

# Rosemary/Columbia Hotel

## CONDITIONAL ZONING APPLICATION CHAPEL HILL, NORTH CAROLINA

### CONTRACT PURCHASER / CLIENT:

SMART OLYMPIA CAROLINA LLC  
20600 CHAGRIN BOULEVARD, SUITE 705  
SHAKER HEIGHTS, OH 44122  
216-653-0050  
CONTACT: ED SMALL

### APPLICANT / CONSULTANT:

LANDSCAPE ARCHITECT / LAND PLANNER:  
COULTER JEWELL THAMES, PA  
111 WEST MAIN STREET  
DURHAM, NC 27701  
919-682-0368  
CONTACT: WENDI RAMSDEN

### RESOURCE CONSERVATION NOTES

STREAM BUFFERS:  
THERE ARE NO MAPPED STREAMS ON SITE.

FLOODPLAIN PROTECTION:  
THE SITE IS NOT IN AN AREA AFFECTED BY A MAPPED FLOODPLAIN  
ACCORDING TO FIRM MAP 3710978800 EFFECTIVE 11-1-17.

STEEP SLOPE PROTECTION:  
THERE ARE NO STEEP SLOPES ON SITE

WETLANDS:  
THERE ARE NO MAPPED WETLANDS ON SITE.

### PROJECT NOTES

BOUNDARY AND TOPOGRAPHIC SURVEY PROVIDED BY BALLANTINE ASSOCIATES, PA  
DATED AUGUST 26, 2019

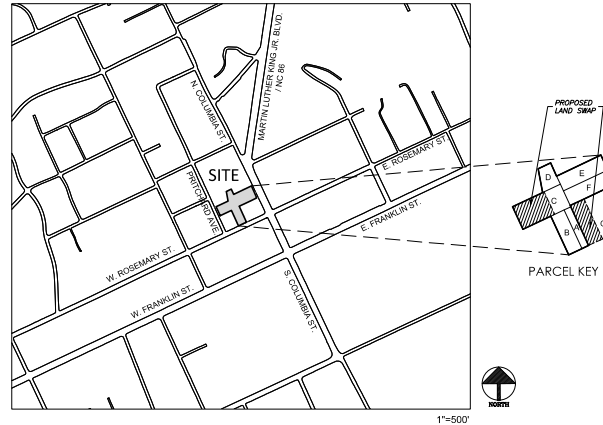
SURROUNDING SITE AND PROPERTY INFORMATION PER CHAPEL HILL GIS

### TOWN OF CHAPEL HILL NOTES

- A FIRE FLOW REPORT SHALL BE SUBMITTED TO THE TOWN FOR REVIEW AND APPROVAL PRIOR TO ISSUANCE OF A ZCP.
- P.E. CERTIFICATION: PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR ANY PHASE, THE APPLICANT SHALL PROVIDE A CERTIFICATION, SIGNED AND SEALED BY A NORTH CAROLINA LICENSED PROFESSIONAL ENGINEER, THAT THE STORMWATER MANAGEMENT FACILITY IS CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS.
- AS-BUILT PLANS: PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY, THE APPLICANT SHALL PROVIDE CERTIFIED AS-BUILT PLANS FOR BUILDING FOOTPRINTS, PARKING LOTS, STREET IMPROVEMENTS, STORM DRAINAGE SYSTEMS AND STORMWATER MANAGEMENT STRUCTURES, AND ALL OTHER IMPERVIOUS SURFACES, AND A TALLY OF THE CONSTRUCTED IMPERVIOUS AREA. THE AS-BUILT PLANS SHOULD BE IN DIGITAL BINARY FORMAT USING STATE PLANE COORDINATES AND NAVD 83.

### LIST OF SHEETS:

CZ-0.0	COVER SHEET
CZ-0.1	AREA MAP
CS-1.0	EXISTING CONDITIONS PLAN
CS-1.1	NOTES
CS-1.2	CONSTRUCTION MANAGEMENT PLAN
CS-2.0	SITE PLAN
CS-2.0	GRADING & STORMWATER PLAN
CS-5.0	UTILITY PLAN
CS-6.0	LIGHTING PLAN
CS-7.0	LANDSCAPE PLAN
CS-8.0	SITE DETAILS
AS101	BUILDING ELEVATIONS AND BUILDING ENVELOPE
AS102	EXTERIOR ELEVATIONS AND BUILDING ENVELOPE



### PROJECT DATA:

PARCEL A: ADDRESS PIN OWNER ACREAGE ZONING	108 WEST ROSEMARY STREET 9788-37-0680 JOSEPH POLICARO TRUSTEE 3,624.9 SF TC-2
PARCEL B: ADDRESS PIN OWNER ACREAGE ZONING	114 WEST ROSEMARY STREET 9788-37-0549 JOSEPH POLICARO TRUSTEE 7,249.8 SF TC-2
PARCEL C: ADDRESS PIN OWNER ACREAGE ZONING	208 PRITCHARD AVENUE 9788-37-0667 JOSEPH POLICARO TRUSTEE 15,262.3 SF R-3
PARCEL D: ADDRESS PIN OWNER ACREAGE ZONING	N/A (NO STREET FRONTAGE) 9788-37-0710 JOSEPH POLICARO TRUSTEE 4,527.3 SF R-3
PARCEL E: ADDRESS PIN OWNER ACREAGE ZONING	205 NORTH COLUMBIA STREET 9788-37-0721 JOSEPH POLICARO TRUSTEE 9,203.0 SF OL1
PARCEL F: ADDRESS PIN OWNER ACREAGE ZONING	205 NORTH COLUMBIA STREET 9788-37-0667 JOSEPH POLICARO TRUSTEE 9,166.9 SF TC-2
PARCEL G: ADDRESS PIN OWNER ACREAGE ZONING	110 WEST ROSEMARY STREET 9788-37-0535 TOWN OF CHAPEL HILL 7,846.75 SF TC-2
TOTAL SURVEYED AREA:	56,897.96 SF / 1.31 AC
PROPOSED POST DEVELOPMENT LAND AREA:	46,892.63 SF / 1.08 AC
LAND USE: EXISTING PROPOSED	VACANT COMMERCIAL, CONVERTED RESIDENCES, ONE SINGLE FAMILY RESIDENTIAL HOTEL
ZONING: PROPOSED	OL1 REZONE TO TC-2 R-3 REZONE TO TC-2
ALLOWABLE FAR FOR PROPOSED ZONE:	1.97 MAX.
EXISTING BUILDINGS:	- 1,250 SF ONE STORY BRICK BUILDING TO BE REMOVED - 1,682 SF TWO STORY WOOD FRAME HOUSE TO BE REMOVED - 2,939 SF TOTAL SQUARE FOOTAGE TO BE REMOVED 1,800 SF BUILDING TO REMAIN, TO BE DEEDED TO TOWN (LOCATED ON PARCEL C)
PROPOSED BUILDINGS: HOTEL	+A 25,300 SF FOOTPRINT (+A 88,000 SF TOTAL) 125-140 ROOMS
BUILDING HEIGHT:	5 STORIES PLUS LOWER LEVEL ACCESSED FROM NORTH DRIVEWAY
VEHICULAR PARKING: REQUIRED MAXIMUM PROPOSED	N/A (TOWN CENTER DISTRICT) 126 (0.9 PER LODGING UNIT + 140 X 0.9 = 126) APPROX 80 SPACES ON-SITE
BICYCLE PARKING: REQUIRED PROPOSED	9 (1 PER 15 LODGING UNITS 140 / 15 = 9) 10 SPACES (5 LOOPS)

**Coulter  
Jewell  
Thames, PA**

111 West Main Street  
Durham, N.C. 27701  
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NC BOARD OF EXAMINERS FOR  
ENGINEERS AND SURVEYORS  
LIC # C-1209  
NC BOARD OF LANDSCAPE  
ARCHITECTS LIC # C-154

Project:

**Rosemary/  
Columbia  
Hotel**

108 W. Rosemary St.  
Orange County,  
North Carolina

PIN:  
9788-37-0680  
9788-37-0549  
9788-27-9667  
9788-27-9700  
9788-37-0721  
9788-37-0647

PRELIMINARY-DO NOT  
USE FOR CONSTRUCTION

Job Number: 1903

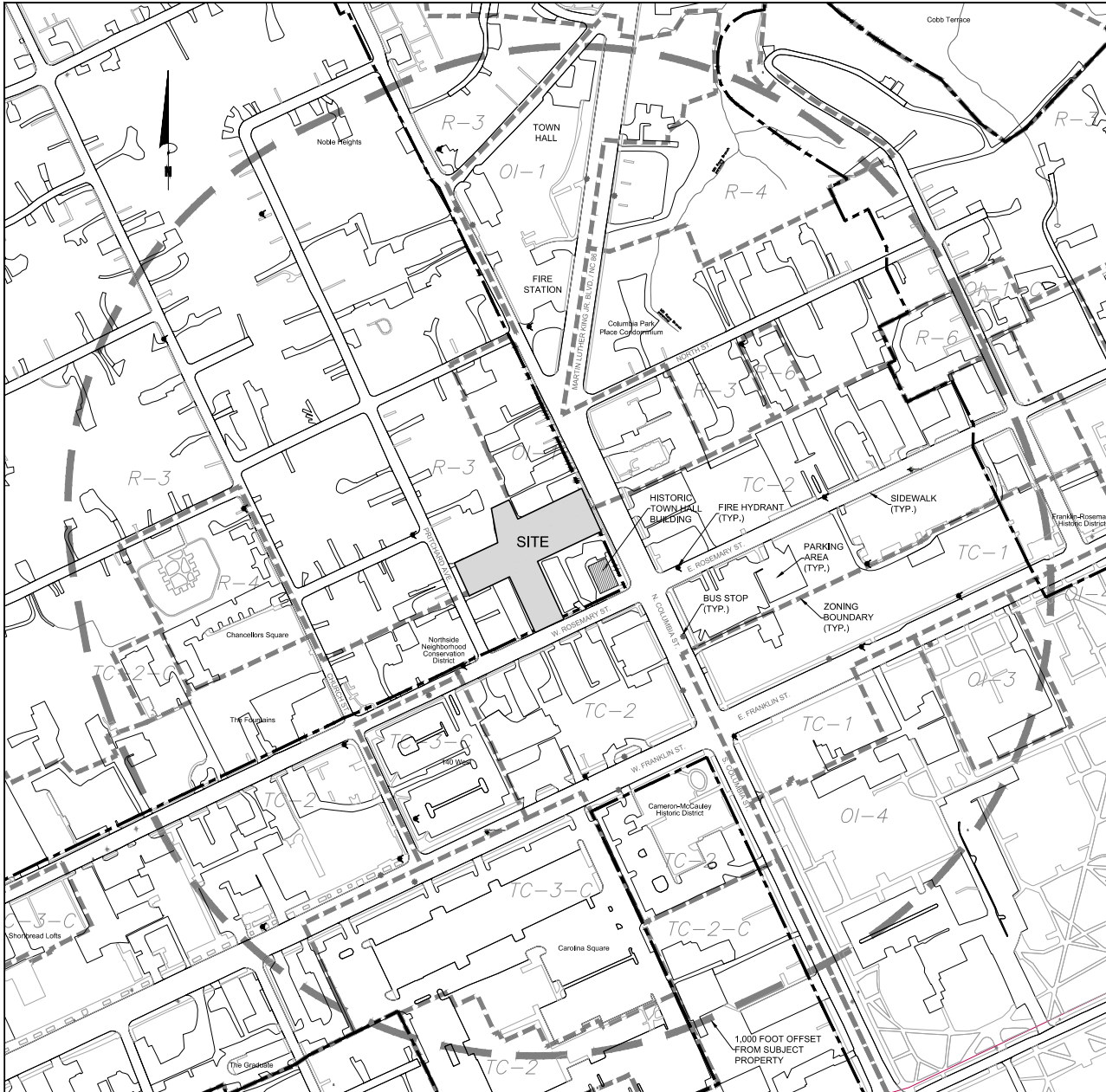
Drawn: W.J.W. MTC  
Checked: H.S.  
Date: 8-24-2020  
Revisions:

Conditional Zoning

Sheet Title:

**COVER  
SHEET**

Sheet Number  
**CZ-0.0**



1 AREA MAP  
CZ-0.1

1" = 120'-0"



LEGEND	
FIRE HYDRANT	
ZONING BOUNDARY	
EXISTING ZONING	OI-4
NCD BOUNDARY	



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NC BOARD OF LANDSCAPE ARCHITECTS LIC # C-104

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PRELIMINARY-DO NOT USE FOR CONSTRUCTION

Job Number: 1963

Drawn: M.K.M.  
Checked: M.K.M.  
Date: 8-24-2020  
Revisions:

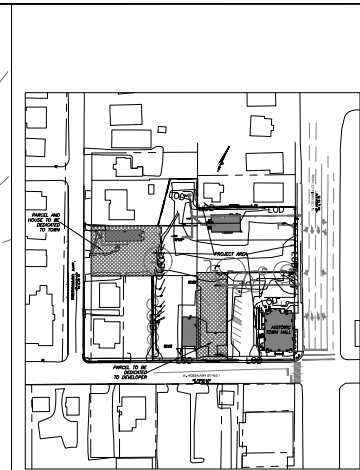
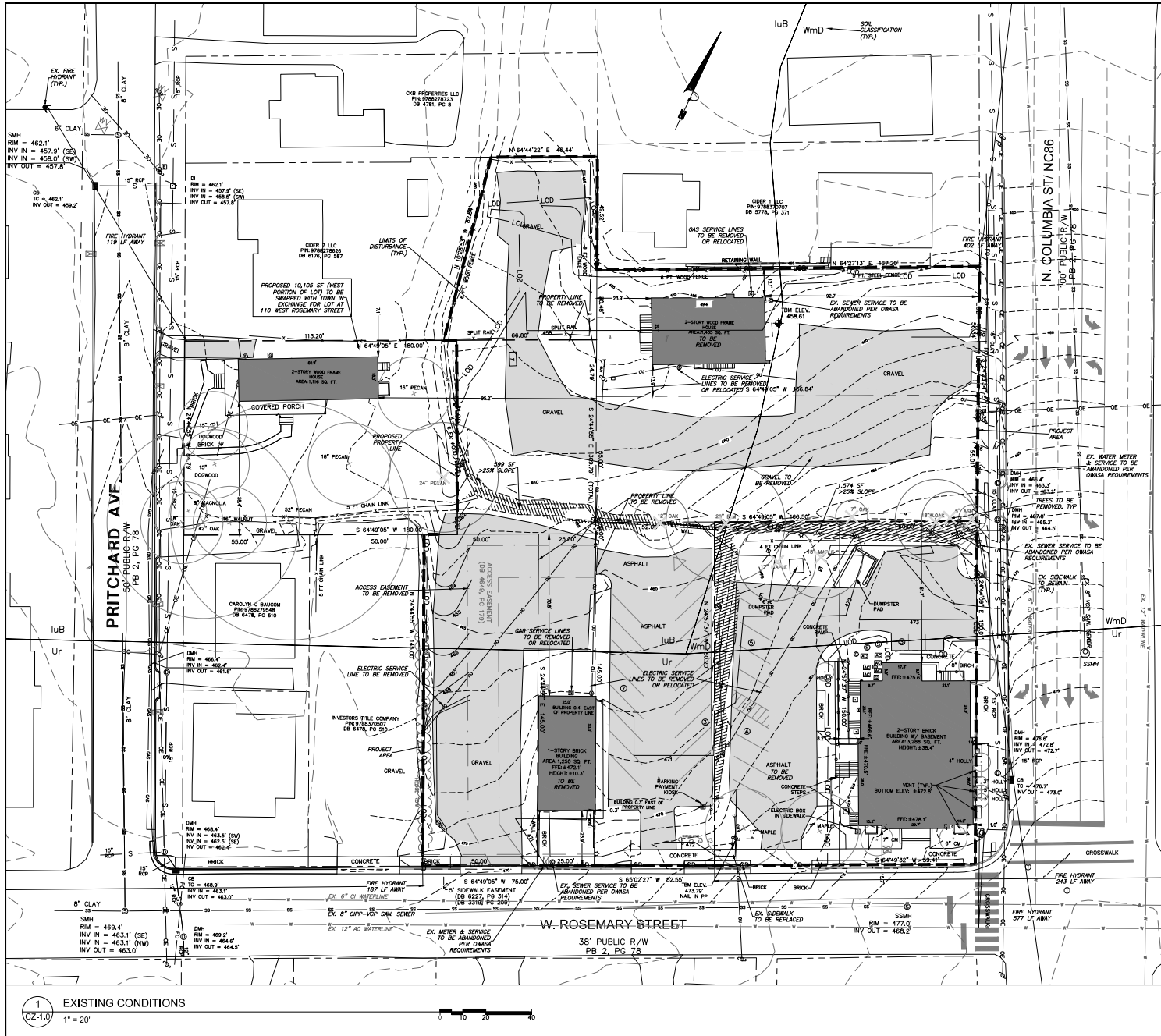
Conditional Zoning

Sheet Title:

**AREA MAP**

Sheet Number

**CZ-0.1**



2 PROJECT AREA  
CZ-1.0 1" = 100'

**PROJECT DATA:**

TOTAL PROJECT AREA: 46,892.63 SF / 1.08 AC  
 AREA OVER 25% SLOPE: 2,173 SF / 0.050 AC (MAIN MADE SLOPES)  
 AREA 15-25% SLOPE: 0.37 AC  
 AREA UNDER 15% SLOPE: 44,720 SF

**LEGEND**

Water Valve	⊕
Yard Inlet	⊖
Curb Inlet/Catch Basin	⊗
Mail Box	⊠
Traffic Signal Box	⊡
Electric Transformer	⊞
Electric Junction Box	⊟
Gas Meter	⊞
Sanitary Sewer Manhole	⊕
Storm Sewer Manhole	⊖
Telephone Manhole	⊞
Electric Manhole	⊞
Sign	⊞
Telephone Pedestal	⊞
Fire Hydrant	⊕
Fire Department Connection	⊞
Point Indicator Valve	⊞
Water Manhole	⊕
Water Meter	⊞
Hot Box	⊞
Utility Pole	⊞
Guy Wire	⊞
Light Pole	⊞
Sewer Cleanout	⊞
Flared End Section	⊞
Gas Valve	⊞
Existing Iron Pipe (3/4" unless noted)	⊞
1/2" floor	⊞
1/2" Iron Pipe Sat	⊞
Existing PK Nail	⊞
PK Nail Sat	⊞
Compacted Point	⊞
Concrete Monument	⊞
Tree Line	⊞
Underground Electric	⊞
Underground Telephone	⊞
Gas Line	⊞
Water Line	⊞
Overhead Utilities	⊞
Storm Sewer	⊞
Sanitary Sewer	⊞
Guard Rail	⊞

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PRELIMINARY-DO NOT USE FOR CONSTRUCTION

Job Number: 1903

Drawn: JMK, MFC  
 Checked: HCL  
 Date: 8-24-2020

Conditional zoning

Sheet Title:

**EXISTING CONDITIONS**

Sheet Number  
**CZ-1.0**

ADA route notes apply to all sheets

- FOR ALL SIDEWALKS THE FOLLOWING APPLIES:
1. SIDEWALK SLOPES TO BE A MAXIMUM 4.8%.
  2. SIDEWALK CROSS SLOPES TO BE A MAXIMUM 1.8%.
  3. MINIMUM 4" SHOULDER AT MAXIMUM 2% SLOPE ADJACENT TO ADA PAVED ROUTES UNLESS A HANDICAP IS CALLED OUT.
  4. ADA PARKING TO BE A MAXIMUM 1.25% SLOPE IN ANY DIRECTION FOR ENTIRE AREA - PARKING SPACES AND AISLES.

1 GENERAL NOTES

1. ENSURE ALL EROSION CONTROL MEASURES ARE IN PLACE AND IN WORKING ORDER PRIOR TO THE START OF ANY DEMOLITION AND CONSTRUCTION.
2. SEE SITE PLAN SHEET CZ-2.1 FOR LAYOUT DIMENSIONS OF EXTENT OF DEMOLISHED AREAS - PAVED AREAS NOT INDICATED TO BE DEMOLISHED ARE TO REMAIN. ALL CONCRETE SAW CUTS ARE TO BE CLEAN, STRAIGHT AND NEAT.
3. UTILITIES: SEE UTILITY PLAN CZ-4.0. CONTRACTOR TO COORDINATE WITH UTILITY COMPANIES FOR LOCATION, REPAIRS AND RELOCATION OF ANY UTILITIES. CONTRACTOR RESPONSIBLE FOR DETERMINING EXTENT AND LOCATION OF UTILITIES. THIS MAY INCLUDE CONTRACTING "NO-COST" TO HELP LOCATE SOME UTILITIES.
4. CONTRACTOR TO ADJUST ALL MANHOLES, VALVES, JUNCTION BOXES, CATCH BASINS, CLEAN-OUTS, ETC. AS NECESSARY TO ACCOMMODATE NEW LAYOUT AND GRADES.
5. CONTRACTOR RESPONSIBLE FOR OBTAINING ANY PERMITS FOR WORK IN THE NEIGHBORHOOD AND TOWN OF CHAPEL HILL RIGHTS OF WAY. ANY DAMAGED INFRASTRUCTURE IN THE RIGHT OF WAY CAUSED BY CONSTRUCTION ACTIVITIES MUST BE REPAIRED TO TOWN OF CHAPEL HILL STANDARDS. THIS INCLUDES, BUT IS NOT LIMITED TO UTILITIES, SIDEWALKS, CURBS AND GUTTERS, ASPHALT.
6. CONTRACTOR RESPONSIBLE FOR REMOVING EVERYTHING WITHIN THE CLEARING LIMITS AND OFF-SITE WORK ZONE INCLUDING TREES, STUMPS, TRASH, FENCING, OR BUILDING MATERIALS.
7. CONTRACTOR TO USE CAUTION WORKING AROUND AND NEAR EXISTING STORM, WATER AND SEWER. CONTRACTOR RESPONSIBLE FOR DAMAGE TO EXISTING UTILITIES.
8. ABANDONMENT OF WATER SERVICES SHALL INCLUDE EXCAVATING DOWN TO CORROBORATION, TURNING IT OFF AND CUTTING SERVICE LINE FREE FROM CORROBORATION. THE METERS, IF PRESENT, SHALL BE RETURNED TO OWASA.
9. ABANDONMENT OF SANITARY SEWER SERVICE LINES SHALL CONSIST OF PLUGGING THE LATERAL AT THE RIGHT-OF-WAY LINE.
10. ALL PAVEMENT PATCHING SHALL BE PERFORMED PER TOWN SPECIFICATIONS AND STANDARDS.

2 DEMOLITION NOTES

1. ALL AISLES ARE TO BE DECEASED UNLESS OTHERWISE NOTED.
2. DIMENSIONS TO BUILDING WALL ARE TO FACE OF WALL AT FINISH GRADE. DIMENSIONS TO CURB ARE TO FACE OF CURB.
3. LAY OUT IMPROVEMENTS FOR THE CIVIL ENGINEER'S OR LANDSCAPE ARCHITECT'S REVIEW PRIOR TO BEGINNING CONSTRUCTION.
4. REFERENCE ARCHITECTURAL DRAWINGS FOR BUILDING LAYOUT INFORMATION.
5. ADA PARKING SPACES SHALL BE SIGNED WITH TYPE #7-4 OR #7-4A REVERSED PARKING SIGN AND #7-20 MAXIMUM FINE SIGN PER GS 20-37.6 OF THE NORTH CAROLINA HANDicap CODE. ADA SPACES SHALL HAVE RAMP SURFACES COVERED WITH DETECTABLE WARNING PATTERN PER ADA STANDARDS.
6. REFERENCE EXISTING CONDITION SHEET CZ-1.0 FOR EXTENT OF DEMOLITION AND REMOVAL OF CURB AND GUTTER, SIDEWALKS, PARAPETS, BOLLARDS, WALKWAYS, UTILITIES, AND VEGETATION.
7. BY ORANGE COUNTY ORDINANCE, CLEAN WOOD WASTE, SCRAP METAL, AND CORRUGATED CARDBOARD, ALL PRESENT IN CONSTRUCTION WASTE, MUST BE RECYCLED.
8. BY ORANGE COUNTY ORDINANCE, ALL HAULERS OF CONSTRUCTION WASTE MUST BE PROPERLY LICENSED.

3 SITE PLAN NOTES

FOR ALL SIDEWALKS THE FOLLOWING APPLIES:

5. ALL DOORS EXITING THE BUILDING REQUIRE AN ADA ACCESSIBLE COMPLIANT ROUTE TO A PUBLIC WAY.
6. PARKING - NUMBER OF SPACES TO COMPLY WITH NC82 2012 SECTION 1100.1, 1 PER 6 COMPLIANT SPACES OR PORTION THEREOF MUST BE VAN ACCESSIBLE. NO SLOPE TO EXCEED 2% IN ANY DIRECTION. SIGNAGE PER NC REQUIREMENTS, MUTI-CO AND ICC 117.1.
7. CURB CUTS AND ACCESSIBLE ROUTES PER ICC 117.1.1 2009 ED. CROSS SLOPE LIMITED TO 2% CALL FOR INSPECTION BEFORE PLACEMENT OF CONCRETE.
8. SLOPE GREATER THAN 5% REQUIRES CONSTRUCTION AS A RAMP.

4 EROSION CONTROL NOTES

11. A DEMOLITION ASSESSMENT MUST BE CONDUCTED BY GCSW STAFF PRIOR TO THE APPROVAL OF THE DEMOLITION PERMIT FOR THE EXISTING STRUCTURES. CONTACT SOIL ENFORCEMENT STAFF AT 919-968-2788 FOR THE ASSESSMENT.
12. BY ORANGE COUNTY ORDINANCE, CLEAN WOOD WASTE, SCRAP METAL AND CORRUGATED CARDBOARD, ALL PRESENT IN CONSTRUCTION WASTE, MUST BE RECYCLED.
13. BY ORANGE COUNTY ORDINANCE, ALL HAULERS OF CONSTRUCTION WASTE MUST BE PROPERLY LICENSED.
14. PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE THE APPLICANT WILL HOLD A PRE-DEMOLITION/PRE-CONSTRUCTION CONFERENCE WITH THE COUNTY'S SOLID WASTE STAFF. THIS MAY BE THE SAME MEETING HELD WITH OTHER DEVELOPMENT OFFICIALS.
15. THE PRESENCE OF ANY ASBESTOS CONTAINING MATERIAL (ACM) OR OTHER HAZARDOUS MATERIALS IN CONSTRUCTION AND DEMOLITION WASTE SHALL BE HANDED IN ACCORDANCE WITH ANY AND ALL LOCAL, STATE, AND FEDERAL REGULATIONS AND GUIDELINES.
16. ANY INVASIVE, EXOTIC PLANT MATERIAL WILL BE REMOVED. A SURVEY OF EXISTING LAND CLEARING, AND ANY INVASIVE OR EXOTIC SPECIES FOUND WILL BE REMOVED.
17. DEMOLITION PERMIT REQUIRED TO REMOVE 5,000 SF OF STORM.
18. ASBESTOS ABATEMENT REPORT REQUIRED BEFORE DEMOLITION PERMIT MAY BE ISSUED.
19. A PERMIT FROM THE CHAPEL HILL FIRE MARSHAL'S OFFICE IS REQUIRED TO REMOVE ANY FLAMMABLE / COMBUSTIBLE LIQUIDS FROM UNDERGROUND OR ABOVE-GROUND TANKS OTHER THAN BY THE ON-SITE PUMPS. 2018 NC FIRE CODE SECTION 105.6.17 #5.
20. A PERMIT FROM THE CHAPEL HILL FIRE MARSHAL'S OFFICE IS REQUIRED TO REMOVE ANY UNDERGROUND OR ABOVE-GROUND TANKS THAT CONTAINED FLAMMABLE / COMBUSTIBLE LIQUIDS. 2018 NC FIRE CODE SECTION 105.6.17 #7. FLAMMABLE / COMBUSTIBLE LIQUIDS TO BE COMPLETED BY CONTRACTOR PRIOR TO TREE PROTECTION FENCE INSTALLATION. PLEASE CALL ADAM NICHOLSON AT 919-969-5006.
21. TREE PROTECTION SIGNAGE TO BE COMPLETED BY CONTRACTOR PRIOR TO TREE PROTECTION FENCE INSTALLATION. PLEASE CALL ADAM NICHOLSON AT 919-969-5006.

9. PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE THE APPLICANT WILL HOLD A PRE-DEMOLITION/PRE-CONSTRUCTION CONFERENCE WITH THE COUNTY'S SOLID WASTE STAFF. THIS MAY BE THE SAME MEETING HELD WITH OTHER DEVELOPMENT OFFICIALS.
10. THE PRESENCE OF ANY ASBESTOS CONTAINING MATERIAL (ACM) OR OTHER HAZARDOUS MATERIALS IN CONSTRUCTION AND DEMOLITION WASTE SHALL BE HANDED IN ACCORDANCE WITH ANY AND ALL LOCAL, STATE, AND FEDERAL REGULATIONS AND GUIDELINES.
11. MASONRY WALLS WILL NOT BE REPAIRED BY THE TOWN RESULTING FROM MAINTENANCE OR TOWN OF CHAPEL HILL AND OWASA MAINTAINED UTILITIES.
12. KEY BOXES FOR FIRE RESPONDERS WILL BE REQUIRED NEAR THE FRONT DOOR AND SPRINKLER RISER ROOM AREAS. 2012 NC FIRE CODE, SECTION 506.
13. MECHANICAL EQUIPMENT MUST BE PLACED AT OR ABOVE BASE FLOOD ELEVATION + 2 FEET.
14. PRIOR TO PERFORMING WORK IN THE NEIGHBORHOOD THE APPLICANT WILL NEED TO OBTAIN THE FOLLOWING:
  - (1) APPROVED NEIGHBORHOOD PERMITS FOR PROPOSED ACCESS TO NO BE.
  - (2) APPROVED NEIGHBORHOOD THREE-PARTY ENCROACHMENT AGREEMENT WITH TOCH FOR PROPOSED / STIPULATED SIDEWALK AND APPROPRIATIONS.
  - (3) APPROVED NEIGHBORHOOD THREE-PARTY ENCROACHMENT AGREEMENT WITH OWASA FOR PROPOSED WATER AND SEWER CONNECTIONS.
15. PRIOR TO ISSUANCE OF THE DRIVEWAY PERMITS AND ENCROACHMENT AGREEMENTS, THE APPLICANT WILL NEED TO PROVIDE COMPLETE AND DETAILED DESIGN PLANS PER NEIGHBORHOOD, TOCH, AND OWASA REQUIREMENTS FOR REVIEW AND APPROVAL.

1. EROSION CONTROL BOND: IF ONE (1) ACRE OR MORE IS UNCOVERED BY LAND-DISTURBING ACTIVITIES FOR THIS PROJECT, THEN A PERFORMANCE GUARANTEE IN ACCORDANCE WITH SECTION 4-211 B(1) OF THE TOWN CODE OF ORANGEVALES SHALL BE REQUIRED PRIOR TO FINAL AUTHORIZATION TO BEGIN LAND-DISTURBING ACTIVITIES. THIS FINANCIAL GUARANTEE IS INTENDED TO COVER THE COSTS OF RESTORATION OF FAILED OR FAILING SOIL EROSION AND SEDIMENTATION CONTROLS, AND/OR TO REMEDY DAMAGES RESULTING FROM LAND-DISTURBING ACTIVITIES, SHOULD THE RESPONSIBLE PARTY OR PARTIES FAIL TO PROVIDE PROMPT AND EFFECTIVE REMEDIES ACCEPTABLE TO THE TOWN.
2. THE APPLICANT SHALL PROVIDE A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PERMIT FROM ORANGE COUNTY EROSION CONTROL DIVISION PRIOR TO RECEIVING A ZONING COMPLIANCE PERMIT. DURING THE CONSTRUCTION PHASE, ADDITIONAL EROSION AND SEDIMENT CONTROLS MAY BE REQUIRED IF THE PROPOSED MEASURES DO NOT CONTAIN THE SEDIMENT, SEDIMENT LEAVING THE PROPERTY IS A VIOLATION OF THE TOWN'S EROSION AND SEDIMENT CONTROL ORDINANCE.
3. THE CONTRACTOR SHALL TAKE THE APPROPRIATE MEASURES TO PREVENT AND REMOVE THE DEPOSITION OF WET OR DRY SILT ON ADJACENT PAVED ROADWAYS.
4. EROSION CONTROL INSPECTIONS: IN ADDITION TO THE REQUIREMENT DURING CONSTRUCTION FOR INSPECTION AFTER EVERY RAINFALL, THE APPLICANT SHALL INSPECT THE EROSION AND SEDIMENT CONTROL DEVICES WEEKLY, MAKE ANY NECESSARY REPAIRS OR ADJUSTMENTS TO THE DEVICES, AND MAINTAIN INSPECTION LOGS DOCUMENTING THE DAILY INSPECTIONS AND ANY NECESSARY REPAIRS.

4 EROSION CONTROL NOTES

1. LANDSCAPING MUST BE IN PLACE PRIOR TO REQUEST FOR A CERTIFICATE OF OCCUPANCY OR CERTIFICATE OF COMPLIANCE.
2. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, DEPTHS, QUANTITIES, DISTANCES, ANGLES AND SLOPES PRIOR TO ORDERING MATERIALS OR INSTALLING PROJECT.
3. IN AREAS OF GROUND COVER, MAINTAIN A 12" MINIMUM DISTANCE BETWEEN PLANTS AND HARD IMPROVEMENTS.
4. BED LINES SHALL CONFORM TO CONFIGURATION SHOWN ON THE PLANS. BED LINES SHALL MEET CURBS, WALKS, BUILDINGS, ETC. AT RIGHT ANGLES UNLESS SHOWN OTHERWISE.
5. CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH ACTUAL CONDITIONS AND VERIFY EXISTING CONDITIONS IN THE FIELD.
6. CONTRACTOR SHALL ACCEPT ACTUAL CONDITIONS AT SITE AND PERFORM THE WORK SPECIFIED INCLUDING FINE GRADING AND INCORPORATION OF TOP SOIL INTO PLANTING AREAS, WITHOUT ADDITIONAL COMPENSATION FOR POSSIBLE VARIATION FROM GRADES AND CONDITIONS SHOWN, WHETHER SURFACE OR SUBSURFACE, EXCEPT AS PROVIDED FOR IN CONTRACT DOCUMENTS.
7. IN LAWN AREAS, 2" TOPSOIL SHALL BE FILLED INTO THE TOP 5" OF GROUND PRIOR TO SEEDING.
8. CONTRACTOR WILL OBTAIN WRITTEN APPROVAL FROM LANDSCAPE ARCHITECT FOR ANY PLANT SUBSTITUTIONS OF SPECIES, SIZE, OR TYPE OF CONTAINER.
9. CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF THESE UTILITIES DURING INSTALLATION, AND SHALL PROMPTLY REPAIR AND RESTORE SERVICES AT NO ADDITIONAL COST TO THE OWNER IF DAMAGE OCCURS DURING INSTALLATION. CONTRACTOR SHALL BECOME THOROUGHLY FAMILIAR WITH THE FULL SET OF CONSTRUCTION DRAWINGS AND SPECIFICATIONS FOR COORDINATION WITH UTILITIES, ARCHITECTURAL FEATURES, ETC.
10. CONTRACTOR WILL LEAVE DISTURBED AREAS LEVEL AND RAKED SMOOTH, REMOVING ALL ROCKS AND DEBRIS.
11. MULCH IS TO BE A 3" LAYER OF TRIPLE SHREDED HARDWOOD MULCH. MULCH IS TO BE KEPT AWAY FROM TREE TRUNKS.
12. ANY DAMAGE TO EXISTING CONDITIONS OUTSIDE THE CONTRACT LIMITS, INCLUDING CURBS, SIDEWALKS, TURF AREAS AND PAVING, SHALL BE RESTORED TO ORIGINAL CONDITION BY THE CONTRACTOR WITHOUT EXTRA COST TO THE OWNER.
13. IN CASE OF DISCREPANCY BETWEEN THE QUANTITY OF PLANTS ON THE PLANS COMPARED TO THE PLANT LIST, THE CONTRACTOR SHALL SUPPLY QUANTITIES AS SHOWN ON THE PLANS.
14. ALL UNPAVED SURFACES ARE TO BE COVERED IN PLANTS, MULCH, OR GRASS.
15. LINE OF SIGHT NOTE: NO PROPOSED LANDSCAPING WITHIN THE LINE OF SIGHT EASEMENT SHALL EXCEED 24" AT MATURITY. ANY NEW TREES SHALL BE LIMBED TO 7' ABOVE FINISHED GRADE.
16. ANY INVASIVE, EXOTIC PLANT MATERIAL WILL BE REMOVED. A SURVEY OF EXISTING LANDSCAPE BUFFERS TO REMAIN WILL BE CONDUCTED FOLLOWING INITIAL CLEARING, AND ANY INVASIVE OR EXOTIC SPECIES FOUND WILL BE REMOVED.
17. THE AREA WITHIN THE SIGHT TRIANGLE AREA SHALL BE THINNED OF ALL SHRUBS, UNDERSTORY TREES UNDER 1" IN CALIPER, VINES, AND DEAD PLANT MATERIAL. EXISTING TREES LARGER THAN 1" SHALL BE LIMBED UP TO 7' ABOVE EXISTING GRADE TO IMPROVE VISIBILITY.

5 LANDSCAPE NOTES

FOR ALL SIDEWALKS THE FOLLOWING APPLIES:

1. NCFPC SECTION 510. EMERGENCY RESPONDER RADIO COVERAGE IN NEW BUILDINGS, ALL NEW BUILDINGS SHALL HAVE APPROVED RADIO COVERAGE FOR EMERGENCY RESPONDERS WITHIN THE BUILDING BASED UPON THE EXISTING COVERAGE LEVELS OF THE PUBLIC SAFETY COMMUNICATION SYSTEMS OF THE JURISDICTION AT THE EXTERIOR OF THE BUILDING. THIS WORK SHALL NOT REQUIRE IMPROVEMENT OF THE EXISTING PUBLIC SAFETY COMMUNICATION SYSTEMS.
2. FIRE MATCH DURING CONSTRUCTION AND DEMOLITION WHERE HOT MATERIALS SUBJECT TO SPONTANEOUS COMBUSTION OR OTHER HAZARDOUS CONSTRUCTION OR DEMOLITION IS OCCURRING, THE OWNER OR THEIR DESIGNEE SHALL BE RESPONSIBLE FOR MAINTAINING A FIRE MATCH. THE FIRE MATCH SHALL CONSIST OF AT LEAST ONE MATCH PER MEANS OF COMMUNICATIONS. THE MATCHES SHALL BE MAINTAINED IN A WRITTEN ADDRESS POSTED IN A CONSPICUOUS LOCATION AND SHALL MAINTAIN CONSTANT PATROLS. 2018 NCFPC SECTION 3304.5.
3. CONSTRUCTION/DEMOLITION: ALL CONSTRUCTION AND DEMOLITION CONDUCTED SHALL BE IN COMPLIANCE OF THE CURRENT EDITION OF THE NC FIRE CODE. 2018 NCFPC CHAPTION 3.
4. FIRE DEPARTMENT CONNECTIONS, INSTALLATION: A WORKING SPACE OF NOT LESS THAN 36" IN WIDTH AND DEPTH AND A WORKING SPACE OF 78" IN HEIGHT SHALL BE PROVIDED ON ALL SIDES WITH THE EXCEPTION OF WALL MOUNTED FITTINGS UNLESS OTHERWISE APPROVED BY THE FIRE CODE OFFICIAL. THE FITTINGS WERE REQUIRED MUST BE PHYSICALLY PROTECTED BY AN APPROVED BARRIER FROM IMPACTS. 2018 NCFPC SECTION 912.
5. FIRE PROTECTION AND UTILITY PLANS SHALL INCLUDE THE FIRE FLOW REPORTS FOR A WIRING WITHIN 50% OF EACH BUILDING, PROVIDE THE CALCULATED GALLONS PER MINUTE OF THE FLOW WITH A RESIDUAL PRESSURE OF 20 POUNDS PER SQUARE INCH. THE CALCULATIONS SHOULD BE SEALED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF NC AND ACCOMPANIED BY A WATER SUPPLY FLOW TEST CONDUCTED WITHIN ONE YEAR OF THE SUBMITTAL. REFERENCE TOWN DESIGN MANUAL FOR REQUIRED GALLONS PER MINUTE.
6. AUTOMATIC FIRE SPRINKLER SYSTEM REQUIRED: AN AUTOMATIC FIRE SPRINKLER SYSTEM MEETING THE REQUIREMENTS OF NFPA STANDARD #13 IS REQUIRED TO BE INSTALLED IN NON-RESIDENTIAL CONSTRUCTION, AS FOLLOWS:
  - (1) IN NON-RESIDENTIAL STRUCTURES IF:
    - i. THE BUILDING HAS MORE THAN 6,000 SQUARE FEET OF FLOOR AREA.
    - ii. TWENTY (20) PER CENT OR MORE OF THE TOTAL FLOOR AREA IS MORE THAN TWO HUNDRED (200) FEET OF TRAVEL DISTANCE FROM THE NEAREST ACCESS POINT FROM A FIRE TRUCK OR
    - iii. THE BUILDING EXCEEDS TWO (2) STORES OR TWENTY-FOUR (24) FEET IN HEIGHT FROM THE AVERAGE GRADE OF THE LOT TO THE WINDOWS ON THE TOPMOST OCCUPIED FLOOR.
  - IN ADDITION, ALL CONNECTIONS SHALL BE LOCATED ON THE STREET SIDE OF EACH BUILDING AND ACTIVATION OF THE SPRINKLER SYSTEM SHALL ACTIVATE BOTH A LOCAL BUILDING ALARM AND A SUPERVISORY ALARM AT A TWENTY-FOUR (24) HOUR CERTIFIED AND LICENSED ALARM MONITORING SYSTEM, TOWN ORDINANCE 7-56.
7. WATER SUPPLY FOR FIRE PROTECTION: WHEN REQUIRED, AN APPROVED WATER SUPPLY FOR FIRE PROTECTION, EITHER TEMPORARY OR PERMANENT, SHALL BE MADE AVAILABLE AS SOON AS CONSTRUCTIBLE MATERIAL ARRIVES ON THE SITE. 2018 NCFC 3192.
8. KEY BOXES: SOA 1 WHERE REQUIRED, WHERE ACCESS TO OR WITHIN A STRUCTURE OR AN AREA IS RESTRICTED BECAUSE OF SECURED OPENINGS OR WHERE IMMEDIATE ACCESS IS NECESSARY FOR LIFE-SAVING OR FIRE-FIGHTING PURPOSES, THE FIRE CODE OFFICIAL IS AUTHORIZED TO REQUIRE A KEY BOX TO BE INSTALLED IN AN APPROVED LOCATION. THE KEY BOX SHALL BE OF AN APPROVED TYPE LISTED IN ACCORDANCE WITH UL 1037, AND SHALL CONTAIN KEYS TO GAIN NECESSARY ACCESS AS REQUIRED BY THE FIRE CODE OFFICIAL. 2018 NCFPC 506.1.
9. ADDRESS IDENTIFICATION: 505.1 ADDRESS IDENTIFICATION, NEW AND EXISTING BUILDINGS SHALL BE PROVIDED WITH APPROVED ADDRESS IDENTIFICATION. THE ADDRESS IDENTIFICATION SHALL BE LEGIBLE AND PLACED IN A POSITION THAT IS VISIBLE FROM THE STREET OR ROAD FRONT THE PROPERTY. ADDRESS IDENTIFICATION CHARACTERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL NOT BE SHELLED OUT. EACH CHARACTER SHALL BE NOT LESS THAN 6 INCHES (153 MM) HIGH WITH A MINIMUM STROKE WIDTH OF 3/4 INCH (20 MM). WHERE REQUIRED BY THE FIRE CODE OFFICIAL, ADDRESS IDENTIFICATION SHALL BE PROVIDED IN ADDITIONAL APPROVED LOCATIONS TO FACILITATE EMERGENCY RESPONSE, WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE, OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. ADDRESS IDENTIFICATION SHALL BE MAINTAINED. 2018 NCFPC 505.1.
10. AERIAL FIRE APPARATUS ACCESS ROADS: 0105.4 OBSTRUCTIONS, OVERHEAD UTILITY AND POWER LINES SHALL NOT BE LOCATED OVER THE AERIAL FIRE APPARATUS ACCESS ROAD OR BETWEEN THE AERIAL FIRE APPARATUS ROAD AND THE BUILDING. OTHER OBSTRUCTIONS SHALL BE PERMITTED TO BE PLACED WITH THE APPROVAL OF THE FIRE CODE OFFICIAL. 2018 NCFPC APPROACH 0105.
11. FIRE LANES: WHERE REQUIRED BY THE FIRE CODE OFFICIAL, APPROVED SIGNS OR OTHER APPROVED NOTICES OR MARKINGS THAT INCLUDE THE WORDS "NO PARKING-FIRE LANE" SHALL BE PROVIDED FOR FIRE APPARATUS ACCESS ROADS TO IDENTIFY SUCH ROADS OR PROHIBIT THE OBSTRUCTION THEREOF. THE SIGNS BY WHICH FIRE LANES ARE DESIGNATED SHALL BE MAINTAINED IN A CLEAN AND LEGIBLE CONDITION AT ALL TIMES AND BE REPLACED OR REPAIRED WHEN NECESSARY TO PROVIDE ADEQUATE VISIBILITY. 2018 NCFPC SECTION 503.3 AND APPENDIX D 1036.1, D 1036.1, D 1036.2.
12. FIRE APPARATUS ACCESS ROADS: AUTHORITY: 503.3. AUTHORITY: THE FIRE CODE OFFICIAL SHALL HAVE THE AUTHORITY TO REQUIRE OR PERMIT MODIFICATIONS TO THE REQUIRED ACCESS WEATHERS WHERE THEY ARE INADEQUATE FOR FIRE OR RESCUE OPERATIONS OR WHERE NECESSARY TO MEET THE PUBLIC SAFETY OBJECTIVES OF THE JURISDICTION. 2018 NCFPC SECTION 503.
13. FIRE APPARATUS ACCESS ROADS:
  - (1) 503.3 WHERE REQUIRED, FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED AND MAINTAINED IN ACCORDANCE WITH SECTIONS 503.1.1 THROUGH 503.1.3.
14. TRAFFIC CALMING DEVICES: TRAFFIC CALMING DEVICES SHALL BE PROHIBITED UNLESS APPROVED BY THE FIRE CODE OFFICIAL. 2018 NCFPC 503.4.1.
15. OBSTRUCTION OF FIRE APPARATUS ACCESS ROADS: FIRE APPARATUS ACCESS ROADS SHALL NOT BE OBSTRUCTED IN ANY MANNER, INCLUDING THE PARKING OF VEHICLES. THE MINIMUM WIDTHS AND CLEARANCES ESTABLISHED IN SECTIONS 503.2.1 AND 503.2.2 SHALL BE MAINTAINED AT ALL TIMES. 2018 NCFPC 503.4.
16. FIRE DEPARTMENT ACCESS/CONSTRUCTION: DURING CONSTRUCTION, VEHICLE ACCESS FOR FIRE FIGHTING SHALL BE PROVIDED. TEMPORARY STREET SIGNS SHALL BE INSTALLED AT EACH STREET INTERSECTION WHEN CONSTRUCTION ALLOWS THE PASSAGE OF VEHICLES. SIGNS SHALL BE OF AN APPROVED SIGN, WEATHER RESISTANT, AND MAINTAINED UNTIL REPLACED BY PERMANENT SIGNS. 2018 NCFPC SECTION 505.2.
17. FIRE DEPARTMENT ACCESS/CONSTRUCTION: FENCING AROUND PROJECTS SHALL INCLUDE ACCESS GATES WITH A 20 FOOT SWING OR SLIDE MOTION. ANY AREAS WHICH WILL NOT BE ACCESSIBLE FOR FIRE FIGHTING OR RESCUE OPERATIONS SHALL BE NOTED. EMERGENCY ACCESS DESIGNATION FOR APPARATUS SHALL BE PROVIDED. 2018 NCFPC SECTION 505.3, APPENDIX D.
18. FIRE DEPARTMENT ACCESS: ALL TURNS, BENCH BRIDGES, AND DEPRESSIONS WITH ROADWAYS SHALL BE DESIGNED AND CONSTRUCTED TO BE ACCESSIBLE BY THE LARGEST FIRE APPARATUS AVAILABLE BY THE TOWN OF CHAPEL HILL. TECHNICAL INFORMATION ON THIS EQUIPMENT IS AVAILABLE FROM THE TOWN FIRE MARSHAL. 2018 NCFPC SECTION 503.3, APPENDIX D.

6 FIRE NOTES

FIRE NOTES ABOVE WILL BE ADDRESSED DURING ZUP AND/OR BUILDING PERMIT PLANS.



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9-24-2020

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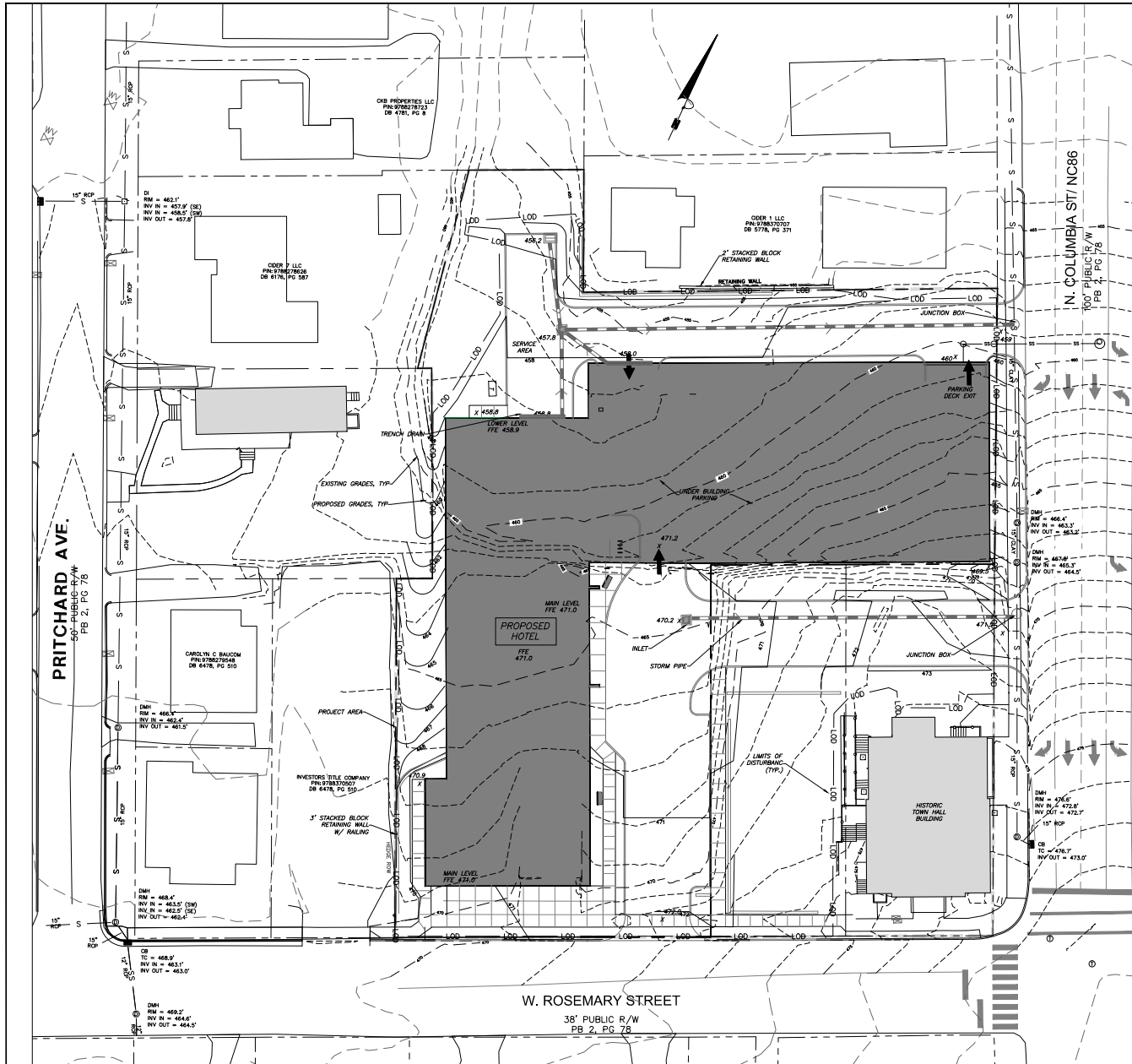
NOTES

Sheet Number

**CZ-1.1**







**GRADING NOTES**

1. ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH TOWN OF CHAPEL HILL AND NCDOT STANDARDS AND SPECIFICATIONS.
3. CONTRACTOR SHALL NOTIFY "NORTH CAROLINA ONE CALL" (1-800-432-4449) AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR TO CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NORTH CAROLINA ONE CALL".
4. CONSTRUCTION, MAINTENANCE AND REMOVAL OF ALL EROSION CONTROL DEVICES ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE IMMEDIATELY.
5. EXISTING UTILITIES AND STRUCTURES SHOWN, BOTH UNDERGROUND AND ABOVE GROUND, ARE BASED ON A FIELD SURVEY AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY FIELD CONDITIONS PRIOR TO BEGINNING RELATED CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE IMMEDIATELY.
6. SOIL UNDER BUILDING PAD, PAVED AREAS AND WITHIN SLOPES GREATER THAN 3:1 (H/V) SHALL BE APPROVED, PLACED AND COMPACTED AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER. THESE SOILS SHALL BE COMPACTED AS SPECIFIED UNLESS OTHERWISE RECOMMENDED BY THE GEOTECHNICAL ENGINEER AND UNDERCUT OF SOILS IN THESE AREAS SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER & OWNER. THE UNDERCUT SOILS SHALL ALSO BE QUANTIFIED BY THE GEOTECHNICAL ENGINEER.
7. ALL GRADING MUST PRODUCE SURFACE DRAINAGE ADEQUATE TO PREVENT STANDING WATER OR WET LAWN AREAS, AND TO ENSURE THAT ALL STORM WATER FLOWS TO INLETS OR OTHER POINTS OF DISCHARGE.
8. ALL SIDEWALKS SHALL BE CONSTRUCTED WITH A MAXIMUM 1.8% CROSS SLOPE IN THE DIRECTION SHOWN ON THE PLAN.
9. CONNECT ALL ROOF LEADERS AND DOWNSPOUTS TO STORM DRAINAGE SYSTEM WITH PVC PIPE. SEE ARCHITECTURAL PLANS FOR LOCATIONS.
10. CURB INLETS: PROVIDE PRE-CAST CURB INLET HOODS AND COVERS STATING "DUMP NO WASTE DRAINS TO JORDAN LAKE", IN ACCORDANCE WITH THE SPECIFICATIONS OF THE TOWN STANDARD DETAIL 30-5A FOR ALL NEW CURB INLETS FOR PRIVATE, TOWN AND STATE RIGHTS-OF-WAY.
11. FIN (BOTTOM OF WALL) ELEVATION IS FINISH GRADE, NOT THE FOOTING. REFERENCE RETAINING WALL PLANS/DETAILS FOR DEPTH OF FOOTING.
12. ANY DISTURBANCE WITHIN THE FORESTED "NO LAND DISTURBANCE AREA" WILL REQUIRE AN UPDATE TO THE JORDAN ACCOUNTING TOOL.

