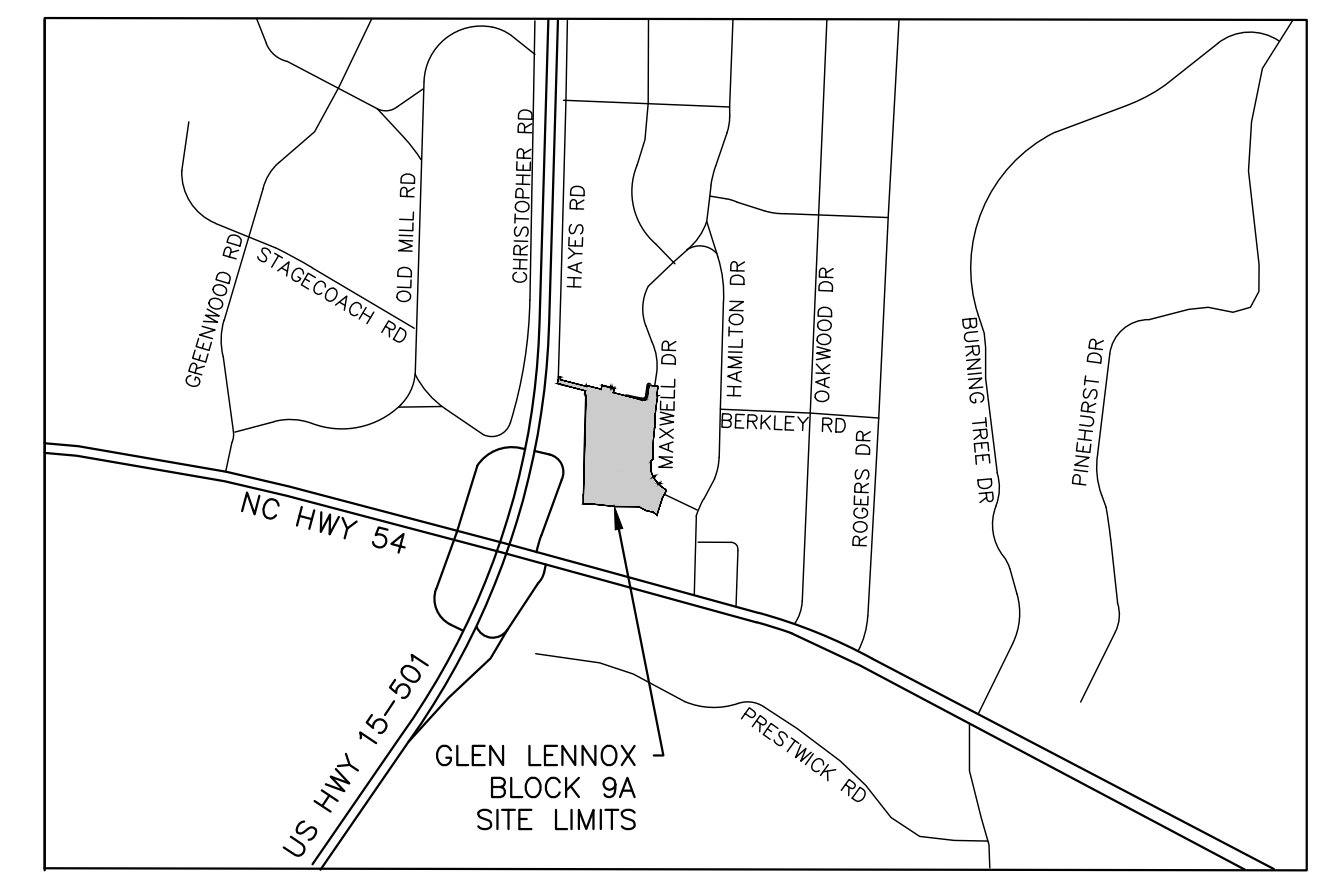


# DEVELOPMENT AGREEMENT COMPLIANCE PERMIT (DACP) DRAWINGS

## FOR LINK APARTMENTS CALYX GLEN LENNOX - BLOCK 9A - PHASE 1

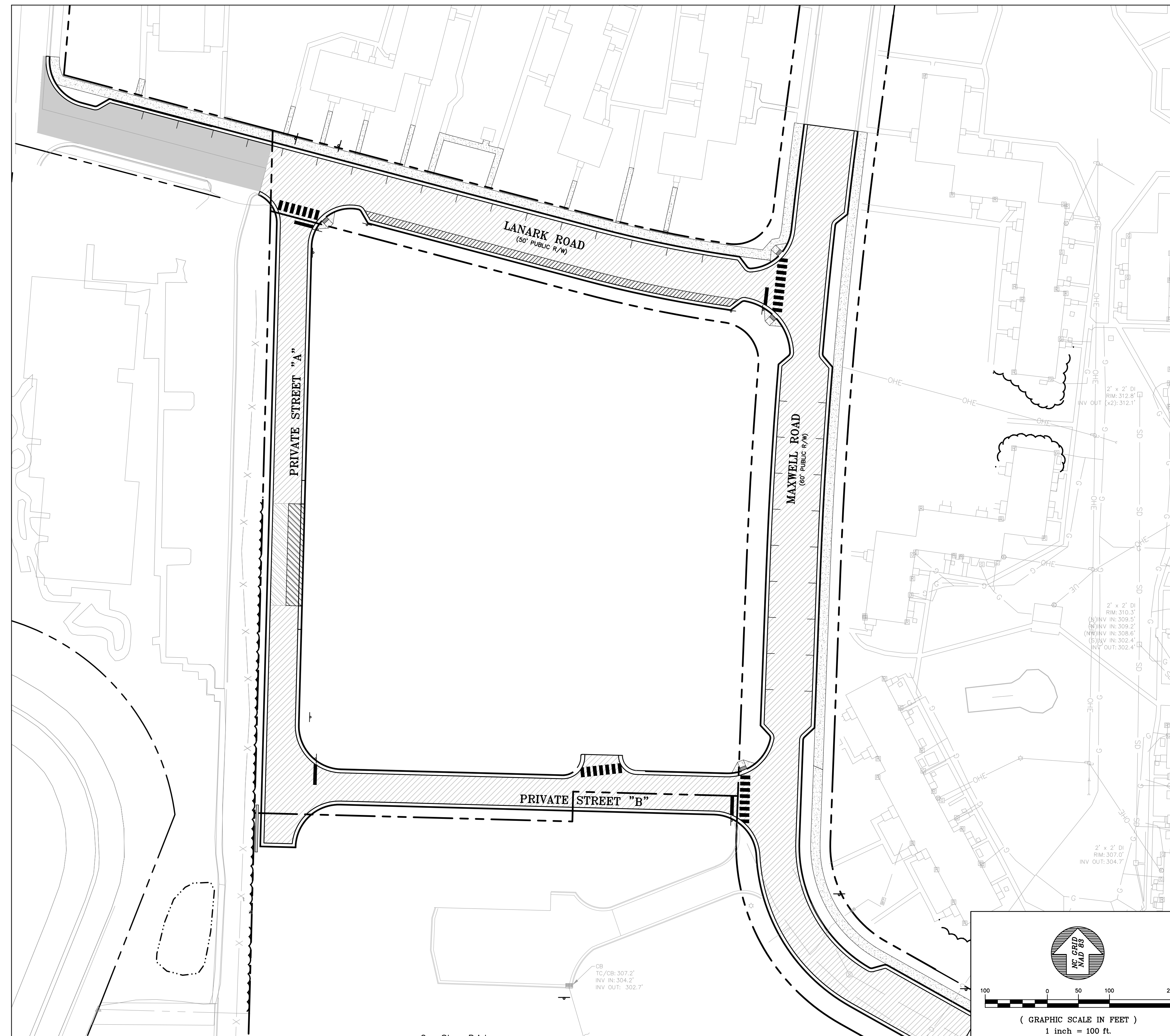
CHAPEL HILL, NORTH CAROLINA



VICINITY MAP  
SCALE: 1"=1,000'

### SITE DATA TABLE

PROJECT NAME:	LINK APARTMENTS CALYX (GLEN LENNOX BLOCK 9A)	
PROPERTY PIN NUMBER:	9798265134	
PROPERTY LOCATION:	TOWN OF CHAPEL HILL	
CURRENT LAND OWNER:	GLEN LENNOX APARTMENTS, LLC 4601 PARK ROAD, SUITE 450 CHARLOTTE, NC 28209	
PROPERTY ZONING:	R-3 WITH NEIGHBORHOOD CONSERVATION DISTRICT (NCD 8C) OVERLAY	
SETBACKS:	LANARK = 18' (FROM BACK OF CURB) MAXWELL = 18' (FROM BACK OF CURB) PERIMETER = 36' (FROM PROPERTY LINE)	
EXISTING USE:	RESIDENTIAL	
PROPOSED USE:	RESIDENTIAL	
PROPOSED LOT SIZE (9A):	105,772 S.F. (2.43 AC.)	
EXISTING IMPERVIOUS SURFACE AREA DEMOLITION:	98,960 S.F.	
PROPOSED IMPERVIOUS SURFACE AREA ONSITE:	19,000 S.F.* (PHASE 1) *INCLUDES IMPERVIOUS ALLOWANCE	
PROPOSED IMPERVIOUS SURFACE AREA OFFSITE:	47,835 S.F.	
TOTAL IMPERVIOUS SURFACE AREA INCREASE:	-32,125 S.F.	
VEHICULAR PARKING SUMMARY:	REQUIRED: 0 (SEE PHASE 2)	PROVIDED: 0 (SEE PHASE 2)
ACCESSIBLE PARKING SUMMARY:	REQUIRED: 0 (SEE PHASE 2)	PROVIDED: 0 (SEE PHASE 2)
BICYCLE PARKING SUMMARY:	REQUIRED: 0 (SEE PHASE 2)	PROVIDED: 0 (SEE PHASE 2)

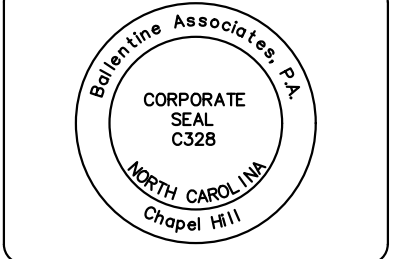


### DRAWING LIST

SHEET	DRAWING TITLE	LATEST ISSUE DATE
G0001	COVER SHEET - PHASE 1	11 JUN 21
C0001	AREA MAP	19 MAY 21
C0101	EXISTING CONDITIONS PLAN - PHASE 1	19 MAY 21
C0102	GLEN LENNOX TREE SURVEY OVERVIEW	19 MAY 21
C0103	ENLARGED GLEN LENNOX TREE SURVEY - NORTH	19 MAY 21
C0104	ENLARGED GLEN LENNOX TREE SURVEY - SOUTH	19 MAY 21
C0105	OVERALL GLEN LENNOX TREE LIST	19 MAY 21
C0201	DEMOLITION & LANDSCAPE PROTECTION PLAN - PHASE 1	11 JUN 21
C1001	SITE PLAN - PHASE 1	11 JUN 21
C1101	UTILITY PLAN - PHASE 1	19 MAY 21
C1201	GRADING & DRAINAGE PLAN - PHASE 1	19 MAY 21
C1210	STORM DRAINAGE PROFILES - PHASE 1	19 MAY 21
C1301	EROSION CONTROL & CONSTRUCTION MANAGEMENT PLAN - PHASE 1	11 JUN 21
C1302	SEDIMENT BASIN ENLARGEMENT - PHASE 1	19 MAY 21
C1401	STAGE 1 TRAFFIC & PEDESTRIAN CONTROL PLAN - PHASE 1	19 MAY 21
C1402	STAGE 2 TRAFFIC & PEDESTRIAN CONTROL PLAN - PHASE 1	19 MAY 21
C3101	LANARK ROAD PLAN & PROFILE	19 MAY 21
C3102	MAXWELL ROAD PLAN & PROFILE	19 MAY 21
C3103	PRIVATE ROAD A PLAN & PROFILE	19 MAY 21
C3104	PRIVATE ROAD B PLAN & PROFILE	19 MAY 21
C3201	TYPICAL ROAD SECTIONS	19 MAY 21
C3202	TYPICAL ROAD SECTIONS	19 MAY 21
C4201	SCM #1 ENLARGEMENT AND SECTIONS	19 MAY 21
C5001	SITE DETAILS - PHASE 1	19 MAY 21
C5002	SITE DETAILS - PHASE 1	11 JUN 21
C5101	UTILITY DETAILS - PHASE 1	19 MAY 21
C5102	UTILITY DETAILS - PHASE 1	19 MAY 21
C5201	STORM DRAINAGE DETAILS - PHASE 1	11 JUN 21
C5301	EROSION CONTROL DETAILS - PHASE 1	19 MAY 21
C5302	EROSION CONTROL DETAILS - PHASE 1	19 MAY 21
C5401	TRAFFIC CONTROL DETAILS - PHASE 1	19 MAY 21

**BALLENTINE ASSOCIATES, P.A.**  
221 PROVIDENCE ROAD, CHAPEL HILL, N.C. 27514  
(919) 929 - 0461

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DATE	REVISIONS
16 APR 21	PER DACP REVIEW COMMENTS
19 MAY 21	PER DACP REVIEW COMMENTS
11 JUN 21	PER DACP REVIEW COMMENTS

OWNER INFORMATION  
GRUBB PROPERTIES  
117 EDINBURGH SOUTH DRIVE  
SUITE 110  
CARY, NC 27511  
OWNER'S REPRESENTATIVE:  
JOE DYE  
(919) 388-5774  
FAX (919) 000-0000  
EMAIL: joe.dye@grubbproperties.com

DATE	ISSUED
12 FEB 21	DACP SUBMITTAL #1
16 APR 21	DACP SUBMITTAL #2
19 MAY 21	DACP SUBMITTAL #3
11 JUN 21	DACP SUBMITTAL #4

LINK APARTMENTS CALYX  
GLEN LENNOX - BLOCK 9A  
CHAPEL HILL, NC  
DACP DRAWINGS

DEVELOPER:  
**GRUBB PROPERTIES**  
People who care. Places that matter.  
4601 PARK ROAD,  
CHARLOTTE, NC 28209  
(704) 971-4822

ARCHITECT:  
**BB+M**  
ARCHITECTURE  
1435 WEST MORDHEAD STREET,  
CHARLOTTE, NC 28289  
(704) 334-1718

CIVIL ENGINEERING:  
**BALLENTINE ASSOCIATES, P.A.**  
221 PROVIDENCE ROAD, CHAPEL HILL, N.C. 27514  
(919) 929 - 0461

LANDSCAPE ARCHITECTURE:  
**LITTLE**  
DIVERSIFIED ARCHITECTURAL CONSULTING  
410 BLACKWELL STREET, SUITE 10  
DURHAM, NC 27701  
(919) 474-2000

