

5. Site Plan Set

INDEX:

C1.1 Cover / Title Sheet

C2.3 Existing Conditions & Demolition Plan

C2.4 Area Map

C3.1 Site Utility Plan

C4.1 Grading & Storm Drainage Plan

C4.2 Stormwater Management Plan

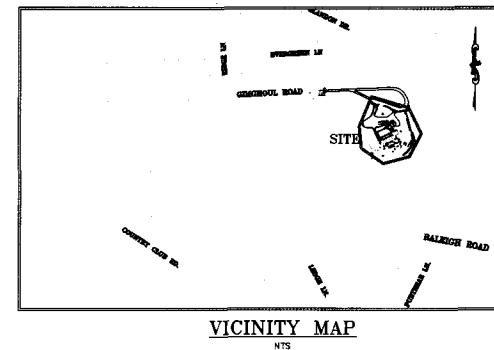
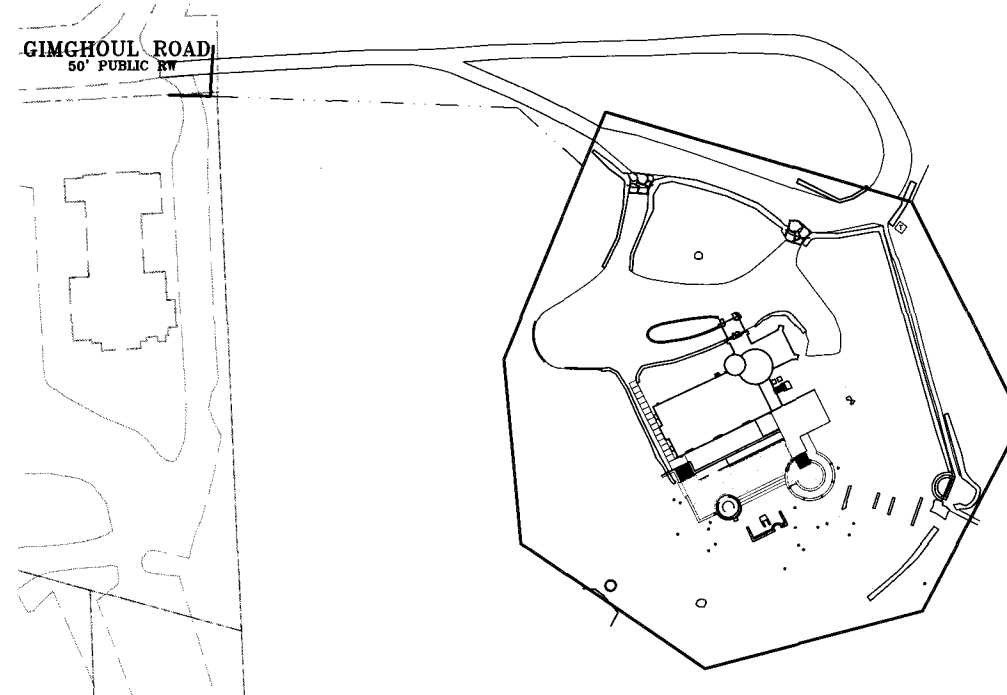
C5.1 Construction Management Plan

C5.2 Solid Waste Plan

C6.1 Utility Plan

C7.1 Erosion Control Plan

C8.1 Landscape Protection & Planting Plan



BUILDING RENOVATION & PATIO ADDITION TO GIMGHOUL CASTLE 742 GIMGHOUL RD CHAPEL HILL, NORTH CAROLINA

DRAWING INDEX:

C1.1	COVER SHEET
C2.1	SURVEY
C2.3	EXISTING CONDITIONS & DEMOLITION PLAN
C2.4	AREA MAP
C3.1	SITE LAYOUT PLAN
C4.1	GRADING & STORM DRAINAGE PLAN
C4.2	STORMWATER MANAGEMENT PLAN
C5.1	CONSTRUCTION MANAGEMENT PLAN
C6.1	UTILITY PLAN
C7.1	EROSION CONTROL PLAN
C8.1	LANDSCAPE PROTECTION & PLANTING PLAN

SITE DATA:

<p>OWNER: GIMGHOUL CORPORATION PO BOX 3670 CHAPEL HILL, NC 27515R</p> <p>APPLICANT: GIMGHOUL CORPORATION PO BOX 3670 CHAPEL HILL, NC 27515R</p> <p>PROJECT DESCRIPTION: BUILDING RENOVATION AND PATIO ADDITION</p> <p>EXISTING USE: PRIVATE CLUB</p> <p>PROPOSED USE: PRIVATE CLUB</p> <p>PIN: 9788-96-2785</p> <p>DEED REFERENCE: DB 851 PG 418</p> <p>PARCEL ACREAGE: 2.15 ACRES</p> <p>CURRENT ZONING: R-1</p> <p>PROPOSED ZONING: OI-1 CZD</p> <p>OVERLAY ZONING: GIMGHOUL HISTORIC DISTRICT (HD-3) JORDAN LAKE WATERSHED PROTECTION DISTRICT</p> <p>RESOURCE CONSERVATION DISTRICT SUMMARY (RCD) STREAM SIDE ZONE: 0 SF MANAGED USE ZONE: 0 SF UPLAND ZONE: 0 SF TOTAL RCD: 0 SF</p> <p>RIVER BASIN: CAPE FEAR RIVER BASIN (JORDAN LAKE)</p> <p>FLOODPLAIN: NO FLOOD ZONE PER MAP #3701809788 K</p> <p>SOILS: APPLING (AuC), WEDOWEE (WmE)</p> <p>ENVIRONMENTAL: NO STREAMS, WETLANDS, NOR RCD</p> <p>NO. OF LOTS: 1 LOT</p> <p>BUILDING SETBACKS REQUIRED: STREET: 24' INTERIOR: 9' SOLAR: 11'</p> <p>BUILDING SETBACKS PROVIDED: STREET: 365' INTERIOR: 97' SOLAR: 108'</p>	<p>MAXIMUM BUILDING HEIGHT: PRIMARY 29' SECONDARY 60'</p> <p>MINIMUM LOT SIZE REQUIRED: 10,000 SF</p> <p>MINIMUM LOT SIZE PROPOSED: 2.15 ACRES</p> <p>NET LAND AREA (NLA): 93,849 SF</p> <p>GROSS LAND AREA (GLA): 103,234 SF</p> <p>IMPERVIOUS AREA</p> <p>EXISTING: 24,007 SF (ACTUAL) NONE (ZONING)</p> <p>NEW: 3,700 SF</p> <p>IMPERVIOUS %: 3.58%</p> <p>LAND DISTURBANCE AREA: 17,750 SF</p> <p>PARKING SUMMARY NONE REQUIRED</p> <p>BUILDING SUMMARY EXISTING FLOOR AREA: 5,055 SF NEW FLOOR AREA: 1,200 SF TOTAL FLOOR AREA: 6,255 SF</p>	<p>LEGEND</p> <table border="0" style="width: 100%;"> <thead> <tr> <th></th> <th>NEW</th> <th>EXISTING</th> <th>REMOVE</th> </tr> </thead> <tbody> <tr> <td>DRAINAGE STRUCTURE</td> <td>■ □ △</td> <td>□ ○ □ △</td> <td>□ ○ □ △</td> </tr> <tr> <td>SANITARY SEWER MANHOLE</td> <td>⊙</td> <td>⊙</td> <td>⊙</td> </tr> <tr> <td>SANITARY SEWER CLEANOUT</td> <td>⊙ c.o.</td> <td>⊙ c.o.</td> <td>⊙ c.o.</td> </tr> <tr> <td>WATER VALVE</td> <td>⊙</td> <td>⊙</td> <td>⊙</td> </tr> <tr> <td>FIRE HYDRANT</td> <td>⊙</td> <td>⊙</td> <td>⊙</td> </tr> <tr> <td>OVERHEAD UTILITY LINE</td> <td>OH</td> <td>XOH</td> <td>OXOH</td> </tr> <tr> <td>UNDERGROUND ELECTRIC LINE</td> <td>E</td> <td>XE</td> <td>XE</td> </tr> <tr> <td>UNDERGROUND TELECOM/DATA LINE</td> <td>TD</td> <td>XTD</td> <td>XTD</td> </tr> <tr> <td>FIBER OPTIC CABLE</td> <td>FO</td> <td>XFO</td> <td>XFO</td> </tr> <tr> <td>GAS LINE</td> <td>G</td> <td>XG</td> <td>XG</td> </tr> <tr> <td>STORM DRAINAGE PIPE</td> <td>SD</td> <td>XSD</td> <td>XSD</td> </tr> <tr> <td>SANITARY SEWER LINE</td> <td>SS</td> <td>XSS</td> <td>XSS</td> </tr> <tr> <td>WATER LINE</td> <td>W</td> <td>XW</td> <td>XW</td> </tr> <tr> <td>SURFACE ELEVATION CONTOUR</td> <td>400</td> <td>400</td> <td>400</td> </tr> <tr> <td>SURFACE SPOT ELEVATION</td> <td>356.44</td> <td>356.44</td> <td>356.44</td> </tr> <tr> <td>TREE LINE</td> <td>~</td> <td>~</td> <td>~</td> </tr> <tr> <td>LIMIT OF DISTURBANCE/CLEARING</td> <td>LOD</td> <td>LOD</td> <td>LOD</td> </tr> <tr> <td>ROOF DRAIN</td> <td>RD</td> <td>RD</td> <td>RD</td> </tr> <tr> <td>ELECTRICAL TRANSFORMER PAD</td> <td>T</td> <td>T</td> <td>T</td> </tr> <tr> <td>TYPICAL KEYED NOTE LABEL</td> <td>1</td> <td>1</td> <td>1</td> </tr> </tbody> </table>		NEW	EXISTING	REMOVE	DRAINAGE STRUCTURE	■ □ △	□ ○ □ △	□ ○ □ △	SANITARY SEWER MANHOLE	⊙	⊙	⊙	SANITARY SEWER CLEANOUT	⊙ c.o.	⊙ c.o.	⊙ c.o.	WATER VALVE	⊙	⊙	⊙	FIRE HYDRANT	⊙	⊙	⊙	OVERHEAD UTILITY LINE	OH	XOH	OXOH	UNDERGROUND ELECTRIC LINE	E	XE	XE	UNDERGROUND TELECOM/DATA LINE	TD	XTD	XTD	FIBER OPTIC CABLE	FO	XFO	XFO	GAS LINE	G	XG	XG	STORM DRAINAGE PIPE	SD	XSD	XSD	SANITARY SEWER LINE	SS	XSS	XSS	WATER LINE	W	XW	XW	SURFACE ELEVATION CONTOUR	400	400	400	SURFACE SPOT ELEVATION	356.44	356.44	356.44	TREE LINE	~	~	~	LIMIT OF DISTURBANCE/CLEARING	LOD	LOD	LOD	ROOF DRAIN	RD	RD	RD	ELECTRICAL TRANSFORMER PAD	T	T	T	TYPICAL KEYED NOTE LABEL	1	1	1
	NEW	EXISTING	REMOVE																																																																																			
DRAINAGE STRUCTURE	■ □ △	□ ○ □ △	□ ○ □ △																																																																																			
SANITARY SEWER MANHOLE	⊙	⊙	⊙																																																																																			
SANITARY SEWER CLEANOUT	⊙ c.o.	⊙ c.o.	⊙ c.o.																																																																																			
WATER VALVE	⊙	⊙	⊙																																																																																			
FIRE HYDRANT	⊙	⊙	⊙																																																																																			
OVERHEAD UTILITY LINE	OH	XOH	OXOH																																																																																			
UNDERGROUND ELECTRIC LINE	E	XE	XE																																																																																			
UNDERGROUND TELECOM/DATA LINE	TD	XTD	XTD																																																																																			
FIBER OPTIC CABLE	FO	XFO	XFO																																																																																			
GAS LINE	G	XG	XG																																																																																			
STORM DRAINAGE PIPE	SD	XSD	XSD																																																																																			
SANITARY SEWER LINE	SS	XSS	XSS																																																																																			
WATER LINE	W	XW	XW																																																																																			
SURFACE ELEVATION CONTOUR	400	400	400																																																																																			
SURFACE SPOT ELEVATION	356.44	356.44	356.44																																																																																			
TREE LINE	~	~	~																																																																																			
LIMIT OF DISTURBANCE/CLEARING	LOD	LOD	LOD																																																																																			
ROOF DRAIN	RD	RD	RD																																																																																			
ELECTRICAL TRANSFORMER PAD	T	T	T																																																																																			
TYPICAL KEYED NOTE LABEL	1	1	1																																																																																			

