILITY POLE / LIGHT POL.
- SSMH - SANITARY SEWER MANHOLE
- OHU - OVERHEAD UTILITY LINE
- EXISTING TWO FOOT CONTOUR
- EXISTING TREE
- EXISTING STORM LINE
- EXISTING SANITARY SEWER LINE
- EXISTING GAS LINE
- EXISTING STRIPPING
- EXISTING FENCE

CHRIST COMMUNITY CHURCH

EXISTING CONDITIONS PLAN

141 ERWIN ROAD, CHAPEL HILL, N.C. 27514
PIN# 9799-39-9116 AND 9799-49-0235

NO.	DATE	REVISIONS	BY
1	11-17-2019	SUBMITTAL #1 COMMENTS	DC

PROJECT: 401801
DATE: 8/28/2019
DRAWING SCALE: 1" = 20'
DRAWN BY: DC
APPROVED BY: PP

C002

SHEET 3 OF 16

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

Philip N. Post, PE, PLS
(919) 818-7862
philip.n.post@gmail.com
PO Box 4912
Chapel Hill, NC 27515
Philip Post Engineering
FIRM: C-347



DEMOLITION NOTES:

1. EXISTING DWELLINGS / STORAGE BUILDINGS ARE ABOUT 60 YEARS OLD. BUILDING MATERIALS, FIXTURES AND APPLIANCES WILL BE REPURPOSED TO THE MAXIMUM EXTENT POSSIBLE.
2. ALL OTHER DEMOLITION PRODUCTS WILL BE PROPERLY DISPOSED OF PER ORANGE COUNTY REGULATIONS.

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR
AND OWNER MUST BE NOTIFIED OF ANY
DISCREPANCIES BEFORE PROCEEDING WITH WORK

CHRIST COMMUNITY CHURCH

141 ERWIN ROAD, CHAPEL HILL, N.C. 27514
PIN# 9799-39-9116 AND 9799-49-0235

APPLICANT:
CHRIST COMMUNITY CHURCH
1526 E. FRANKLIN STREET, SUITE 201
CHAPEL HILL, N.C. 27514

PHILIP
POST
ENGINEERING

Philip N. Post, PE, PLS
(919) 818-7862
philip.n.post@gmail.com
PO Box 4912
FIRM: C-347

#	#	#	#
#	#	#	#
#	#	#	#
#	#	#	#
#	#	#	#
#	#	#	#
#	#	#	#
#	#	#	#
1-12-2019	1	SUBMITTAL #1 COMMENTS	DC
DATE	NO.	REVISIONS	BY

ALL DOCUMENTS PREPARED BY PHILIP POST ENGINEERING ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. IT IS NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PHILIP POST ENGINEERING FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PHILIP POST ENGINEERING, AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS PHILIP POST ENGINEERING FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

PROJECT	401801
DATE	8/28/2019
DRAWING SCALE	1" = 20'
DRAWN BY	DO
APPROVED BY	PNF

C003

SHEET 4 OF 16

NOTE:
THESE DRAWINGS ARE FOR CONCEPTUAL PURPOSES AND DO NOT REFLECT ANY LOCAL PREFERENCES OR REGULATIONS. PLEASE CONTACT YOUR LOCAL CONTECH REP FOR MODIFICATIONS.

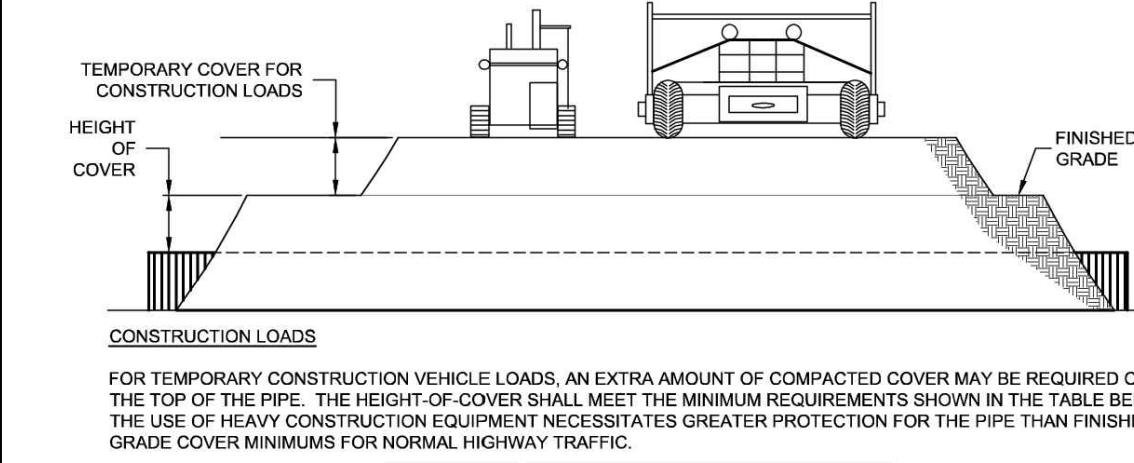
MAIN	DATE	REVISION DESCRIPTION	BY

CONTECH
ENGINEERED SOLUTIONS LLC
www.contechES.com
8025 Centre Pointe Dr., Suite 400, West Chester, OH 45399
800-338-1122 513-645-7000 513-645-7993 FAX

CONTECH
CMP DETENTION SYSTEMS
CONTECH
DYODS
DRAWING

DYODS - 12323-1-0
PROJECT NAME: Christ Community Church
Chapel Hill, NC
DESCRIPTION: WQV + MAIN DETENTION

PROJECT NO.: 12323-1-0
REV: 0
DATE: 8/23/2019
DESIGNED: DYODS
DRAWN: DYODS
CHECKED:
APPROVED:
SHEET NO.: D2



CONSTRUCTION LOADING DIAGRAM SCALE: N.T.S.

SPECIFICATION FOR DESIGNED DETENTION SYSTEM.

SCOPE: THE PIPE SHALL BE MANUFACTURED IN ACCORDANCE TO THE APPLICABLE REQUIREMENTS LISTED BELOW.

MATERIAL: THE MATERIAL SHALL CONFORM TO THE APPLICABLE REQUIREMENTS LISTED BELOW.

ALUMINIZED TYPE 2: AASHTO M-36 OR ASTM A-760

GALVANIZED: AASHTO M-36 OR ASTM A-760

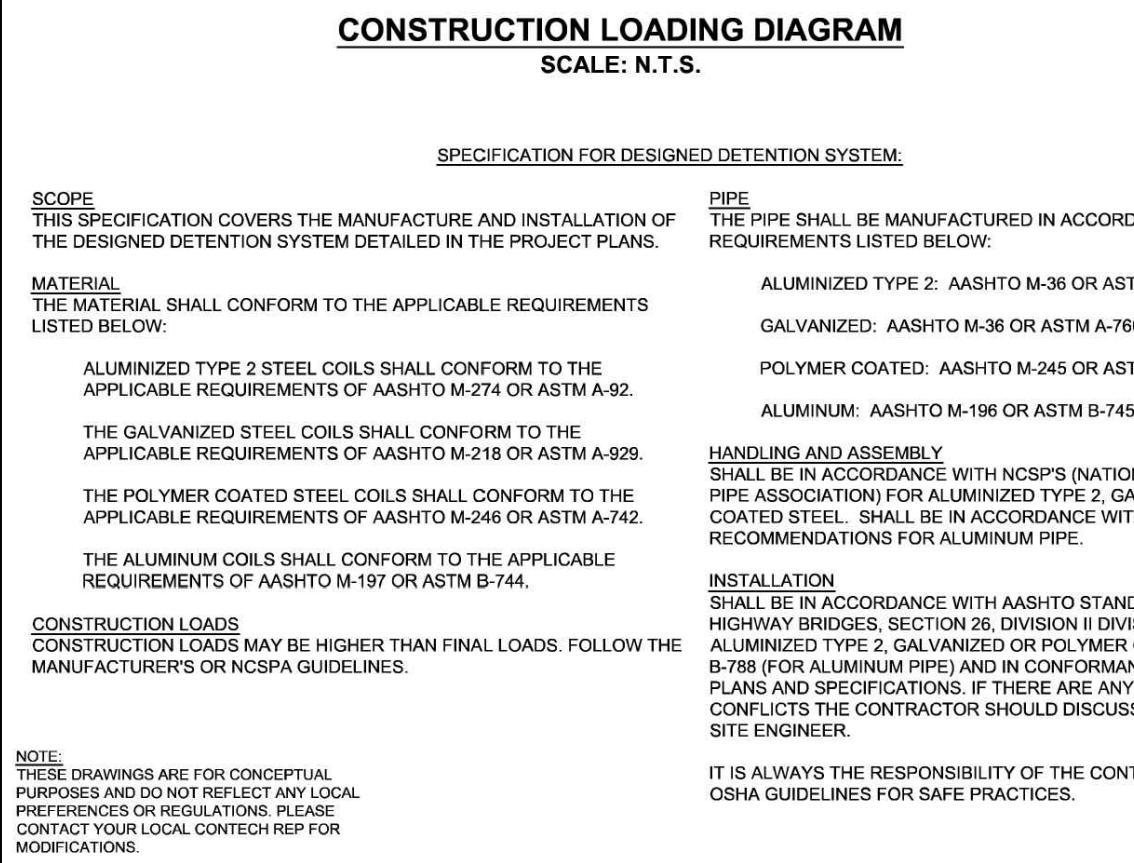
POLYMER COATED: AASHTO M-245 OR ASTM A-762

ALUMINUM: AASHTO M-196 OR ASTM B-745

HANDLING AND ASSEMBLY: SHALL BE IN ACCORDANCE WITH NCSPP (NATIONAL CORRUGATED STEEL PIPE ASSOCIATION) FOR ALUMINIZED TYPE 2, GALVANIZED OR POLYMER COATED STEEL. SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS FOR ALUMINUM PIPE.

INSTALLATION: SHALL BE IN ACCORDANCE WITH AASHTO STANDARD SPECIFICATIONS FOR HIGHWAY BRIDGES, SECTION 2A, DIVISION II OR ASTM A-788 FOR ALUMINIZED TYPE 2, GALVANIZED OR POLYMER COATED STEEL, OR ASTM B-788 FOR ALUMINUM PIPE, AND IN CONFORMANCE WITH THE PROJECT PLANS AND SPECIFICATIONS. IF THERE ARE ANY INCONSISTENCIES OR CONFLICTS THE CONTRACTOR SHOULD DISCUSS AND RESOLVE WITH THE SITE ENGINEER.

IT IS ALWAYS THE RESPONSIBILITY OF THE CONTRACTOR TO FOLLOW OSHA GUIDELINES FOR SAFE PRACTICES.



MAIN	DATE	REVISION DESCRIPTION	BY

CONTECH
ENGINEERED SOLUTIONS LLC
www.contechES.com
8025 Centre Pointe Dr., Suite 400, West Chester, OH 45399
800-338-1122 513-645-7000 513-645-7993 FAX

CONTECH
CMP DETENTION SYSTEMS
CONTECH
DYODS
DRAWING

DYODS - 12323-1-0
PROJECT NAME: Christ Community Church
Chapel Hill, NC
DESCRIPTION: WQV + MAIN DETENTION

PROJECT NO.: 12323-1-0
REV: 0
DATE: 8/23/2019
DESIGNED: DYODS
DRAWN: DYODS
CHECKED:
APPROVED:
SHEET NO.: D3

MAIN	DATE	REVISION DESCRIPTION	BY

CONTECH
ENGINEERED SOLUTIONS LLC
www.contechES.com
8025 Centre Pointe Dr., Suite 400, West Chester, OH 45399
800-338-1122 513-645-7000 513-645-7993 FAX

CONTECH
CMP DETENTION SYSTEMS
CONTECH
DYODS
DRAWING

DYODS - 12323-1-0
PROJECT NAME: Christ Community Church
Chapel Hill, NC
DESCRIPTION: WQV + MAIN DETENTION

PROJECT NO.: 12323-1-0
REV: 0
DATE: 8/23/2019
DESIGNED: DYODS
DRAWN: DYODS
CHECKED:
APPROVED:
SHEET NO.: D3

MAIN	DATE	REVISION DESCRIPTION	BY

CONTECH
ENGINEERED SOLUTIONS LLC
www.contechES.com
8025 Centre Pointe Dr., Suite 400, West Chester, OH 45399
800-338-1122 513-645-7000 513-645-7993 FAX

CONTECH
CMP DETENTION SYSTEMS
CONTECH
DYODS
DRAWING

DYODS - 12323-1-0
PROJECT NAME: Christ Community Church
Chapel Hill, NC
DESCRIPTION: WQV + MAIN DETENTION

PROJECT NO.: 12323-1-0
REV: 0
DATE: 8/23/2019
DESIGNED: DYODS
DRAWN: DYODS
CHECKED:
APPROVED:
SHEET NO.: D3

MAIN	DATE	REVISION DESCRIPTION	BY

CONTECH
ENGINEERED SOLUTIONS LLC
www.contechES.com
8025 Centre Pointe Dr., Suite 400, West Chester, OH 45399
800-338-1122 513-645-7000 513-645-7993 FAX

CONTECH
CMP DETENTION SYSTEMS
CONTECH
DYODS
DRAWING

DYODS - 12323-1-0
PROJECT NAME: Christ Community Church
Chapel Hill, NC
DESCRIPTION: WQV + MAIN DETENTION

PROJECT NO.: 12323-1-0
REV: 0
DATE: 8/23/2019
DESIGNED: DYODS
DRAWN: DYODS
CHECKED:
APPROVED:
SHEET NO.: D3

MAIN	DATE	REVISION DESCRIPTION	BY

CONTECH
ENGINEERED SOLUTIONS LLC
www.contechES.com
8025 Centre Pointe Dr., Suite 400, West Chester, OH 45399
800-338-1122 513-645-7000 513-645-7993 FAX

CONTECH
CMP DETENTION SYSTEMS
CONTECH
DYODS
DRAWING

DYODS - 12323-1-0
PROJECT NAME: Christ Community Church
Chapel Hill, NC
DESCRIPTION: WQV + MAIN DETENTION

PROJECT NO.: 12323-1-0
REV: 0
DATE: 8/23/2019
DESIGNED: DYODS
DRAWN: DYODS
CHECKED:
APPROVED:
SHEET NO.: D3

MAIN	DATE	REVISION DESCRIPTION	BY

CONTECH
ENGINEERED SOLUTIONS LLC
www.contechES.com
8025 Centre Pointe Dr., Suite 400, West Chester, OH 45399
800-338-1122 513-645-7000 513-645-7993 FAX

CONTECH
CMP DETENTION SYSTEMS
CONTECH
DYODS
DRAWING

DYODS - 12323-1-0
PROJECT NAME: Christ Community Church
Chapel Hill, NC
DESCRIPTION: WQV + MAIN DETENTION