REVIEW DRAWING  
NOT FOR CONSTRUCTION

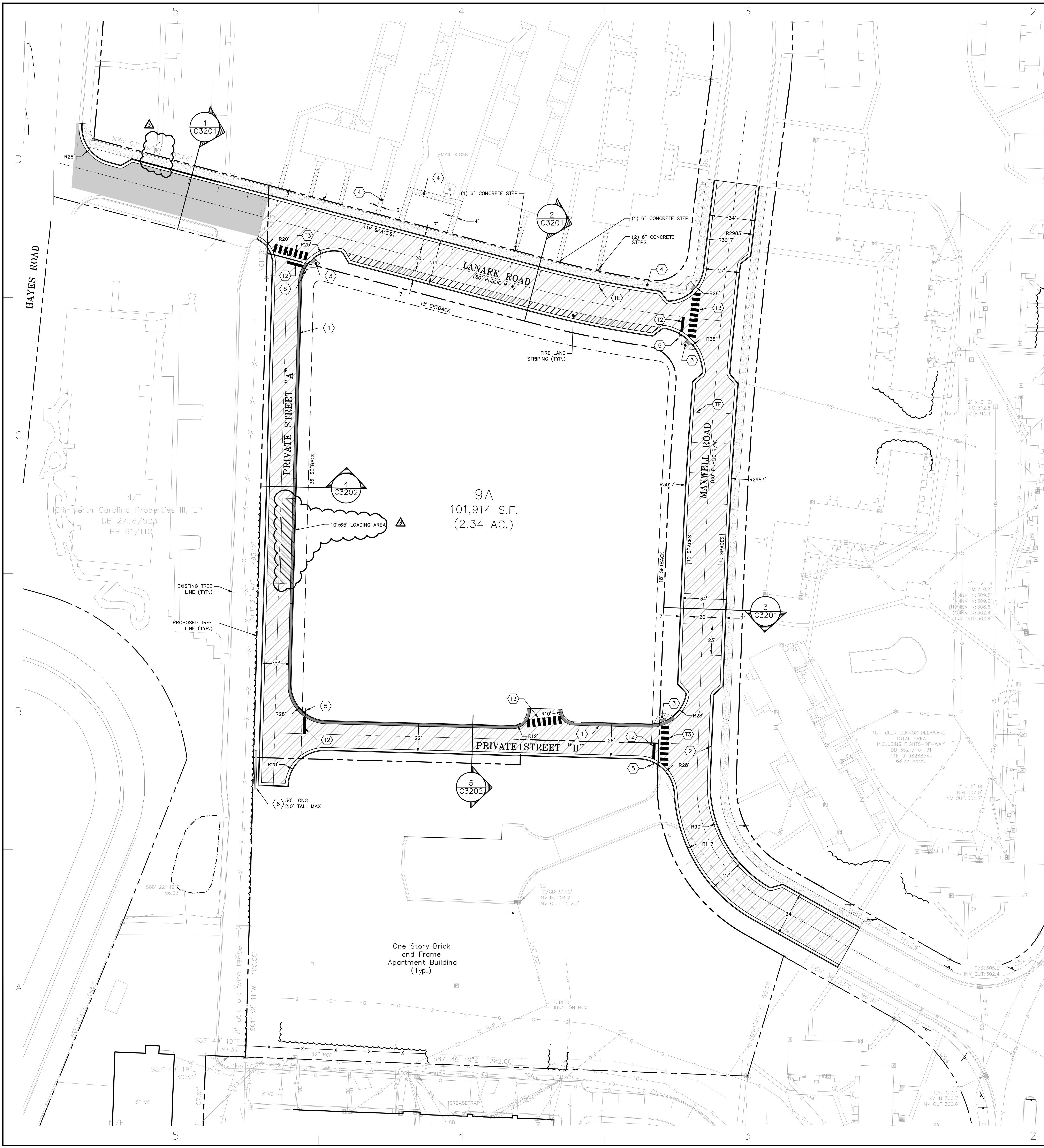
JOB #: 107013.91  
DATE: 12 FEB 21  
SCALE: AS NOTED  
DRAWN BY: D.W.S.  
REVIEWED BY: G.J.R.

SHEET  
**G0001**









SITE DATA TABLE	
PROJECT NAME:	LINK APARTMENTS CALYX (GLEN LENNOX BLOCK 9A)
PROPERTY PIN NUMBER:	9798265134
PROPERTY LOCATION:	TOWN OF CHAPEL HILL
CURRENT LAND OWNER:	GLEN LENNOX APARTMENTS, LLC 4601 PARK ROAD, SUITE 450 CHARLOTTE, NC 28209
PROPERTY ZONING:	R-3 WITH NEIGHBORHOOD CONSERVATION DISTRICT (NCD 80) OVERLAY
SETBACKS:	LANARK = 18' (FROM BACK OF CURB) MAXWELL = 18' (FROM BACK OF CURB) PERIMETER = 36' (FROM PROPERTY LINE)
EXISTING USE:	RESIDENTIAL
PROPOSED USE:	RESIDENTIAL
PROPOSED LOT SIZE (9A):	105,772 S.F. (2.43 AC.)
EXISTING IMPERVIOUS SURFACE AREA DEMOLITION:	98,960 S.F.
PROPOSED IMPERVIOUS SURFACE AREA ONSITE:	19,000 S.F.* (PHASE 1) (NCD 80) OVERLAY
PROPOSED IMPERVIOUS SURFACE AREA OFFSITE:	*INCLUDES IMPERVIOUS ALLOWANCE 47,835 S.F.
TOTAL IMPERVIOUS SURFACE AREA INCREASE:	-32,125 S.F.
VEHICULAR PARKING SUMMARY:	REQUIRED: 0 (SEE PHASE 2) PROVIDED: 0 (SEE PHASE 2)
ACCESSIBLE PARKING SUMMARY:	REQUIRED: 0 (SEE PHASE 2) PROVIDED: 0 (SEE PHASE 2)
BICYCLE PARKING SUMMARY:	REQUIRED: 0 (SEE PHASE 2) PROVIDED: 0 (SEE PHASE 2)

- NOTES**
- ALL DIMENSIONS SHOWN ARE MEASURED FROM THE FACE OF CURB.
  - ALL RADIAL DIMENSIONS SHOWN HEREON ARE 3' UNLESS NOTED OTHERWISE.
  - ALL DRIVE AISLES AND PARKING LOTS SHALL BE CONSTRUCTED TO TOWN OF CHAPEL HILL STANDARDS.
  - THE TOWN OF CHAPEL HILL, ITS ASSIGNS OR ORANGE COUNTY SHALL NOT BE RESPONSIBLE FOR ANY PAVEMENT DAMAGE THAT MAY RESULT FROM SERVICE VEHICLES.
  - ALL WALKWAYS SHALL BE CONSTRUCTED WITH A 2% CROSS SLOPE IN THE DIRECTION SHOWN ON THE GRADING PLAN.
  - PRIOR TO INSTALLATION OF ANY STREET SIGNS OR MARKINGS, THE DEVELOPER WILL CONTACT THE TOWN'S PUBLIC WORKS DEPARTMENT FOR AN ON-SITE APPROVAL OF THE FINAL DESIGN AND PLACEMENT.
  - ALL PAVEMENT MARKINGS WITHIN THE PUBLIC RIGHT-OF-WAY WILL BE INSTALLED USING A THERMAL PLASTIC MATERIAL WITH A MINIMUM THICKNESS OF 125 MILS.
  - THE DEVELOPER WILL BE RESPONSIBLE FOR INSTALLATION OF ALL REQUIRED STREET SIGNS AND MARKINGS AND FOR ANY REPAIRS TO THESE SIGNS AND MARKINGS NECESSARY PRIOR TO THE FINAL ACCEPTANCE OF A NEW OR IMPROVED PUBLIC STREET FOR TOWN MAINTENANCE.

**PAVEMENT MARKING LEGEND**

SEE DETAIL REFERENCE (C5002)

T2	WHITE STOPBAR (24"; 120 MIL)
T3	WHITE CROSSWALK LINE (24"; 120 MIL)
TS	WHITE SOLID LANE LINE (4"; 120 MIL)
UR	SHARROW, HEATED IN PLACE (90 MIL)

**PAVING LEGEND**

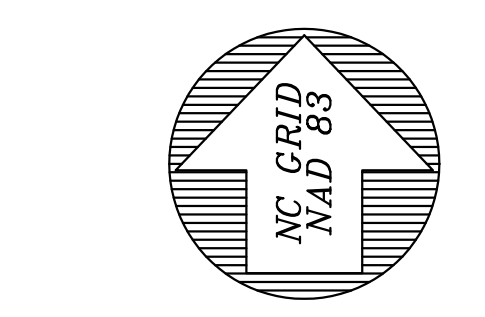
A1 (C5001)	HEAVY DUTY ASPHALT PAVEMENT
A1 (C5001)	HEAVY DUTY CONCRETE PAVEMENT
	2" DEEP MILL AND 2" SB SB SURFACE COURSE OVERLAY
	CONCRETE
	BRICK PAVERS

**PLAN KEY NOTES**

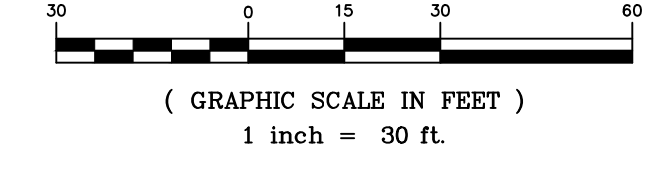
1	30" CONCRETE SPILL CURB & GUTTER (TYP.)
2	30" CONCRETE CURB & GUTTER (TYP.)
3	ACCESSIBLE RAMP
4	6' WIDE CONCRETE SIDEWALK (TYP. UNLESS OTHERWISE NOTED)
5	"STOP" SIGN
6	SEGMENTAL BLOCK RETAINING WALL (DESIGN BUILD)

**DRAWING LEGEND**

SYMBOL/ABBREVIATION	EXISTING	PROPOSED	DESCRIPTION
---	---	---	PROPERTY LINE
---	---	---	RIGHT-OF-WAY LINE
---	---	---	ADJOINER PROPERTY LINE
---	---	---	ROAD CENTERLINE
---	---	---	EASEMENT LINE
---	---	---	FENCE LINE
OHE	OHE	OHE	OVERHEAD ELECTRIC LINE
○	○	○	EXISTING IRON PIPE
○	○	○	IRON PIPE SET
○	○	○	CALCULATED POINT
▲	▲	▲	SIGN
▲	▲	▲	POWER POLE



**SITE PLAN - PHASE 1**



**REVIEW DRAWING NOT FOR CONSTRUCTION**

**BALENTINE ASSOCIATES, P.A.**  
221 PROVIDENCE ROAD, CHAPEL HILL, N.C. 27514  
(919) 929-0461

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REGISTERED PROFESSIONAL ENGINEER  
CORPORATE  
SOUTH CAROLINA  
C328  
CHAPL HILL

REGISTERED PROFESSIONAL ENGINEER  
SOUTH CAROLINA  
C328  
CHAPL HILL

DATE	REVISIONS
16 APR 21	PER DAP REVIEW COMMENTS
19 MAY 21	PER DAP REVIEW COMMENTS
11 JUN 21	PER DAP REVIEW COMMENTS

**OWNER INFORMATION**  
DRUBB PROPERTIES  
117 EDENBURGH SOUTH DRIVE  
SUITE 110  
CARY, NC 27511  
OWNER'S REPRESENTATIVE:  
JOE DYE  
(919) 388-5774  
FAX (919) 000-0000  
EMAIL: jodye@drubb.com

DATE	ISSUED
12 FEB 21	DACP SUBMITTAL #1
16 APR 21	DACP SUBMITTAL #2
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11 JUN 21	DACP SUBMITTAL #4

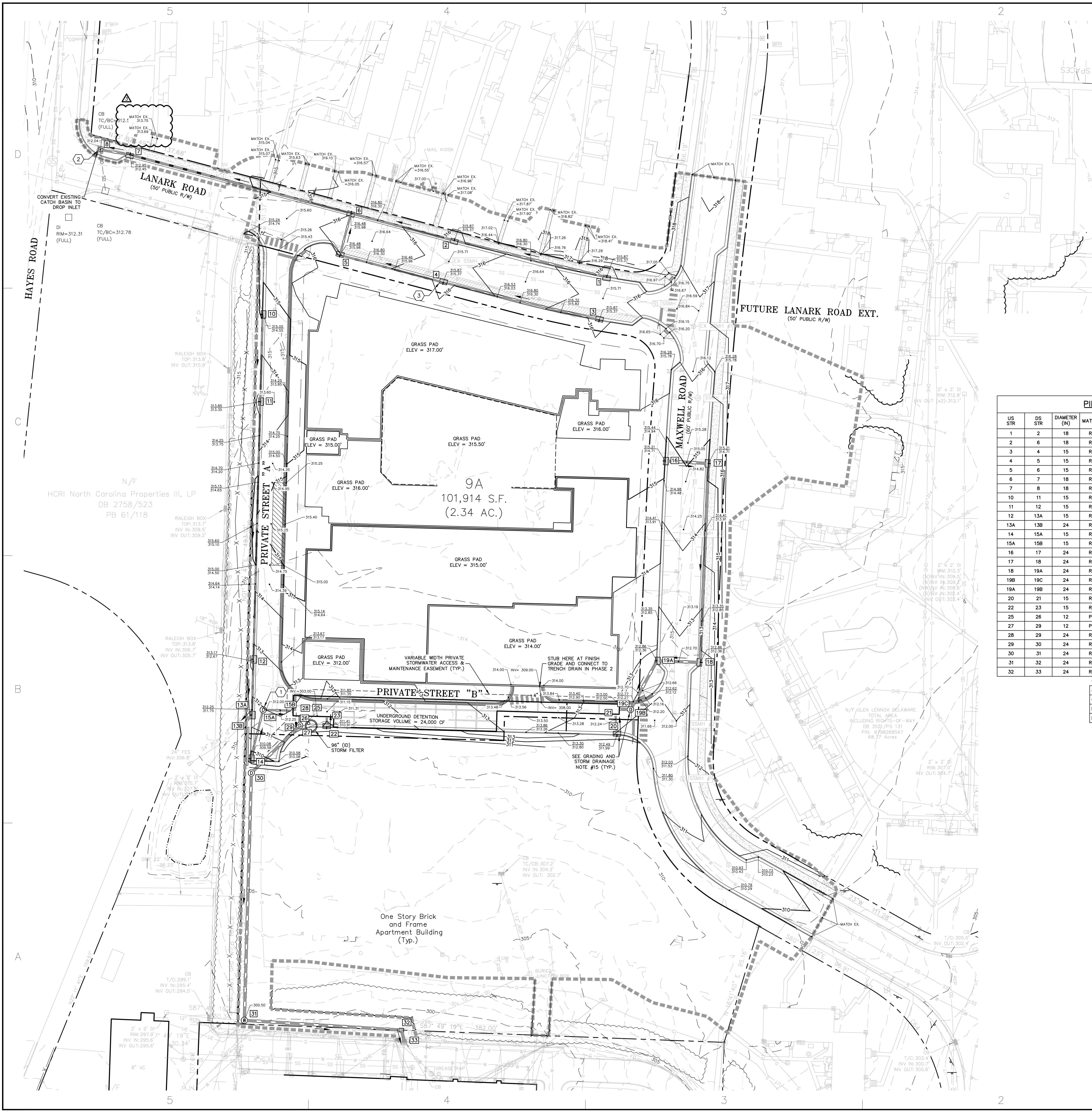
**LINK APARTMENTS CALYX  
GLEN LENNOX - BLOCK 9A  
CHAPEL HILL, NC**

**DACP DRAWINGS**

JOB #: 107013.91  
DATE: 12 FEB 21  
SCALE: AS NOTED  
DRAWN BY: D.W.S.  
REVIEWED BY: G.J.R.