civil consultants
 LAND PLANNERS & CIVIL ENGINEERS
 WWW.CIVIL-CONSULTANTS.COM
 2705 LUCKHAM PARKWAY • SUITE 201 • DURHAM, NC 27707
 919-480-0448 FROM
 Lic. 9C-1030

GIMGHOUL CASTLE
 CHAPEL HILL, NORTH CAROLINA
 COVER SHEET

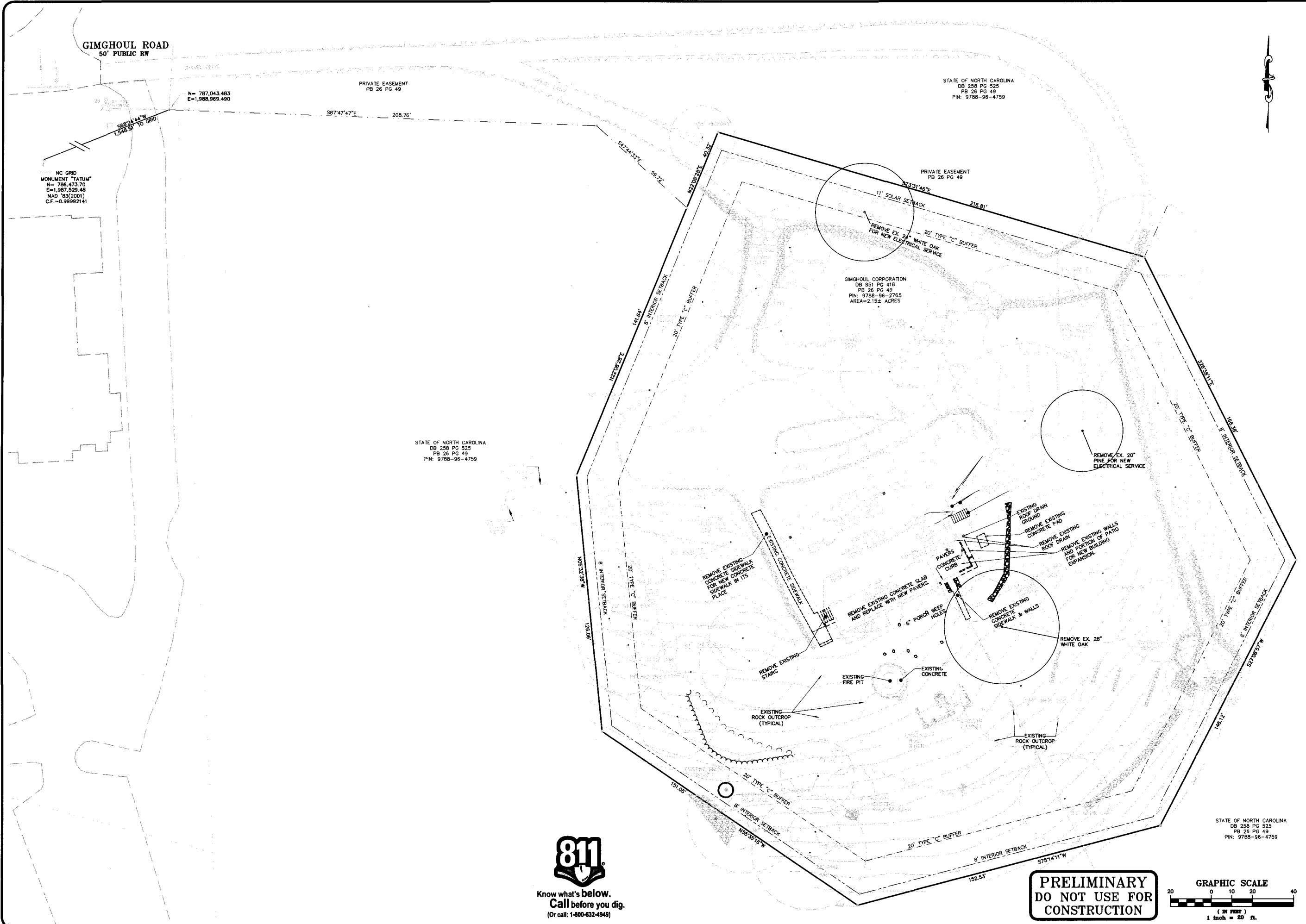
REV.	DATE	DESCRIPTION

DATE: FEBRUARY 4, 2021
 THIS DRAWING AND THE DESIGN HEREON ARE THE PROPERTY OF CIVIL CONSULTANTS, INC. THE INFORMATION ON THIS DRAWING IS NOT FOR USE ON ANY OTHER SITE OR PROJECT. THE REPRODUCTION OR OTHER USE OF THIS DRAWING IN WHOLE OR IN PART, WITHOUT THE WRITTEN CONSENT OF CIVIL CONSULTANTS, INC. IS PROHIBITED.
 COPYRIGHT 2021 CIVIL CONSULTANTS, INC.

SHEET NO.
C1.1

PRELIMINARY
 DO NOT USE FOR
 CONSTRUCTION

811
 Know what's below.
 Call before you dig.
(Or call: 1-800-632-4949)



NC GRID
MONUMENT "TATUM"
N= 786,473.70
E=1,987,529.48
MAD "83"(300)
C.F.=0.99992141

N= 787,043.483
E=1,988,969.490

PRIVATE EASEMENT
PB 26 PG 49

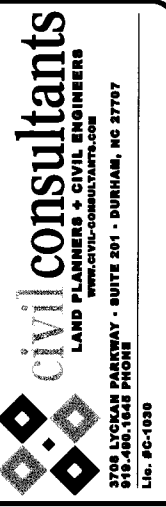
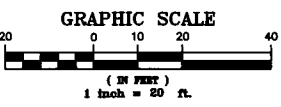
STATE OF NORTH CAROLINA
DB 258 PG 525
PB 26 PG 49
PIN: 9788-96-4759

STATE OF NORTH CAROLINA
DB 258 PG 525
PB 26 PG 49
PIN: 9788-96-4759

GIMGHOUL CORPORATION
DB 851 PG 418
PB 26 PG 49
PIN: 9788-96-2755
AREA=2.15± ACRES

811
Know what's below.
Call before you dig.
(Or call: 1-800-632-4949)

**PRELIMINARY
DO NOT USE FOR
CONSTRUCTION**



CIV consultants
LAND PLANNERS & CIVIL ENGINEERS
WWW.CIVCONSULTANTS.COM
3705 LUCKY PARKWAY - SUITE 201 - DURHAM, NC 27707
919-480-1648 PHONE
LIC. 86-1030