PROJECT NO.: 12323-1-0
REV: 0
DATE: 8/23/2019
DESIGNED: DYODS
DRAWN: DYODS
CHECKED:
APPROVED:
SHEET NO.: D3

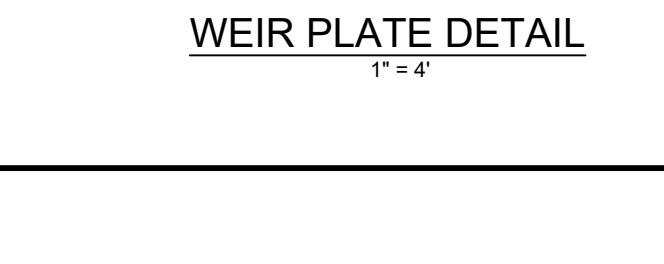
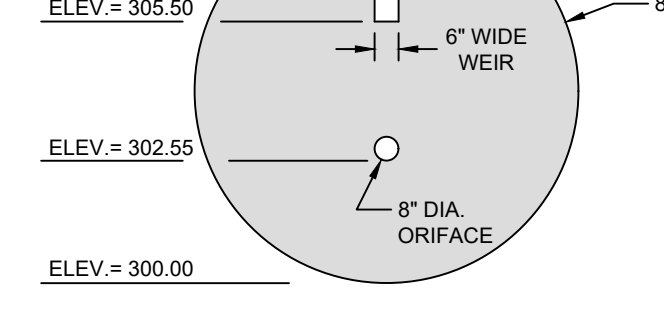
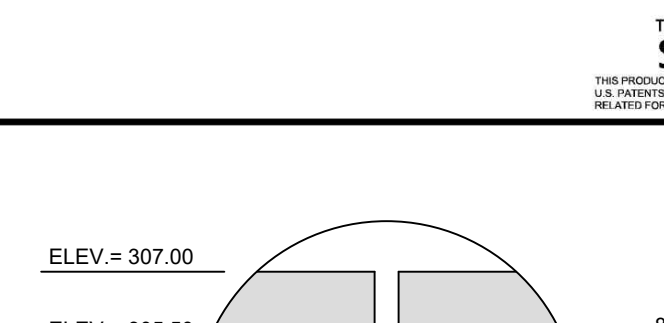
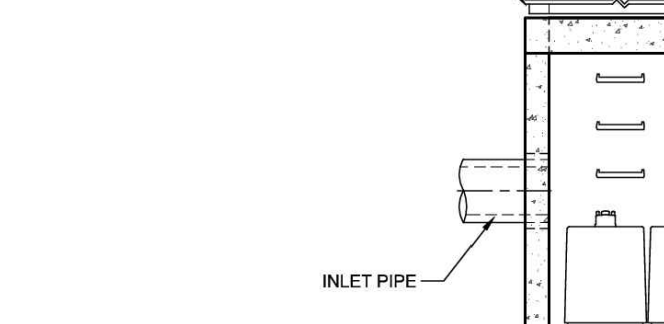
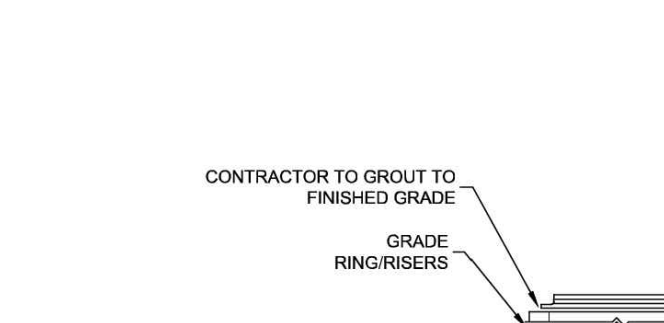
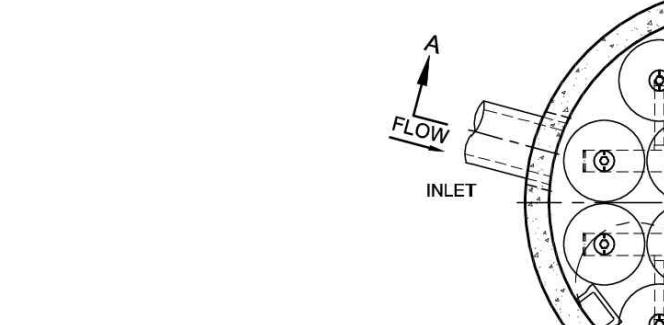
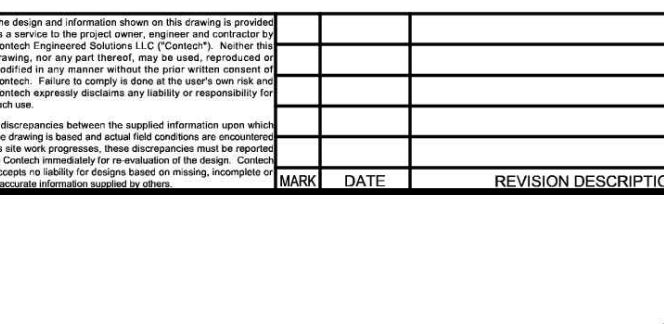
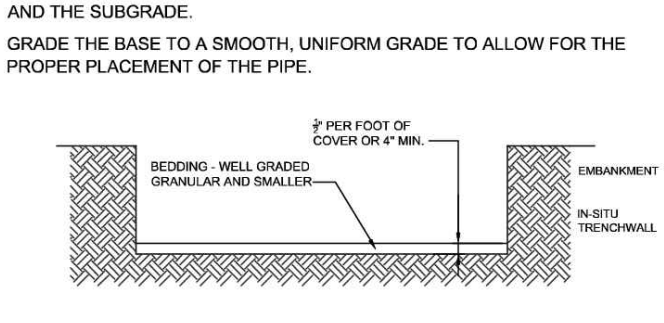
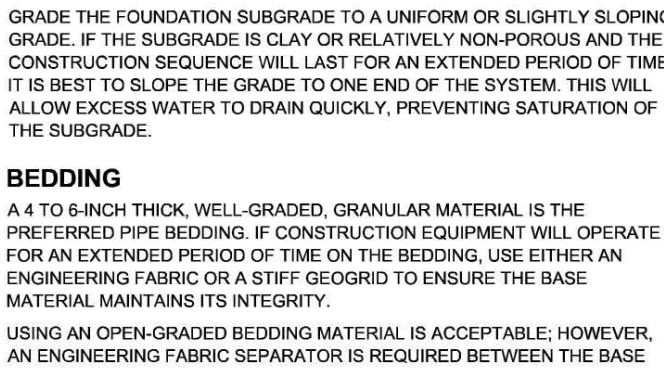
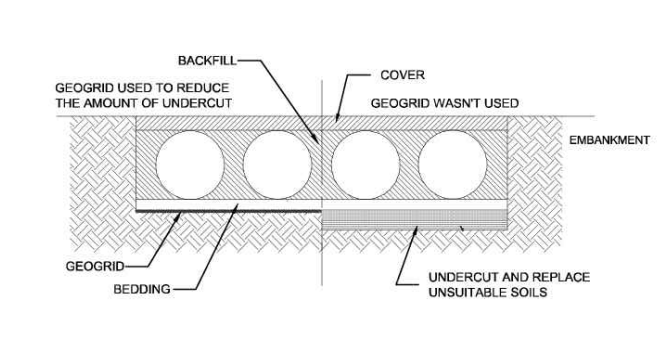
CMP DETENTION INSTALLATION GUIDE

PROPER INSTALLATION OF A FLEXIBLE UNDERGROUND DETENTION SYSTEM WILL ENSURE LONG TERM PERFORMANCE. THE CONFIGURATION OF THESE SYSTEMS OFTEN REQUIRES SPECIAL CONSTRUCTION PRACTICES THAT DIFFER FROM CONVENTIONAL FLEXIBLE PIPE CONSTRUCTION. CONTECH ENGINEERED SOLUTIONS STRONGLY SUGGESTS SCHEDULING A PRE-CONSTRUCTION MEETING WITH YOUR LOCAL SALES ENGINEER TO DETERMINE IF ADDITIONAL MEASURES, NOT COVERED IN THIS GUIDE, ARE APPROPRIATE FOR YOUR SITE.

FOUNDATION

CONSTRUCT A FOUNDATION THAT CAN SUPPORT THE DESIGN LOADING APPLIED BY THE PIPE AND ADJACENT BACKFILL WEIGHT AS WELL AS MAINTAIN ITS INTEGRITY DURING CONSTRUCTION.

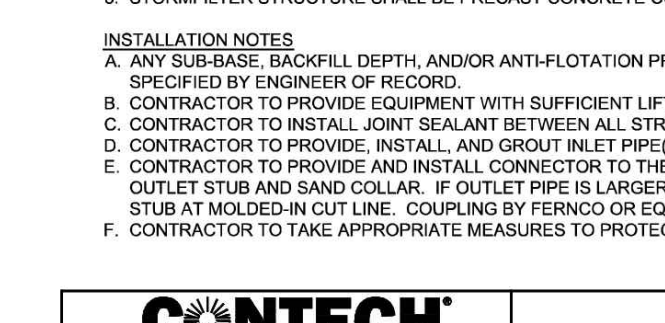
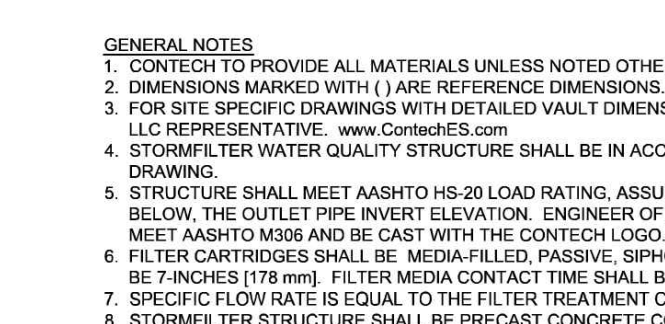
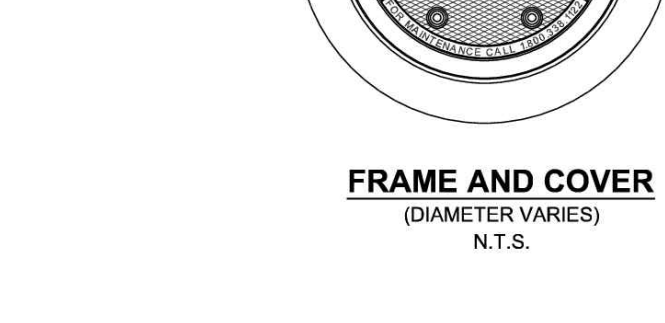
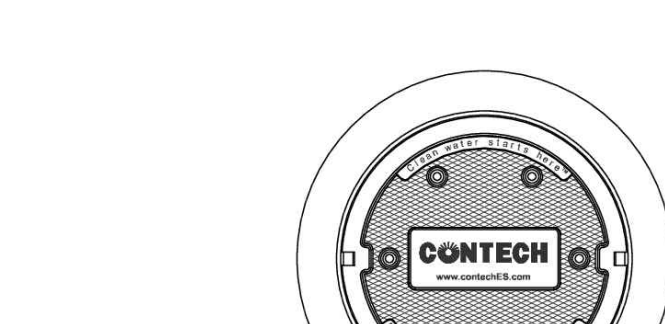
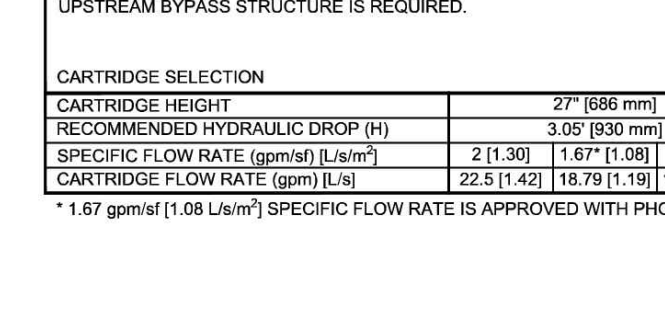
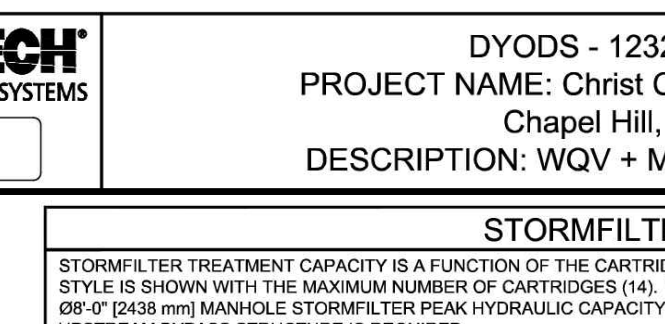
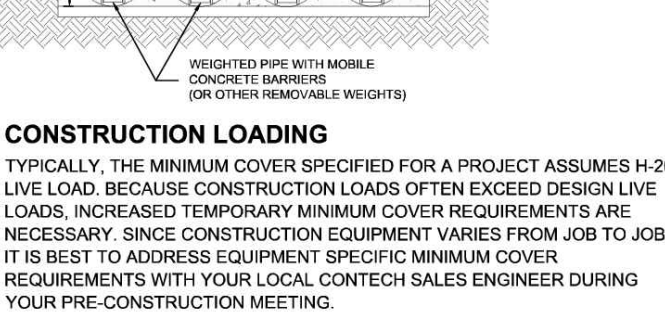
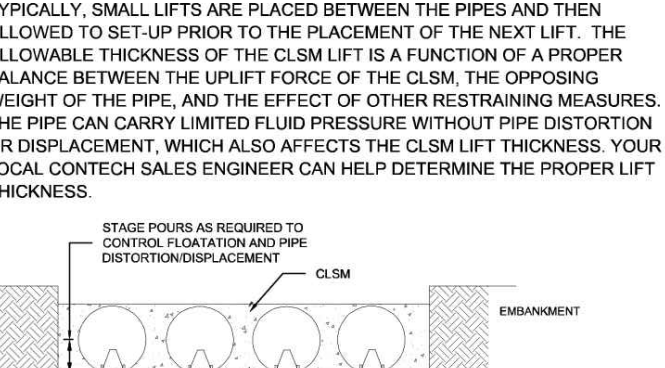
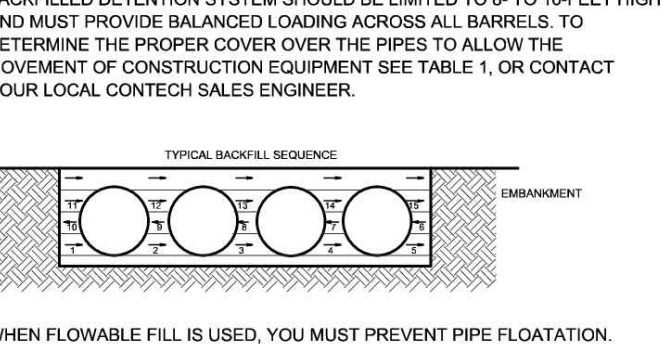
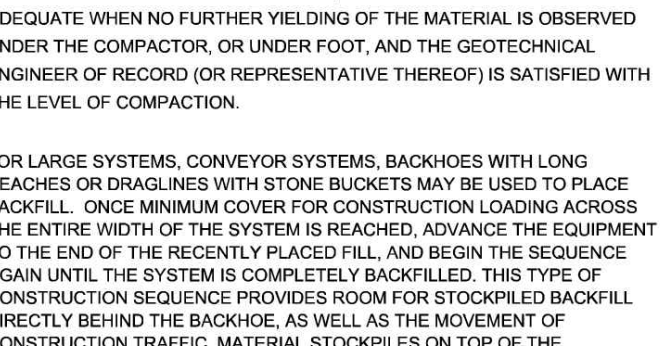
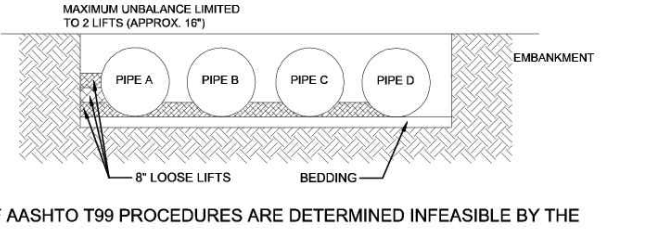
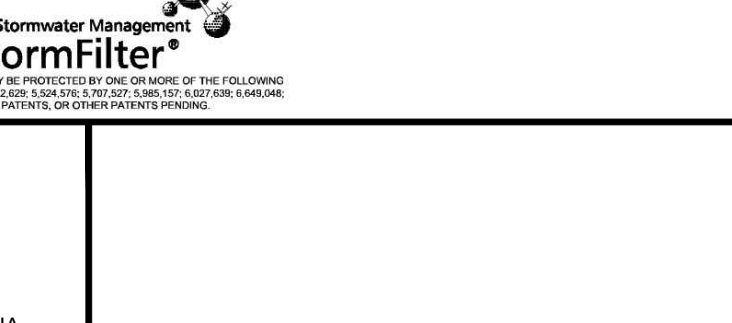
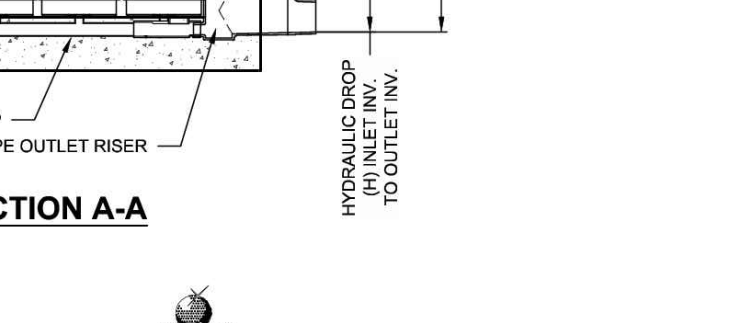
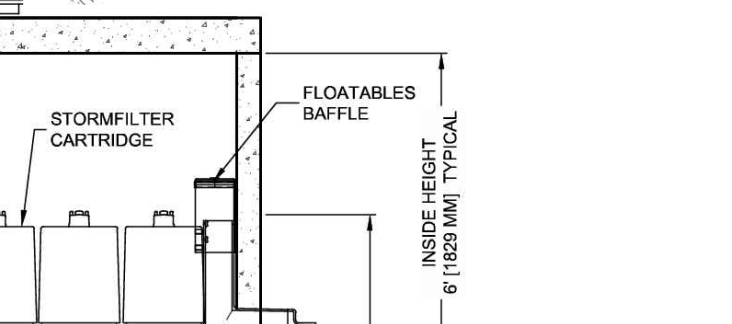
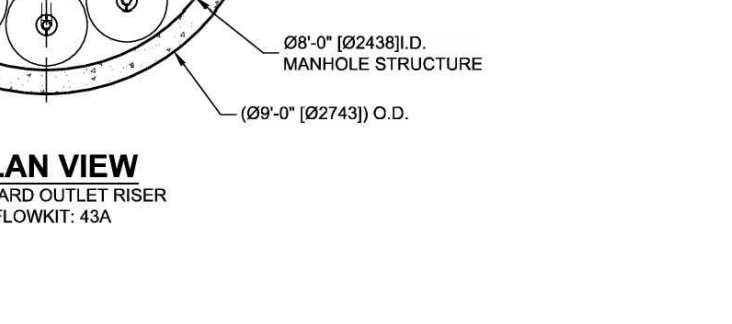
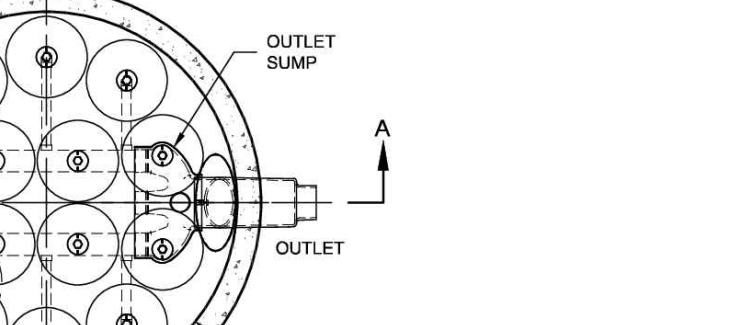
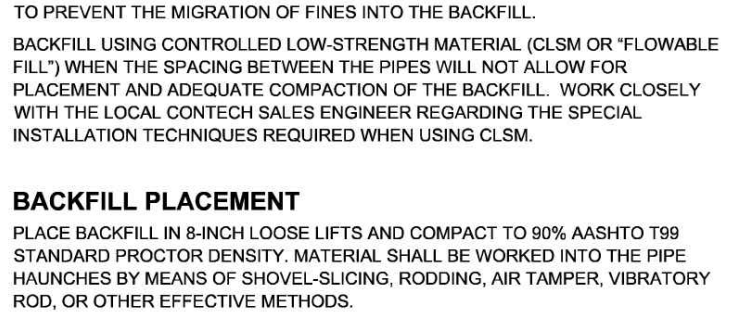
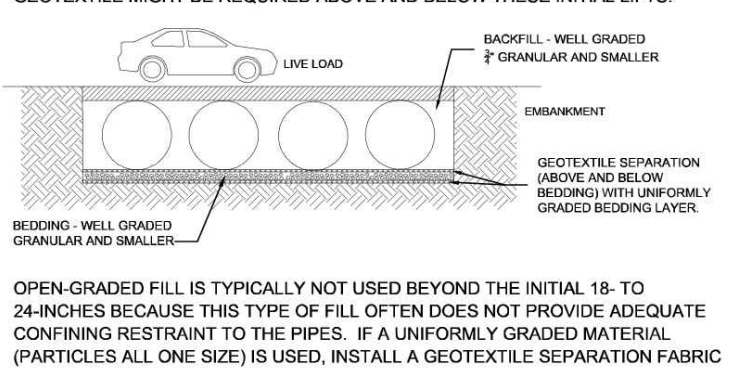
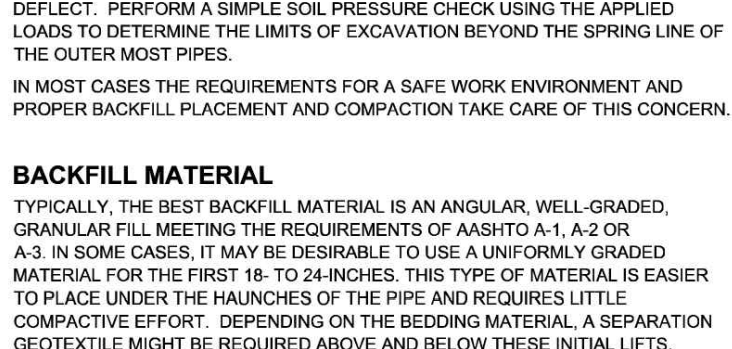
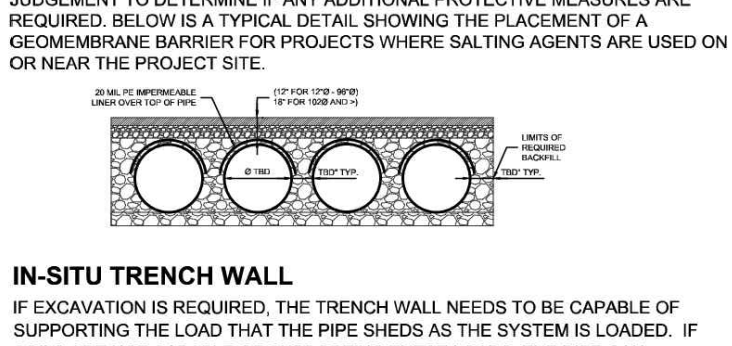
IF SOFT OR UNSUITABLE SOILS ARE ENCOUNTERED, REMOVE THE POOR SOILS DOWN TO A SUITABLE DEPTH AND THEN BUILD UP TO THE APPROPRIATE ELEVATION WITH A COMPETENT BACKFILL MATERIAL. THE STRUCTURAL FILL MATERIAL GRADATION SHOULD NOT ALLOW THE MIGRATION OF FINES, WHICH CAN CAUSE SETTLEMENT OF THE DETENTION SYSTEM OR PAVEMENT ABOVE. IF THE STRUCTURAL FILL MATERIAL IS NOT COMPATIBLE WITH THE UNDERLYING SOILS AN ENGINEERING FABRIC SHOULD BE USED AS A SEPARATOR. IN SOME CASES, USING A STIFF REINFORCING GEOTEXTILE REDUCES OVER EXCAVATION AND REPLACEMENT FILL QUANTITIES.