**SHEET  
C1001**





### STRUCTURE TABLE

STR. ID	RM ELEV. (FT)	STRUCTURE TYPE
1	315.37	CB
2	315.37	CB
3	315.37	CB
4	315.37	CB
5	315.98	CB
6	315.98	CB
7	312.45	CB
8	312.04	DI
10	314.55	CB
11	313.35	CB
12	312.67	CB
13B	307.85	EX DI
13A	311.36	CB
14	309.61	CB
15B	305.50	UD IN #1
15A	311.96	JB
16	314.71	CB
17	314.71	CB
18	312.36	CB
19C	306.00	UD IN #4
19B	312.20	JB
19A	312.36	CB
20	311.99	CB
21	306.00	UD IN #2
22	310.91	CB
23	306.00	UD IN #3
25	303.00	UD OUT #1
26	302.95	SF IN
27	301.95	SF OUT
28	303.00	UD OUT #2
29	311.55	JB
30	309.00	JB
31	305.50	JB
32	297.90	DI
33	298.10	EX CB

### PIPE TABLE

US STR	DS STR	DIAMETER (IN)	MATERIAL	US INV. ELEV. (FT)	DS INV. ELEV. (FT)	LENGTH (FT)	SLOPE (FT/FT)
1	2	18	RCP	311.85	310.80	123	0.0085
2	6	18	RCP	310.70	309.95	84	0.0089
3	4	15	RCP	311.70	310.80	126	0.0071
4	5	15	RCP	310.80	310.20	84	0.0072
5	6	15	RCP	310.20	309.95	34	0.0074
6	7	18	RCP	309.85	308.30	180	0.0086
7	8	18	RCP	308.20	308.00	24	0.0085
10	11	15	RCP	309.05	308.50	69	0.0080
11	12	15	RCP	308.40	306.40	202	0.0099
12	13A	15	RCP	306.30	305.85	44	0.0103
13A	13B	24	RCP	305.75	305.48	7	0.0421
14	15A	15	RCP	306.15	305.85	39	0.0076
15A	15B	15	RCP	305.75	305.50	23	0.0111
16	17	24	RCP	310.70	310.30	34	0.0118
17	18	24	RCP	310.20	308.20	156	0.0128
18	19A	24	RCP	308.20	307.85	34	0.0103
19B	19C	24	RCP	306.50	306.00	9	0.0536
19A	19B	24	RCP	307.75	306.50	43	0.0288
20	21	15	RCP	307.00	306.00	16	0.0622
22	23	15	RCP	306.20	306.00	9	0.0235
25	26	12	PVC	303.00	302.95	4	0.0125
27	29	12	PVC	301.95	301.90	5	0.0100
28	29	24	RCP	303.00	302.40	8	0.0750
29	30	24	RCP	301.90	301.60	53	0.0056
30	31	24	RCP	301.60	294.30	194	0.0376
31	32	24	RCP	294.20	292.40	124	0.0146
32	33	24	RCP	292.30	292.10	9	0.0229

\*RM ELEV. REFER TO:  
 JUNCTION BOX/CO TOP OF MANHOLE COVER  
 CATCH BASIN BOT OF CURB/TOP OF GRATE  
 DROP INLET/ND S TOP OF CASTING/GRATE  
 PIPE END INVERT

- ### GRADING AND STORM DRAINAGE NOTES
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE TOWN OF CHAPEL HILL, N.C., ORANGE COUNTY, AND OWASA STANDARDS AND SPECIFICATIONS.
  - CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (1-800-632-4949) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL VERIFY THE DEPTH AND LOCATION OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
  - ALL STORM DRAINAGE PIPING WITH INSIDE DIAMETER OF 15 INCHES AND LARGER SHALL BE CLASS III RCP. SMALLER PIPING MATERIAL IS HOPE OR AS SHOWN.
  - ALL SIDEWALKS SHALL BE CONSTRUCTED SUCH THAT THE CROSS-SLOPE DOES NOT EXCEED 2% IF THERE ARE ANY DISCREPANCIES, NOTIFY THE ENGINEER.
  - NO PART OF ANY ACCESSIBLE PARKING SPACE OR ADJACENT ACCESSIBLE ASLE SHALL SLOPE GREATER THAN 2% IN ANY DIRECTION. IF THERE ARE ANY DISCREPANCIES, NOTIFY THE ENGINEER.
  - A FINAL STORMWATER MANAGEMENT INSPECTION MUST BE SCHEDULED WITH THE TOWN OF CHAPEL HILL STORMWATER DIVISION AT LEAST 10 DAYS IN ADVANCE OF REQUESTING THE CERTIFICATE OF OCCUPANCY.
  - PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY THE ENGINEER OF RECORD SHALL SUBMIT AS-BUILT PLANS AND SHALL CERTIFY THAT ALL STORMWATER BMP'S HAVE BEEN CONSTRUCTED PER THE APPROVED CONSTRUCTION PLANS.
  - HVAC CONDENSATE AND FLOOR DRAINS UNDER A ROOF, AND SUMP PITS SERVING OR RELATED TO HYDRAULIC OR MECHANICAL EQUIPMENT (ELEVATORS) SHALL NOT BE DISCHARGED INTO STORM SEWER NETWORK.
  - NO POOL BACKWASH WATER ALLOWED TO DISCHARGE INTO STORM SEWER NETWORK.
  - DEWATERING OF THE POOL WATER INTO STORM SEWER NETWORK IS NOT ALLOWED UNLESS DE-OILNATED.
  - SALT WATER POOL DISCHARGE IS PROHIBITED TO THE STORM SEWER NETWORK.
  - ALL ROOF DRAIN PLUMBING INTENDED TO DISCHARGE TO STORM SEWER PIPE NOT SHOWN ON APPROVED PLAN SHEET ARE NOT APPROVED. ANY DISCHARGE TO STORM SEWER PIPE NOT APPROVED WILL NEED A REVIEW AND APPROVAL FROM THE STORMWATER MANAGEMENT DIVISION.
  - ALL SOM'S TO BE PRIVATELY MAINTAINED.
  - NO PERMANENT SLOPES SHALL BE STEEPER THAN 2:1 AND THE CONSTRUCTION OF ANY SLOPE STEEPER THAN 3:1 SHALL BE OBSERVED BY A GEOTECHNICAL ENGINEER'S REPRESENTATIVE TO ENSURE PROPER COMPACTION AND STABILIZATION.
  - STORM STRUCTURES 15A, 19B, 20, & 22 SHALL HAVE AN 24" SUMP. SUMP SHALL HAVE 4" DIAMETER WEEP HOLES TO DRAIN.

- ### PLAN KEY NOTES
- STANDARD JUNCTION BOX (TYP.)
  - DROP INLET W/ STANDARD 24"x24" GRATE (TYP.)
  - STANDARD CATCH BASIN (TYP.)

- ### DRAWING LEGEND
- | SYMBOL/ABBREVIATION | EXISTING | PROPOSED | DESCRIPTION                |
|---------------------|----------|----------|----------------------------|
| ---                 | ---      | ---      | PROPERTY LINE              |
| ---                 | ---      | ---      | RIGHT-OF-WAY LINE          |
| ---                 | ---      | ---      | ADJOINER PROPERTY LINE     |
| ---                 | ---      | ---      | EASEMENT LINE              |
| ---                 | ---      | ---      | FENCE LINE                 |
| SD - SD             | ---      | ---      | STORM DRAIN LINE           |
| ---                 | ---      | ---      | WATER LINE                 |
| SS                  | ---      | ---      | SANITARY SEWER LINE        |
| UE                  | ---      | ---      | UNDERGROUND ELECTRIC LINE  |
| OHE                 | ---      | ---      | OVERHEAD ELECTRIC LINE     |
| G                   | ---      | ---      | GAS LINE                   |
| ---                 | ---      | ---      | TELEPHONE LINE             |
| ---                 | ---      | ---      | TREE LINE                  |
| ---                 | ---      | ---      | MAJOR CONTOUR              |
| ---                 | ---      | ---      | MINOR CONTOUR              |
| ---                 | ---      | ---      | LIMITS OF DISTURBANCE      |
| ---                 | ---      | ---      | EXISTING IRON PIPE         |
| ---                 | ---      | ---      | IRON PIPE SET              |
| ---                 | ---      | ---      | CALCULATED POINT           |
| ---                 | ---      | ---      | SIGN                       |
| ---                 | ---      | ---      | CATCH BASIN                |
| ---                 | ---      | ---      | DROP INLET                 |
| ---                 | ---      | ---      | JUNCTION BOX               |
| ---                 | ---      | ---      | WATER METER                |
| ---                 | ---      | ---      | WATER VALVE                |
| ---                 | ---      | ---      | FIRE HYDRANT               |
| ---                 | ---      | ---      | FIRE DEPARTMENT CONNECTION |
| ---                 | ---      | ---      | BACKFLOW PREVENTER         |
| ---                 | ---      | ---      | BLOW OFF VALVE             |
| ---                 | ---      | ---      | SANITARY SEWER MANHOLE     |
| ---                 | ---      | ---      | SANITARY SEWER CLEANOUT    |
| ---                 | ---      | ---      | ELECTRIC TRANSFORMER       |
| ---                 | ---      | ---      | GAS METER                  |

**GRADING & DRAINAGE PLAN - PHASE 1**  
 (GRAPHIC SCALE IN FEET)  
 1 inch = 30 ft.  
**REVISION DRAWING NOT FOR CONSTRUCTION**

**BALENTINE ASSOCIATES, P.A.**  
 221 PROVIDENCE ROAD, CHAPEL HILL, N.C. 27514  
 (919) 928 - 0461

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CORPORATE SEAL  
 NORTH CAROLINA  
 CHAPEL HILL

NORTH CAROLINA  
 PROFESSIONAL ENGINEER  
 04254  
 JUN 21  
 ON W. SHAW

DATE	REVISIONS
16 APR 21	PER DDCP REVIEW COMMENTS
19 MAY 21	PER DDCP REVIEW COMMENTS
11 JUN 21	PER DDCP REVIEW COMMENTS

OWNER INFORMATION  
 GLEN LENNOX PROPERTIES  
 117 EDENBURGH SOUTH DRIVE  
 SUITE 110  
 CARY, NC 27511  
 OWNER'S REPRESENTATIVE:  
 JOE DYE  
 (919) 388-5774  
 FAX (919) 000-0000  
 EMAIL: jodye@glennox.com

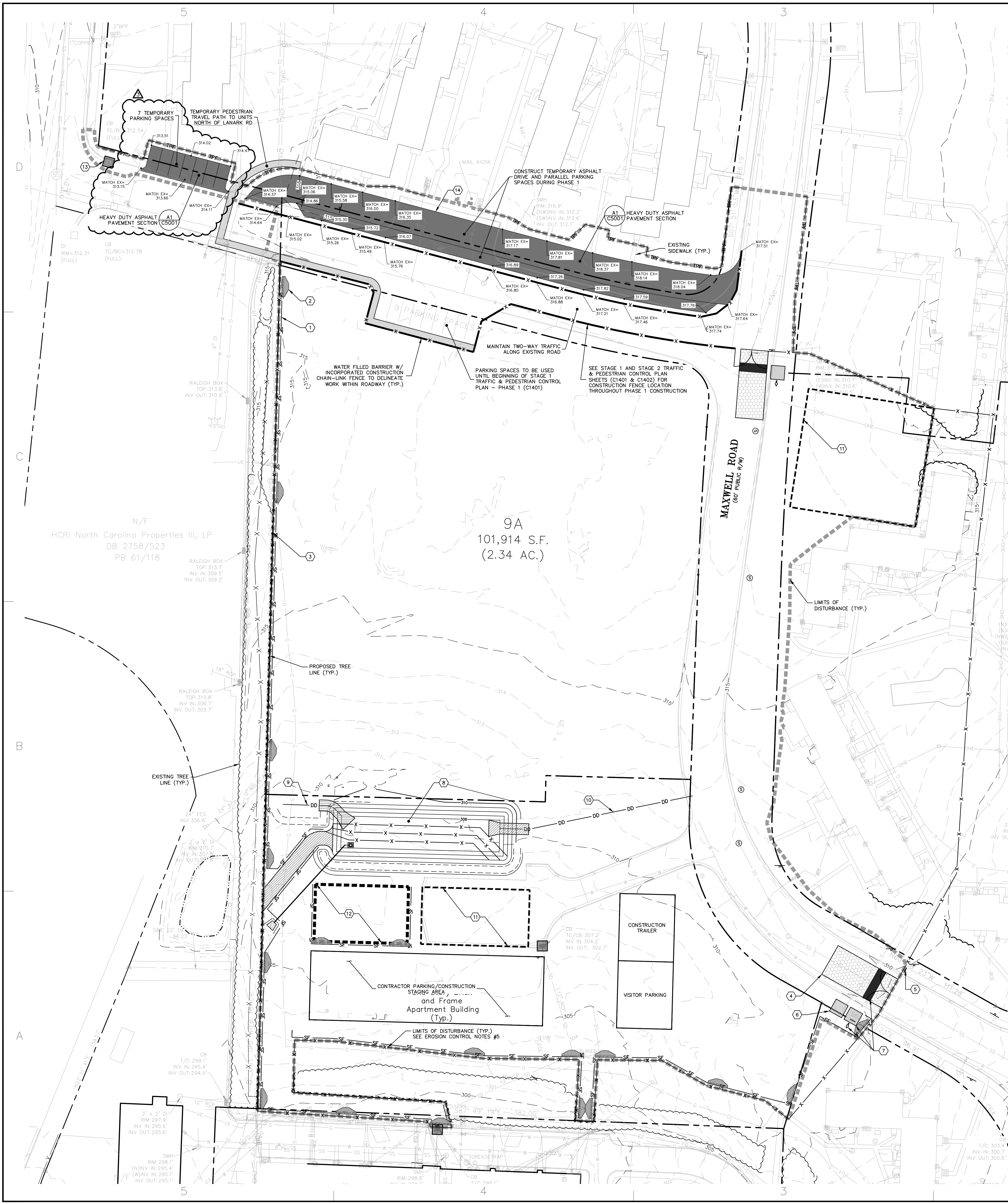
DATE	ISSUED
12 FEB 21	DACP SUBMITTAL #1
16 APR 21	DACP SUBMITTAL #2
19 MAY 21	DACP SUBMITTAL #3
11 JUN 21	DACP SUBMITTAL #4

**LINK APARTMENTS CALYX  
 GLEN LENNOX - BLOCK 9A  
 CHAPEL HILL, NC**  
**DACP DRAWINGS**

JOB # 107013.91  
 DATE: 12 FEB 21  
 SCALE: AS NOTED  
 DRAWN BY: D.W.S.  
 REVIEWED BY: G.J.R.