**GIMGHOUL
CASTLE
CHAPEL HILL, NORTH CAROLINA
EXISTING CONDITIONS &
DEMOLITION PLAN**

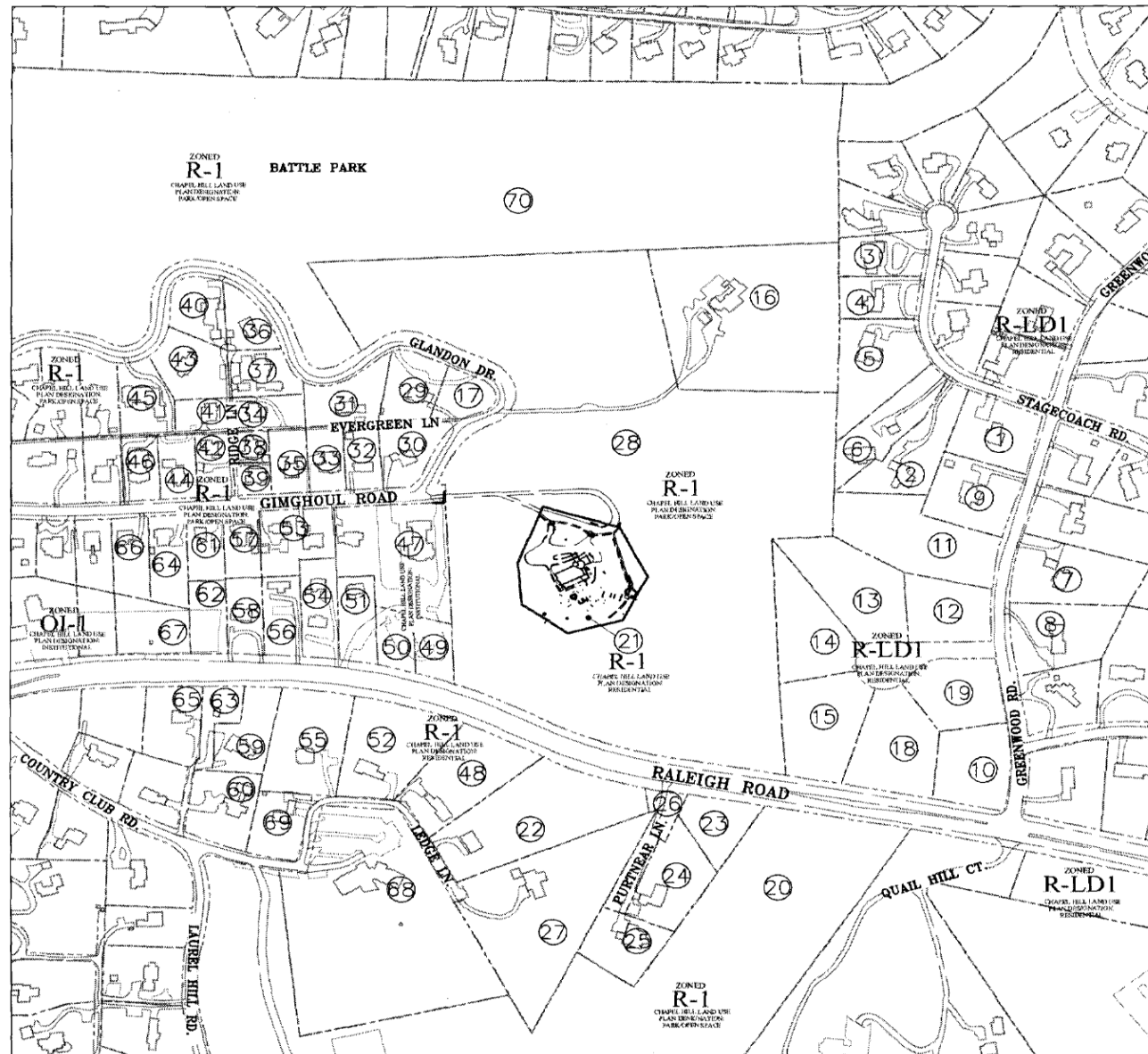
REV.	DATE	DESCRIPTION

DATE: FEBRUARY 4, 2021

THIS DRAWING AND THE DESIGN HEREON ARE THE PROPERTY OF CIVIL CONSULTANTS, INC. THE INFORMATION ON THIS DRAWING IS NOT FOR USE ON ANY OTHER SITE OR PROJECT. THE REPRODUCTION OR OTHER USE OF THIS DRAWING IN WHOLE OR IN PART, WITHOUT THE WRITTEN CONSENT OF CIVIL CONSULTANTS, INC. IS PROHIBITED.

COPYRIGHT 2021 CIVIL CONSULTANTS, INC.

SHEET NO.
C2.3



OWNER
 GIMGHOUL CORPORATION
 PO BOX 3870
 CHAPEL HILL, NC 27515

ZONING LEGEND
 R-1 RESIDENTIAL 1, 3 UNITS /ACRE
 R-LD1 RESIDENTIAL-LOW DENSITY, 1 UNIT/ACRE
 OI-1 OFFICE & INSTITUTIONAL 1

OVERLAY DISTRICTS
 HD-3 (HISTORIC DISTRICT) GRIMGOUL
 CD-2 (NEIGHBORHOOD CONSERVATION) GREENWOOD

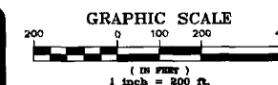
LEGEND
 SUBJECT PROPERTY
 1,000 FOOT NOTIFICATION BOUNDARY
 ZONING DISTRICTS
 OVERLAY DISTRICTS
 CHAPEL HILL LAND USE PLAN DESIGNATION: INSTITUTIONAL

NOTES:
 1. THERE IS AN UNPAVED GREENWAY ON THE PROPERTY THAT SURROUNDS THE SUBJECT PROPERTY. BATTLE PARK IS LOCATED WITHIN THE 1,000 FOOT NOTIFICATION OF THE SUBJECT PROPERTY.
 2. THERE ARE NO BICYCLE LANES WITHIN 1,000 FEET OF THE SUBJECT PROPERTY.
 3. THIS PROPERTY AND ALL PROPERTY WITHIN 1,000 FEET OF THE PROPERTY ARE WITHIN THE TOWN OF CHAPEL HILL, NC CORPORATE LIMITS.



Know what's below.
 Call before you dig.
 (Or call: 1-800-632-4848)

**PRELIMINARY
 DO NOT USE FOR
 CONSTRUCTION**



civil consultants
 LAND PLANNERS + CIVIL ENGINEERS
 www.civil-consultants.com
 2700 LYNNWAY PARKWAY • SUITE 201 • DURHAM, NC 27707
 919-487-1000 PHONE
 919-487-1008 FAX

**GIMGHOUL
 CASTLE
 CHAPEL HILL, NORTH CAROLINA
 AREA
 MAP**

REV.	DATE	DESCRIPTION
1	11/18/2020	PROGRESS MODIFICATIONS

DATE: FEBRUARY 4, 2021

THIS DRAWING AND THE DESIGN HEREON ARE THE PROPERTY OF CIVIL CONSULTANTS, INC. AND THE INFORMATION ON THIS DRAWING IS NOT TO BE USED OR REPRODUCED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF CIVIL CONSULTANTS, INC. WITHOUT PERMISSION IS PROHIBITED.

COPYRIGHT © 2021 CIVIL CONSULTANTS, INC.

SHEET NO.
C2.4

GIMGHOUL ROAD
50' PUBLIC RW

N= 767,043.483
E=1,988,969.490

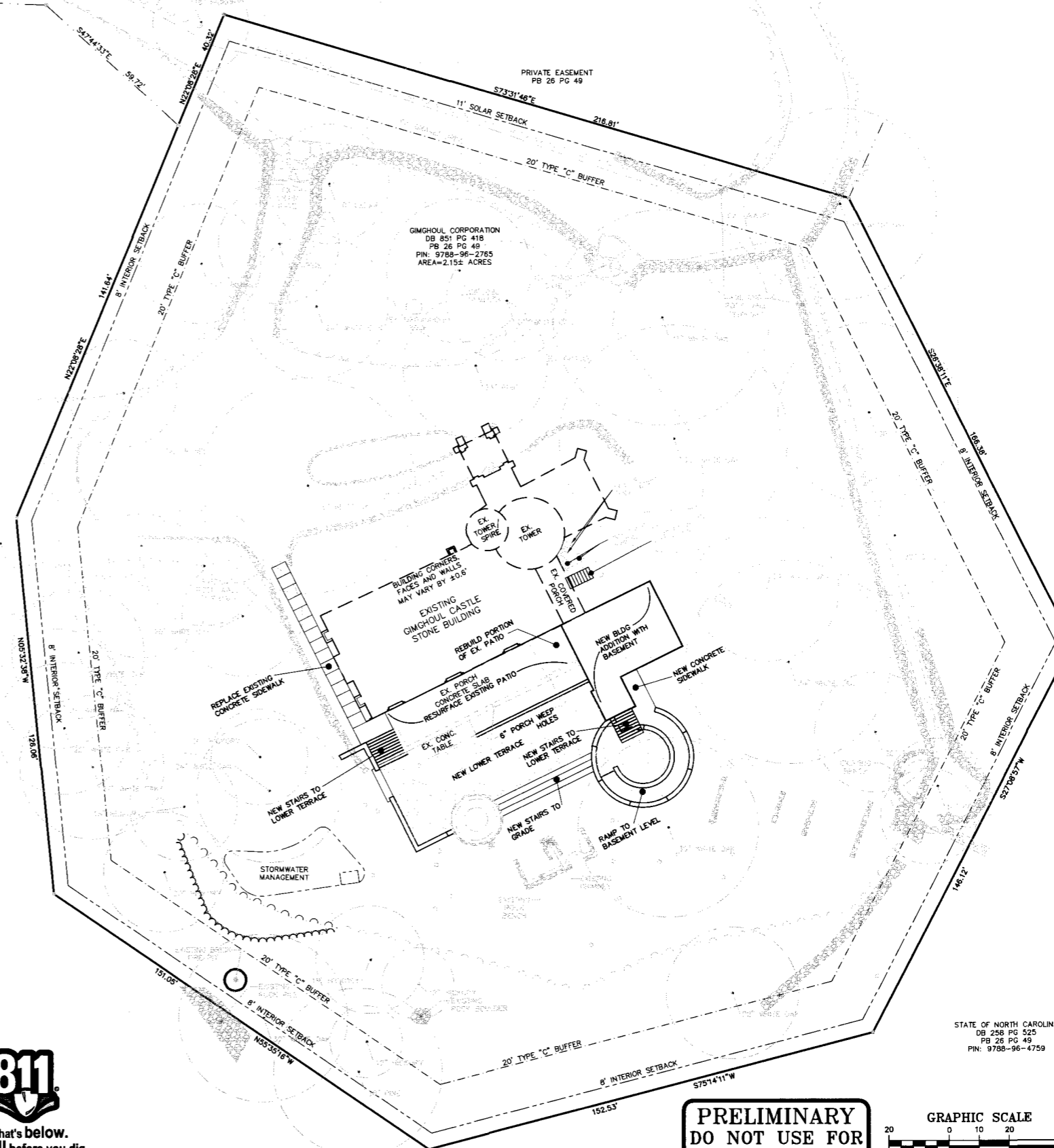
PRIVATE EASEMENT
PB 26 PG 49

STATE OF NORTH CAROLINA
DB 258 PG 525
PB 26 PG 49
PIN: 9788-96-4759

NC GRID
MONUMENT "TATUM"
N= 786,473.70
E=1,987,529.48
NAD 83(2011)
C.F.=0.99992141

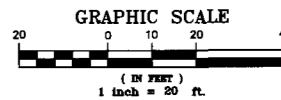
STATE OF NORTH CAROLINA
DB 258 PG 525
PB 26 PG 49
PIN: 9788-96-4759