GEOMEMBRANE BARRIER

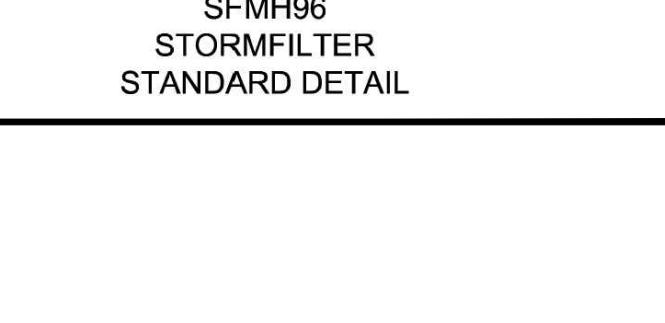
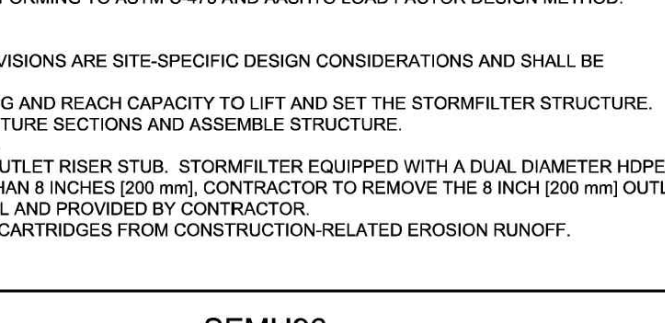
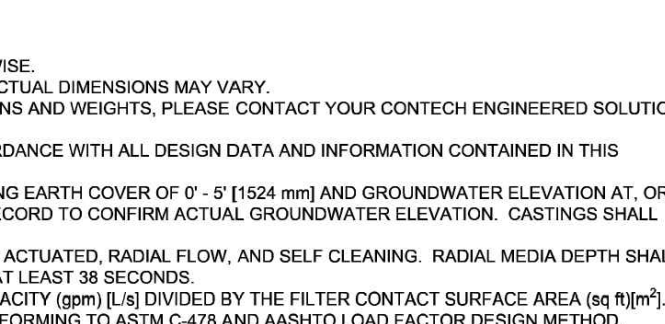
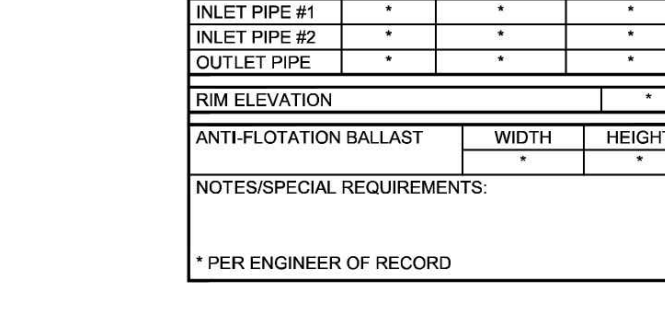
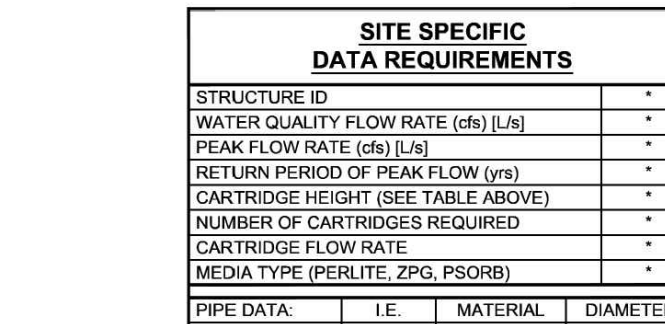
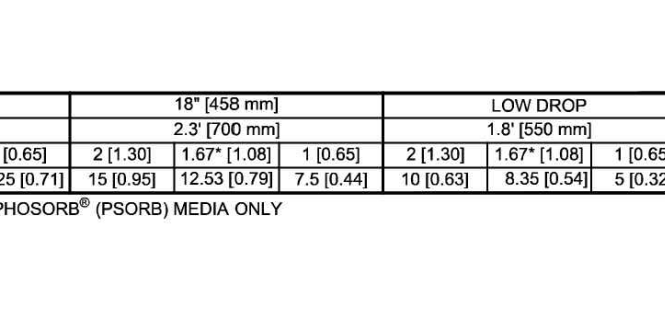
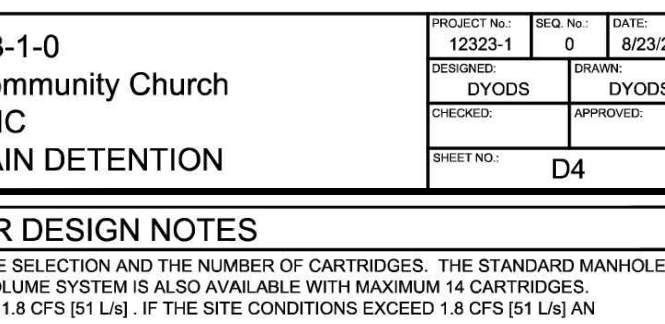
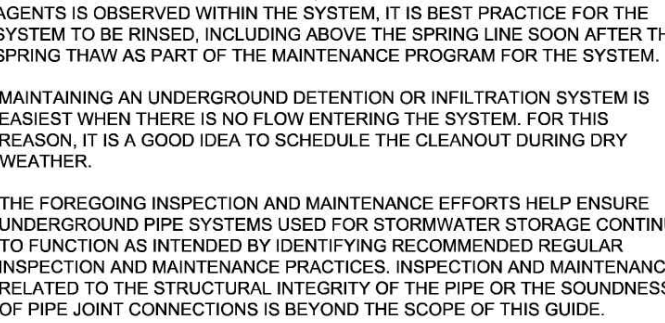
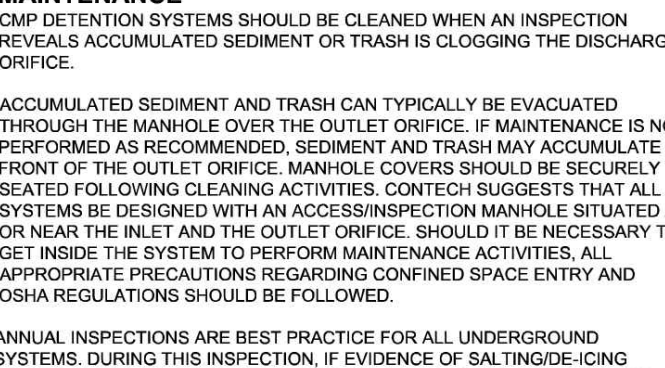
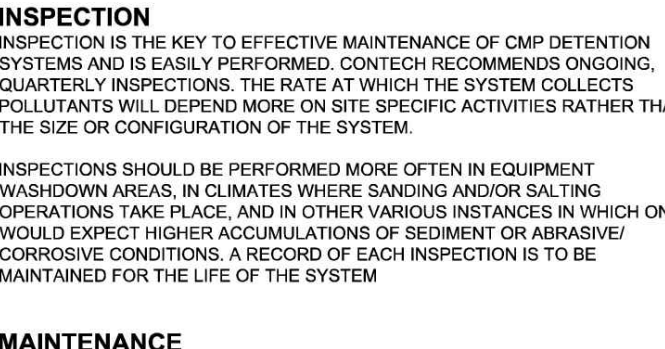
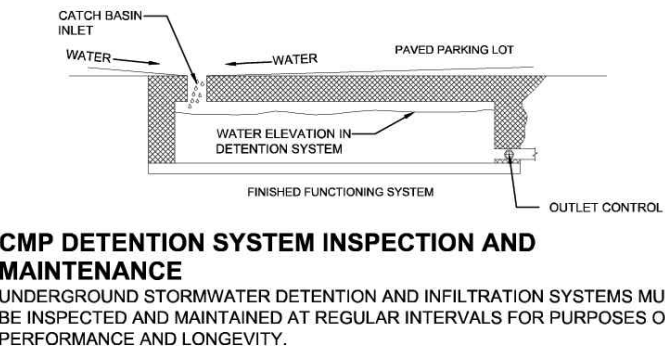
SITES RESISTIVITY MAY CHANGE OVER TIME WHEN VARIOUS TYPES OF SALTING AGENTS ARE USED, SUCH AS ROAD SALTS FOR DEICING AGENTS. IF SALTING AGENTS ARE USED ON OR NEAR THE PROJECT SITE, A GEOMEMBRANE BARRIER IS RECOMMENDED WITH THE SYSTEM. THE GEOMEMBRANE LINER IS INTENDED TO HELP PROTECT THE SYSTEM FROM THE POTENTIAL ADVERSE EFFECTS THAT MAY RESULT FROM THE USE OF SUCH AGENTS INCLUDING PREMATURE CORROSION AND REDUCED ACTUAL SERVICE LIFE.

THE PROJECT'S ENGINEER OF RECORD IS TO EVALUATE WHETHER SALTING AGENTS WILL BE USED ON OR NEAR THE PROJECT SITE, AND USE HIS/HER BEST JUDGMENT TO DETERMINE IF ANY ADDITIONAL PROTECTIVE MEASURES ARE REQUIRED. BELOW IS A TYPICAL DETAIL SHOWING THE PLACEMENT OF A GEOMEMBRANE BARRIER FOR PROJECTS WHERE SALTING AGENTS ARE USED ON OR NEAR THE PROJECT SITE.



ADDITIONAL CONSIDERATIONS

BECAUSE MOST SYSTEMS ARE CONSTRUCTED BELOW GRADE, RAINFALL CAN RAPIDLY FILL THE EXCAVATION, POTENTIALLY CAUSING FLOATION AND MOVEMENT OF THE PREVIOUSLY PLACED PIPES TO HELP MITIGATE POTENTIAL PROBLEMS, IT IS BEST TO START THE INSTALLATION AT THE DOWNSTREAM END WITH THE OUTLET ALREADY CONSTRUCTED TO ALLOW A ROUTE FOR THE WATER TO ESCAPE. TEMPORARY DIVERSION MEASURES MAY BE REQUIRED FOR HIGH FLOWS DUE TO THE RESTRICTED NATURE OF THE OUTLET PIPE.