**STORMWATER NOTES**

1. ALL STORM DRAIN PIPES SHOWN ARE TO BE CLASS II REINFORCED CONCRETE (RCP) UNLESS NOTED OTHERWISE.
2. ALL STORM DRAINAGE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF CHAPEL HILL AND NCDOT STANDARDS.
3. ALL CONCRETE SHALL MEET A MINIMUM 3000 PSI COMPRESSIVE STRENGTH.
4. ALL PIPE IN STORM DRAIN STRUCTURES SHALL BE STROUK EVEN WITH INSIDE WALL.
5. ALL PIPE JOINTS SHALL BE MADE WITH PREFORMED JOINT SEALER, WHICH CONFORMS TO ASHTO SPECIFICATION M-198 FOR TYPE B FLEXIBLE PLASTIC GASKETS UNLESS OTHERWISE NOTED.
6. THE INTERIOR SURFACES OF ALL STORM DRAINAGE STRUCTURES SHALL BE POINTED AND SMOOTHED TO AN ACCEPTABLE STANDARD USING MORTAR MIXED TO MANUFACTURER'S SPECIFICATIONS.
7. ALL BACKFILL SHALL BE NON-PLASTIC IN NATURE, FREE FROM ROOTS, VEGETATION MATTER, WASTE CONSTRUCTION MATERIAL OR OTHER OBJECTIONABLE MATERIAL. SAND MATERIAL SHALL BE CAPABLE OF BEING COMPACTED BY MECHANICAL MEANS AND SHALL HAVE NO TENDENCY TO FLOW OR BEHAVE IN A PLASTIC MANNER UNDER THE TAMPING BLOCS OR PROOF ROLLING.
8. MATERIALS DEMED BY THE OWNER'S REPRESENTATIVE AS UNSUITABLE FOR BACKFILL PURPOSES SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL.
9. BACKFILLING OF TRENCHES SHALL BE ACCOMPISHED IMMEDIATELY AFTER PIPE IS LAYED. THE FILL AROUND THE PIPE SHALL BE THOROUGHLY COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY OBTAINABLE WITH THE STANDARD PROCTOR TEST. THE TOP EIGHT (8) INCHES SHALL BE COMPACTED TO 100% STANDARD PROCTOR.
10. UNDER NO CIRCUMSTANCES SHALL WATER BE ALLOWED TO RISE IN UNBACKFILLED TRENCHES AFTER PIPE HAS BEEN PLACED.
11. RISER STRUCTURES WITH MULTIPLE BARREL SECTIONS SHALL HAVE GASKETED JOINTS, AND EACH SECTION SHALL BE BOLTED TO ADJACENT SECTIONS WITH STAINLESS STEEL STRAPS.



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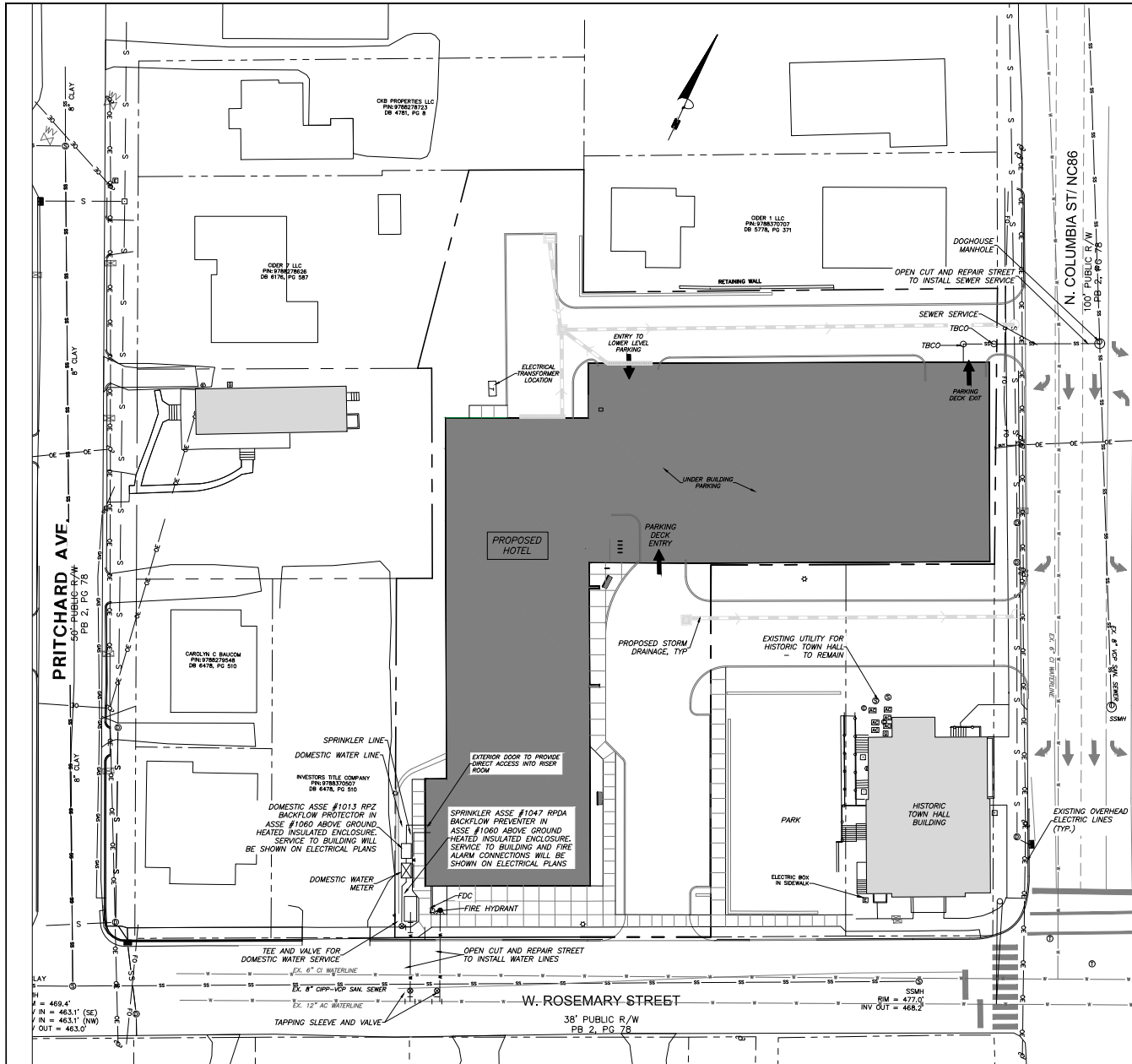
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**GRADING AND STORMWATER PLAN**

Sheet Number  
**CZ-3.0**

1 GRADING AND STORMWATER PLAN  
CZ-3.0 1" = 20'





**UTILITY NOTES**

1. CONTRACTOR SHALL NOTIFY "NORTH CAROLINA ONE CALL" (1-800-632-4949) AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR TO CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICE INDEPENDENT OF "NORTH CAROLINA ONE CALL".
2. ALL WATER AND SEWER MAINS WITHIN PUBLIC EASEMENTS AND RIGHT-OF-WAYS TO BE OWNED, OPERATED AND MAINTAINED BY OWASA.
3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF CHAPEL HILL AND OWASA STANDARDS AND SPECIFICATIONS.
4. ALL EXISTING UNDERGROUND UTILITIES ARE APPROXIMATELY LOCATED. ACTUAL LOCATION AND DEPTH SHALL BE CONFIRMED IN THE FIELD PRIOR TO CONSTRUCTION.
5. BEFORE STARTING ANY CONSTRUCTION OF IMPROVEMENTS WITHIN ANY TOWN OR N.C.D.O.T. STREET OR HIGHWAY RIGHT-OF-WAY THE FOLLOWING PROCEDURES SHOULD BE UNDERTAKEN: TOWN RIGHT-OF-WAY: CONTACT LOCAL AUTHORITIES' TRAFFIC ENGINEERING DEPT. FOR INFORMATION ON DETOURS, OPEN CUTTING OF STREETS OR FOR ANY CONSTRUCTION WITHIN RIGHT-OF-WAY. N.C.D.O.T. RIGHT-OF-WAY: CONTACT PROJECT ENGINEERS AND OBTAIN ALL PERMITS AND ENCROACHMENTS (KEEP COPIES ON CONSTRUCTION SITE. ALSO CONTACT N.C.D.O.T. DISTRICT OFFICE 24 HOURS IN ADVANCE BEFORE PLACING CURB AND GUTTER).
6. ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNER IF ANY DISCREPANCIES EXIST. PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADING CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
7. POWER, TELEPHONE, AND GAS SERVICES TO BUILDINGS SHALL BE UNDERGROUND. ACCESS AND SERVICE ROUTES TO BE COORDINATED WITH THE PUBLIC UTILITIES, CONTRACTOR AND THE OWNER.
8. RESURFACING OF STREET DUE TO UTILITY CUTS SHALL BE REQUIRED AT THE DIRECTION OF ENGINEERING. (MINIMUM 50' TO EITHER SIDE OF UTILITY CUTS).
9. PROVIDE 10-FT OF HORIZONTAL SEPARATION BETWEEN PROPOSED NEW WATER AND SEWER MAINS

**SANITARY SEWER:**

1. BACKFLOW PREVENTORS SHALL BE PROVIDED FOR ALL UNITS WITH FINAL FLOOR ELEVATIONS OF BUILDINGS LESS THAN 1'-0" ABOVE UPSTREAM MANHOLE.
2. MINIMUM COVER OF 5 FEET IN TRAFFIC AREAS TO BE PROVIDED FOR ALL COLLECTOR LINES 4 INCHES AND LARGER. IF LESS THAN 5 FEET, DUCTILE IRON PIPE SHALL BE REQUIRED.
3. MINIMUM SLOPE FOR 4 INCH SANITARY SEWER COLLECTION LINES SHALL BE NO LESS THAN 2.0% WITH CLEANOUTS EVERY 75 LINEAL FEET.
4. MINIMUM SLOPE FOR 6 INCH SANITARY SEWER COLLECTION LINES SHALL BE NO LESS THAN 1.0% WITH CLEANOUTS EVERY 75 LINEAL FEET.

**WATER:**

1. WATERLINES WILL BE 3' OFF CURB AND GUTTER UNLESS SHOWN OTHERWISE.
2. LAY WATER MAINS AT LEAST 10 FEET LATERALLY FROM EXISTING OR PROPOSED SANITARY SEWERS. IF LOCAL CONDITIONS OR BARRIERS PREVENT A 10 FOOT SEPARATION, LAY THE WATER MAIN WITH AT LEAST 18" VERTICAL SEPARATION ABOVE THE TOP OF THE SANITARY SEWER PIPE EITHER IN A SEPARATE TRENCH OR IN THE SAME TRENCH ON A BENCH OF UNDISTURBED EARTH.
3. WHEN A PROPOSED WATER MAIN CROSSES OVER A PROPOSED OR EXISTING SANITARY SEWER, LAY THE WATER MAIN WITH AT LEAST 18" VERTICAL SEPARATION ABOVE THE TOP OF THE SANITARY SEWER. IF LOCAL CONDITIONS PREVENT AN 18" VERTICAL SEPARATION, CONSTRUCT BOTH THE WATER MAIN AND THE SANITARY SEWER FOR A DISTANCE OF 10 FEET ON EACH SIDE TO THE POINT OF CROSSING WITH FERROUS PIPE HAVING WATER MAIN QUALITY JOINTS.
4. WHEN A PROPOSED WATER MAIN CROSSES UNDER A PROPOSED OR EXISTING SANITARY SEWER, CONSTRUCT BOTH THE WATER MAIN AND THE SANITARY SEWER OF FERROUS MATERIALS WITH JOINTS THAT ARE EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING. CENTER THE SECTION OF WATER PIPE AT THE POINT OF CROSSING.
5. MAINTAIN A MINIMUM COVER OF 36" AND MAXIMUM COVER OF 42" BELOW FINISHED GRADE OVER ALL PIPES UNLESS OTHERWISE DIRECTED OR SHOWN ON THE PLANS. DUE TO THE HEIGHTS OF VALVES, INCREASE THE COVER DEPTHS ADJACENT TO THE VALVES OR VARIED AT POINTS OF TIE-IN TO EXISTING LINES.
6. ALL FDC(S) AND HYDRANT(S) SHALL BE SAMESIDE CONNECTIONS AND MEET TOWN OF CHAPEL HILL AND OWASA STANDARDS.
7. A FIRE SPRINKLER SYSTEM WILL BE REQUIRED FOR THE HOTEL.
8. A PERMIT FROM THE CHAPEL HILL FIRE MARSHAL'S OFFICE IS REQUIRED TO INSTALL ANY NEW UNDERGROUND OR ABOVE-GROUND TANKS THAT CONTAINED FLAMMABLE/COMBUSTIBLE LIQUIDS. 2016 NC FIRE CODE SECTION 105.6.17.