GIMGHOUL CORPORATION
DB 851 PG 418
PB 26 PG 49
PIN: 9788-96-2765
AREA=2.15± ACRES



Know what's below.
Call before you dig.
(Or call: 1-800-632-4848)

PRELIMINARY
DO NOT USE FOR
CONSTRUCTION



STATE OF NORTH CAROLINA
DB 258 PG 525
PB 26 PG 49
PIN: 9788-96-4759

GIMGHOUL CASTLE
CHAPEL HILL, NORTH CAROLINA
SITE LAYOUT PLAN

REV.	DATE	DESCRIPTION

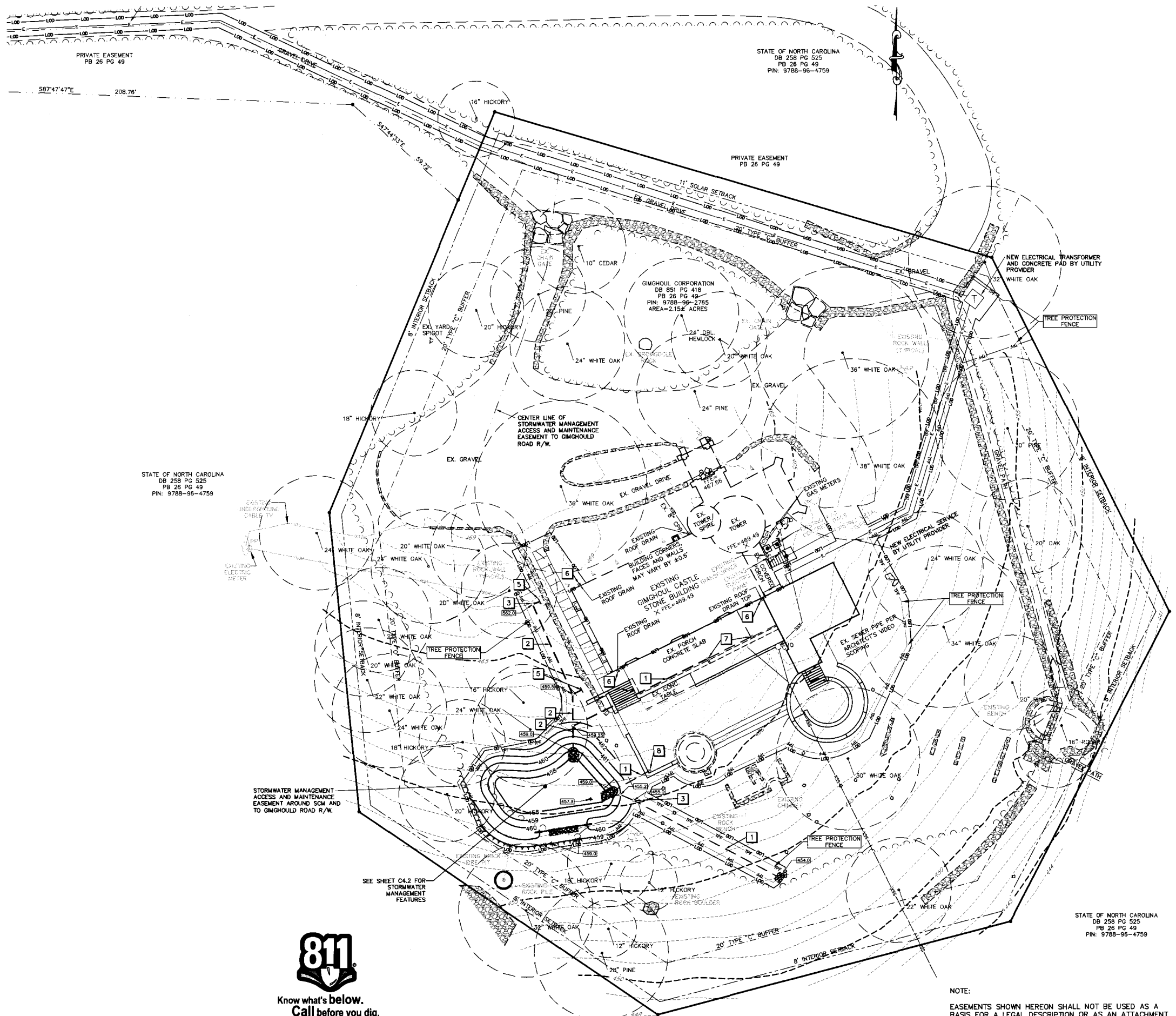
DATE: FEBRUARY 4, 2021

THIS DRAWING AND THE DESIGN HEREON ARE THE PROPERTY OF CIVIL CONSULTANTS, INC. THE INFORMATION ON THIS DRAWING IS NOT FOR USE ON ANY OTHER SITE OR PROJECT. THE REPRODUCTION OR OTHER USE OF THIS DRAWING IN WHOLE OR IN PART, WITHOUT THE WRITTEN CONSENT OF CIVIL CONSULTANTS, INC. IS PROHIBITED.

COPYRIGHT 2021 CIVIL CONSULTANTS, INC.

SHEET NO.
C3.1

Z:\Shared Folders\Projects\Corona\26011\DWG\26011.dwg, C3.1 SITE LAYOUT, 2/3/2021 11:05:14 AM



KEY KEYED NOTES - GRADING & STORM DRAINAGE PLAN

- 1 NEW 4" DIAMETER ROOF DRAINAGE PIPE AT 1% MINIMUM SLOPE.
- 2 NEW 6" DIAMETER ROOF DRAINAGE PIPE AT 1% MINIMUM SLOPE.
- 3 ADD CLEANOUT ASSEMBLY TO ROOF DRAIN, SIMILAR TO SANITARY SEWER CLEANOUT DETAIL.
- 4 SEE ARCHITECTURAL DRAWINGS FOR FINISHED ELEVATIONS FOR TERRACE, STEPS, AND SIDEWALK.
- 5 MAKE WATER/TIGHT CONNECTIONS TO ROOF DRAIN STUBOUTS FROM ARCHITECTURAL DRAWINGS.
- 6 EXISTING DOWNSPOUT TO DRAIN TO FILTERRA DEVICE. SEE ARCHITECTURAL DRAWINGS. FOR ANY EXISTING ROOF DRAIN PIPING INDICATED TO REMAIN IN SERVICE, CONDUCT VISUAL EXAMINATION OF PIPE WITH FLOWING WATER TO VERIFY FUNCTIONALITY. RESOLVE ANY DEFICIENCIES FOUND TO THE ARCHITECT'S SATISFACTION.
- 7 INSTALL NEW CATCH BASINS AT LOW POINTS IN EXISTING PORCH. BASINS SHALL BE 9' X 9' THERMOPLASTIC UNITS WITH SQUARE "ATRIUM" GRATE BY NDS, OR EQUIVALENT. INSTALL UNIT TO PROVIDE POSITIVE DRAINAGE FROM THE PORCH.
- 8 MILDLY SLOPE THE WESTERN PORTION OF THE NEW LOWER TERRACE SURFACE TO DRAIN TO A NEW CATCH BASIN AT THE LOW POINT IN THE CORNER. BASINS SHALL BE 9' X 9' THERMOPLASTIC UNITS WITH SQUARE "ATRIUM" GRATE BY NDS, OR EQUIVALENT. INSTALL UNIT TO PROVIDE POSITIVE DRAINAGE FROM THE NEW LOWER TERRACE. SEE ARCHITECTURAL DRAWINGS OF TERRACE AND CANOPY FOR DETAIL.
- 9
- 10

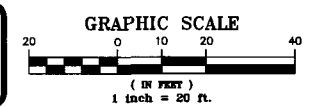
IMPERVIOUS SURFACE:

EXISTING: NONE*
 PROPOSED: 3,700 SF
 *PER ZONING. ACTUAL = 24,007 SF

NOTES

1. NO STEEP SLOPE AREAS ARE PRESENT ON THIS PROPERTY.
2. SEE SHEET C2.2 FOR MORE DETAIL ABOUT EXISTING TOPOGRAPHIC CONDITIONS.
3. SEE SHEET C4.2 FOR STORMWATER MANAGEMENT PLAN AND DETAILS.
4. SOILS ON THE SITE ARE AuC AND WmE.

**PRELIMINARY
DO NOT USE FOR
CONSTRUCTION**



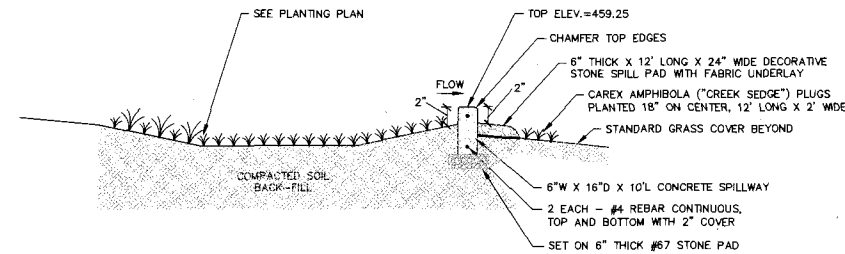
**GIMGHOUL
CASTLE
CHAPEL HILL, NORTH CAROLINA
GRADING & STORM
DRAINAGE PLAN**

REV.	DATE	DESCRIPTION

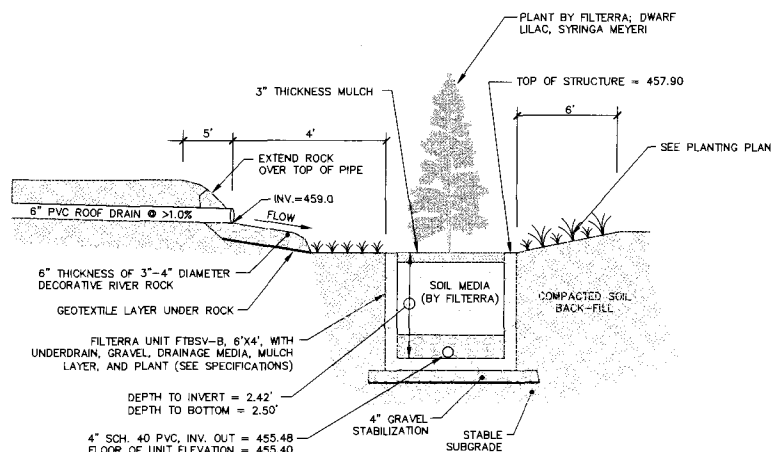
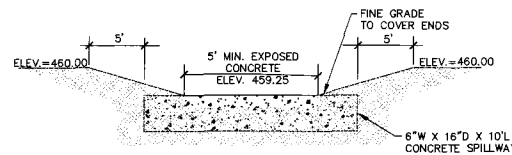
DATE: FEBRUARY 4, 2021
 THIS DRAWING AND THE DESIGN HEREON ARE THE PROPERTY OF CIVIL CONSULTANTS AND THE INFORMATION ON THIS DRAWING IS NOT FOR USE ON ANY OTHER SITE OR PROJECT. THE REPRODUCTION OR OTHER USE OF THIS DRAWING IN WHOLE OR IN PART, WITHOUT WRITTEN CONSENT OF CIVIL CONSULTANTS, INC. IS PROHIBITED.
 COPYRIGHT 2021 CIVIL CONSULTANTS, INC.