CHRIST COMMUNITY CHURCH
141 ERWIN ROAD, CHAPEL HILL, N.C. 27614
PHONE 979-39-9116 AND 979-46-0235

STORMWATER FILTERA DETAILS

APPLICANT:
CHRIST COMMUNITY CHURCH
1526 E FRANKLIN STREET, SUITE 201
CHAPEL HILL, N.C. 27614

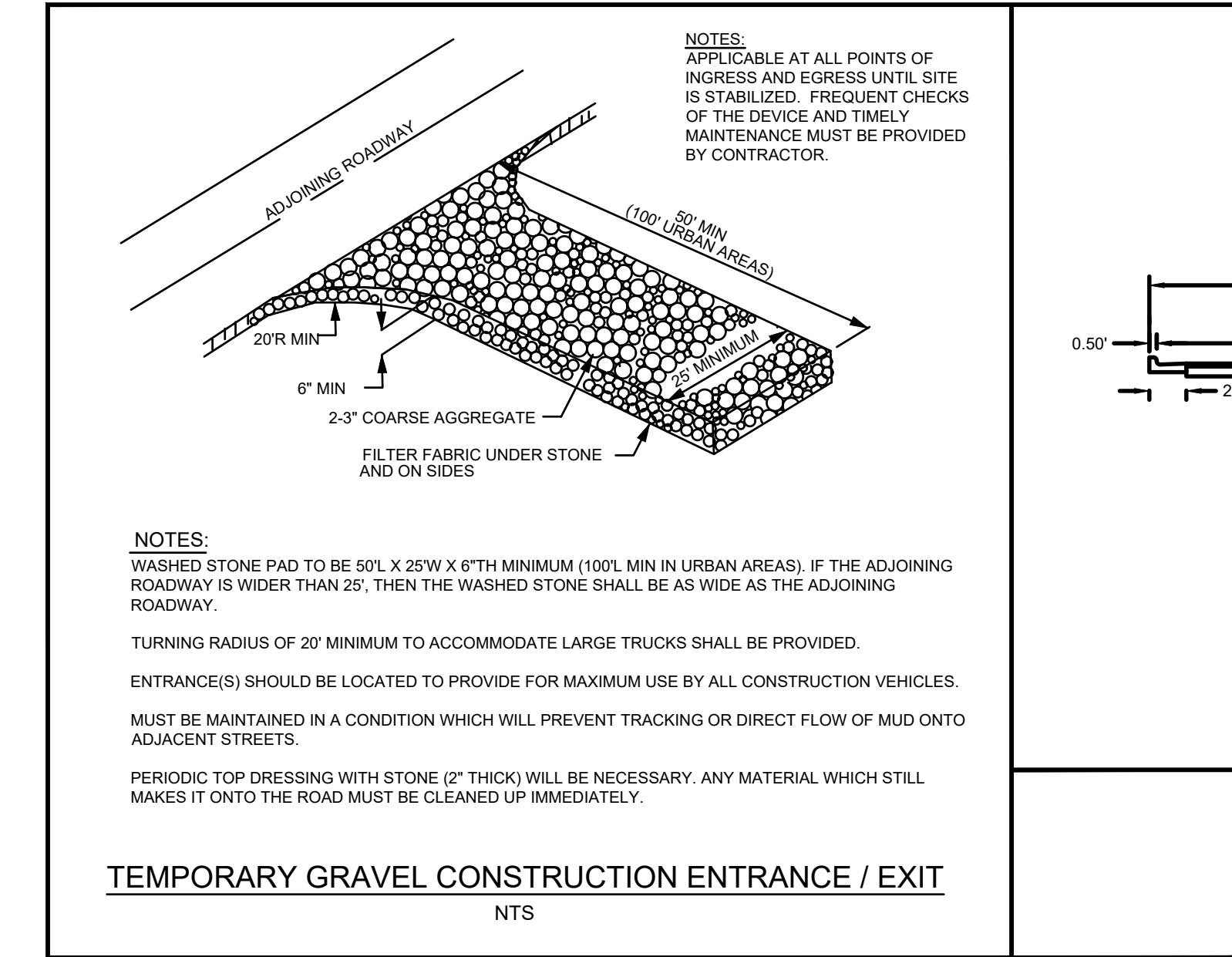
Philip N. Post, PE, PLS
9310 818-7862
philip.n.post@gmail.com
PO Box 4932
Chapel Hill, NC 27515