**SHEET  
 C1201**





- ### CONSTRUCTION MANAGEMENT NOTES
- CONSTRUCTION SHALL COMPLY WITH THE CHAPEL HILL NOISE ORDINANCE, ARTICLE 3, SECTION 11-40.
  - A COPY OF THE APPROVED CONSTRUCTION PLANS MUST BE KEPT ON SITE.
  - CONSTRUCTION HOURS SHALL BE FROM 7:00 AM - 9:00 PM ON WEEKDAYS AND 8:00 AM - 9:00 PM ON SATURDAYS. THERE SHALL BE NO CONSTRUCTION ACTIVITIES ON SUNDAYS OR ON FEDERAL HOLIDAYS.
  - ALL CONSTRUCTION EQUIPMENT SHALL BE OPERATED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS, AND WITH ALL STANDARD EQUIPMENT, AND WITH MANUFACTURER'S MUFFLERS AND NOISE-REDUCING EQUIPMENT IN USE, AND IN PROPER OPERATING CONDITION.
  - NO BLASTING OR BURNING ARE PERMITTED ON SITE.
  - A WATER TRUCK SHALL BE USED TO MINIMIZE DUST.
  - CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO PREVENT AND REMOVE THE DEPOSIT OF SILT ON ADJACENT PAVED ROADWAYS.
  - CONSTRUCTION WORKERS SHALL PARK WITHIN THE SITE - NO PARKING ON PUBLIC STREETS.
  - ALL STORAGE, STAGING, AND PARKING SHALL BE ON-SITE AND CONTAINED WITHIN THE CONSTRUCTION LIMITS. NONE OF THESE ACTIVITIES ARE TO OCCUR WITHIN TREE PROTECTION ZONES AT ANY TIME.
  - CONSTRUCTION VEHICLES TO ACCESS THE SITE FROM LANARK ROAD.
  - FIRE HYDRANTS MUST BE FULLY OPERATIONAL, AND PHYSICALLY APPROVED BY OWASA BEFORE COMBUSTIBLE MATERIALS CAN BE BROUGHT ONTO THE SITE.
  - DURING CONSTRUCTION, VEHICLE ACCESS FOR FIREFIGHTING SHALL BE PROVIDED. TEMPORARY STREET SIGNS SHALL BE INSTALLED AT EACH STREET INTERSECTION WHEN CONSTRUCTION ALLOWS THE PASSAGE OF VEHICLES. SIGNS SHALL BE OF AN APPROVED SIZE, WEATHER RESISTANT, AND MAINTAINED UNTIL REPLACED BY PERMANENT SIGNS BY SECTION 503.2.
  - FIRE APPARATUS ACCESS ROADS AND ANY OTHER ACCESS WAYS SHALL NOT BE OBSTRUCTED IN ANY MANNER, INCLUDING BUT NOT LIMITED TO FENCES, GATES, PARKING OF VEHICLES, AND CONSTRUCTION MATERIALS OR EQUIPMENT. REQUIRED GATES SHALL BE INSTALLED AND MAINTAINED AT ALL TIMES. THE MINIMUM WIDTHS AND CLEARANCES ESTABLISHED IN SECTIONS 503.2.1 AND 503.2.2 SHALL BE MAINTAINED AT ALL TIMES.
  - TRAFFIC CALMING DEVICES SHALL BE PROHIBITED UNLESS APPROVED BY THE FIRE CODE OFFICIAL.
  - DURING DEMOLITION AND/OR CONSTRUCTION, ALL ASPECTS OF CHAPTER 14 OF THE NC FIRE PREVENTION SHALL BE FOLLOWED. THE OWNER/DEVELOPER SHALL DESIGNATE ONE PERSON TO BE THE FIRE PREVENTION PROGRAM SUPERVISOR WHO SHALL BE RESPONSIBLE FOR ENFORCING CHAPTER 14 OF THE NCFCP AND THE ON-SITE FIRE PREVENTION PROGRAM AND ENSURE THAT IT IS CARRIED OUT THROUGH COMPLETION OF THE PROJECT.
  - THE FIRE CODE OFFICIAL IS AUTHORIZED TO REQUIRE THE INSTALLATION AND MAINTENANCE OF GATES OR OTHER APPROVED BARRIERS ACROSS FIRE APPARATUS ACCESS ROADS, TRAILS, OR OTHER ACCESSWAYS; NOT INCLUDING PUBLIC STREETS, ALLEYS, OR HIGHWAYS. ELECTRIC GATE OPERATORS, WHERE PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325. GATES INTENDED FOR AUTOMATIC OPERATION SHALL BE DESIGNED, CONSTRUCTED, AND INSTALLED TO COMPLY WITH THE REQUIREMENTS OF ASTM F2200.
  - WATER SUPPLY FOR FIRE PROTECTION: WHEN REQUIRED, AN APPROVED WATER SUPPLY FOR FIRE PROTECTION, EITHER TEMPORARY OR PERMANENT, SHALL BE MADE AVAILABLE AS SOON AS COMBUSTIBLE MATERIAL ARRIVES ON THE SITE. NCFC 1412.1.
  - DURING CONSTRUCTION THE DEVELOPER SHALL INSPECT THE EROSION AND SEDIMENT CONTROL DEVICES DAILY, MAKE NECESSARY REPAIRS OR ADJUSTMENTS TO THE DEVICES, AND MAINTAIN INSPECTION LOGS DOCUMENTING THE DAILY INSPECTIONS AND ANY NECESSARY REPAIRS. THIS SHALL INCLUDE WEEKLY INVITATIONS TO WALK EROSION CONTROL MEASURES TO ORANGE COUNTY EROSION CONTROL AND TOWN OF CHAPEL HILL STAFF. WITHIN TWO WEEKS, EROSION CONTROL PERFORMANCE ISSUES IDENTIFIED BY TOWN STAFF DURING WEEKLY WALKS SHALL BE ADDRESSED.
  - ON-STREET PARKING SHALL BE PROVIDED FOR INSPECTORS AT EACH BUILDING FOR THE DURATION OF THE CONSTRUCTION PROJECT.

### SEEDING SCHEDULE

**SEEDBED PREPARATION**

- CHISEL COMPACTED AREAS AND SPREAD TOPSOIL 3 INCHES DEEP OVER ADVERSE SOIL CONDITIONS, IF APPLICABLE.
- RIP THE ENTIRE AREA TO 6 INCHES DEEP.
- REMOVE ALL LOOSE ROCK, ROOTS, AND OTHER OBSTRUCTIONS LEAVING SURFACE REASONABLY SMOOTH AND UNIFORM.
- APPLY AGRICULTURAL LIME, FERTILIZER, AND SUPERPHOSPHATE UNIFORMLY AND MIX WITH SOIL (SEE BELOW).
- CONTINUE TILLAGE UNTIL WELL PULVERIZED, FIRM, REASONABLY UNIFORM SEEDBED IS PREPARED 4 TO 6 INCHES DEEP.
- SEED ON FRESHLY PREPARED SEEDBED AND COVER SEED LIGHTLY WITH SEEDING EQUIPMENT OR CULTIPACK AFTER SEEDING.
- MULCH IMMEDIATELY AFTER SEEDING AND ANCHOR MULCH.
- INSPECT ALL SEEDED AREAS AND MAKE NECESSARY REPAIRS OR RESEEDINGS WITHIN THE PLANTING SEASON, IF POSSIBLE. IF STAND SHOULD BE OVER 60% DAMAGED, REESTABLISH FOLLOWING ORIGINAL LINE, FERTILIZER AND SEEDING RATES.

\* APPLY: AGRICULTURAL LIMESTONE - 2 TONS/AC (3 TONS/AC IN CLAY SOILS)  
 FERTILIZER - 1,000 LBS/ACRE - 10-10-10 SUPERPHOSPHATE - 500 LBS/ACRE - 20% ANALYSIS MULCH - 2 TONS/ACRE - SMALL GRASS STRAW ANCHOR - ASPHALT EMULSION @ 500 GALS/ACRE

DATE	TYPE	PLANTING RATE
AUG 1 - NOV 1	TALL FESCUE	120 LBS/ACRE
NOV 1 - MAR 1	TALL FESCUE & ABRUZZI RYE	120 LBS/ACRE
MAR 1 - APR 15	TALL FESCUE	120 LBS/ACRE
APR 15 - JUN 30	HULLED COMMON BERMUDAGRASS	12 LBS/ACRE
JUL 1 - AUG 15	TALL FESCUE AND **BROWNTOWN MILLET ***SORGHUM-SUDAN HYBRIDS	60 LBS/ACRE 35 LBS/ACRE 30 LBS/ACRE

**SHOULDER SIDE DITCHES SLOPES (MAX. 3:1)**

DATE	SERVICE	PLANTING RATE
MAR 1 - JUN 1	SERVICE LESPEDEZA (SCARIFIED)	50 LBS/ACRE
(MAR 1 - APR 15)	ADD TALL FESCUE	60 LBS/ACRE
(MAR 1 - JUN 30)	OR ADD WEEPING LOVEGRASS	5 LBS/ACRE
(MAR 1 - JUN 30)	OR ADD HULLED COMMON BERMUDAGRASS	8 LBS/ACRE
APR 15 - JUN 30	HULLED COMMON BERMUDAGRASS	12 LBS/ACRE
JUN 1 - SEP 1	TALL FESCUE AND **BROWNTOWN MILLET ***SORGHUM-SUDAN HYBRIDS	60 LBS/ACRE 35 LBS/ACRE 30 LBS/ACRE
SEP 1 - MAR 1	SERVICE LESPEDEZA (UNHULLED - SCARIFIED)	70 LBS/ACRE
AND TALL FESCUE		50 LBS/ACRE
(NOV 1 - MAR 1)	ADD ABRUZZI RYE	25 LBS/ACRE

### GROUND STABILIZATION REQUIREMENTS

(PER NPDES CONSTRUCTION STORMWATER GENERAL PERMIT NCG010000)

SITE AREA DESCRIPTION	STABILIZATION TIME FRAME	STABILIZATION TIME FRAME EXCEPTIONS
PERIMETER DIKES, SWALES, DITCHES, AND SLOPES	7	NONE
HIGH QUALITY WATER (HOW) ZONES	7	NONE
SLOPES STEEPER THAN 3:1	7	IF SLOPES ARE 10' OR LESS IN LENGTH AND ARE IN STEEPER THAN 2:1, 14 DAYS ARE ALLOWED
SLOPES 3:1 OR FLATTER	14	7 DAYS FOR SLOPES GREATER THAN 50 FEET IN LENGTH
ALL OTHER AREAS WITH SLOPES FLATTER THAN 4:1	14	NONE (EXCEPT FOR PERIMETERS AND HOW ZONES)

\* EXTENSIONS OF TIME MAY BE APPROVED BY THE PERMITTING AUTHORITY BASED ON WEATHER OR OTHER SITE-SPECIFIC CONDITIONS THAT MAKE COMPLIANCE IMPRACTICABLE (SECTION 11.8 (2)(g))

### EROSION CONTROL & CONSTRUCTION MANAGEMENT PLAN - PHASE 1

DETAIL REFERENCE	PLAN KEY NOTES	DETAIL REFERENCE	PLAN KEY NOTES
A2 (C5301)	1 TEMPORARY SILT FENCE (TYP.)	C4 (C5302)	8 SEDIMENT BASIN #1
B2 (C5301)	2 TEMPORARY SILT FENCE STONE OUTLET (TYP.)	A4 (C5302)	9 DIVERSION DITCH #1.1
C2 (C5301)	3 CHAIN-LINK TREE PROTECTION FENCE (TYP.)		10 DIVERSION DITCH #1.2
A4 (C5301)	4 TEMPORARY CONSTRUCTION ENTRANCE (TYP.)		11 CONSTRUCTION MATERIAL LAYDOWN AREA
B4 (C5301)	5 TEMPORARY CONSTRUCTION SIGN (TYP.)	C4 (C5301)	12 TEMPORARY TOPSOIL STOCKPILE AREA (TYP.)
C5 (C5301)	6 CONCRETE WASHOUT	C3 (C5301)	13 STANDARD SILT BAG - INLET SEDIMENT CONTROL DEVICE
B5 (C5301)	7 PRECAST CONCRETE TIRE WASHRACK (TYP.)	A5 (C5301)	14 TEMPORARY ASPHALT DRIVE

- ### EROSION CONTROL & GRADING NOTES
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ORANGE COUNTY AND THE TOWN OF CHAPEL HILL STANDARDS AND SPECIFICATIONS.
  - CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (1-800-632-4949), LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL VERIFY THE DEPTH AND LOCATION OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
  - THIS PLAN IS DIAGRAMMATIC AND REPRESENTS THE APPROXIMATE LOCATION OF UTILITIES UNLESS SPECIFICALLY DIMENSIONED. THE CONTRACTOR SHALL COORDINATE THE ACTUAL LOCATION OF UTILITIES TO AVOID CONFLICTS AND MEET MINIMUM SIZE, SLOPE, AND CODE REQUIREMENTS.
  - TOTAL DISTURBED AREA: 5.90 AC. THIS INCLUDES ALL DISTURBANCE REQUIRED FOR FULL SITE CONSTRUCTION.
  - NO BURNING IS PERMITTED.
  - ALL EROSION CONTROL DEVICES, INCLUDING INLET PROTECTION, SHALL BE MAINTAINED AS NEEDED, AT LEAST ONCE A WEEK AND AFTER EVERY RUNOFF PRODUCING RAINFALL EVENT TO ENSURE DEVICES ARE FUNCTIONING PROPERLY.
  - CONTRACTOR SHALL INSPECT THE EROSION AND SEDIMENT CONTROL DEVICES DAILY, MAKE ANY NECESSARY REPAIRS OR ADJUSTMENTS TO THE DEVICES, AND MAINTAIN INSPECTION LOGS DOCUMENTING THE DAILY INSPECTIONS AND ANY NECESSARY REPAIRS.
  - CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO PREVENT AND REMOVE THE DEPOSIT OF SILT ON ADJACENT PAVED ROADWAYS.
  - SUFFICIENT EROSION CONTROL PRACTICES MUST BE INSTALLED AND MAINTAINED TO RETAIN EROSION WITHIN THE BOUNDARIES OF DISTURBANCE. ALL DISTURBED AREAS SHALL BE NON-EROSIVE AND STABLE AS DESCRIBED IN THE GROUND STABILIZATION REQUIREMENTS TABLE (THIS SHEET).
  - TOPSOIL STOCKPILE AREAS SHALL HAVE A MAXIMUM HEIGHT OF 15' WITH SIDE SLOPES NO STEEPER THAN 3:1.