SHEET NO.
C4.1

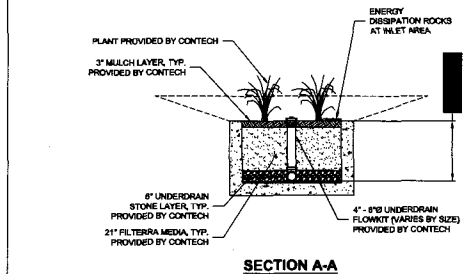
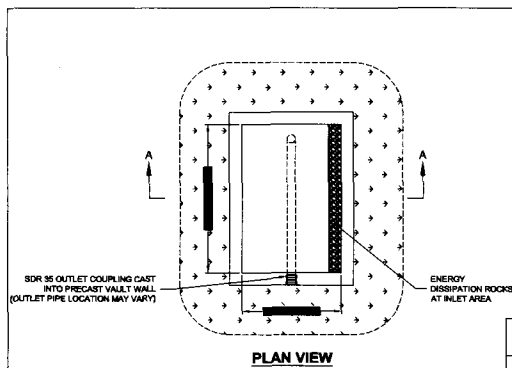




STORMWATER MANAGEMENT SECTION A-A



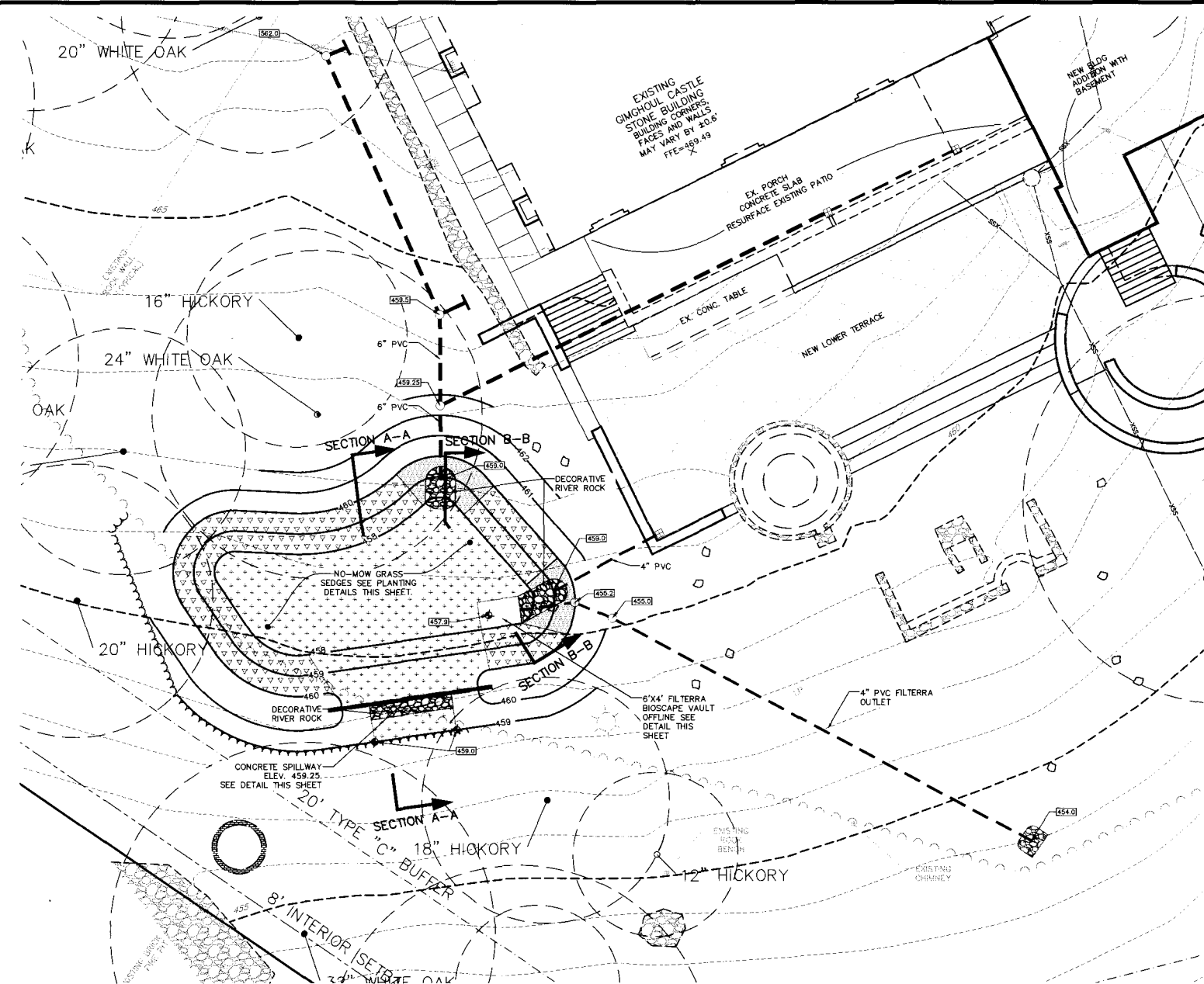
STORMWATER MANAGEMENT SECTION B-B



FTBSV-B CONFIGURATION				
DESIGNATION	AVAILABILITY	MEDIA BAY SIZE	VAULT SIZE (L x W)	OUTLET PIPE
FTBSV0404-B	ALL	4 x 4	4 x 4	4" SDR 35
FTBSV0604-B	N/A CA	6 x 4	6 x 4	4" SDR 35
FTBSV0606-B	ALL	6 x 6	6 x 6	4" SDR 35
FTBSV0604-8	CA ONLY	6.5 x 4	6.5 x 4	4" SDR 35
FTBSV07804-8	MID-ATL ONLY	7.83 x 4.5	7.83 x 4.5	4" SDR 36
FTBSV0804-B	N/A MID-ATL	8 x 4	8 x 4	4" SDR 36
FTBSV0806-B	ALL	8 x 6	8 x 6	4" SDR 35
FTBSV1006-B	ALL	10 x 6	10 x 6	6" SDR 35
FTBSV1206-B	ALL	12 x 6	12 x 6	6" SDR 35
FTBSV1307-8	ALL	13 x 7	13 x 7	6" SDR 35
FTBSV1408-B	CALL CONTECH	14 x 8	14 x 8	6" SDR 35
FTBSV1808-B	CALL CONTECH	18 x 8	18 x 8	6" SDR 35
FTBSV1808-8	CALL CONTECH	18 x 8	18 x 8	6" SDR 36
FTBSV2008-B	CALL CONTECH	20 x 8	20 x 8	6" SDR 35
FTBSV2208-B	CALL CONTECH	22 x 8	22 x 8	6" SDR 35

N/A = NOT AVAILABLE

FILTERRA BIOSCAPE VAULT OFFLINE - BASIN (FTBSV-B) CONFIGURATION DETAIL



SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	AREA (SF)	EST. QUANTITY
[Symbol]	CAREX AMPHIBOLA	CREEK SEDGE	PLUG	18" O.C.	800	360
[Symbol]	PHLOX DIVARICATE	WOODLAND PHLOX	QUART	18" O.C.	90	46
[Symbol]	POLYSTICHUM ACROSTICHOIDES	CHRISTMAS FERN	BARE ROOT	18" O.C. x 18"	520	130
[Symbol]	CAREX AMPHIBOLA	CREEK SEDGE	PLUG	18" O.C. x 18"	520	130

*CHRISTMAS FERN AND CREEK SEDGE IN THE AREA HATCHED ALONG THE SLOPES TO BE PLACED IN AN ALTERNATING ARRANGEMENT WITH 18" SPACING ON CENTER WITH A 50/50 MIX OF EACH SPECIES.

PLANTING NOTES:

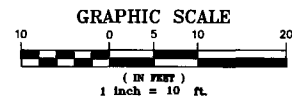
- ALL PLANT SUBSTITUTIONS MUST BE APPROVED BY ENGINEER.
- PLACE PLANTINGS IN A STAGGERED PATTERN WITH THE INDICATED SPACINGS
- BREAK APART ROOT MASSES PRIOR TO PLANTING QUART PLANTINGS.
- WITHIN THE PLANTING SOIL AREA, DO NOT EXCAVATE AN OVERSIZED HOLE FOR PLANTINGS, BUT REMOVE OR DISPLACE ONLY ENOUGH SOIL FOR THE ROOT BALL OR ROOT MASS. INSERT ROOT INTO THE PLANTING MIX AND FIRMLY PRESS SURROUNDING SOIL AGAINST IT FOR SUPPORT.
- PROVIDE A ONE-YEAR WARRANTY TO OWNER FOR ALL PLANT MATERIALS.

NOTE:
EASEMENTS SHOWN HEREON SHALL NOT BE USED AS A BASIS FOR A LEGAL DESCRIPTION OR AS AN ATTACHMENT TO A DEED OF EASEMENT.