PHILIP
POST
ENGINEERING
FIRM: C-347

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

PROJECT: 401801
DATE: 8/28/2019
DRAWING SCALE: -
DRAWN BY: DC
APPROVED BY: PP

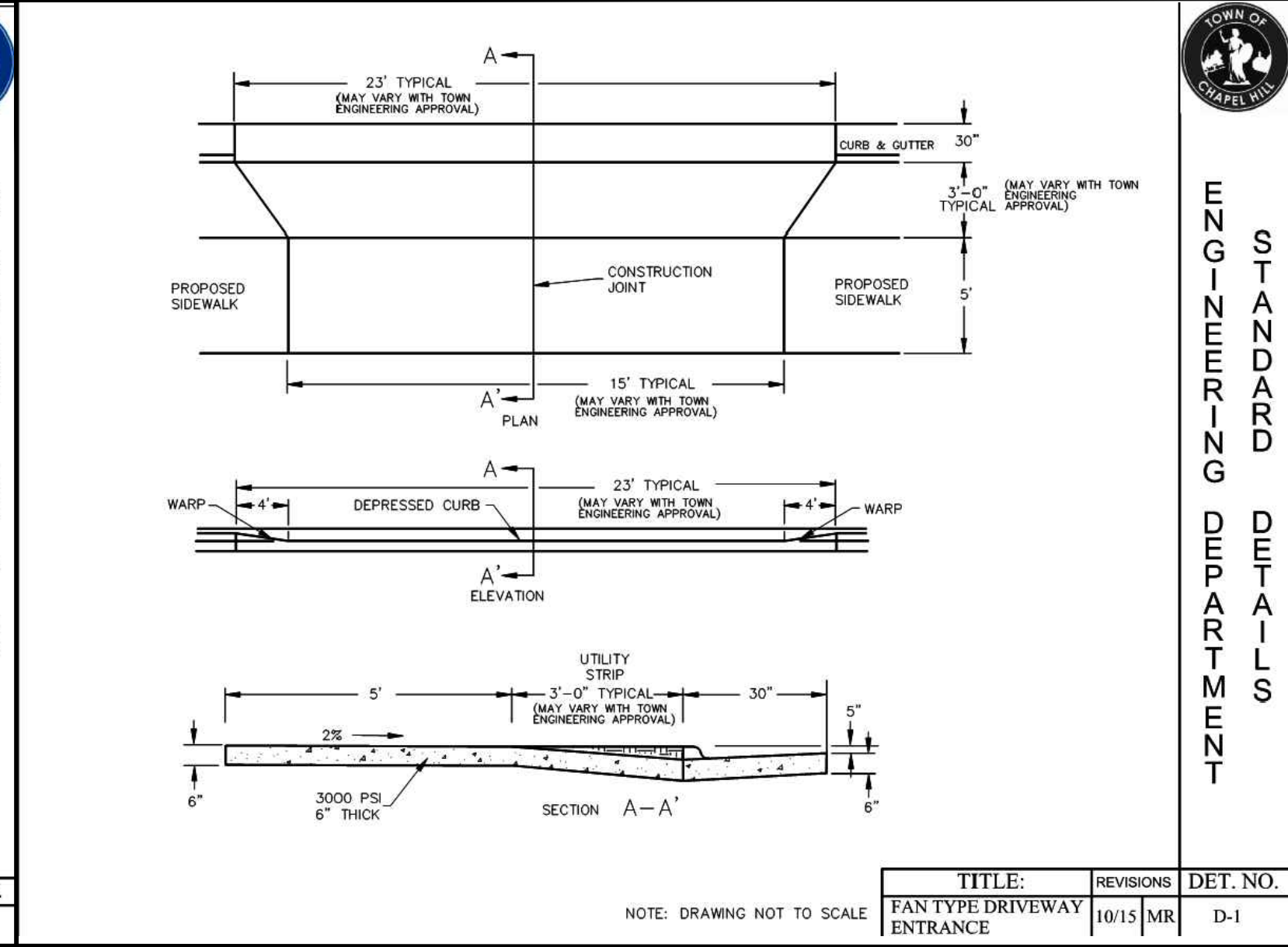
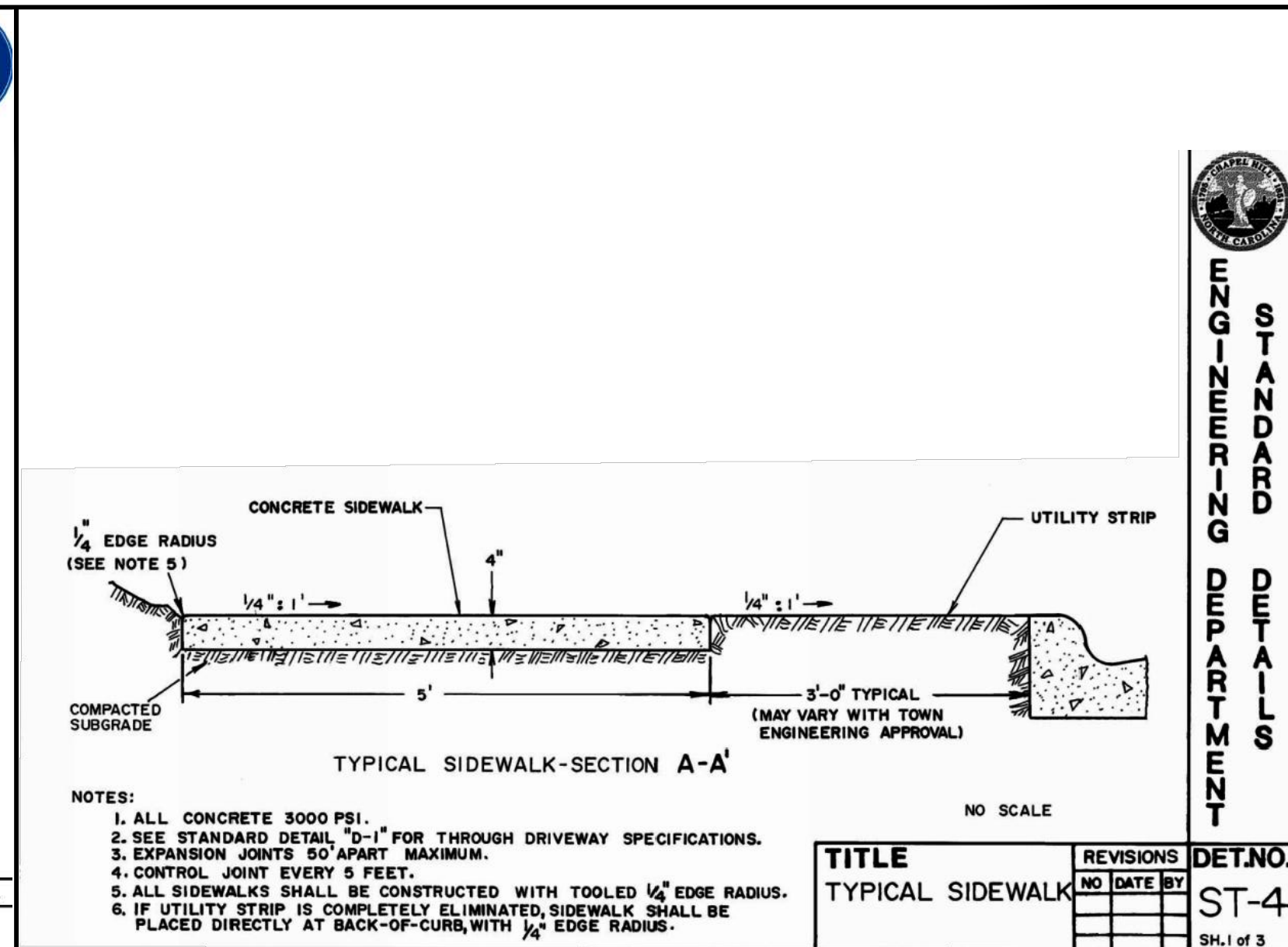
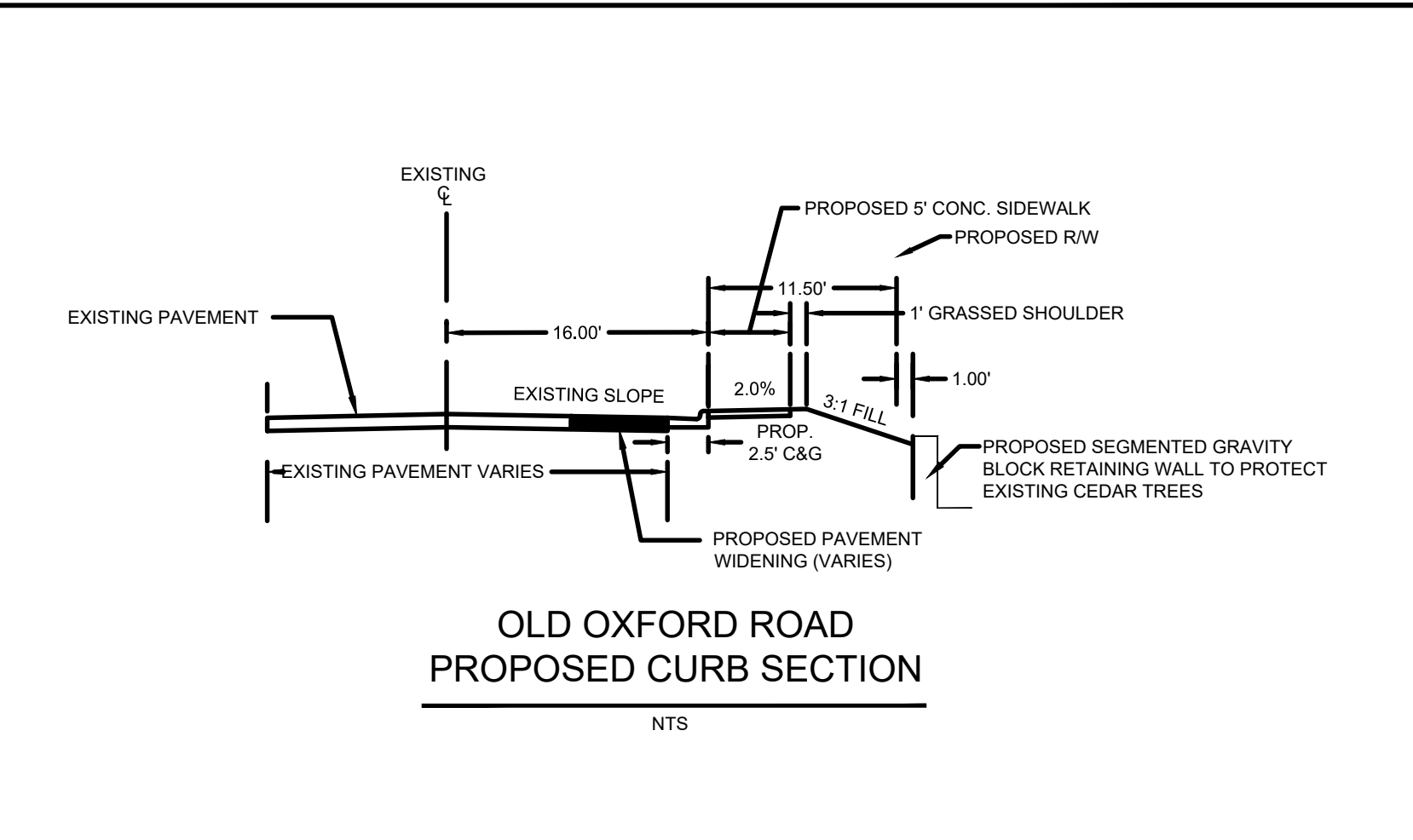
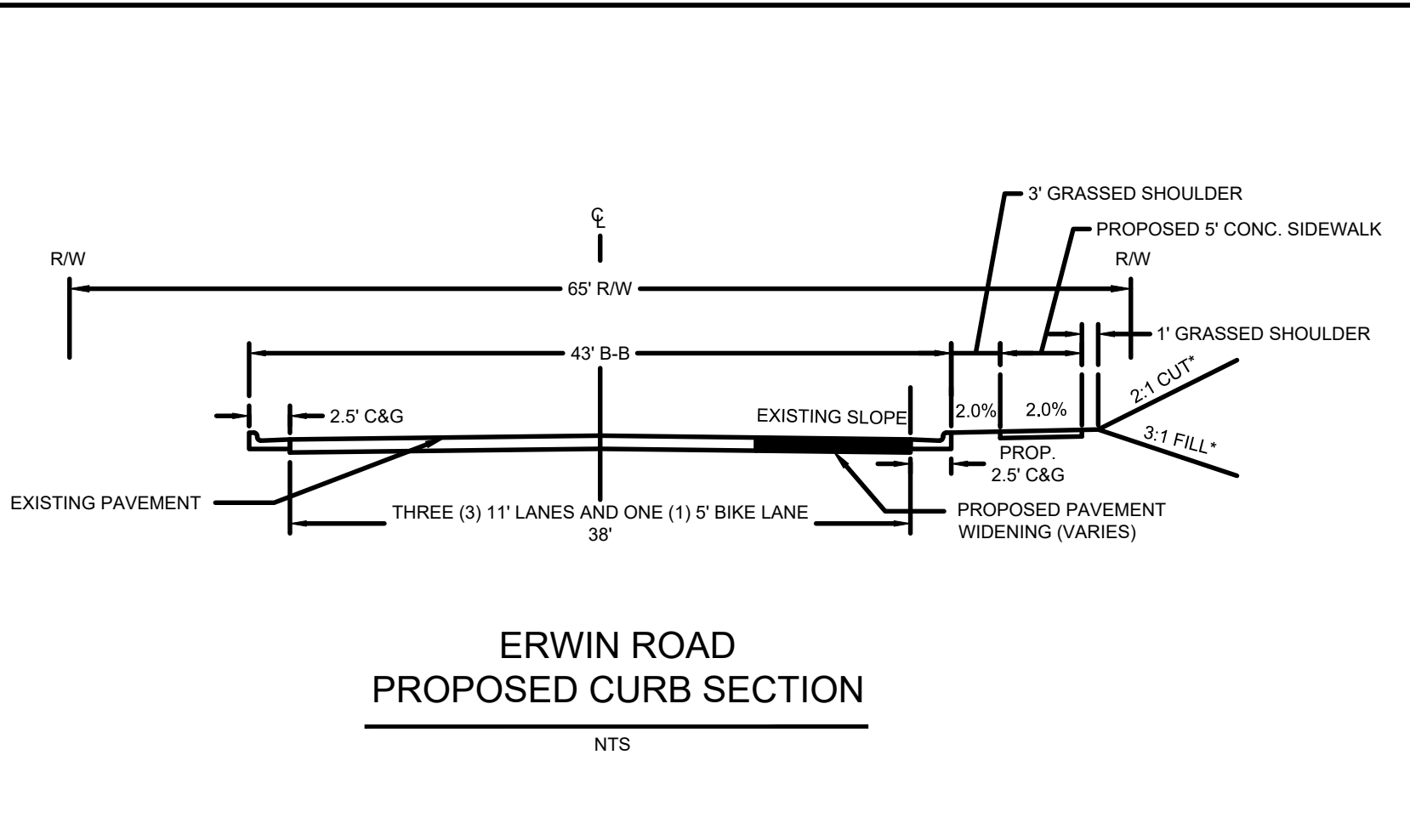
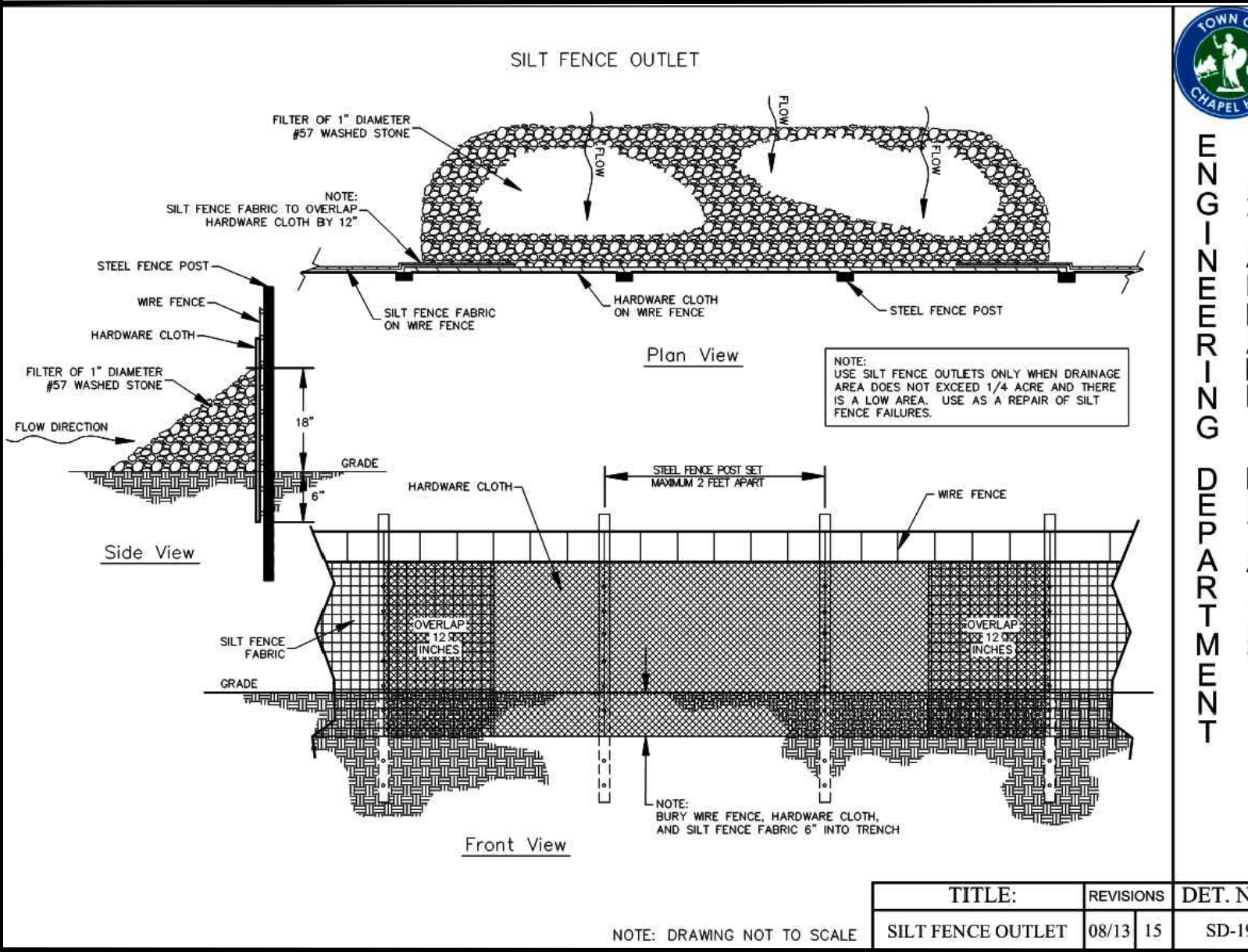
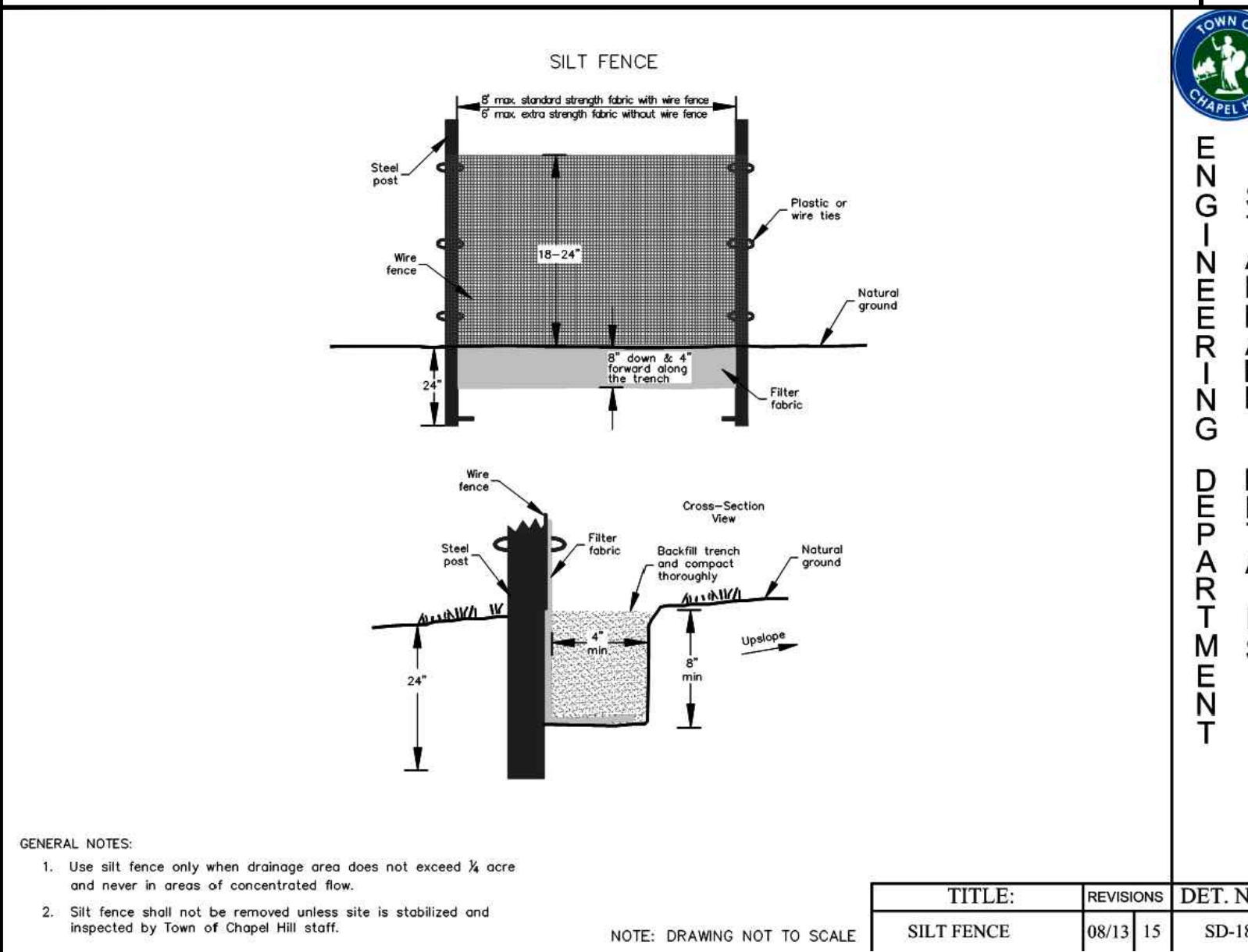
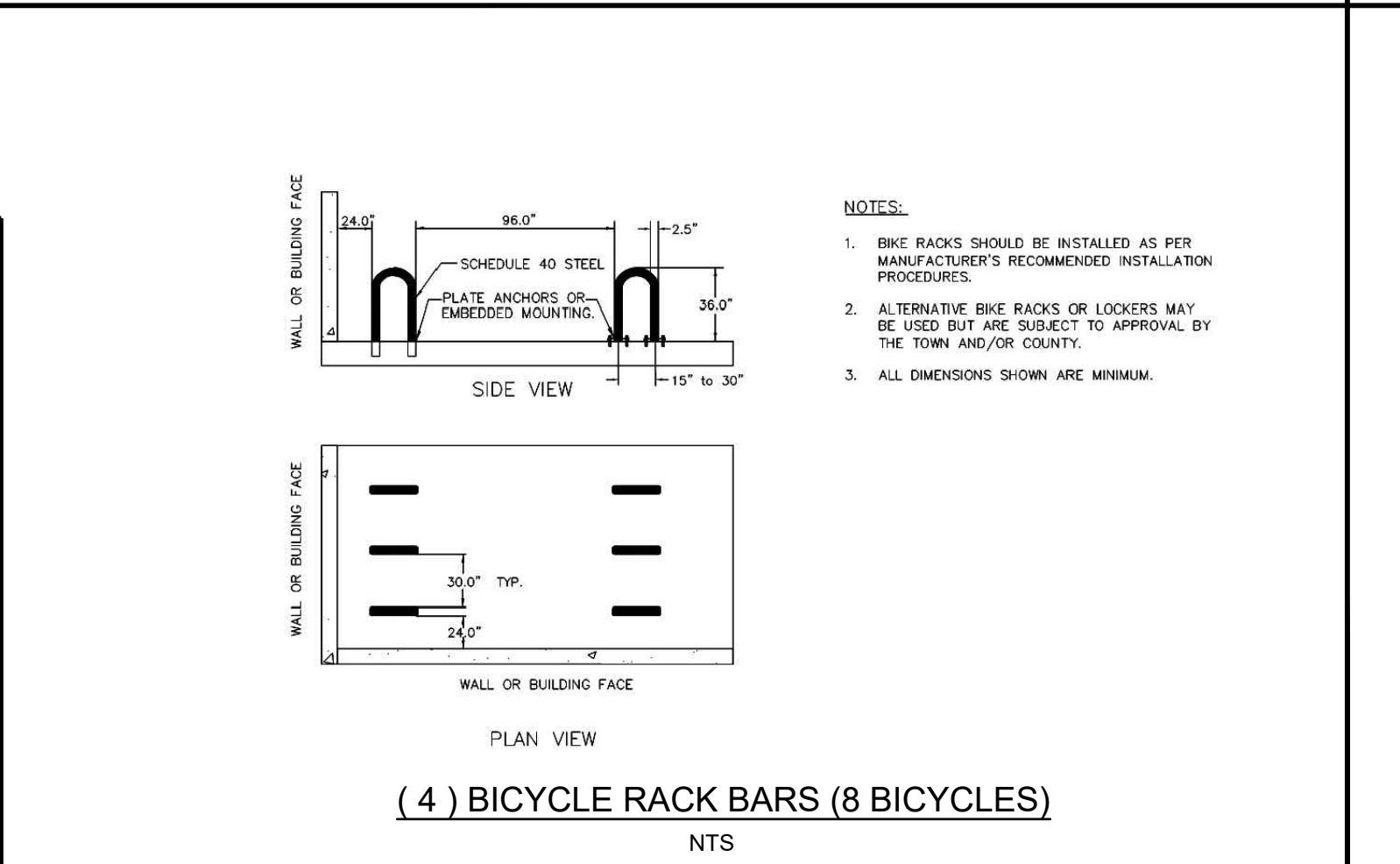
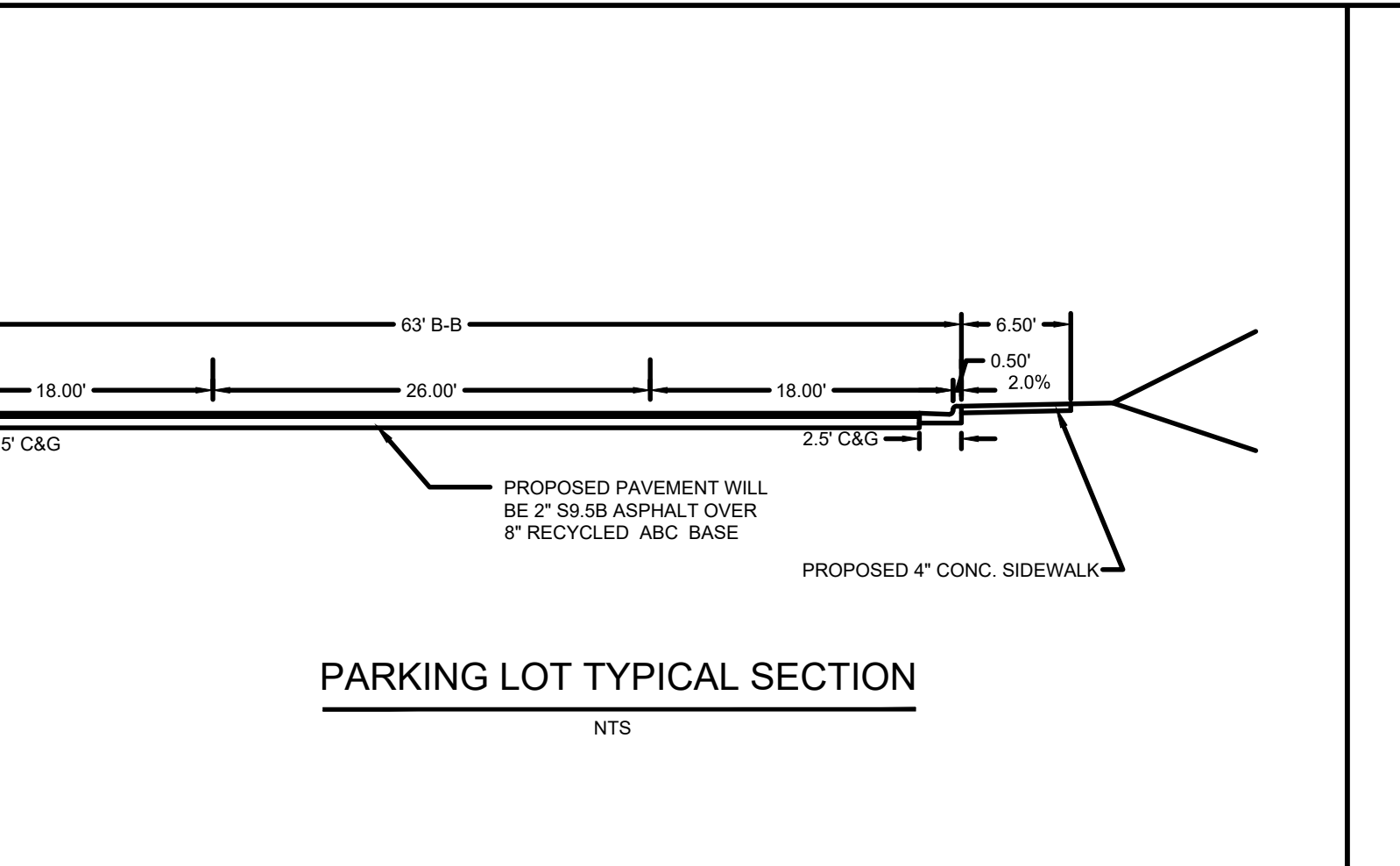
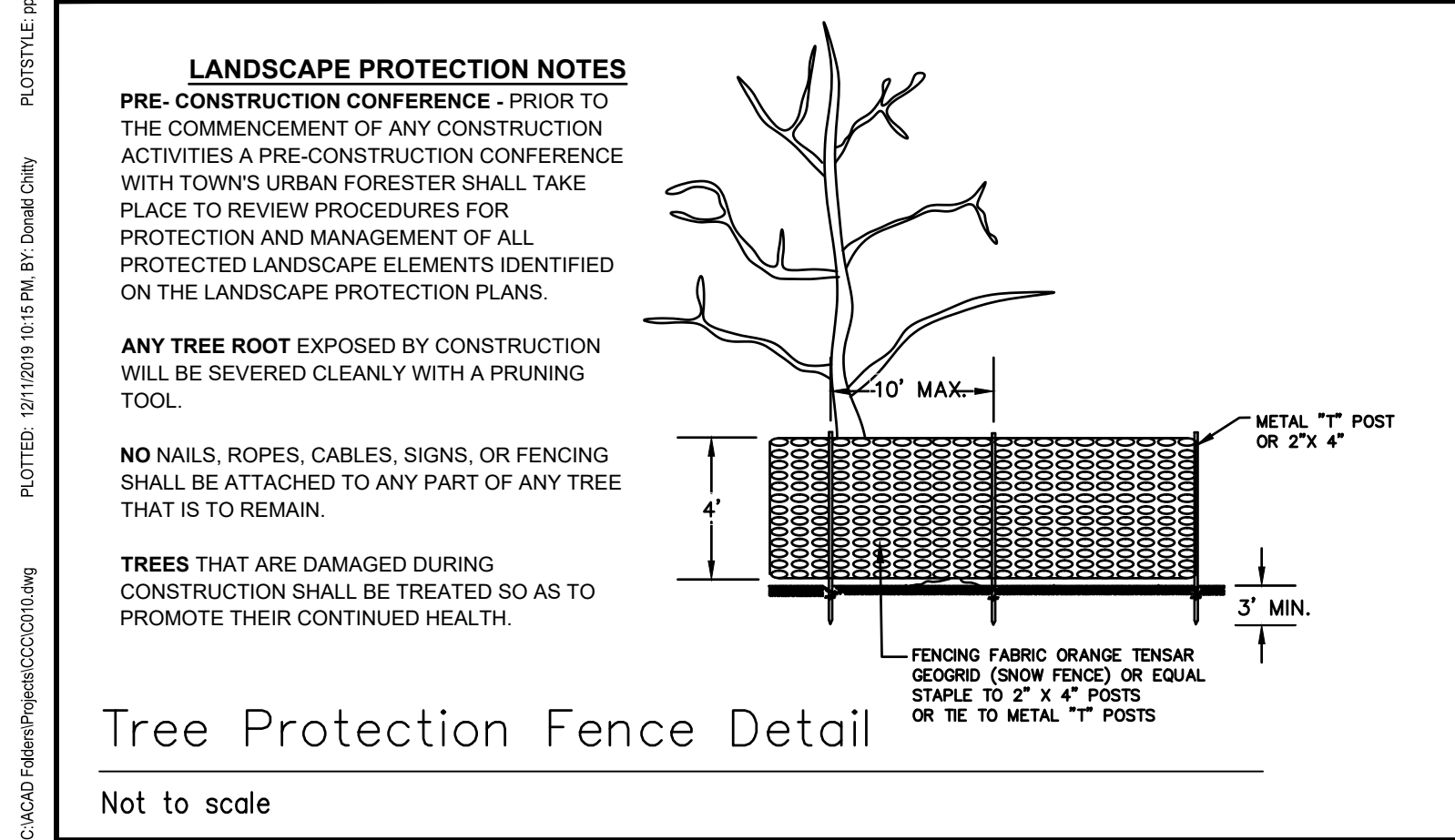
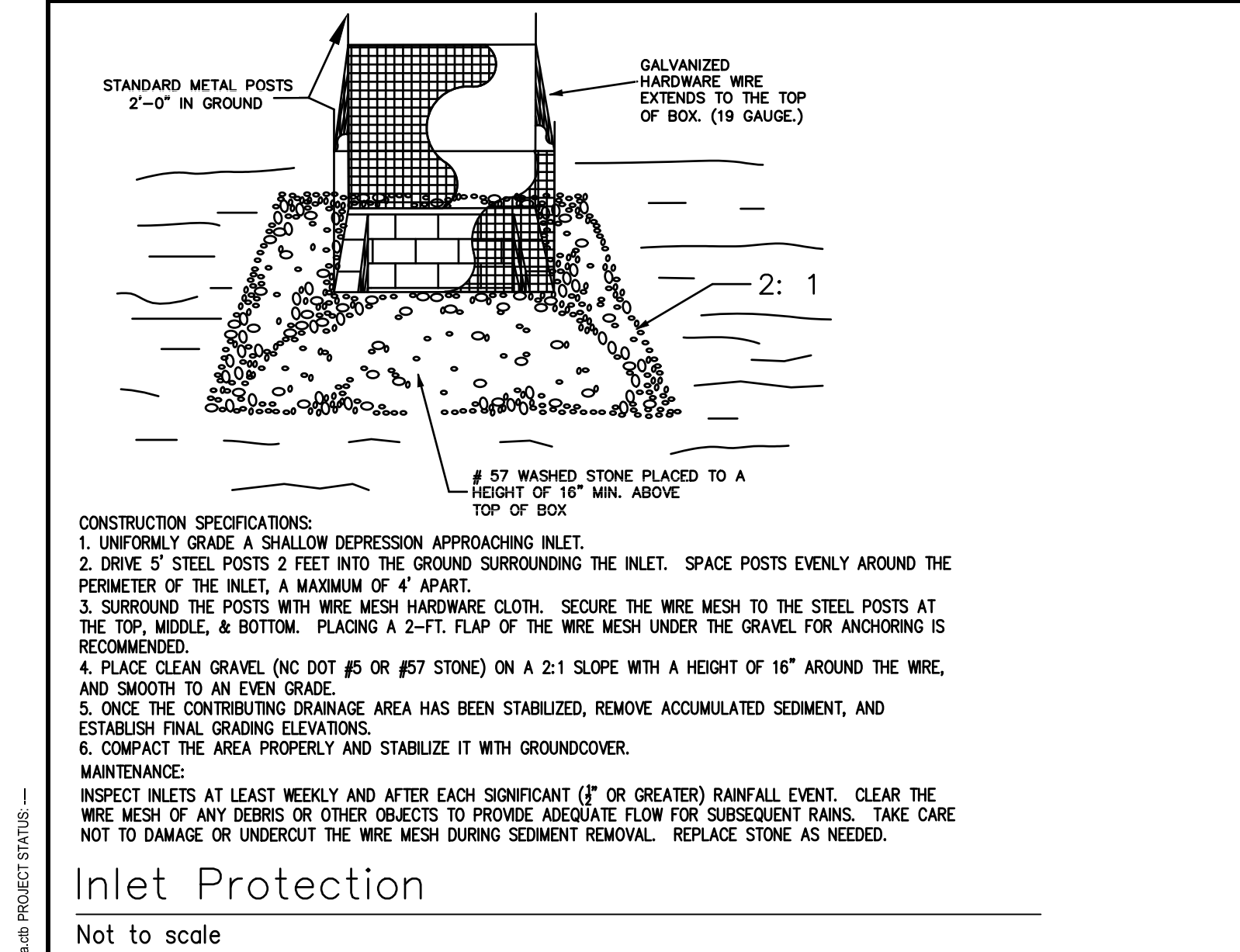
C008
SHEET 9 OF 16