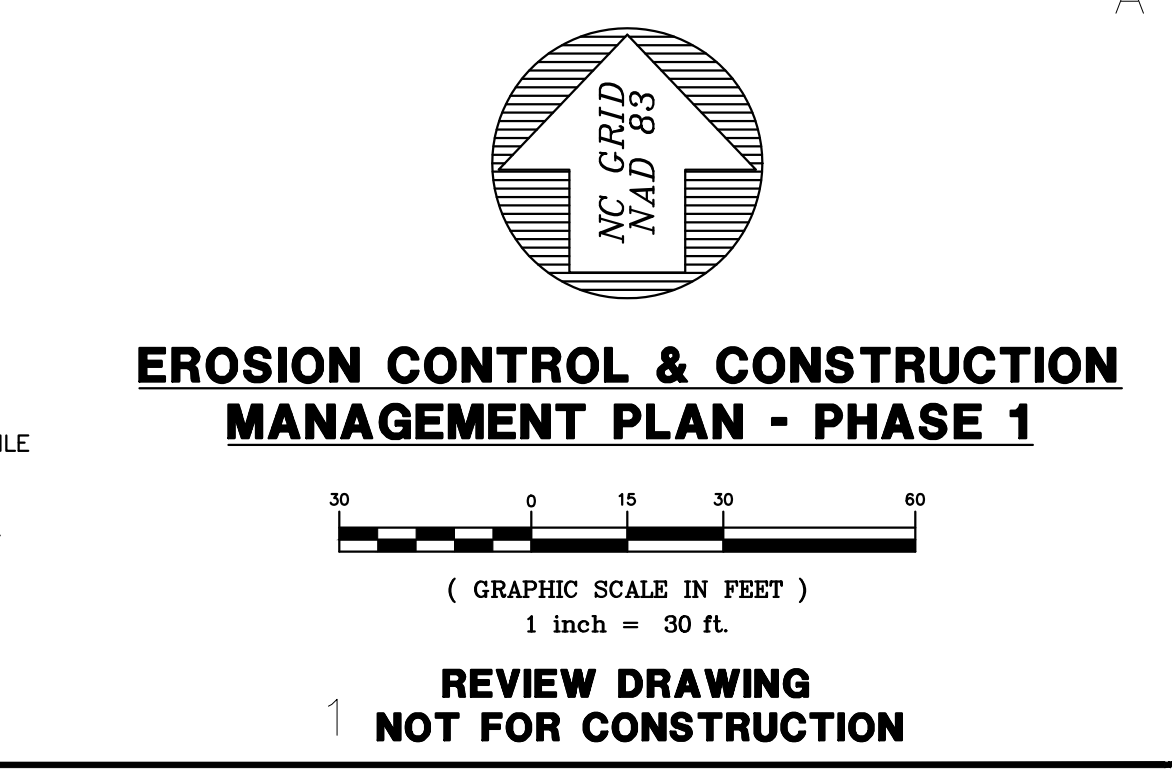
- ### CONSTRUCTION SEQUENCE
- OBTAIN ORANGE COUNTY EROSION CONTROL PERMIT, TOWN OF CHAPEL HILL (TOCH) APPROVAL, CERTIFICATE OF COVERAGE (COO), AND ANY APPLICABLE ENCROACHMENT AGREEMENT PERMIT/APPROVAL PRIOR TO ANY LAND DISTURBING ACTIVITIES.
  - PER NPDES REQUIREMENTS, A RAIN GAUGE, SELF-INSPECTION RECORDS, PERMITS, CERTIFICATE OF COVERAGE, AND S&E PLAN ARE REQUIRED TO BE MAINTAINED ON SITE AND ACCESSIBLE DURING INSPECTION. IT IS RECOMMENDED THAT THESE ITEMS BE PLACED IN A PERM BOX AT THE BEGINNING OR ENTRANCE OF PROJECT.
  - SCHEDULE AND HOLD A PRE-CONSTRUCTION MEETING WITH ORANGE COUNTY EROSION CONTROL (PHONE: 919-245-2588), SOILD WATER MANAGEMENT DEPARTMENT (PHONE: 919-968-2788), TOCH PLANNING (PHONE: 919-968-5068), AND TOCH STORMWATER MANAGEMENT (PHONE: 919-968-7240) DIVISIONS AT LEAST ONE WEEK PRIOR TO BEGINNING CONSTRUCTION. THIS MEETING SHOULD BE THE SAME MEETING HELD WITH OTHER DEVELOPMENT REGULATORS, INCLUDING TOCH STAFF.
  - LOCATE ALL EXISTING UTILITIES WITHIN PROJECT AREA (PUBLIC AND PRIVATE). CONTRACTOR TO COORDINATE WITH UTILITY PROVIDERS REGARDING UTILITY DEMOLITION.
  - THE CONTRACTOR SHALL CONDUCT SELF-INSPECTIONS OF THE EROSION AND SEDIMENTATION CONTROL MEASURES AND COMPLETE THE FOLLOWING COMBINED SELF-INSPECTION FORM FOUND ON THE DELMAR WEBSITE (HTTP://WWW.OCWATERMGT.COM/FILES/ENR/EROSION-SEEDMENT-CONTROL-FORMS/EROSION-SEEDMENT-CONTROL-FORMS). COMPLETE INSPECTION FORMS SHALL BE KEPT ON-SITE AND AVAILABLE FOR INSPECTION AT ALL TIMES. IT IS RECOMMENDED A COPY BE KEPT IN A PERM BOX.
  - SELF-INSPECTIONS FOR EROSION AND SEDIMENTATION CONTROL MEASURES ARE TO BE PERFORMED AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF EVERY RAIN EVENT GREATER THAN 1 INCH. ANY NEEDED REPAIRS SHALL BE MADE IMMEDIATELY TO MAINTAIN MEASURES AS DESIGNED. ALL EOC MEASURES SHALL BE MAINTAINED AS SPECIFIED IN THE CONSTRUCTION DETAILS ON THIS PLAN. A RAIN GAUGE SHALL BE INSTALLED AT THE PROJECT SITE FOR MONITORING.
  - INSTALL CONSTRUCTION ENTRANCES, CHAIN-LINK TREE PROTECTION FENCE (SEE C0201), SILT FENCE, SILT FENCE STONE OUTLETS AND SILT BAGS AS SHOWN. CALL ORANGE COUNTY EROSION CONTROL AND TOCH PLANNING FOR AN INSPECTION.
  - DEMO, CLEAR AND GRUB AS NECESSARY TO INSTALL SEDIMENT BASIN AND DIVERSION DITCH. COORDINATE WITH UTILITY PROVIDERS AS NEEDED. SEE SHEET C0201.
  - INSTALL SEDIMENT BASIN AND SKIMMER PIPE.
  - SEED ALL AREAS DISTURBED BY INSTALLATION OF ABOVE MEASURES IN ACCORDANCE WITH THE GROUND STABILIZATION REQUIREMENTS TABLE LOCATED ON THIS SHEET.
  - CALL ORANGE COUNTY EROSION CONTROL FOR INSPECTION.
  - UPON APPROVAL FROM ORANGE COUNTY & THE TOWN OF CHAPEL HILL, CLEAR AND GRUB THE REMAINDER OF THE SITE WITHIN DISTURBED LIMITS AS SHOWN ON SHEET C0201. EXISTING STORM DRAIN SYSTEM SHALL REMAIN THROUGHOUT THE CLEARING AND DEMO PROCESS. DEMO BUILDINGS, IMPROVEMENTS, ETC. AND ALL OTHER UTILITIES AS SHOWN ON SHEET C1301, STOCKPILE TOPSOIL IN AREAS DESIGNATED FOR TOPSOIL STOCKPILES.
  - ADJUST WATER FILLED BARRIER WITH INCORPORATED CONSTRUCTION CHAIN-LINK FENCE THROUGHOUT PHASE 1 AS SHOWN ON SHEET C1401 AND STAGE 2 TRAFFIC & PEDESTRIAN CONTROL PLAN SHEETS (C1401 & C1402).
  - INSTALL STORM DRAINAGE NETWORK AT THE APPROPRIATE TIME. INSTALL TEMPORARY INLET PROTECTION AROUND COMPLETED STORM STRUCTURES. DO NOT INSTALL STORM STRUCTURE FRAME AND GATE UNTIL THE SITE IS STABILIZED.
  - STABILIZE SITE AS AREAS ARE BROUGHT UP TO FINISH GRADE WITH VEGETATION, ETC. SEED ALL DISTURBED AREAS IN ACCORDANCE WITH THE GROUND STABILIZATION REQUIREMENTS TABLE LOCATED ON THIS SHEET.
  - CALL ORANGE COUNTY EROSION CONTROL FOR AN INSPECTION. UPON APPROVAL, REMOVE THE SEDIMENT BASIN AND THE DIVERSION DITCH USING THE TEMPORARY SOIL STOCKPILE AREA. ADJUST PERIMETER SILT FENCE AS SHOWN ON SHEET C1301 OF PHASE 2.
  - SEE SHEET C1301 OF PHASE 2 FOR EROSION CONTROL AND CONSTRUCTION SEQUENCE.

### EROSION CONTROL & CONSTRUCTION MANAGEMENT PLAN - PHASE 1

#### EROSION CONTROL & CONSTRUCTION MANAGEMENT PLAN - PHASE 1

#### SYMBOL/ABBREVIATION

EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY LINE
---	---	RIGHT-OF-WAY LINE
---	---	ADJOINER PROPERTY LINE
---	---	EASEMENT LINE
---	---	FENCE LINE
SD - SD	---	STORM DRAIN LINE
W - W	---	WATER LINE
SS - SS	---	SANITARY SEWER LINE
UE - UE	---	UNDERGROUND ELECTRIC LINE
OE - OE	---	OVERHEAD ELECTRIC LINE
---	---	GAS LINE
---	---	TELEPHONE LINE
---	---	TREE LINE
---	---	MAJOR CONTOUR
---	---	MINOR CONTOUR
---	---	LIMITS OF DISTURBANCE
---	---	CONSTRUCTION ENTRANCE
SF	---	SILT FENCE
X	---	CHAIN-LINK TREE PROTECTION FENCE
---	---	WATER FILLED BARRIER W/ INCORPORATED CONSTRUCTION CHAIN-LINK FENCE
DD	---	DIVERSION DITCH CENTERLINE
---	---	SILT FENCE OUTLET
---	---	RIPRAP DISSIPATOR PAD
---	---	EXISTING IRON PIPE
---	---	IRON PIPE SET
---	---	CALCULATED POINT
---	---	SIGN
---	---	CATCH BASIN
---	---	DROP INLET



**BALENTINE ASSOCIATES, P.A.**  
 221 PROVIDENCE ROAD, CHAPEL HILL, N.C. 27514  
 (919) 928-0481

**LINK APARTMENTS CALYX GLEN LENOX - BLOCK 9A**  
 CHAPEL HILL, NC

**DACP DRAWINGS**

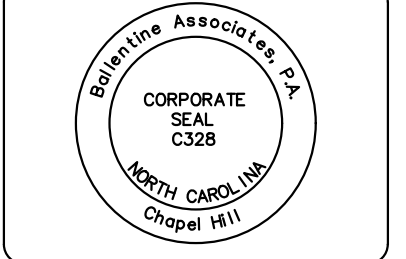
**SHEET C1301**

JOB # 107013.91  
 DATE: 12 FEB 21  
 SCALE: AS NOTED  
 DRAWN BY: D.W.S.  
 REVIEWED BY: G.J.R.