Know what's below.
Call before you dig.
(Or call: 1-800-632-4849)

**PRELIMINARY
DO NOT USE FOR
CONSTRUCTION**



civ consultants
LAND PLANNERS + CIVIL ENGINEERS
WWW.CIVIL-CONSULTANTS.COM
3708 LYCEUM PARKWAY • SUITE 201 • DURHAM, NC 27707
919.486.1648 PHONE
Lic. #C-1033

**GIMGHOUL
CASTLE
CASTLE HILL, NORTH CAROLINA
STORMWATER MANAGEMENT
PLAN AND DETAILS**

REV.	DATE	DESCRIPTION

DATE: FEBRUARY 4, 2021

THIS DRAWING AND THE DESIGN HEREON ARE THE PROPERTY OF CIVIL CONSULTANTS, INC. THE INFORMATION ON THIS DRAWING IS NOT FOR USE ON ANY OTHER SITE OR PROJECT. THE REPRODUCTION OR OTHER USE OF THIS DRAWING IN WHOLE OR IN PART, WITHOUT WRITTEN CONSENT OF CIVIL CONSULTANTS, INC. IS PROHIBITED.

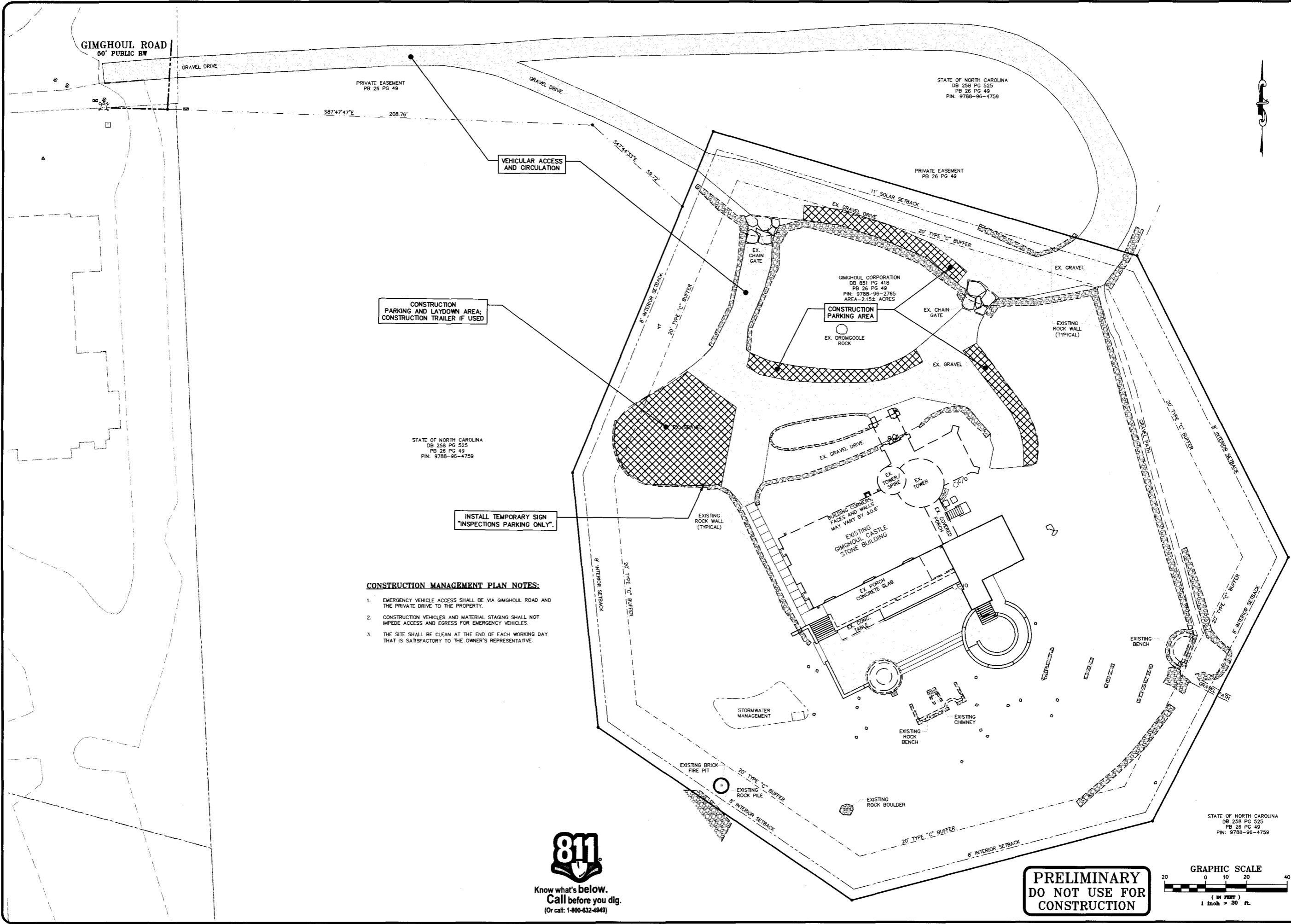
COPYRIGHT 2021 CIVIL CONSULTANTS, INC.

SHEET NO.
C4.2

**GIMGHOUL CASTLE
 CHAPEL HILL, NORTH CAROLINA
 CONSTRUCTION MANAGEMENT
 PLAN**

REV.	DATE	DESCRIPTION

DATE: FEBRUARY 4, 2021
THIS DRAWING AND THE DESIGN HEREON ARE THE PROPERTY OF CIVIL CONSULTANTS, INC. THE INFORMATION ON THIS DRAWING IS NOT FOR USE ON ANY OTHER SITE OR PROJECT. THE REPRODUCTION OR OTHER USE OF THIS DRAWING IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF CIVIL CONSULTANTS, INC. IS PROHIBITED.
 COPYRIGHT 2021 CIVIL CONSULTANTS, INC.



CONSTRUCTION PARKING AND LAYDOWN AREA: CONSTRUCTION TRAILER IF USED

INSTALL TEMPORARY SIGN "INSPECTIONS PARKING ONLY".

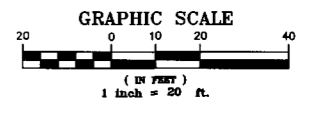
CONSTRUCTION MANAGEMENT PLAN NOTES:

- EMERGENCY VEHICLE ACCESS SHALL BE VIA GIMGHOUL ROAD AND THE PRIVATE DRIVE TO THE PROPERTY.
- CONSTRUCTION VEHICLES AND MATERIAL STAGING SHALL NOT IMPEDE ACCESS AND EGRESS FOR EMERGENCY VEHICLES.
- THE SITE SHALL BE CLEAN AT THE END OF EACH WORKING DAY THAT IS SATISFACTORY TO THE OWNER'S REPRESENTATIVE.

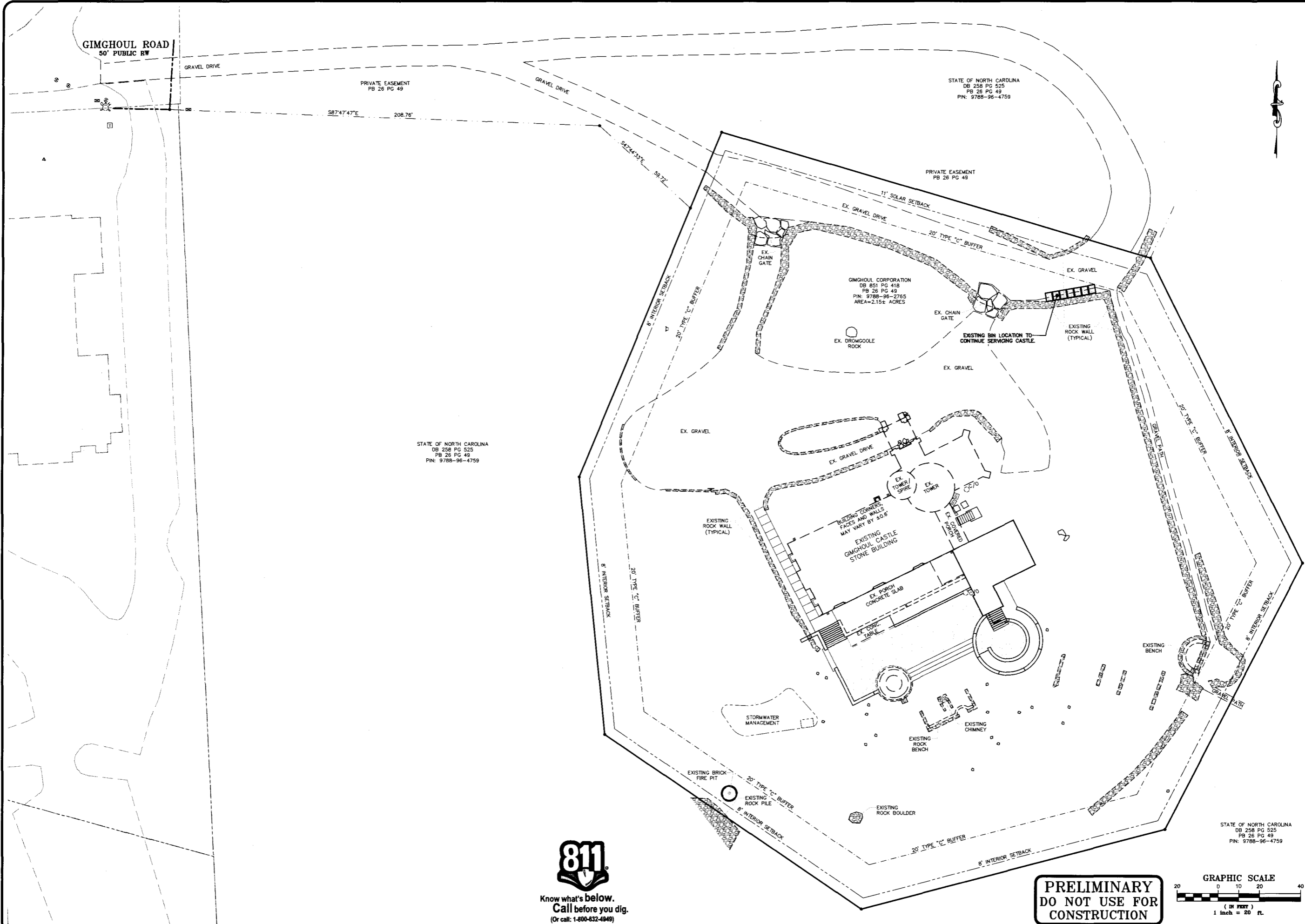


Know what's below.
 Call before you dig.
 (Or call: 1-800-632-4949)