NPDES Stormwater Discharge Permit for Construction Activities (NC001)

NCDENR/Division of Water Quality

NEW STABILIZATION TIMEFRAMES (Effective Aug. 3, 2011)		
SITE AREA DESCRIPTION	STABILIZATION	TIMEFRAME EXCEPTIONS
Perimeter dikes, swales, ditches, slopes	7 days	None
High Quality Water (HQW) Zones	7 days	None
Slopes steeper than 3:1	7 days	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed.
Slopes 3:1 or flatter	14 days	7 days for slopes greater than 50' in length.
All other areas with slopes flatter than 4:1	14 days	None, except for perimeters and HQW Zones.



PERMANENT SEEDING IN NORTH CAROLINA (TABLE 6.11)

SEEDING MIXTURE SPECIES	RATE (LB/ACRE)
TALL FESCUE	250
SERICEA LESPEDEZA	20
KOBE LESPEDEZA	10
	50

SEEDING NOTES
1. AFTER AUGUST 15 USE UNSCARIFIED SERICEA SEED.
2. WHERE PERIODIC MOWING IS PLANNED OR A NEAR APPEARANCE IS DESIRED, OMIT SERICEA AND INCREASE KOBE LESPEDEZA TO 40 LB/ACRE.
3. TO EXTEND SPRING SEEDING DATES INTO JUNE, ADD 15LB/ACRE HULLED BERMIUDAGRASS. HOWEVER, AFTER MID-APRIL IT IS PREFERABLE TO SEED TEMPORARY COVER.

NURSE PLANTS
BETWEEN MAY 1 AND AUGUST 15, ADD 10 LB/ACRE GERMAN MILLET OR 15LB/ACRE SUDAGRASS. PRIOR TO MAY 1 OR AFTER AUGUST 15 ADD 40 LB/ACRE RYE (GRAIN).

SEEDING DATES
BEST POSSIBLE
FALL: AUGUST 25 - SEPTEMBER 15 AUGUST 20 - OCTOBER 25
LATE WINTER: FEBRUARY 15 - MARCH 21 FEBRUARY 1 - APRIL 15

FALL IS BEST FOR ALL FESCUE AND LATE WINTER FOR LESPEDEZAS. OVER SEEDING OF KOBE LESPEDEZA OVER FALL-SEEDED TALL FESCUE IS VERY EFFECTIVE.

SOIL AMENDMENTS
APPLY LIME AND FERTILIZER ACCORDING TO SOIL TESTS, OR APPLY 4,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE AND 1,000 LB/ACRE 10-10-10 FERTILIZER.

MULCH
APPLY 4,000 LB/ACRE GRAIN STRAW OR EQUIVALENT COVER OF ANOTHER SUITABLE MULCH. ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING OR ROVING OR BY CRIMPING WITH A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH-ANCHORING TOOL.

MAINTENANCE
REFERTILIZE IN THE SECOND YEAR UNLESS GROWTH IS FULLY ADEQUATE. MAY BE MOWED ONCE OR TWICE A YEAR, BUT MOWING IS NOT NECESSARY. RESEED, FERTILIZE AND MULCH DAMAGED AREAS IMMEDIATELY.

SEEDING SCHEDULE

1.) CHISEL COMPACTED AREAS AND SPREAD TOPSOIL 3 INCHES DEEP OVER ADVERSE SOIL CONDITIONS, IF AVAILABLE.
2.) RIP THE ENTIRE AREA TO 6 INCHES DEPTH.
3.) REMOVE ALL LOOSE ROCK, ROOTS, AND OTHER OBSTRUCTIONS LEAVING SURFACE REASONABLY SMOOTH AND UNIFORM.
4.) APPLY AGRICULTURAL LIME, FERTILIZER, AND UNIFORMLY AND MIX WITH SOIL (SEE BELOW).
5.) CONTINUE TILLAGE UNTIL A WELL-PULVERIZED, FIRM REASONABLY UNIFORM SEEDBED IS PREPARED 4 TO 6 INCHES.
6.) SEED ON A FRESHLY PREPARED SEEDBED AND SEED LIGHTLY WITH SEEDING EQUIPMENT OR CULTIPACK.
7.) MULCH IMMEDIATELY AFTER SEEDING.
8.) INSPECT ALL SEEDBED AREAS AND MAKE NECESSARY RESEEDINGS WITHIN THE PLANTING SEASON, IF POSSIBLE. STAND SHOULD BE OVER 60% DAMAGED, REESTABLISH WITH ORIGINAL LIME, FERTILIZER AND SEEDING RATES.
9.) CONSULT CONSERVATION INSPECTOR ON MAINTENANCE AND FERTILIZATION AFTER PERMANENT COVER IS STABILIZED.

* APPLY:
AGRICULTURAL LIMESTONE - 2 TONS/ ACRES (3 TONS/ ACRE IN CLAY SOILS)
FERTILIZER - 1,000 lbs. / ACRE -10-10-10
SUPERPHOSPHATE- 500 lbs* / ACRE -20% ANALYSIS
MULCH- 2 TONS / ACRE (5000 LBS/AC FOR STEEP SLOPES) - SMALL GRAIN STRAW
ANOTHER - ASPHALT EMULSION @ 300 GALS./ ACRE

SEEDBED PREPARATION

MAINTENANCE:
NEW SEEDINGS SHOULD BE INSPECTED FREQUENTLY AND MAINTENANCE PERFORMED AS NEEDED. IF RILLS AND GULLIES DEVELOP, THEY MUST BE FILLED, RE-SEED, AND MULCHED AS SOON AS POSSIBLE. DIVERSIONS MAY BE NEEDED UNTIL NEW PLANTS TAKE HOLD.
DAMAGE TO VEGETATION FROM DISEASE, INSECTS, TRAFFIC, ETC., CAN OCCUR AT ANY TIME. HERBICIDES AND REGULAR MOWING MAY BE NEEDED TO CONTROL WEEDS, DUST AND SPRAYS MAY BE NEEDED TO CONTROL INSECTS.
WEEK OR DAMAGED SPOTS MUST BE RELIMED, FERTILIZED, MULCHED, AND RESEDED AS PROMPTLY AS POSSIBLE.