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 Orange County, North Carolina

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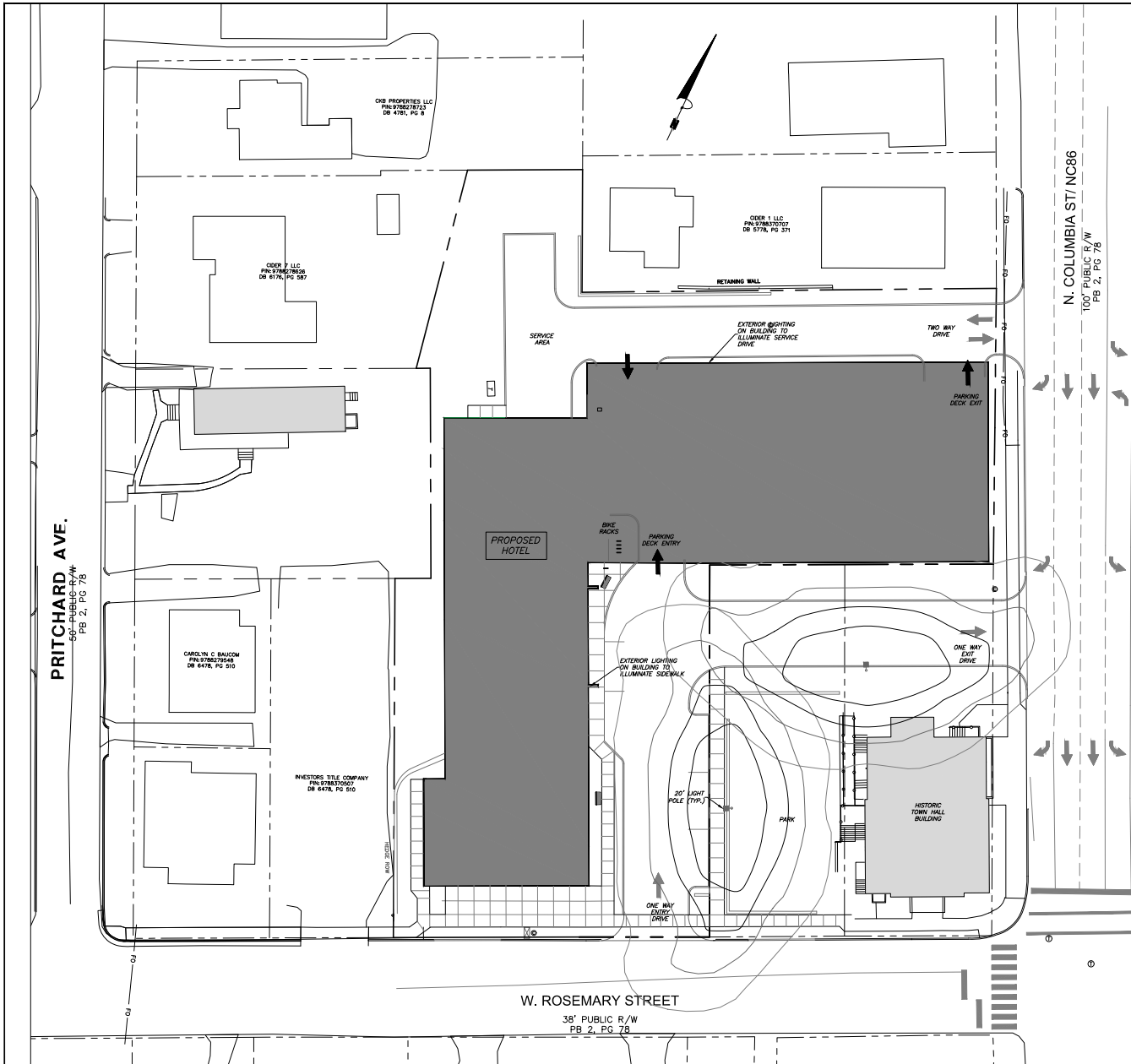
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**UTILITY PLAN**  
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**CZ-5.0**

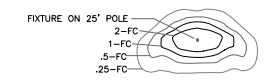
1 UTILITY PLAN  
 1" = 20'







LEGEND



LIGHTING NOTES

- LIGHTING CONDUIT**  
 LIGHTING CONDUIT SHALL MEET THE FOLLOWING GUIDELINES.
- CONDUIT DESIGN MUST BE APPROVED BY DUKE ENERGY PRIOR TO INSTALLATION. CHANGING THE CONDUIT LAYOUT CAN CAUSE CONDUCTOR LENGTH TO EXCEED ACCEPTABLE VOLTAGE LEVEL WHICH WILL AFFECT THE LIGHT'S ABILITY TO OPERATE.
  - ALL CONDUITS ARE TO BE 2" SCHEDULE 40 GRAY ELECTRICAL PVC.
  - ALL JOINTS ARE TO BE GLUED.
  - ALL ENDS ARE TO BE MARKED WITH SCRAP CONDUIT OR A BOARD (PAINTING THE GROUND WITH MARKING PAINT IS NOT ACCEPTABLE). IT IS STRONGLY SUGGESTED THAT THE ENDS SHOULD BE IDENTIFIED BY GPS COORDINATES.
  - ALL ENDS ARE TO BE CAPPED TO PREVENT ENTRY OF DEBRIS.
  - ALL CONDUITS MORE THAN 30" IN LENGTH SHALL HAVE A STRING INSTALLED.
  - TO COMPLY WITH NESC, ALL CONDUIT ARE TO BE INSTALLED AT A MINIMUM DEPTH OF 30" FROM FINISH GRADE TO TOP OF CONDUIT. CONDUITS THAT CAN NOT MEET THIS CRITERIA MUST BE ENCASED IN 3" MINIMUM CONCRETE ENVELOPE. (FLOWABLE FILL IS ACCEPTABLE IN PLACE OF CONCRETE).
  - IF CONCRETE ENCASED CONDUIT IS REQUIRED AT ANY POINT, IT MUST BE ENCASED IN CONCRETE UNTIL PIPE IS BACK DOWN TO REQUIRED DEPTH.
  - PEDESTAL AREAS WHERE MULTIPLE CONDUIT ENDS TERMINATE ARE TO HAVE THE CONDUIT ENDS WITHIN 12" OF EACH OTHER.
  - DIRECT BURIED LIGHT POLE AREAS ARE TO HAVE CONDUITS TERMINATE 36" APART AND 12" BACK OF POLE LOCATION.
  - CONDUITS SERVING LIGHTS ON CONCRETE REVEALS ARE TO BE CONTINUOUS FROM REVEAL TO REVEAL.
- LIGHTING NOTES**
- MEASURES SHALL BE PROVIDED TO PREVENT LIGHT SPILLOVER ONTO ADJACENT PROPERTIES AND GLARE TOWARD MOTOR VEHICLE OPERATORS. EXTERIOR LIGHTS SHALL BE SHIELDED SO THEY DO NOT CAST DIRECT LIGHT BEYOND THE PROPERTY LINE.
  - PROVIDE 2" PVC CONDUIT UNDER PAVEMENT, UNDER HEAVILY LANDSCAPED AREAS AS NECESSARY, AND AS DETERMINED BY DUKE ENERGY TO PROVIDE ACCESS TO ALL LIGHT FIXTURES. COORDINATE WITH DUKE ENERGY TO FINALIZE CONDUIT LOCATIONS AND LENGTHS.
- SPECIAL COORDINATION NOTES:**
- CONTRACTOR IS TO COORDINATE LIGHT POLE AND CONDUIT LOCATIONS WITH DUKE ENERGY PRIOR TO INSTALLATION OF WALLS AND PAVING.
  - ABOVE GROUND PEDESTALS AND LIGHT POLES WILL BE PROVIDED AND INSTALLED BY DUKE ENERGY.
  - CONTRACTOR IS TO REFER TO DUKE ENERGY SPECIFICATIONS FOR CONDUIT INSTALLATION.
  - CONDUIT IS TO BE FURNISHED AND INSTALLED BY CONTRACTOR.

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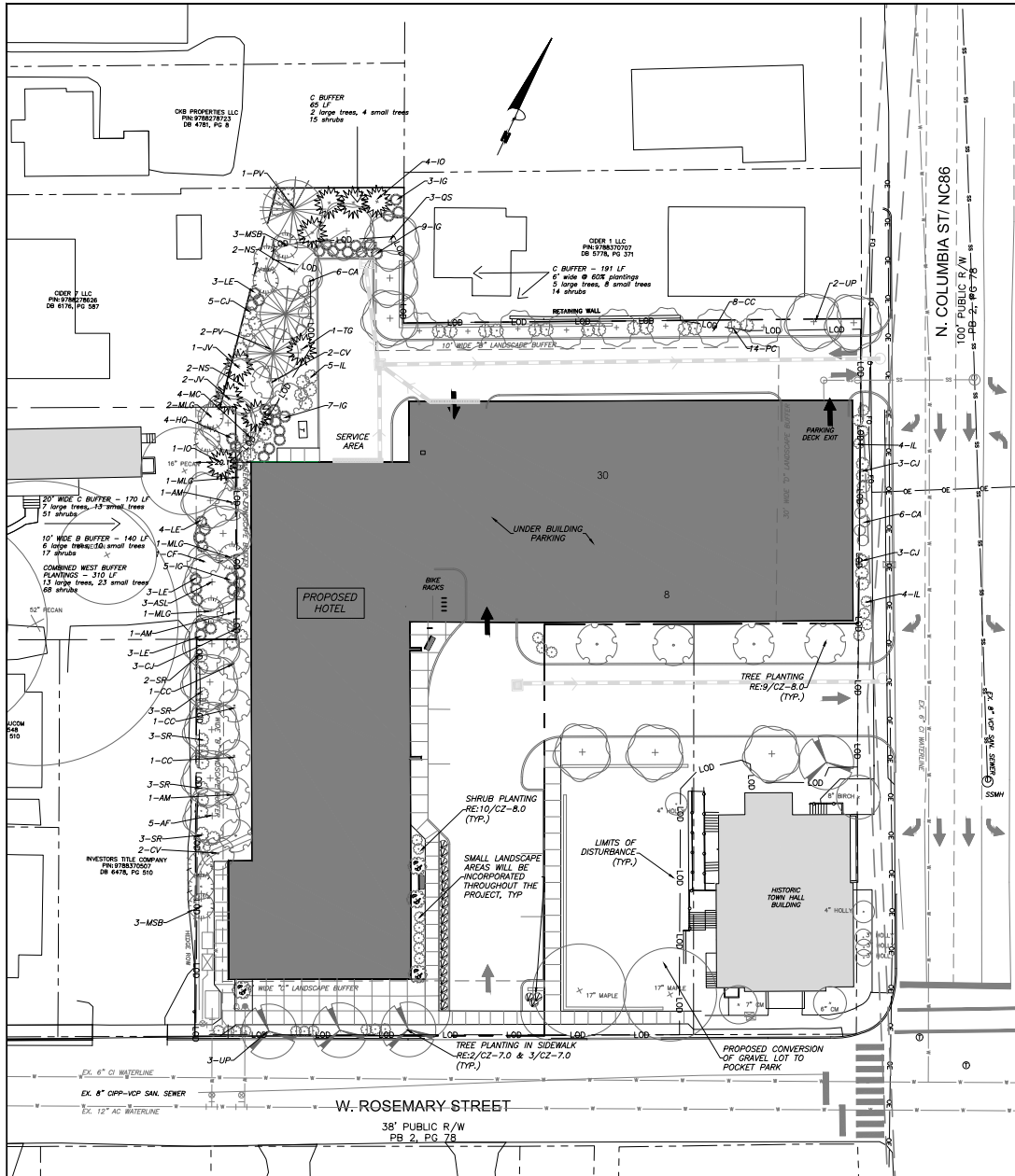
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**CZ-6.0**

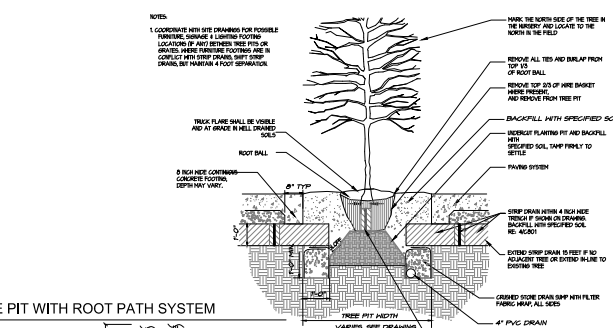
1 LIGHTING PLAN  
 1" = 20'



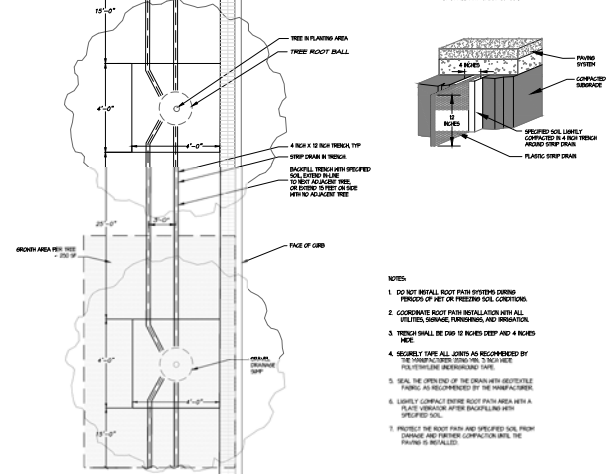


1  
CZ-7.0  
LANDSCAPE PLAN  
1" = 20'

2  
CZ-7.0  
TREE PIT WITH ROOT PATH SYSTEM



3  
CZ-7.0  
ROOT PATH STREET TREE PLANTING DETAIL



QTY	EVGN KEY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	REMARKS	
<b>CANDY TREES</b>							
5	N AF	Acer freemanii	Freeman Maple	2.5" CAL	14' ht.	AS SHOWN SINGLE TRUNK & LEADER	
3	N ASL	Acer saccharum 'Legacy'	Legacy Sugar Maple	2.5" CAL	14' ht.	AS SHOWN SINGLE TRUNK & LEADER	
3	N NS	Nyssa sylvatica	Black gum	2.5" CAL	14' ht.	AS SHOWN SINGLE TRUNK & LEADER	
3	PV	Pinus virginiana	Virginia Pine	2" cal.	12' ht.	AS SHOWN SINGLE TRUNK & LEADER	
3	N OS	Quercus shumardii	Shumard Oak	2.5" CAL	12' ht.	AS SHOWN SINGLE TRUNK & LEADER	
5	N UP	Ulmus americana 'Princeton'	Princeton American Elm	2.5" CAL	14' ht.	AS SHOWN SINGLE TRUNK & LEADER	
<b>UNDERSTORY TREES</b>							
3	N AM	Amerlancheier arborea	Serviceberry	1" cal.	8' HT.	AS SHOWN MULTI-TRUNK	
11	N CC	Cercis canadensis 'Hearts of Gold'	Hearts of Gold Redbud	1" cal.	8' HT.	AS SHOWN SINGLE TRUNK & LEADER	
3	N CF	Cornus Florida	Dogwood	1" cal.	8' HT.	AS SHOWN	
4	N CV	Chionanthus virginiana	Fragrantree	1" cal.	8' HT.	AS SHOWN	
5	Y ID	Ilex opaca	American Holly	1" cal.	8' HT. 8' O.C.	SINGLE TRUNK & LEADER	
3	Y JV	Juniperus virginiana	Eastern Redcedar	8" HT.	AS SHOWN	FULL AND MATCHING	
4	N MC	Myrica cerifera	Eastern Waxmyrtle	8" HT.	AS SHOWN	FULL	
2	Y MG	Magnolia grandiflora 'Little Gem'	Little Gem Magnolia	1.5" cal.	8' ht.	36" O.C.	FULL AND MATCHING
6	Y MSB	Magnolia virginiana	Sweetbay Magnolia	1.5" cal.	8' ht.	AS SHOWN	FULL
1	Y TGG	Thuja x Green Giant	Green Giant Arborvitae	1.5" cal.	8' ht.	30" O.C.	FULL
<b>SHRUBS</b>							
11	N CA	Calliopsis americana	American Beautyberry	24" ht.	5' o.c.	FULL AND MATCHING	
14	Y CJ	Camellia japonica	Camellia	24" ht.	5' o.c.	FULL AND MATCHING	
4	Y HQ	Hydrangea quercifolia	Oakleaf Hydrangea	24" ht.	5' o.c.	FULL AND MATCHING	
13	Y IG	Ilex glabra	inkberry Holly	36" ht.	36" O.C.	FULL AND MATCHING	
3	Y IL	Ilicium parvifloro	Anise	24" ht.	4' o.c.	FULL AND MATCHING	
13	Y LE	Loropetalum chinense 'Emerald	Emerald Loropetalum	15" ht.	36" O.C.	FULL AND MATCHING	
14	Y PC	Prunus caroliniana 'Otto Luyken	Otto Luyken	18" ht.	36" O.C.	FULL AND MATCHING	
14	Y SR	Sarcococca nudiata	Sweetbox	18" ht.	36" O.C.	FULL AND MATCHING	
6	N WS	Weigela 'Florida Variegata'	Variegated Weigela	18" ht.	36" O.C.	FULL AND MATCHING	
<b>GROUNDCOVER</b>							
AR	LAWN/Fescue	3 yr improved seed mix				SEED	