**NOT FOR CONSTRUCTION**



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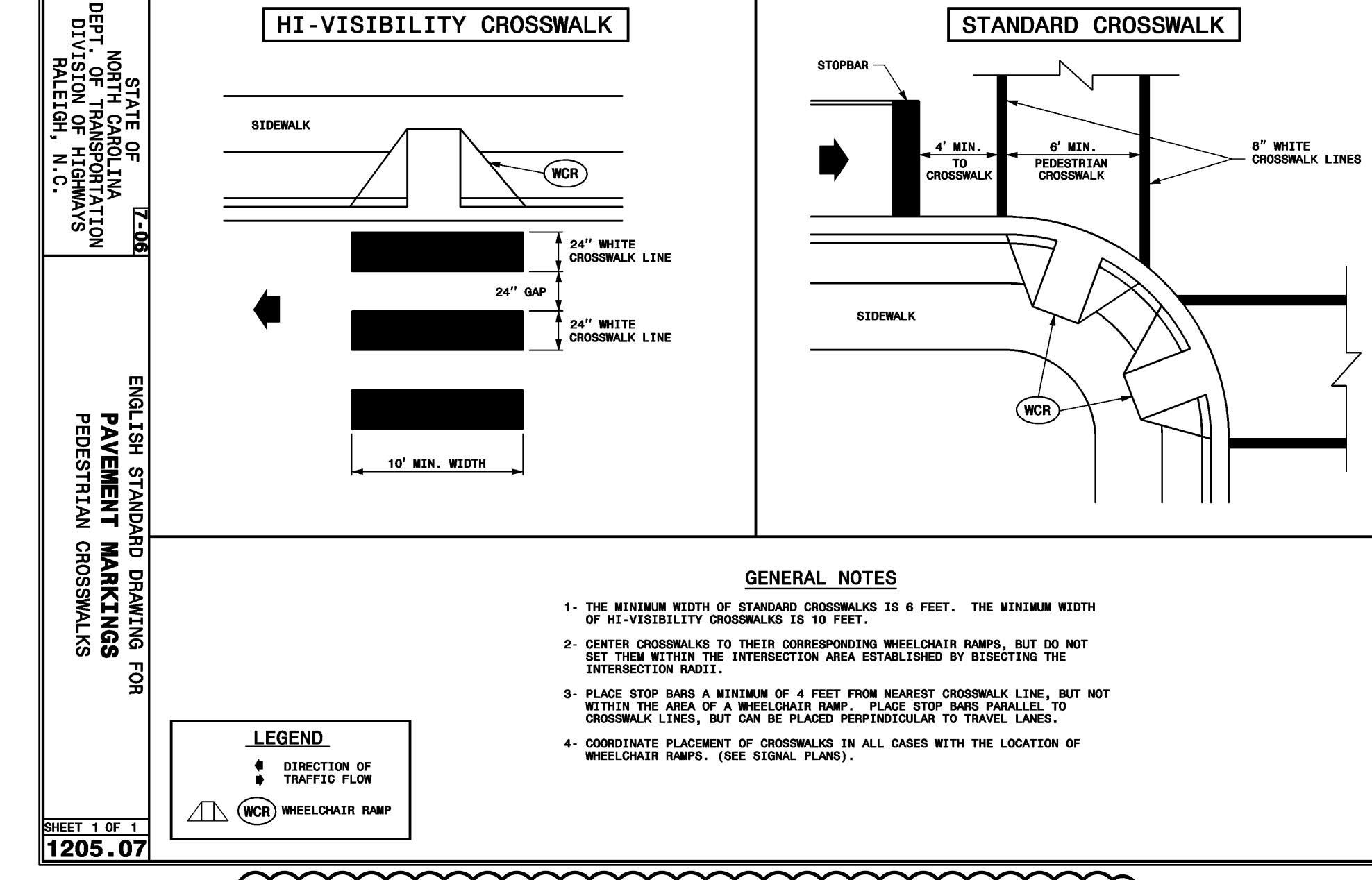
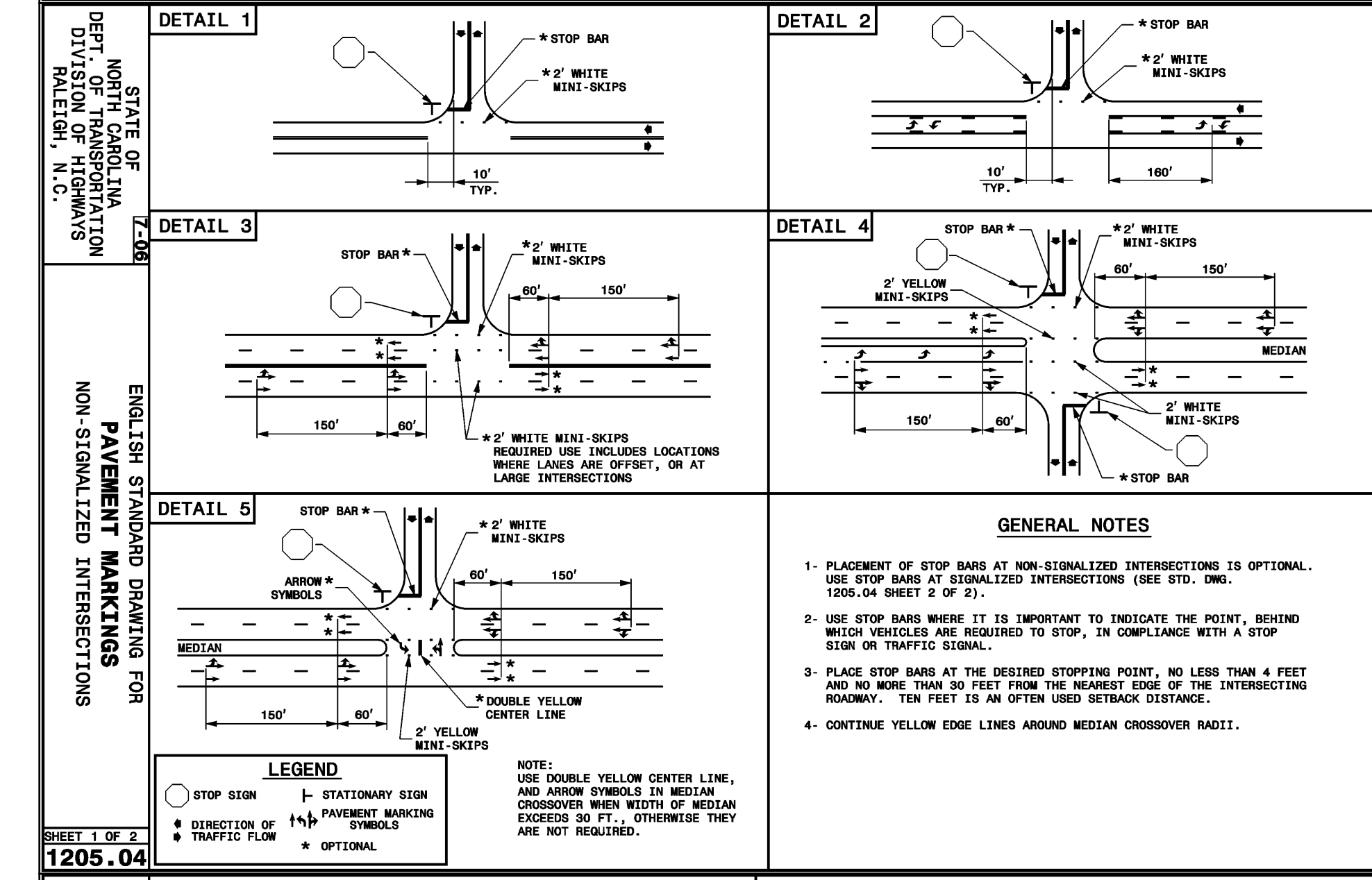
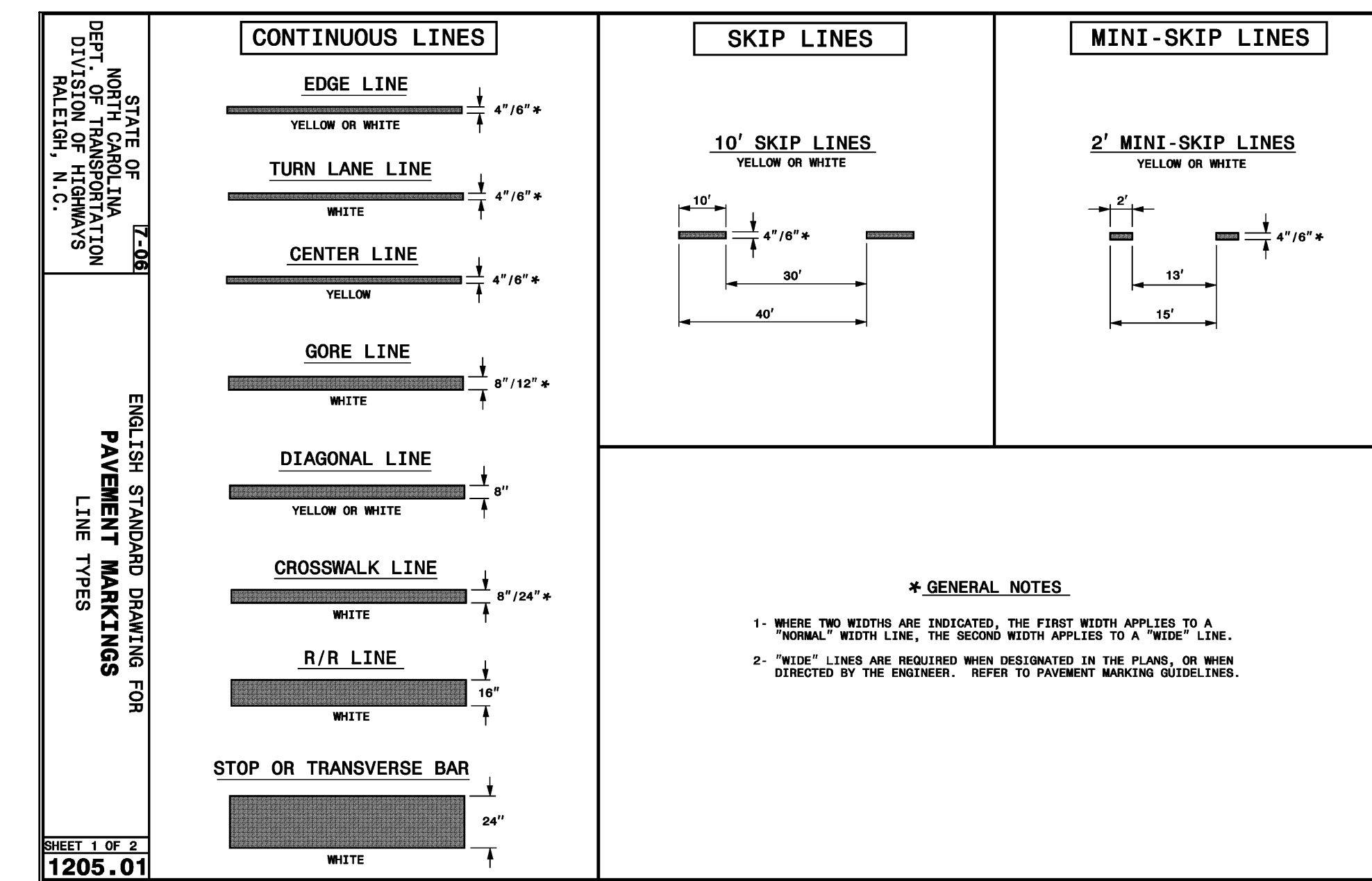
DATE	REVISIONS
16 APR 21	PER DACP REVIEW COMMENTS
19 MAY 21	PER DACP REVIEW COMMENTS
11 JUN 21	PER DACP REVIEW COMMENTS

**OWNER INFORMATION**  
 DRUBB PROPERTIES  
 117 EDENBURGH SOUTH DRIVE  
 SUITE 110  
 CARY, NC 27511  
**OWNER REPRESENTATIVE:**  
 JOE DYE  
 (919) 388-5774  
 FAX (919) 000-0000  
 EMAIL: joe.dye@drubb.com

DATE	ISSUED
12 FEB 21	DACP SUBMITTAL #1
16 APR 21	DACP SUBMITTAL #2
19 MAY 21	DACP SUBMITTAL #3
11 JUN 21	DACP SUBMITTAL #4

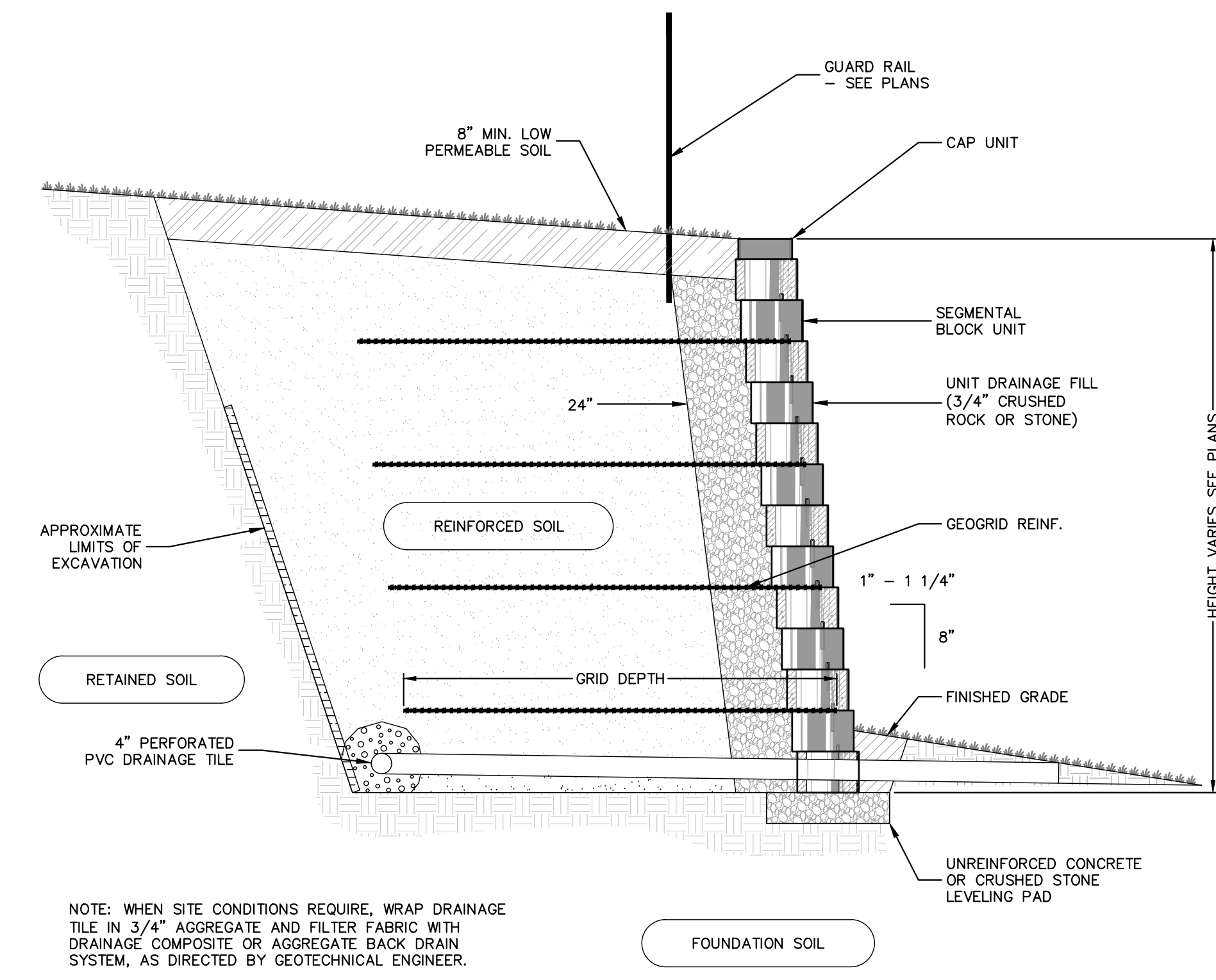
**LINK APARTMENTS CALYX  
 GLEN LENOX - BLOCK 9A**  
 CHAPEL HILL, NC  
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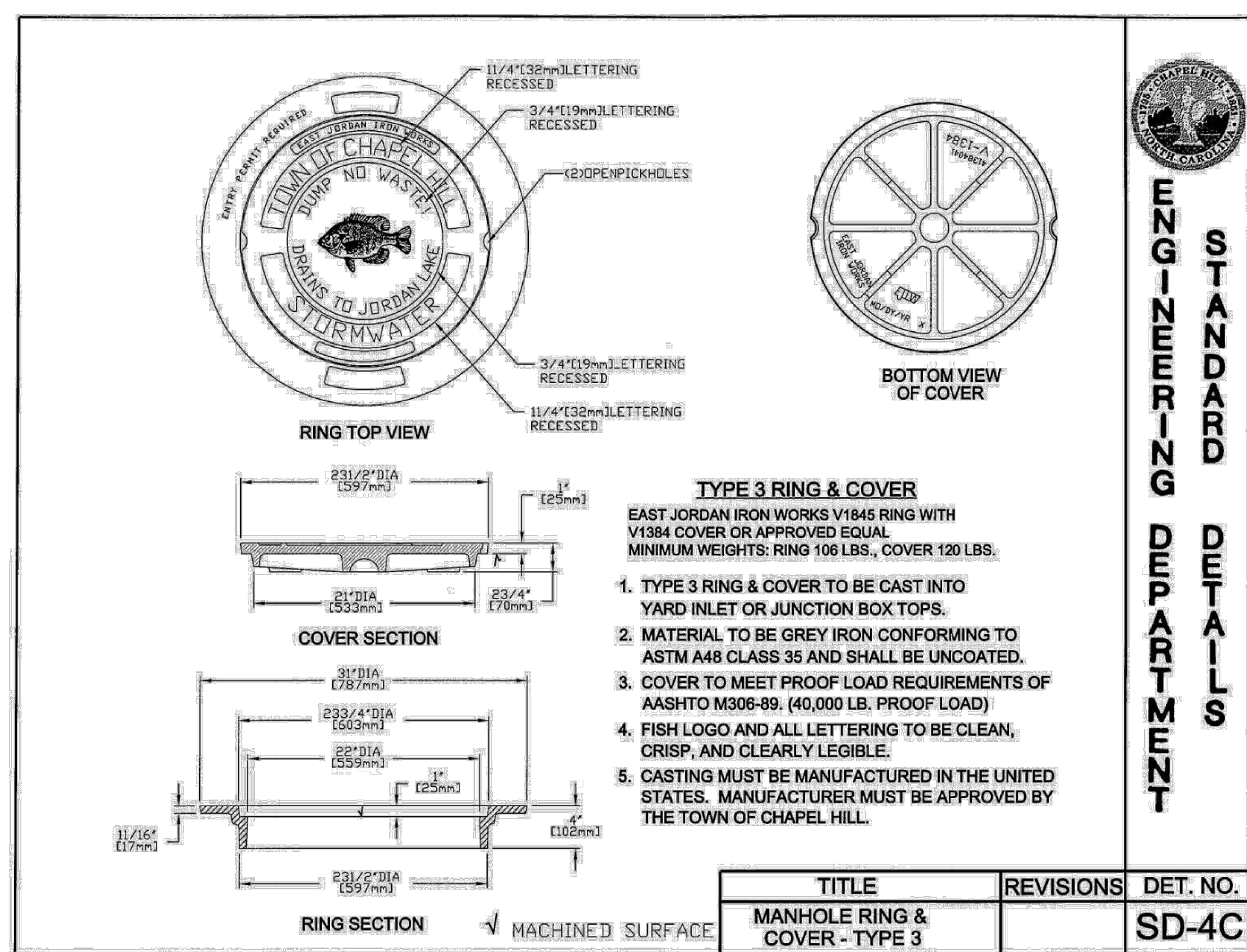
\*125 MIL THERMOPLASTIC SHALL BE USED FOR PAVEMENT MARKINGS