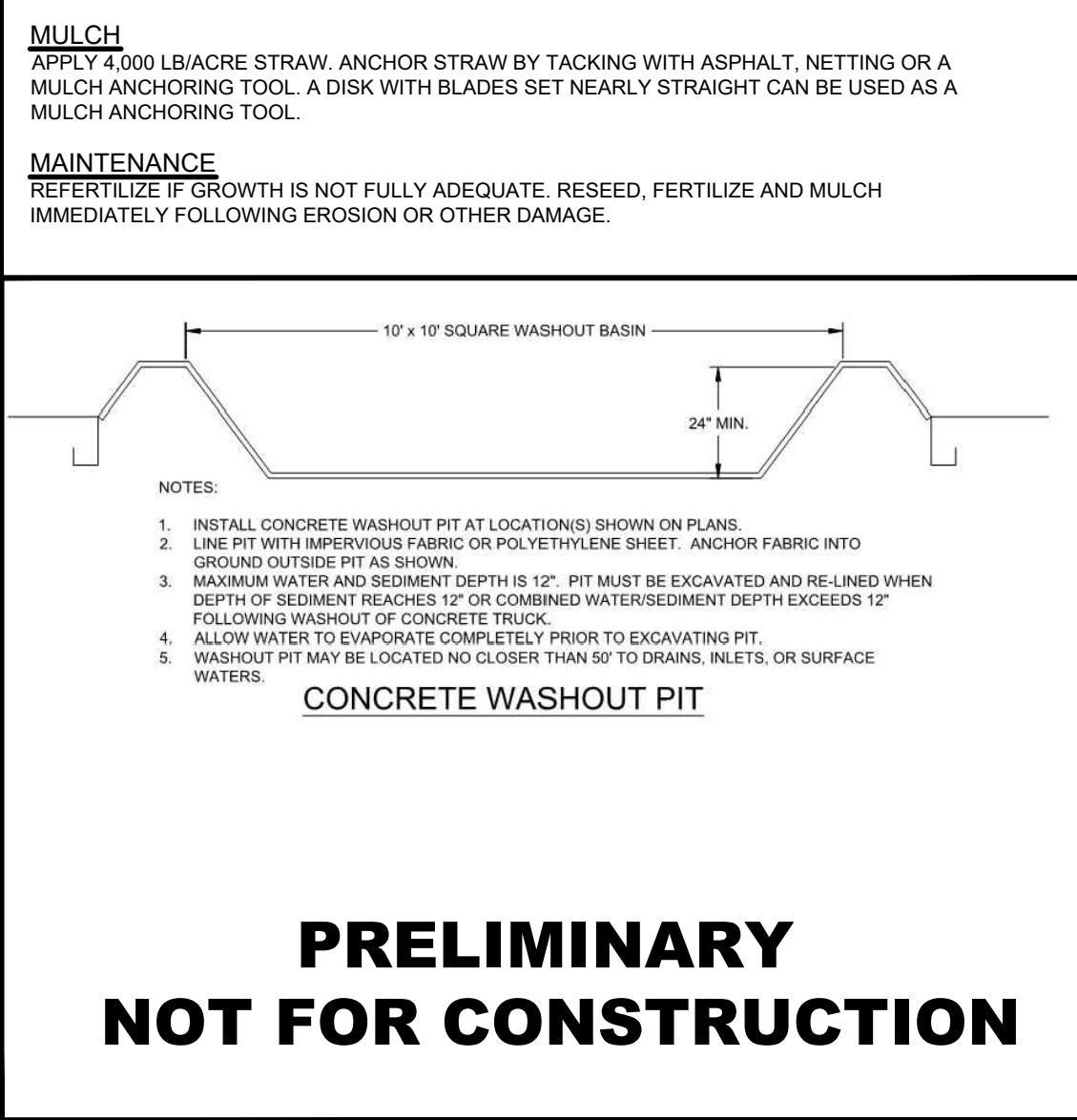
TEMPORARY SEEDING IN NORTH CAROLINA

SEEDING MIXTURE SPECIES	RATE (LB/ACRE)
RYE (GRAIN)	120
ANNUAL LESPEDEZA (KOBE IN PIEDMONT AND COASTAL PLAIN, KOREAN IN MOUNTAINS)	50
GERMAN MILLET	40
OMIT ANNUAL LESPEDEZA WHEN DURATION OF TEMPORARY COVER IN THE PIEDMONT AND MOUNTAINS, A SMALL-STEMMED SUNDAGRASS	
RYE (GRAIN)	120
IS NOT TO EXTEND BEYOND JUNE.	
IS MAY BE SUBSTITUTED AT A RATE OF 50 LB/ACRE.	
SEEDING DATES:	
LATE WINTER & EARLY SPRING	MOUNTAINS - ABOVE 2500 ft. FEB. 15 - MAY 15 PIEDMONT - JAN. 1 - MAY 1 COASTAL PLAIN - DEC. 1 - APR. 15
SUMMER	MOUNTAINS - MAY 15 - AUG. 15 PIEDMONT - MAY 1 - AUG. 15 COASTAL PLAIN - APR. 15 - AUG. 15
FALL	MOUNTAINS - AUG. 15 - DEC. 15 COASTAL PLAIN AND PIEDMONT - AUG. 15 - DEC. 30

SOIL AMENDMENTS
FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE AND 750 LBS/ACRE 10-10-10 FERTILIZER

MULCH
APPLY 4,000 LB/ACRE STRAW. ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING OR A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

MAINTENANCE
REFERTILIZE IF GROWTH IS NOT FULLY ADEQUATE. RESEED, FERTILIZE AND MULCH IMMEDIATELY FOLLOWING EROSION OR OTHER DAMAGE.



Philip N. Post, PE, PLS
(919) 818-7862
philip.n.post@gmail.com
PO Box 4912
Chapel Hill, NC 27515

PHILIP POST ENGINEERING FIRM, C-347

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

CHRIST COMMUNITY CHURCH
141 ERWIN ROAD, CHAPEL HILL, N.C. 27514
PHONE 9799-39-9116 AND 9799-46-0235

APPLICANT:
CHRIST COMMUNITY CHURCH
1528 E. FRANKLIN STREET, SUITE 201
CHAPEL HILL, N.C. 27514

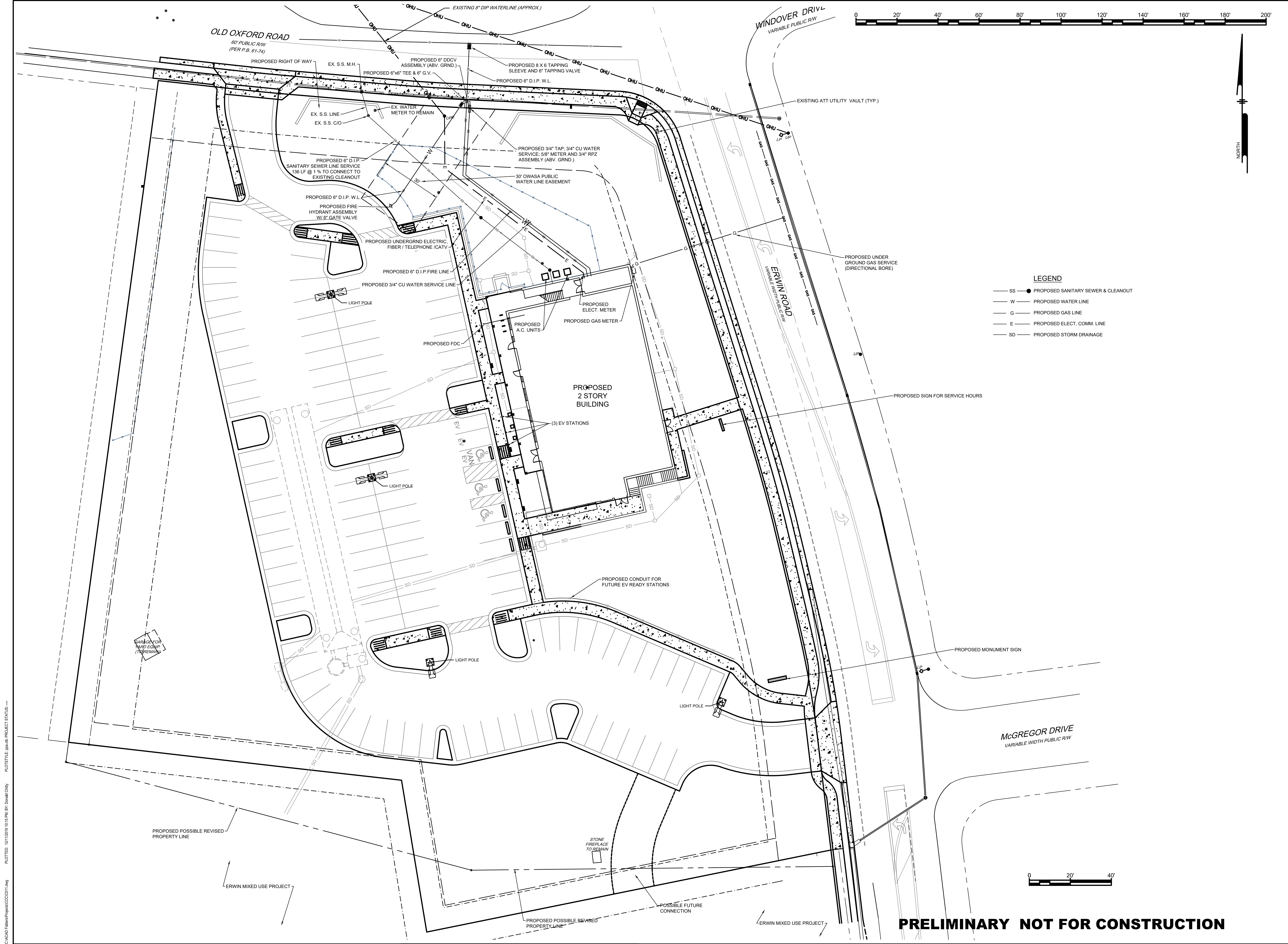
SITE DETAILS

NO.	DATE	BY	REVISIONS
1	11-17-2019	DC	NO.

ALL DOCUMENTS PREPARED BY PHILIP POST ENGINEERING ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PHILIP POST ENGINEERING FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PHILIP POST ENGINEERING, AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS PHILIP POST ENGINEERING FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

PROJECT: 401801
DATE: 8/28/2019
DRAWING SCALE: -
DRAWN BY: DC
APPROVED BY: PP

C:\ACAD\External\PhilipPost\CC010.dwg
PLOTTED: 12/12/2019 10:45 PM By: David Wiley
PLOTSTYLE: acad.ctb PROJECT STATUS: -



C:\ACAD\Drawings\Philly\2020\01.dwg PLOTTED: 12/11/2019 10:15 PM BY: David Chay PLOTSTYLE: sss.dwt PROJECT STATUS: —

PRELIMINARY NOT FOR CONSTRUCTION

Philip N. Post, PE, PLS
(919) 818-7862
philip.n.post@gmail.com
PO Box 4912
Chapel Hill, NC 27515

PHILIP
POST
ENGINEERING
FIRM: C-347

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR
AND OWNER MUST BE NOTIFIED OF ANY
DISCREPANCIES BEFORE PROCEEDING WITH WORK

CHRIST COMMUNITY CHURCH
141 ERWIN ROAD, CHAPEL HILL, N.C. 27514
PIN# 9799-39-9116 AND 9799-49-0235
UTILITY PLAN & FIRE DEPT. FDC
APPLICANT:
CHRIST COMMUNITY CHURCH
1528 E. FRANKLIN STREET, SUITE 201
CHAPEL HILL, N.C. 27514

#	#	#	#	#	#	#	#	#	#	DATE	NO.	REVISIONS
										11-17-2019	1	SUBMITTAL #1 COMMENTS
												DC
												BY

ALL DOCUMENTS PREPARED BY PHILIP POST
ENGINEERING ARE INSTRUMENTS OF SERVICE IN
RESPECT OF THE PROJECT. THEY ARE NOT INTENDED
OR REPRESENTED TO BE SUITABLE FOR REUSE BY
OWNER OR OTHERS ON THE EXTENSIONS OF THE
PROJECT OR ON ANY OTHER PROJECT. ANY REUSE
WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY
PHILIP POST ENGINEERING FOR THE SPECIFIC PURPOSE
INTENDED WILL BE AT OWNERS SOLE RISK AND
WITHOUT LIABILITY OR LEGAL EXPOSURE TO PHILIP
POST ENGINEERING. AND OWNER SHALL INDEMNIFY AND
HOLD HARMLESS PHILIP POST ENGINEERING FROM ALL
CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING
OUT OF OR RESULTING THEREFROM.

PROJECT401801
DATE8/28/2019
DRAWING SCALE1" = 20'
DRAWN BYDC
APPROVED BYPNP

C011
SHEET12 OF 16



SLOPE ANALYSIS:

1. 15% - 25% AREA #2 - 528 SF
THIS SMALL AREA WILL BE 100%
ELIMINATED DURING MASS GRADING
2. GREATER THAN 25%:
THERE ARE NO AREAS GREATER THAN 25%
3. OTHER AREAS #1 AND #2 ARE LESS THAN
400 SF AND IN THE 15% - 25% SLOPES

LEGEND

- EXISTING IRON FOUND
 ⊗ RIS - IRON REBAR SET
 ▲ O.N.G. CORNER
 □ CONC. MON.
 — UP - UTILITY POLE
 ● SEWM - SANITARY SEWER MANHOLE
 — OHU — OVERHEAD UTILITY LINE

PRELIMINARY NOT FOR CONSTRUCTION

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR
AND OWNER MUST BE NOTIFIED OF ANY
DISCREPANCIES BEFORE PROCEEDING WITH WORK

CHRIST COMMUNITY CHURCH

141 ERWIN ROAD, CHAPEL HILL, N.C. 27514
PIN# 9799-39-9116 AND 9799-49-0235

SLOPE ANALYSIS PLAN

APPLICANT:
CHRIST COMMUNITY CHURCH
1526 E. FRANKLIN STREET, SUITE 201
CHAPEL HILL, N.C. 27514

[illegible]

ALL DOCUMENTS PREPARED BY PHILIP POST ENGINEERING ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHER THIRD PARTIES AS THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PHILIP POST ENGINEERING FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PHILIP POST ENGINEERING, AND PHILIP POST ENGINEERING SHALL HOLD HARMLESS PHILIP POST ENGINEERING FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

PROJECT	401801
DATE	8/28/2019
DRAWING SCALE	1" = 20'
DRAWN BY	DC
APPROVED BY	PP

C013

PHILIP
POST
ENGINEERING
Philip N. Post, PE, PLS
(919) 818-7862
philip.n.post@gmail.com
PO Box 4912
Chapel Hill, NC 27515
FIRM: C-347

SHEET 15 OF 16

FOR REVIEW ONLY
NOT FOR CONSTRUCTION

prepared for

SUP SUBMITTAL
project name

CHRIST COMMUNITY
CHURCH

141 ERWIN ROAD
CHAPEL HILL, NC 27514

project number

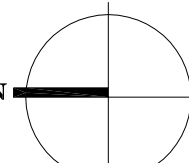
201801-CCC
drawing title

BLDG PLANS
BLDG SECTION
PERSPECTIVE VIEWS

drawing scale

AS NOTED

orientation



revision history

11/23/2018	CONCEPT PLAN
09/06/2019	SUP SUBMITTAL
12/12/2019	SUP SUBMITTAL 1st REVISION

Mark	Date	Description
------	------	-------------

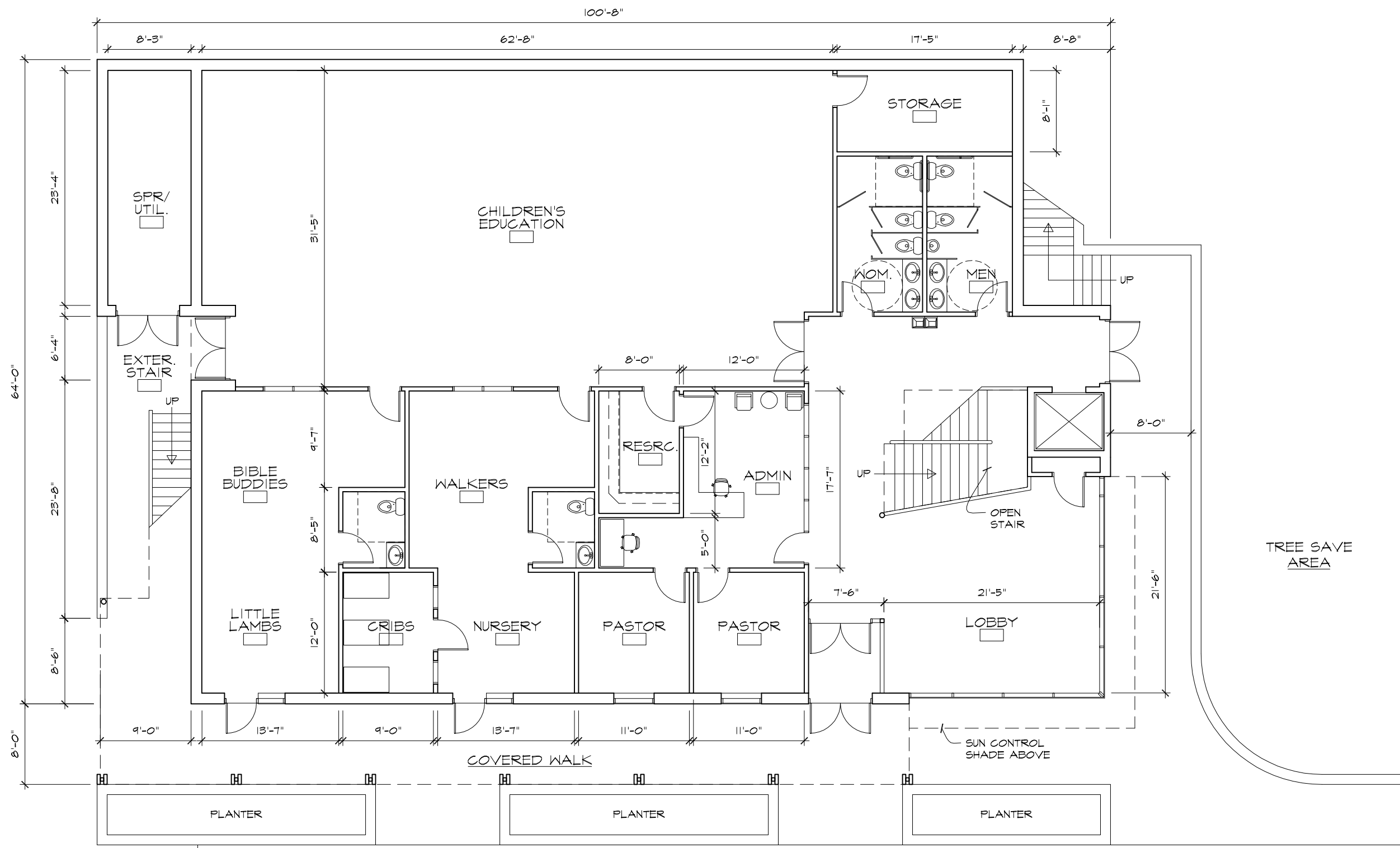
Issue/Revision
CAD File Name
Drawn By
Checked By
Plot Date
Reviewed by
Designed by
Submitted By
Drawing Code