PLANT LIST

**Coulter Jewell Thames**  
 111 West Main Street  
 Durham, N.C. 27701  
 p 919.682.0368  
 f 919.688.5646  
 www.cjtpa.com

NC BOARD OF EXAMINERS FOR ENGINEERS AND SURVEYORS LIC # C-1209  
 NC BOARD OF LANDSCAPE ARCHITECTS LIC # C-104

Project:  
**Rosemary/Columbia Hotel**

108 W. Rosemary St.  
 Orange County, North Carolina

PIN:  
 9788-37-0680  
 9788-37-0549  
 9788-27-9667  
 9788-27-9700  
 9788-37-0721  
 9788-37-0647

9-24-2020

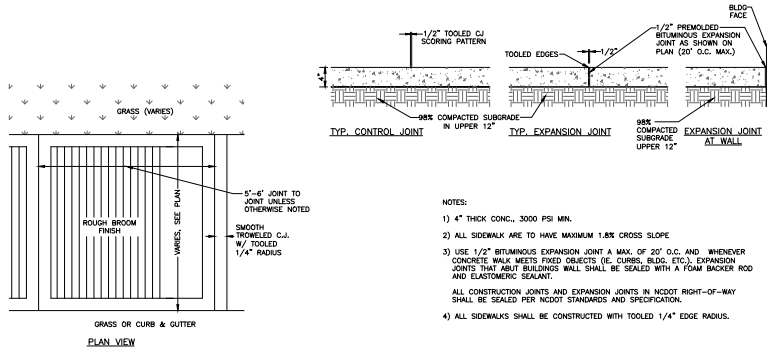
PRELIMINARY-DO NOT USE FOR CONSTRUCTION

Job Number: 1903  
 Drawn: LMK, WTC  
 Checked: HCS  
 Date: 8-24-2020  
 Revisions:

Conditional zoning

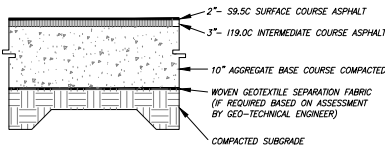
Sheet Title:  
**LANDSCAPE PLAN**

Sheet Number  
**CZ-7.0**



- NOTES:
- 1) 4" THICK CONC., 3000 PSI MIN.
  - 2) ALL SIDEWALKS ARE TO HAVE MAXIMUM 1.8% CROSS SLOPE
  - 3) USE 1/2" BITUMINOUS EXPANSION JOINT A MAX. OF 20' O.C. AND WHENEVER CONCRETE WALK MEETS FIXED OBJECTS (E. CURBS, BLDG, ETC.) EXPANSION JOINTS THAT ABUT BUILDINGS WALL SHALL BE SEALED WITH A TOW BACKER ROD AND ELASTOMERIC SEALANT.
  - 4) ALL CONSTRUCTION JOINTS AND EXPANSION JOINTS IN MOST RIGHT-OF-WAY SHALL BE SEALED PER MOST STANDARDS AND SPECIFICATION.
  - 4) ALL SIDEWALKS SHALL BE CONSTRUCTED WITH TOOLED 1/4" EDGE RADIUS.

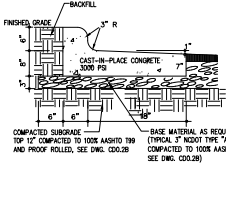
1 CONCRETE SIDEWALK  
CZ-8.0 no scale



FINAL PAVEMENT SECTION IS PROVIDED BY GEO-TECHNICAL ENGINEER BASED SITE SPECIFIC GEO-TECHNICAL REPORT

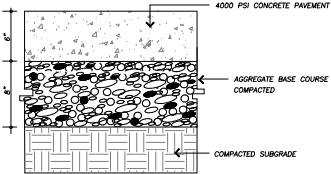
3 HEAVY DUTY ASPHALT PAVING (DRIVE AISLES)  
CZ-8.0 no scale

4 NOT USED  
CZ-8.0 no scale



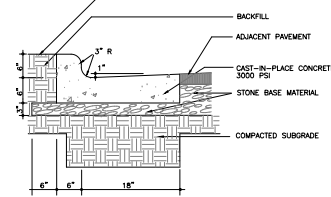
SPILL CURB AS REQ.

2 CURB AND GUTTER  
CZ-8.0 no scale

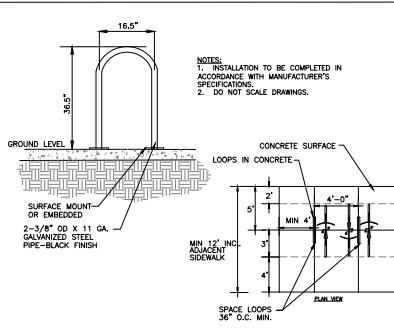


- NOTES:
1. ALL CONCRETE TO 4000 PSI PROPERLY AIR ENTRAINED FOR EXTERIOR GRADE CONCRETE MIXES.
  2. CURB BASE AND SOIL SUBGRADE TO BE COMPACTED TO PER OF THE ASTM D-888 TEST PROCTOR METHOD IN ACCORDANCE WITH THE REPORT BY THE GEOTECHNICAL ENGINEER AND APPROVED BY GEOTECHNICAL PERSONNEL.
  3. CONTRACTOR SHALL INSTALL CONTRACTION AND EXPANSION JOINTS AS NECESSARY TO MINIMIZE CRACKING. CONTRACTION JOINTS SHALL BE SPACED AT 10' MAXIMUM SPACING BY ACTUAL PATTERN BASED ON FIELD CONDITIONS. JOINTS SHALL BE TOOLED OR SAW CUT TO A MINIMUM DEPTH OF 3". EXPANSION JOINTS SHALL BE INSTALLED BETWEEN PAVEMENT AND ANY RIGID OBJECTS AND SPACED AS SPECIFIED IN LATEST VERSION OF A.C.I. STANDARDS.
  4. ALL PAVEMENT CONSTRUCTION SHALL BE IN ACCORDANCE WITH LATEST VERSION OF A.C.I. STANDARDS AND THE REPORT BY THE GEOTECHNICAL ENGINEER.

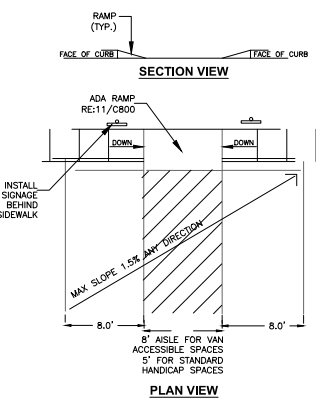
5 HEAVY DUTY CONCRETE PAVING (NORTH SERVICE DRIVEWAY)  
CZ-8.0 no scale



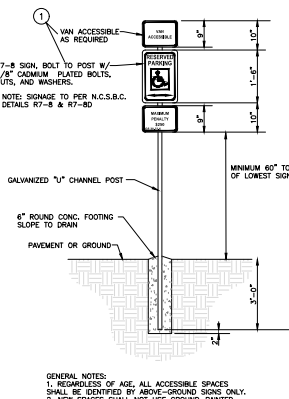
- CONTRACTION JOINTS SHALL BE SPACED AT 10 FOOT INTERVALS. EXCEPT THAT A 15 FOOT SPACING MAY BE USED WHEN A MACHINE IS USED OR WHEN SATISFACTORY SUPPORT FOR THE FACE FORM CAN BE OBTAINED WITHOUT THE USE OF TEMPLATES AT 10 FOOT INTERVALS. JOINT SPACING MAY BE ALTERED BY THE ENGINEER TO PREVENT UNCONTROLLED CRACKING.
- CONTRACTION JOINTS MAY BE INSTALLED BY THE USE OF TEMPLATES OR FORMED BY OTHER APPROVED METHODS. WHERE SUCH JOINTS ARE NOT FORMED BY TEMPLATES, A MINIMUM DEPTH OF 1 1/2" SHALL BE MAINTAINED.
- CONCRETE FOR CURBING SHALL HAVE A MINIMUM COMPRESSION STRENGTH OF 3000 PSI AT 28 DAYS.
- ALL CONTRACTION JOINTS SHALL BE FILLED WITH JOINT FILLER.
- JOINTS SHALL MATCH LOCATIONS WITH JOINT IN ABUTTING SIDEWALK.
- EXPANSION JOINTS SHALL BE SPACED AT 90 FOOT INTERVALS AND ADJACENT TO ALL RIGID OBJECTS.



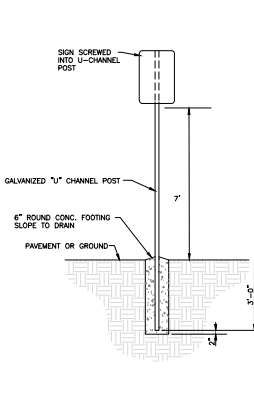
6 BICYCLE RACK  
CZ-8.0 no scale



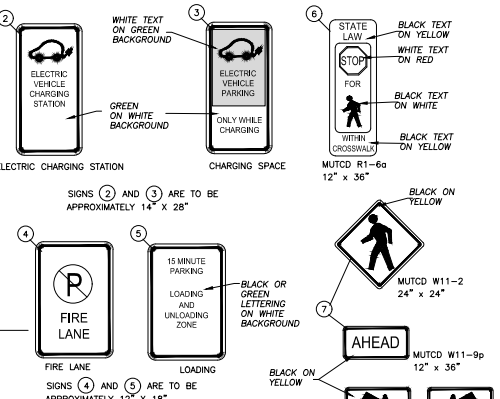
7 ADA PARKING  
CZ-8.0 no scale



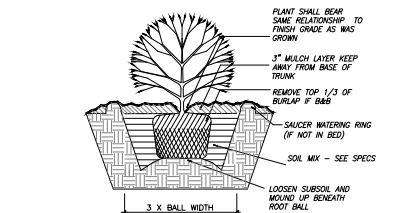
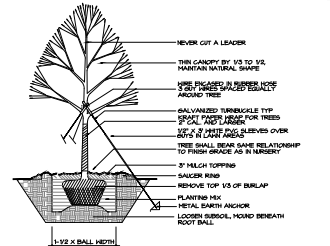
- GENERAL NOTES:
1. REGARDLESS OF AGE, ALL ACCESSIBLE SPACES SHALL BE IDENTIFIED BY ABOVE-GROUND SIGNS ONLY.
  2. NEW SPACES SHALL NOT USE GROUND-PAINTED SYMBOLS.
  3. ACCESSIBLE SPACES ARE REQUIRED TO BE STRIPPED OFF ONLY. BLUE COLORING IS NOT NECESSARY NOR REQUIRED.
  4. STRIPING IS WHITE ON DARK PAVEMENT; BLACK ON LIGHT PAVEMENT. (N.C.D.O.T.)



8 PARKING AREA SIGNAGE  
CZ-8.0 no scale



9 TREE PLANTING  
CZ-8.0 no scale



10 SHRUB PLANTING  
CZ-8.0 no scale

111 West Main Street  
Durham, N.C. 27701  
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www.cjtps.com

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NC BOARD OF LANDSCAPE ARCHITECTS LIC # L-164

Project:  
**Rosemary/  
Columbia  
Hotel**  
108 W. Rosemary St.  
Orange County,  
North Carolina

Pin:  
9788-37-0680  
9788-37-0549  
9788-27-9667  
9788-27-9700  
9788-37-0721  
9788-37-0647



PRELIMINARY-DO NOT USE FOR CONSTRUCTION  
Job Number: 1963  
Drawn: M.K. WTC  
Checked: H.C.  
Date: 8-24-2020  
Revisions:

Conditional zoning  
Sheet Title:  
**SITE DETAILS**  
Sheet Number  
**CZ-8.0**

**CHAPEL HILL LAND USE MANAGEMENT ORDINANCE**

**3.5.3 EXCEPTIONS TO SETBACK AND HEIGHT REGULATIONS:**

WHERE FOLLOWING FEATURES MAY PROJECT ABOVE THE BUILDING ENVELOPE DEFINED BY THE MAXIMUM HEIGHT LIMITATIONS AND ADDITIONAL SETBACK REQUIREMENTS CONTAINED IN RULES FOR INTERPRETATION OF TABLE 3.5.1: COLLARS BY AND/OR BELOW PROVIDED THE TOWN MANAGER DETERMINES THAT SUCH FEATURES DO NOT SIGNIFICANTLY IMPAIR THE DEGREE OF SOLAR ACCESS PROVIDED ADJACENT PROPERTIES THROUGH APPLICATION OF THE APPROPRIATE SOLAR SETBACK REQUIREMENTS:

(1) CHIMNEYS, ACCESSORY RACKS OR TELEVISION ANTENNAS, FLAGPOLES, MONUMENTS, CUPOLAS, PARAPETS, SPINNERS, CLOCK TOWERS OR SIGNAGE TOWERS WITH A FOOTPRINT NOT EXCEEDING TWENTY (20) PERCENT OF THE PRINCIPAL BUILDING. PROVIDED THE PROJECTION OF SUCH STRUCTURES ABOVE THE BUILDING ENVELOPE DOES NOT EXCEED FIFTY (50) PERCENT OF THE MAXIMUM HEIGHT LIMITATION THAT DEFINES THE PORTION OF THE BUILDING ENVELOPE PENETRATED BY SUCH STRUCTURES.