**PRELIMINARY
 DO NOT USE FOR
 CONSTRUCTION**



Z:\Shared Folders\Projects\Corona\26011\DWG\26011.dwg, CS.1 Const Management Plan, 2/1/2021 11:04:32 AM



GIMGHOUL ROAD
50' PUBLIC RW

PRIVATE EASEMENT
PB 26 PG 49

STATE OF NORTH CAROLINA
DB 258 PG 525
PB 26 PG 49
PIN: 9788-96-4759

STATE OF NORTH CAROLINA
DB 258 PG 525
PB 26 PG 49
PIN: 9788-96-4759

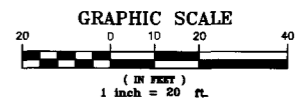
GIMGHOUL CORPORATION
DB 851 PG 418
PB 26 PG 49
PIN: 9788-96-2765
AREA=2.15± ACRES

STATE OF NORTH CAROLINA
DB 258 PG 525
PB 26 PG 49
PIN: 9788-96-4759



Know what's below.
Call before you dig.
(Or call: 1-800-832-4849)

PRELIMINARY
DO NOT USE FOR
CONSTRUCTION



civil consultants
LAND PLANNERS + CIVIL ENGINEERS
www.civilconsultants.com
3705 LYCAGAN PARKWAY • SUITE 301 • DURHAM, NC 27707
919.486.1668 PHONE
Lic. #C-1036

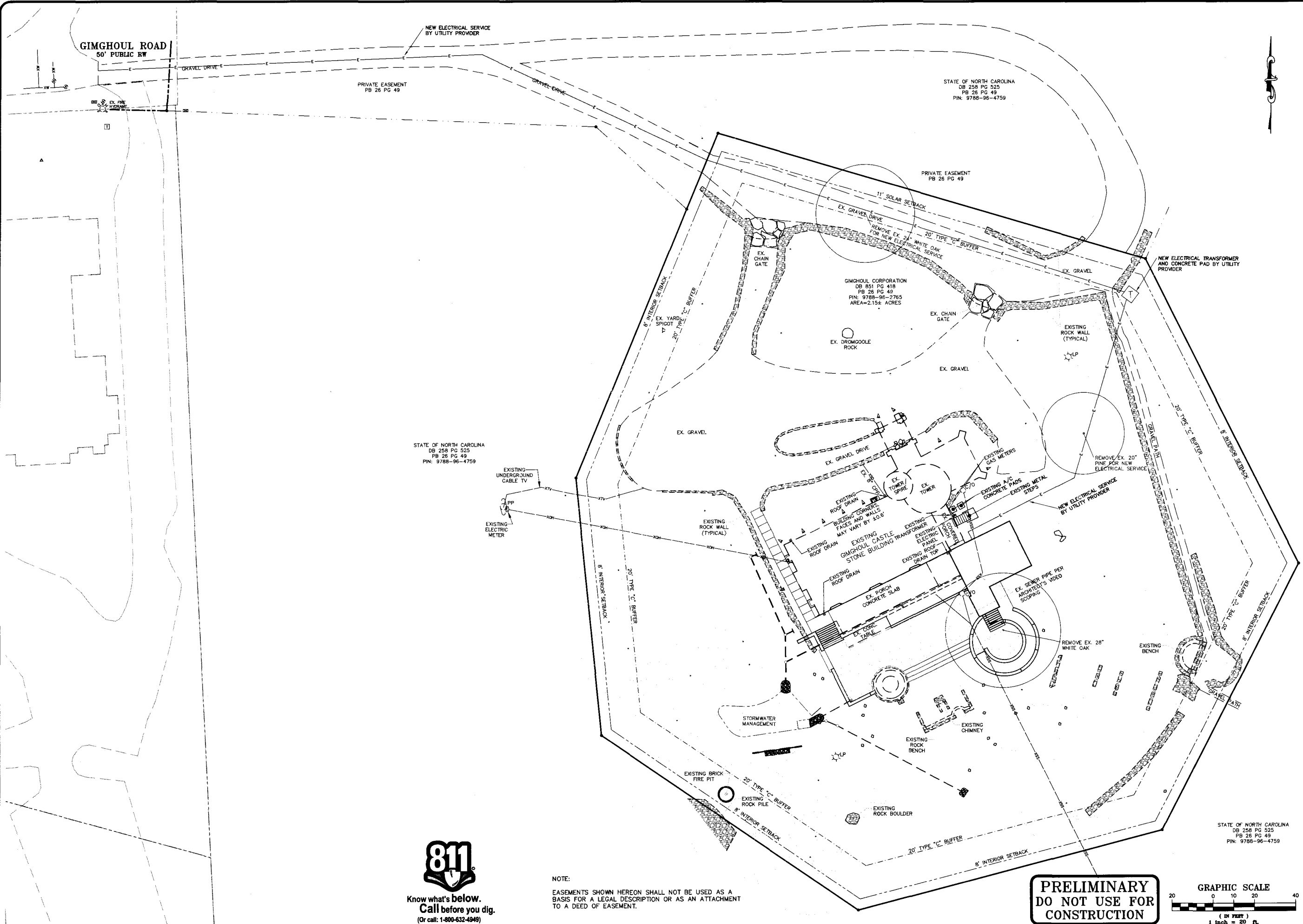
**GIMGHOUL
CASTLE**
CHAPEL HILL, NORTH CAROLINA
**SOLID WASTE
PLAN**

REV.	DATE	DESCRIPTION

DATE: FEBRUARY 4, 2021
THIS DRAWING AND THE DESIGN HEREON ARE THE PROPERTY OF CIVIL CONSULTANTS, INC. THE INFORMATION ON THIS DRAWING IS NOT FOR USE ON ANY OTHER SITE OR PROJECT. THE REPRODUCTION OR OTHER USE OF THIS DRAWING IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT OF CIVIL CONSULTANTS, INC. IS PROHIBITED.
COPYRIGHT 2021 CIVIL CONSULTANTS, INC.

SHEET NO.
C5.2

**GIMGHOUL
 CASTLE
 CHAPEL HILL, NORTH CAROLINA**
**UTILITY
 PLAN**



STATE OF NORTH CAROLINA
 DB 258 PG 525
 PB 26 PG 49
 PIN: 9788-96-4759

STATE OF NORTH CAROLINA
 DB 258 PG 525
 PB 26 PG 49
 PIN: 9788-96-4759

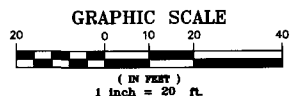
GIMGHOUL CORPORATION
 DB 851 PG 418
 PB 26 PG 49
 PIN: 9788-96-2785
 AREA=2.15± ACRES

STATE OF NORTH CAROLINA
 DB 258 PG 525
 PB 26 PG 49
 PIN: 9788-96-4759



NOTE:
 EASEMENTS SHOWN HEREON SHALL NOT BE USED AS A BASIS FOR A LEGAL DESCRIPTION OR AS AN ATTACHMENT TO A DEED OF EASEMENT.

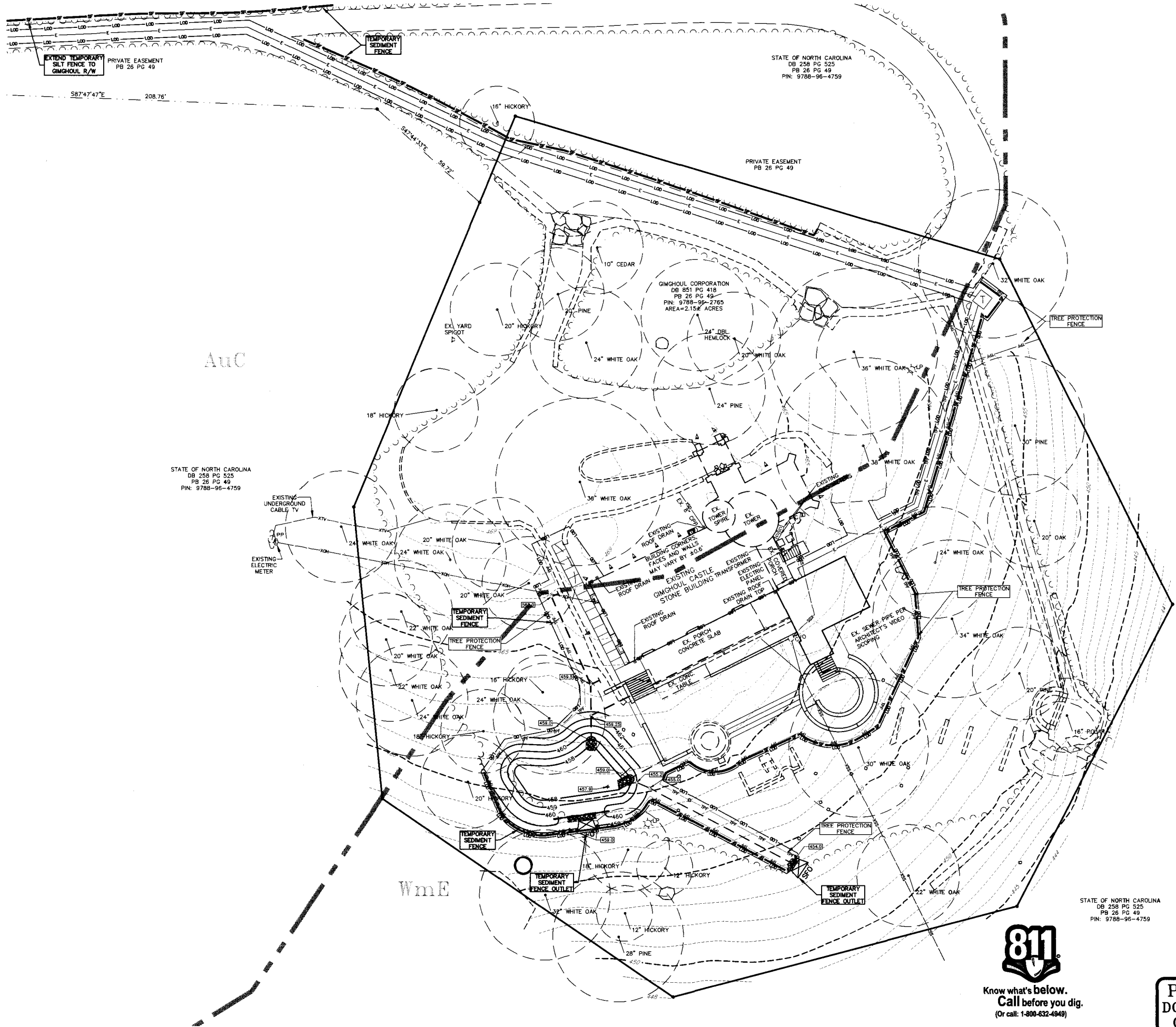
**PRELIMINARY
 DO NOT USE FOR
 CONSTRUCTION**