issue date

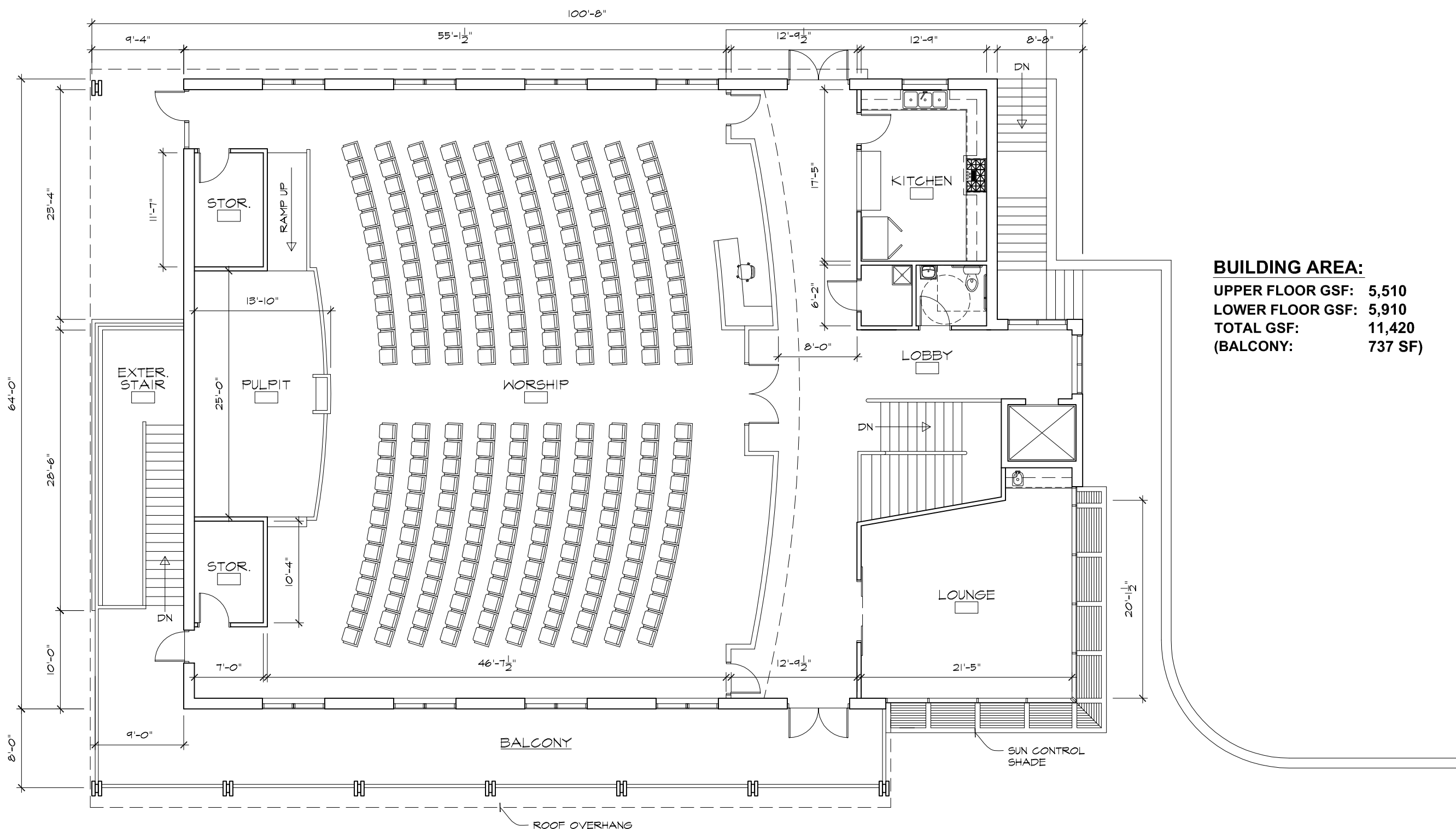
12/12/2019

sheet index

A 003

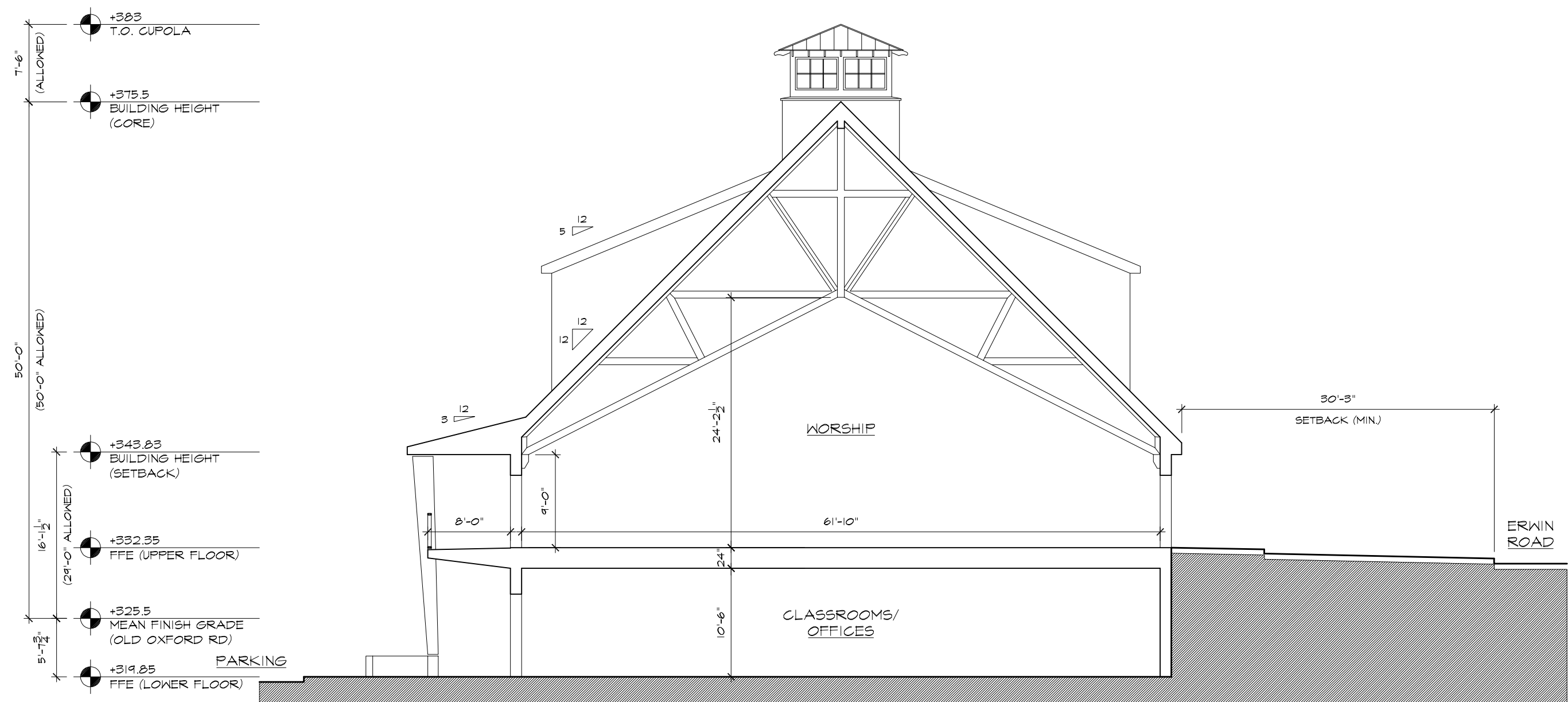


1 LOWER FLOOR PLAN
A-003 3/32" = 1'-0"



2 UPPER FLOOR PLAN
A-003 3/32" = 1'-0"

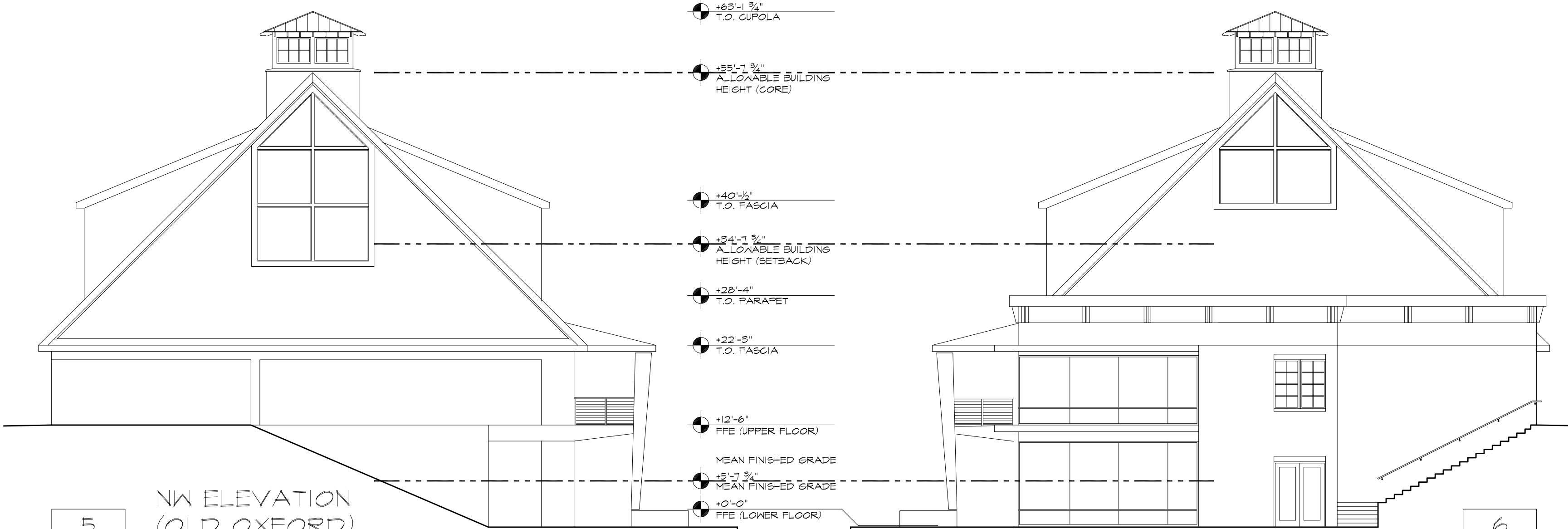
BUILDING AREA:
UPPER FLOOR GSF: 5,510
LOWER FLOOR GSF: 5,910
TOTAL GSF: 11,420
(BALCONY: 737 SF)



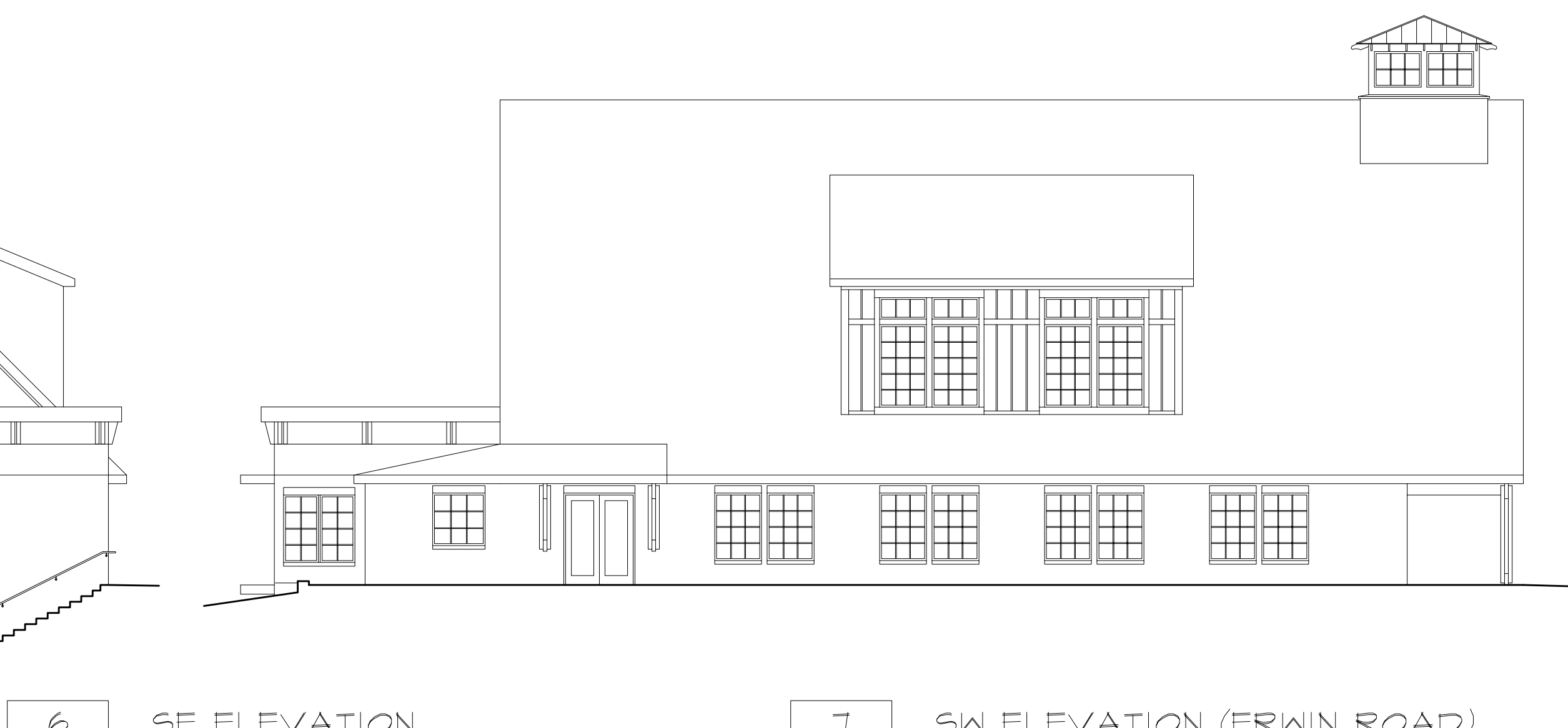
3 BUILDING SECTION
A-003 3/32" = 1'-0"



4 NE ELEVATION (PARKING)
A-003 3/32" = 1'-0"



5 NW ELEVATION
(OLD OXFORD)
A-003 3/32" = 1'-0"



6 SE ELEVATION
A-003 3/32" = 1'-0"



7 SW ELEVATION (ERWIN ROAD)
A-003 3/32" = 1'-0"