**A2 PAVEMENT MARKINGS**  
 SCALE: N.T.S.



**A3 SEGMENTAL BLOCK RETAINING WALL SECTION (DESIGN-BUILD)**  
 SCALE: N.T.S.



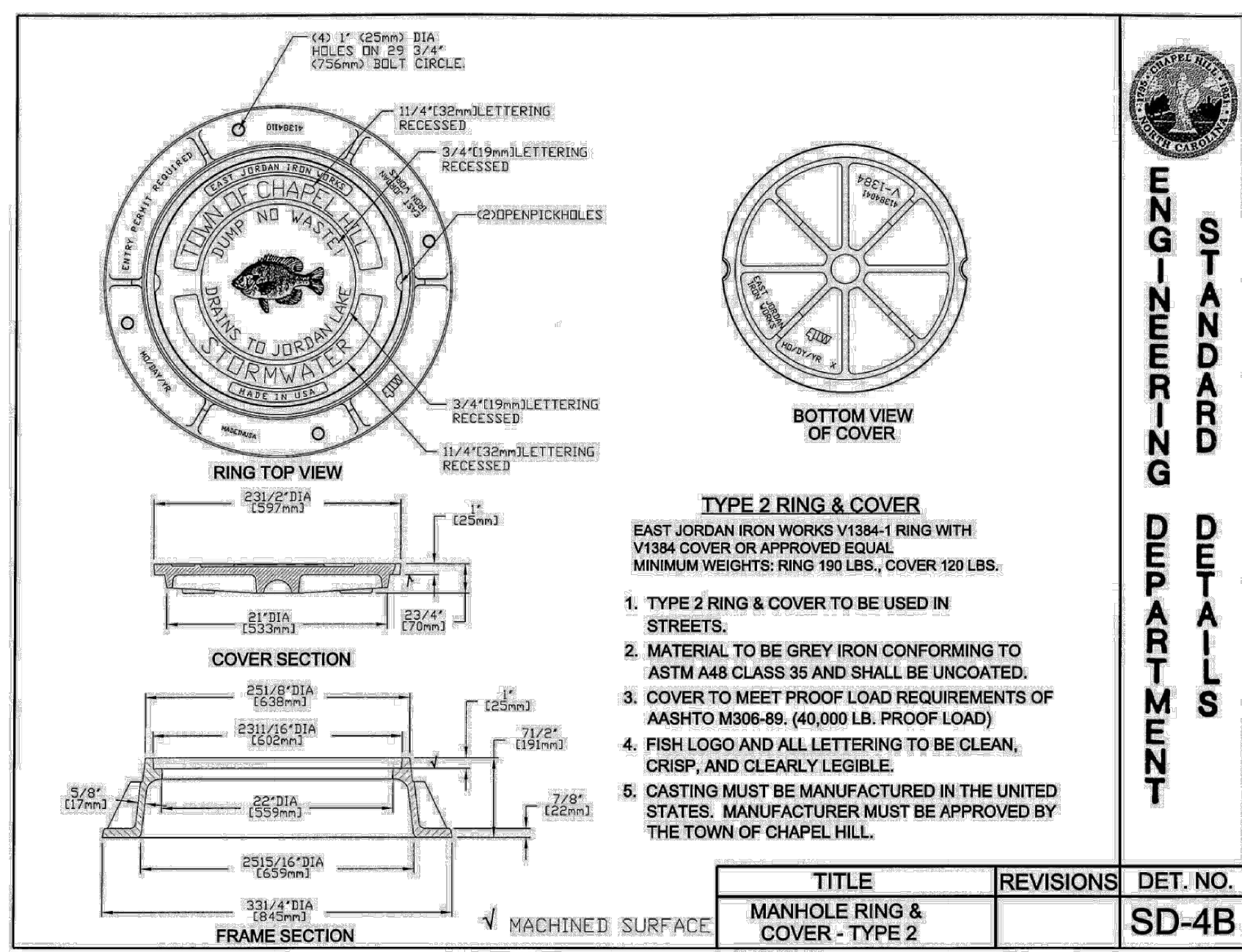


**STANDARD ENGINEERING DEPARTMENT**

**TYPE 3 RING & COVER**  
EAST JORDAN IRON WORKS V1844 RING WITH V1834 COVER OR APPROVED EQUAL. MINIMUM WEIGHTS: RING 100 LBS., COVER 120 LBS.

- TYPE 3 RING & COVER TO BE CAST INTO YARD INLET OR JUNCTION BOX TOPS.
- MATERIAL TO BE GREY IRON CONFORMING TO ASTM A48 CLASS 35 AND SHALL BE UNCOATED.
- COVER TO MEET PROOF LOAD REQUIREMENTS OF AASHTO M306-85 (40,000 LB. PROOF LOAD).
- FISH LOGO AND ALL LETTERING TO BE CLEAN, CRISP, AND CLEARLY LEGIBLE.
- CASTING MUST BE MANUFACTURED IN THE UNITED STATES. MANUFACTURER MUST BE APPROVED BY THE TOWN OF CHAPEL HILL.

TITLE	REVISIONS	DET. NO.
MANHOLE RING & COVER - TYPE 3		SD-4C

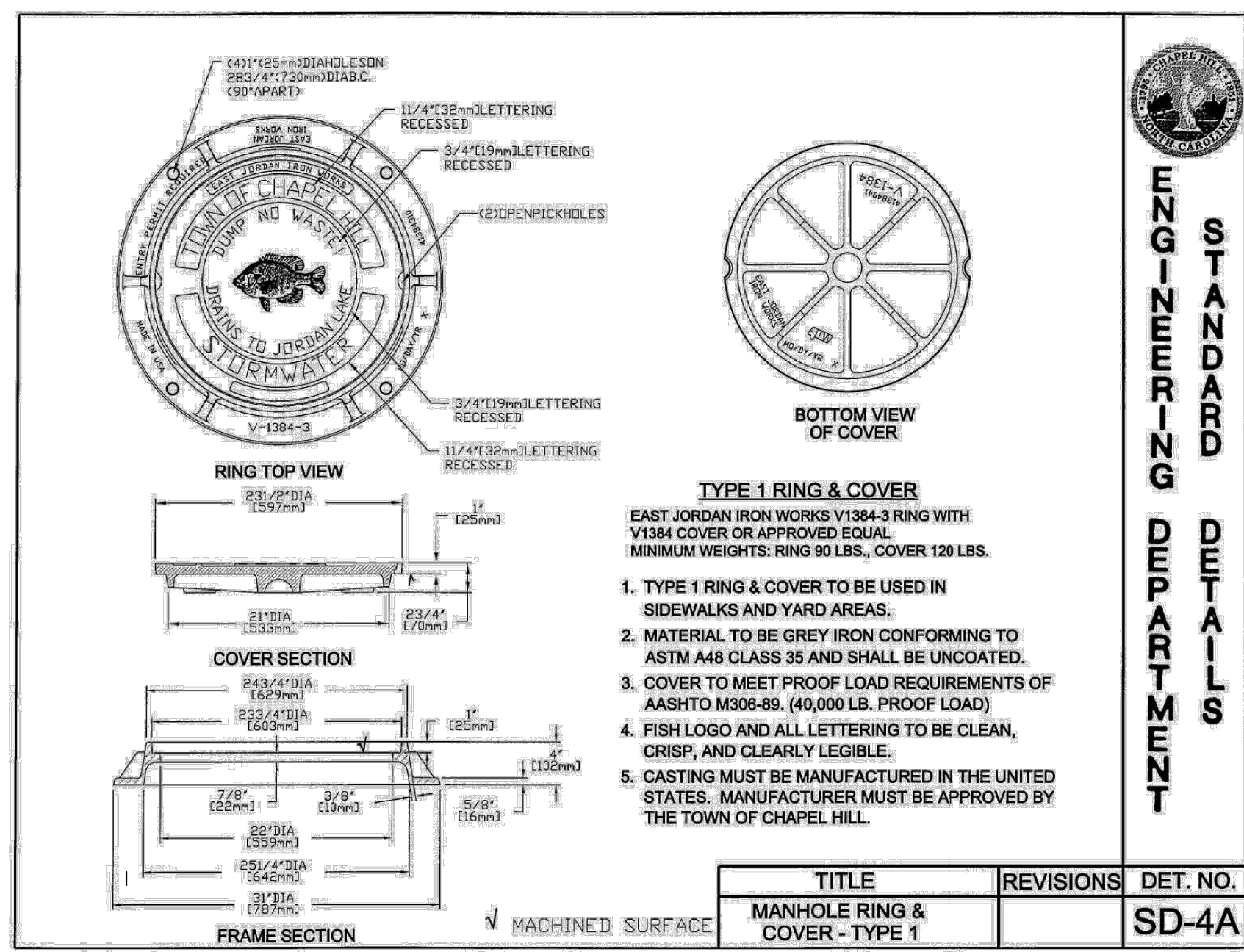


**STANDARD ENGINEERING DEPARTMENT**

**TYPE 2 RING & COVER**  
EAST JORDAN IRON WORKS V1844 RING WITH V1834 COVER OR APPROVED EQUAL. MINIMUM WEIGHTS: RING 100 LBS., COVER 120 LBS.

- TYPE 2 RING & COVER TO BE USED IN STREETS.
- MATERIAL TO BE GREY IRON CONFORMING TO ASTM A48 CLASS 35 AND SHALL BE UNCOATED.
- COVER TO MEET PROOF LOAD REQUIREMENTS OF AASHTO M306-85 (40,000 LB. PROOF LOAD).
- FISH LOGO AND ALL LETTERING TO BE CLEAN, CRISP, AND CLEARLY LEGIBLE.
- CASTING MUST BE MANUFACTURED IN THE UNITED STATES. MANUFACTURER MUST BE APPROVED BY THE TOWN OF CHAPEL HILL.

TITLE	REVISIONS	DET. NO.
MANHOLE RING & COVER - TYPE 2		SD-4B

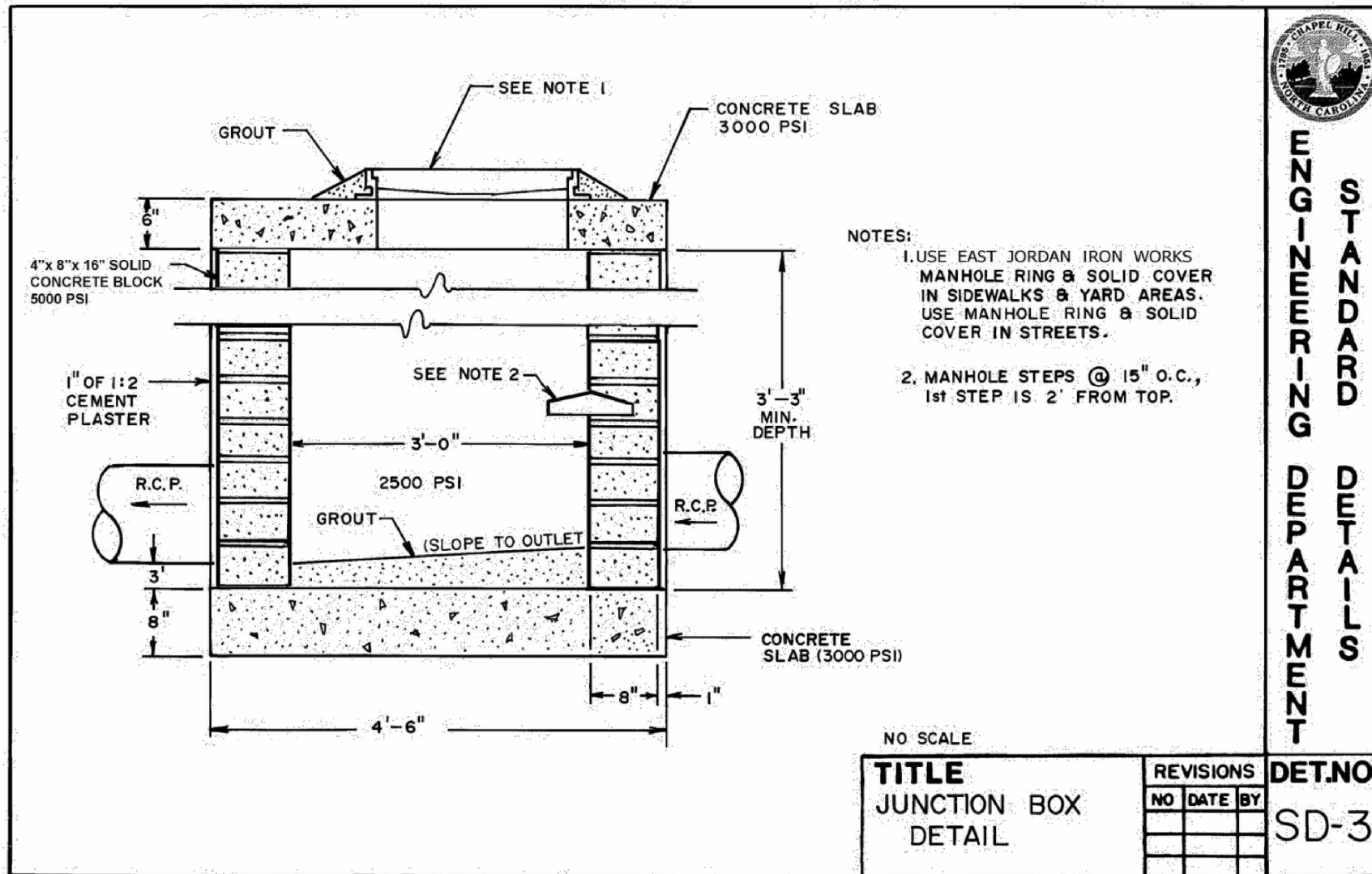


**STANDARD ENGINEERING DEPARTMENT**

**TYPE 1 RING & COVER**  
EAST JORDAN IRON WORKS V1844 RING WITH V1834 COVER OR APPROVED EQUAL. MINIMUM WEIGHTS: RING 100 LBS., COVER 120 LBS.

- TYPE 1 RING & COVER TO BE USED IN SIDEWALKS AND YARD AREAS.
- MATERIAL TO BE GREY IRON CONFORMING TO ASTM A48 CLASS 35 AND SHALL BE UNCOATED.
- COVER TO MEET PROOF LOAD REQUIREMENTS OF AASHTO M306-85 (40,000 LB. PROOF LOAD).
- FISH LOGO AND ALL LETTERING TO BE CLEAN, CRISP, AND CLEARLY LEGIBLE.
- CASTING MUST BE MANUFACTURED IN THE UNITED STATES. MANUFACTURER MUST BE APPROVED BY THE TOWN OF CHAPEL HILL.