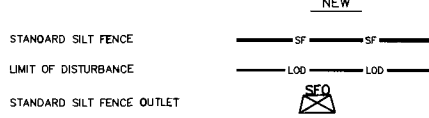
REV.	DATE	DESCRIPTION

DATE: FEBRUARY 4, 2021
 THIS DRAWING AND THE DESIGN HEREON ARE THE PROPERTY OF CIVIL CONSULTANTS, INC. THE INFORMATION ON THIS DRAWING IS NOT FOR USE ON ANY OTHER SITE OR PROJECT. THE REPRODUCTION OR OTHER USE OF THIS DRAWING IN WHOLE OR IN PART, WITHOUT WRITTEN CONSENT OF CIVIL CONSULTANTS, INC. IS PROHIBITED.
 COPYRIGHT © 2021 CIVIL CONSULTANTS, INC.

SHEET NO.
C6.1



EROSION CONTROL LEGEND



EROSION CONTROL NOTES:

- WHERE TEMP SILT FENCE AND TREE PROTECTION FENCE ARE SHOWN TOGETHER INSTALL ONLY THE TEMPORARY SILT FENCE.

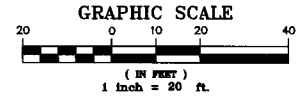
MAINTENANCE PLAN

- CHECK ALL EROSION AND SEDIMENT CONTROL PRACTICES FOR STABILITY AND OPERATION FOLLOWING EVERY RAINFALL PRODUCING RUNOFF BUT IN NO CASE LESS THAN ONCE EVERY WEEK. MAKE ANY NEEDED REPAIRS IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED.
- REMOVE SEDIMENT FROM BEHIND CHECK DAMS AND STONE FILTERS WHEN STORAGE CAPACITY HAS BEEN APPROXIMATELY 50% FILLED. CLEAN OR REPLACE GRAVEL ON OUTLETS WHEN WATER POOLS AND IS NO LONGER DRAINING PROPERLY.
- FERTILIZE ALL SEEDED AREAS, RESEED AS NECESSARY, AND MULCH ACCORDING TO THE SEEDING SCHEDULE TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER.
- RE-WORK DEVICES AND MEASURES, INCLUDING REMOVAL, RE-CONSTRUCTION, AND/OR RELOCATION AS NEEDED DURING THE PROGRESS OF WORK TO ACCOMMODATE CHANGING TOPOGRAPHIC CONDITIONS, SURFACE RUNOFF PATTERNS, INSTALLATIONS OF OTHER WORK, ETC.



Know what's below.
Call before you dig.
(Or call: 1-800-632-4949)

**PRELIMINARY
DO NOT USE FOR
CONSTRUCTION**



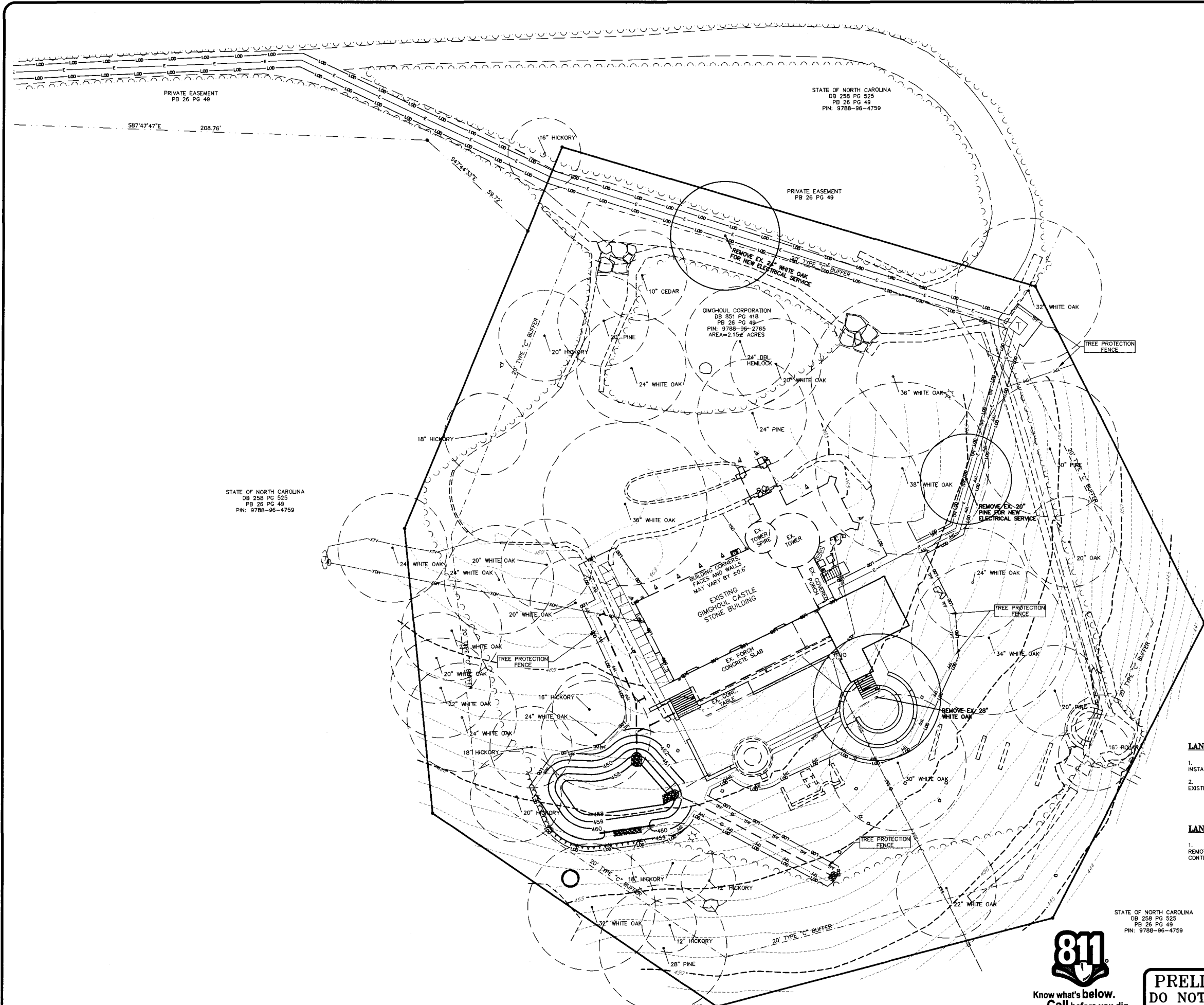
**GIMGHOUL
CASTLE
CHAPEL HILL, NORTH CAROLINA
EROSION CONTROL
PLAN**

REV.	DATE	DESCRIPTION

DATE: FEBRUARY 4, 2021
THIS DRAWING AND THE DESIGN HEREON ARE THE PROPERTY OF CIVIL CONSULTANTS, INC. THE INFORMATION ON THIS DRAWING IS NOT FOR USE ON ANY OTHER SITE OR PROJECT. THE REPRODUCTION OR OTHER USE OF THIS DRAWING IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT OF CIVIL CONSULTANTS, INC. IS PROHIBITED.
COPYRIGHT 2021 CIVIL CONSULTANTS, INC.

SHEET NO.
C7.1

Z:\Shared Folders\Projects\Corona\26011\DWG\26011.dwg, C7.1 Erosion Control, 2/1/2021 11:02:43 AM



PRIVATE EASEMENT
PB 26 PG 49

STATE OF NORTH CAROLINA
DB 258 PG 525
PB 26 PG 49
PIN: 9788-96-4759

STATE OF NORTH CAROLINA
DB 258 PG 525
PB 26 PG 49
PIN: 9788-96-4759

STATE OF NORTH CAROLINA
DB 258 PG 525
PB 26 PG 49
PIN: 9788-96-4759

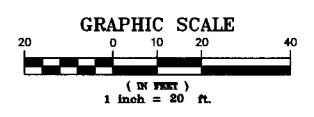
- LANDSCAPE PROTECTION PLAN NOTES:**
1. ALL TREE PROTECTION FENCE AND TEMP SILT FENCE SHALL BE INSTALLED BEFORE CLEARING AND GRADING.
 2. THE CONTRACTOR SHALL TAKE EVERY PRECAUTION TO PROTECT EXISTING TREES.

- LANDSCAPE PLANTING NOTES:**
1. EXISTING FOLIAGE, WITH THE EXCEPTION OF ONE TREE TO BE REMOVED FOR NEW ELECTRICAL SERVICE, WILL BE PRESERVED AND CONTINUE TO SATISFY BUFFER REQUIREMENTS



Know what's below.
Call before you dig.
(Or call: 1-800-632-4949)

**PRELIMINARY
DO NOT USE FOR
CONSTRUCTION**



**GIMGHOUL
CASTLE
CHAPEL HILL, NORTH CAROLINA
LANDSCAPE PROTECTION AND
PLANTING PLAN**

REV.	DATE	DESCRIPTION

DATE: FEBRUARY 4, 2021

THIS DRAWING AND THE DESIGN HEREON ARE THE PROPERTY OF CIVIL CONSULTANTS, INC. THE INFORMATION ON THIS DRAWING IS NOT FOR USE ON ANY OTHER SITE OR PROJECT. THE REPRODUCTION OR OTHER USE OF THIS DRAWING IN WHOLE OR IN PART, WITHOUT WRITTEN CONSENT OF CIVIL CONSULTANTS, INC. IS PROHIBITED.
COPYRIGHT 2021 CIVIL CONSULTANTS, INC.

SHEET NO.
C8.1