**DRAWING LEGEND:**

PROPERTY LINE & SETBACKS / SOLAR SETBACKS  
(DIMENSIONAL MATRIX RESTRICTIONS)



**WEST ROSEMARY STREET DESIGN GUIDELINES**

THE PROJECT PROPOSES TO MEET THE GUIDELINES OF THE WEST ROSEMARY STREET DEVELOPMENT GUIDE IN THE FOLLOWING MANNER:

**PUBLIC REALM:**

1. PROVIDING SUFFICIENT SPACE FOR PEDESTRIANS ALONG ROSEMARY ST.
2. PROVIDING IMPROVED AND CONTINUOUS SIDEWALKS ALONG ROSEMARY ST.
3. ENDING ROSEMARY STREET SERVICES AS NEARBY IN PLACE. ADDITIONAL LIGHTING WILL BE PROVIDED ON THE BUILDING FACADE TO CREATE A SAFE AND WELCOMING PEDESTRIAN EXPERIENCE.
4. INFRASTRUCTURE WILL BE SCREENED TO MINIMIZE VISIBILITY FROM THE PUBLIC.

**HEIGHT OF WAY:**

1. PARKING IS PROPOSED TO BE STRUCTURED AND WILL BE SCREENED TO MINIMIZE VISIBILITY FROM THE PUBLIC HEIGHT OF WAY.

**BUILDING DESIGN:**

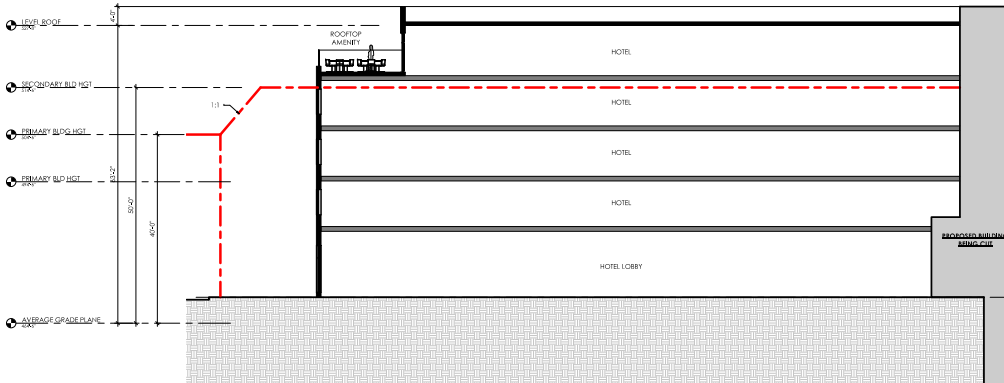
1. ALL BUILDING ENTRIES ARE PROVIDED OFF OF STREETS.
2. PEDESTRIAN SCALE SIGNAGE AND AMENITIES WILL BE CONSIDERED AND ENCOURAGED.
3. VERTICAL BAYS, VARIETY IN THE UPPER CORNICE HEIGHTS AND VISUAL BREAKS IN THE FACADE WILL BE CONSIDERED.
4. WHERE POSSIBLE UTILITY SERVICES WILL BE LOCATED BELOW GROUND OR IN THE REAR OF THE SITE TO MINIMIZE VISIBILITY FROM THE PUBLIC HEIGHT OF WAY.



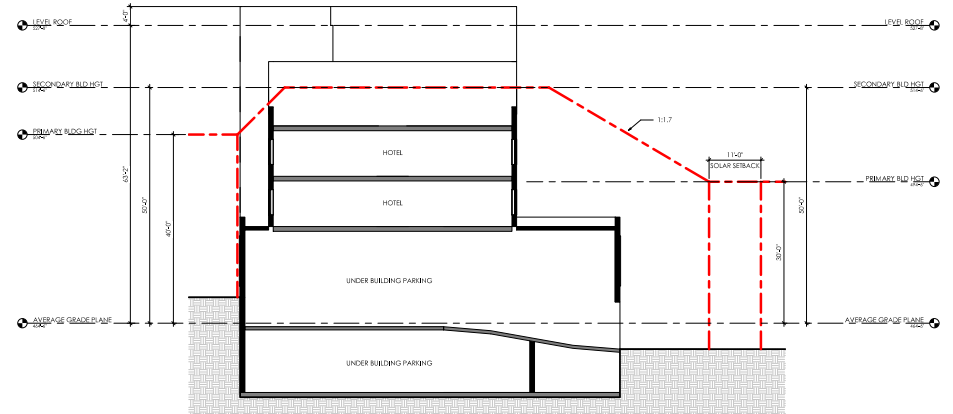
501 WASHINGTON ST., SUITE G  
DURHAM, NC 27701  
P. 919.482.2870  
www.mhaworks.com

—DURHAM  
—GREENVILLE  
—PITTSBORO  
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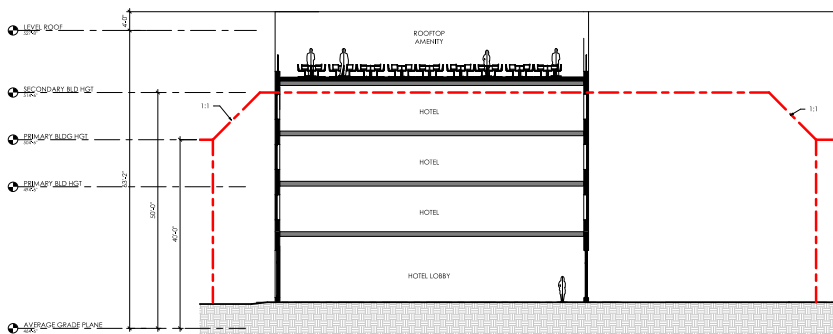
**ROSEMARY /  
COLUMBIA HOTEL**



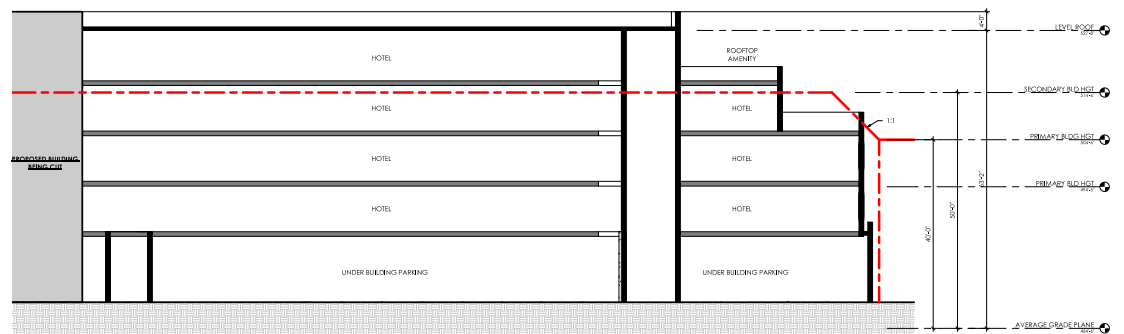
**EAST ELEVATION - ROSEMARY WING**  
3/32" = 1'-0" ④



**EAST ELEVATION - COLUMBIA WING**  
3/32" = 1'-0" ②



**SOUTH ELEVATION - ROSEMARY WING**  
3/32" = 1'-0" ③



**SOUTH ELEVATION - COLUMBIA WING**  
3/32" = 1'-0" ①

SHEET NAME:  
EXTERIOR ELEVATIONS &  
BUILDING ENVELOPE

ISSUE DATE: 09/22/20

SHEET NUMBER

**AS101**

**CHAPEL HILL LAND USE MANAGEMENT ORDINANCE**

**3.5.3 EXCEPTIONS TO SETBACK AND HEIGHT REGULATIONS**

THE FOLLOWING FEATURES MAY PROJECT ABOVE THE BUILDING ENVELOPE DEFINED BY THE MAXIMUM HEIGHT LIMITATIONS AND ADDITIONAL SETBACK REQUIREMENTS CONTAINED IN RULES FOR INTERPRETATION OF TABLES B-1, COLLUMS B) AND G) BELOW PROVIDED THE TOWN MANAGER DETERMINES THAT SUCH FEATURES DO NOT SIGNIFICANTLY IMPAIR THE DEGREE OF SOLAR ACCESS PROVIDED ADJACENT PROPERTIES THROUGH APPLICATION OF THE APPROPRIATE SOLAR SETBACK REQUIREMENTS:

(1) CHIMNEYS, ACCESSORY RACED OR TELEVISION ANTENNAS, FLAGPOLES, MONUMENTS, CUPOLAS, PARAPETS, SPINDLES, CLOCK TOWERS OR DECORATIVE TOWERS WITH A FOOTPRINT NOT EXCEEDING TWENTY (20) PERCENT OF THE PRINCIPAL BUILDING, PROVIDED THE PROJECTION OF SUCH STRUCTURES ABOVE THE BUILDING ENVELOPE DOES NOT EXCEED FIFTY (50) PERCENT OF THE MAXIMUM HEIGHT LIMITATION THAT DEFINES THE PORTION OF THE BUILDING ENVELOPE PENETRATED BY SUCH STRUCTURES.

**DRAWING LEGEND**

PROPERTY LINE & SETBACKS / SOLAR SETBACKS  
(DIMENSIONAL MATCH RED DASHING)



**WEST ROSEMARY STREET DESIGN GUIDELINES**

THE PROJECT PROPOSES TO MEET THE GUIDELINES OF THE WEST ROSEMARY STREET DEVELOPMENT GUIDE IN THE FOLLOWING MANNER:

**PUBLIC REALM:**

1. PROVIDING SUFFICIENT SPACE FOR PEDESTRIANS ALONG ROSEMARY ST.
2. PROVIDING IMPROVED AND CONTINUOUS SIDEWALKS ALONG ROSEMARY ST.
3. ENSURING ROSEMARY STREET HAS A RAINY IN PLACE. ADDITIONAL LIGHTING WILL BE PROVIDED ON THE BUILDING FACADE TO CREATE A SAFE AND WELCOMING PEDESTRIAN EXPERIENCE.
4. INFRASTRUCTURE WILL BE SCREENED TO MINIMIZE VISIBILITY FROM THE PUBLIC.

**RIGHT OF WAY:**

1. PARKING IS PROPOSED TO BE STRUCTURED AND WILL BE SCREENED TO MINIMIZE VISIBILITY FROM THE PUBLIC RIGHT OF WAY.

**BUILDING DESIGN:**

1. ALL BUILDING ENTRIES ARE PROVIDED OFF OF STREETS.
2. PEDESTRIAN SCALE SIGNAGE AND ANIMITY WILL BE CONSIDERED AND ENCOURAGED.
3. VERTICAL BAYS, VARIETY IN THE UPPER CORNICE HEIGHTS AND VISUAL BREAKS IN THE FACADE WILL BE CONSIDERED.
4. WHERE POSSIBLE, UTILITY SERVICES WILL BE LOCATED BELOW GROUND OR IN THE REAR OF THE SITE TO MINIMIZE VISIBILITY FROM THE PUBLIC RIGHT OF WAY.



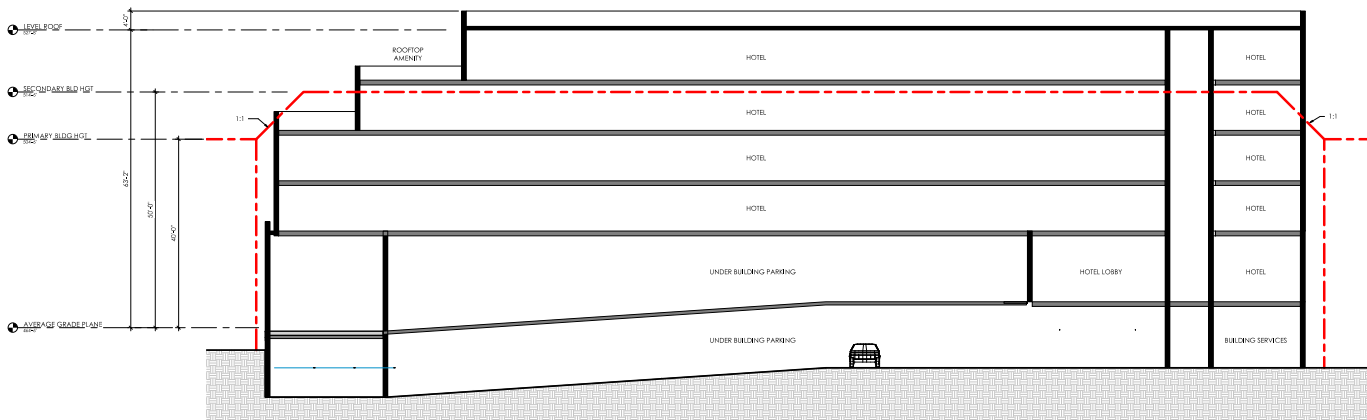
501 WASHINGTON ST., SUITE G  
DURHAM, NC 27701  
P. 919.482.2870  
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-DURHAM  
-GREENVILLE  
-PITTSBORO  
-ASHEVILLE

ROSEMARY /  
COLUMBIA HOTEL



WEST ELEVATION - ROSEMARY WING ①  
3/32" = 1'-0"



NORTH ELEVATION - COLUMBIA WING ②  
3/32" = 1'-0"

SHEET NAME:  
EXTERIOR ELEVATIONS &  
BUILDING ENVELOPE

ISSUE DATE: 09/22/20

SHEET NUMBER

AS102