TITLE	REVISIONS	DET. NO.
MANHOLE RING & COVER - TYPE 1		SD-4A

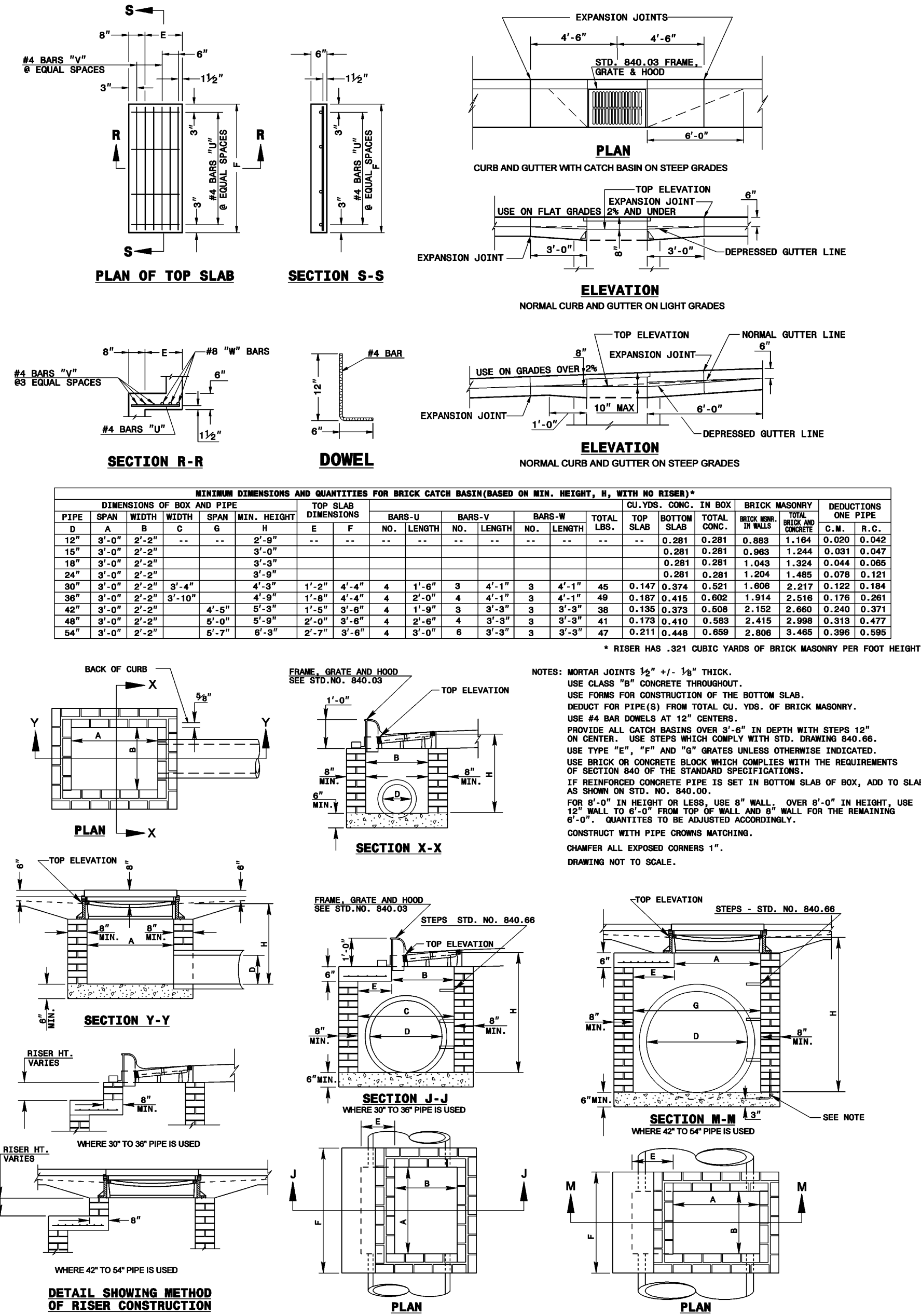
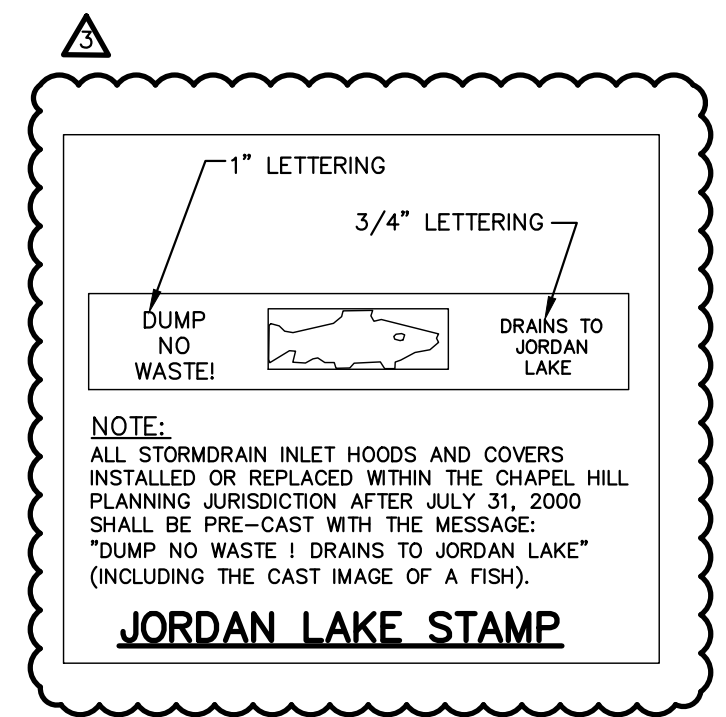


**STANDARD ENGINEERING DEPARTMENT**

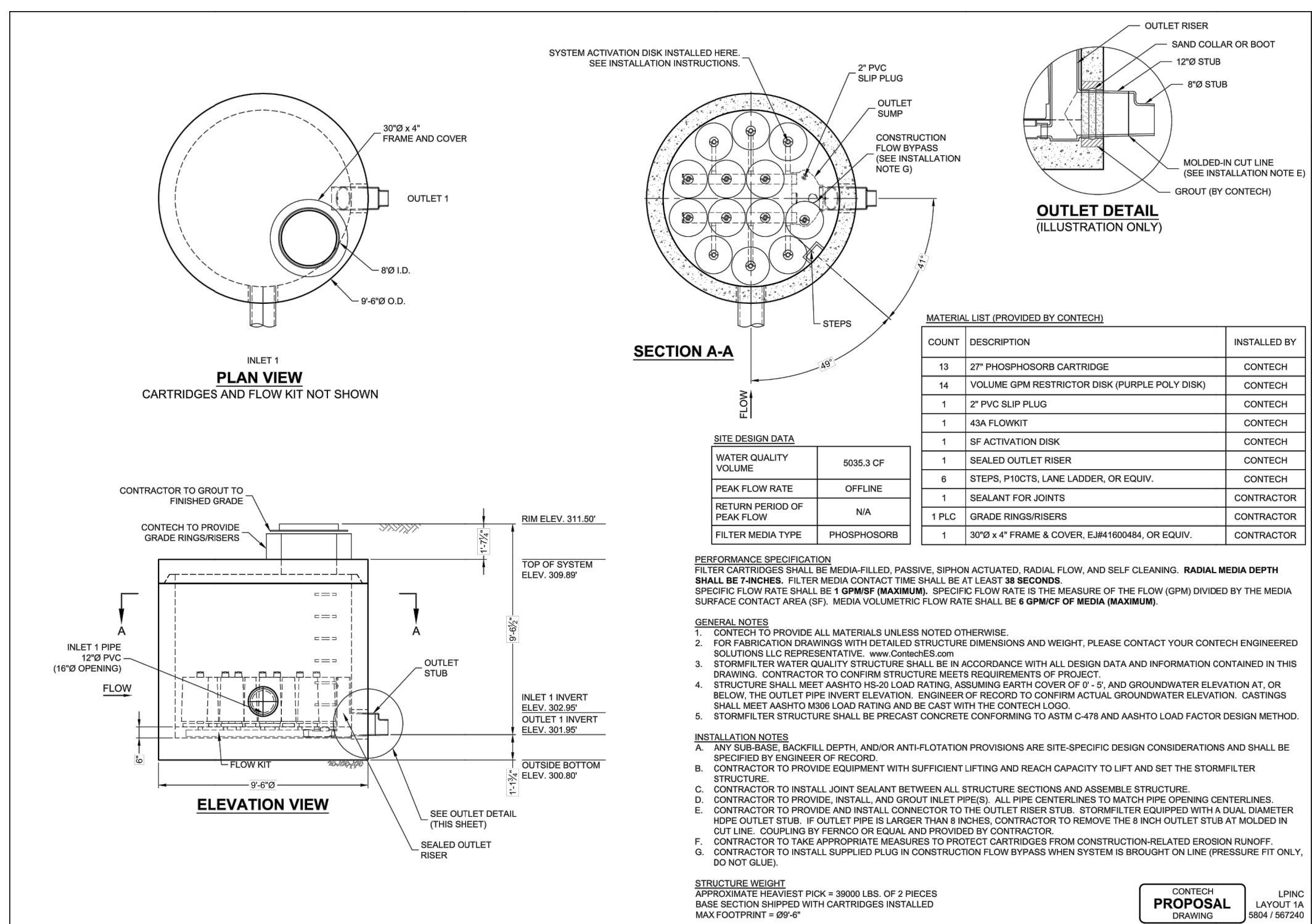
**JUNCTION BOX DETAIL**

NOTES:  
1. USE EAST JORDAN IRON WORKS MANHOLE RING & SOLID COVER IN SIDEWALKS & YARD AREAS. USE MANHOLE RING & SOLID COVER IN STREETS.  
2. MANHOLE STEPS @ 15\"/>

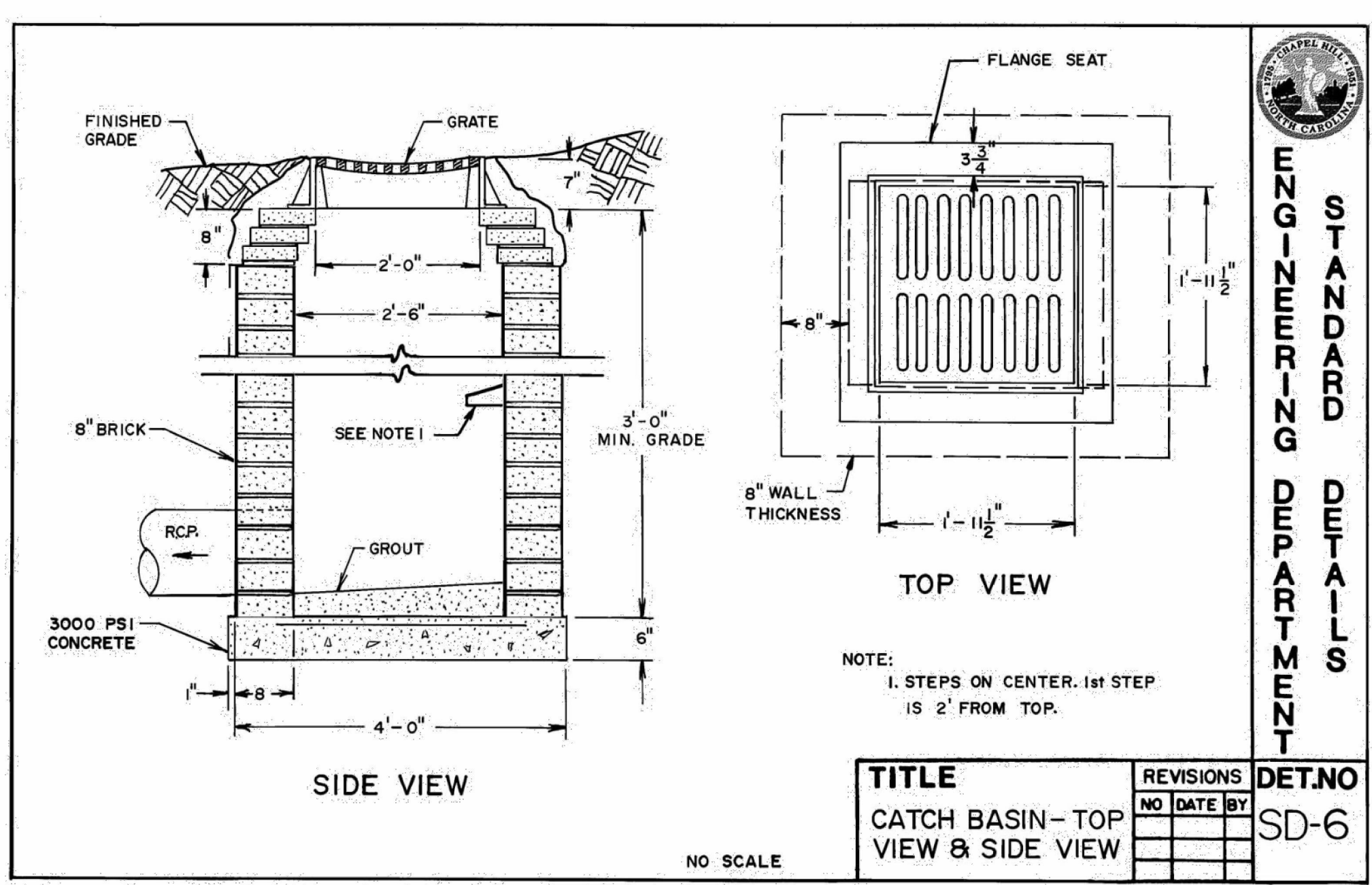
TITLE	REVISIONS	DET. NO.
JUNCTION BOX DETAIL		SD-3



**C2 CATCH BASIN**  
C5201 SCALE: N.T.S.



**A3 96\"/>**



**A2 DROP INLET**  
C5201 SCALE: N.T.S.

**STORM DRAINAGE DETAILS - PHASE 1**

REVIEW DRAWING NOT FOR CONSTRUCTION

**BALLENTINE ASSOCIATES, P.A.**  
225 PROVIDENCE ROAD, CHAPEL HILL, N.C. 27514  
(919) 489-4788

REGISTERED PROFESSIONAL ENGINEER  
CORPORATE SEAL  
SOUTH CAROLINA  
LICENSE NO. 10000

REGISTERED PROFESSIONAL ENGINEER  
SEAL  
NORTH CAROLINA  
LICENSE NO. 10000

DATE: 16 APR 21, 19 MAY 21, 11 JUN 21

REVISIONS: PER DACP REVIEW COMMENTS, PER DACP REVIEW COMMENTS, PER DACP REVIEW COMMENTS

OWNER INFORMATION: DRUBB PROPERTIES, 117 EDENBURGH SOUTH DRIVE, SUITE 110, CARY, NC 27511

ISSUED: DACP SUBMITTAL #1, DACP SUBMITTAL #2, DACP SUBMITTAL #3, DACP SUBMITTAL #A

DATE: 11 FEB 21, 12 FEB 21, 15 APR 21, 19 MAY 21, 11 JUN 21

OWNER REPRESENTATIVE: JOE DYE, (919) 388-5774, FAX (919) 000-0000

JOB #: 107013.91

DATE: 12 FEB 21

SCALE: AS NOTED

DRAWN BY: D.W.S.

REVIEWED BY: G.J.R.

SHEET

**C5201**

LINK APARTMENTS CALYX GLEN LENOX - BLOCK 9A

CHAPEL HILL, NC

DACP DRAWINGS

STANDARD ENGINEERING DEPARTMENT

TITLE: CATCH BASIN - TOP VIEW & SIDE VIEW

NO SCALE

REVISIONS: NO DATE BY

DET. NO. SD-6