

#	PART	MANUFACTURER MODEL / Cat. No.				
1	BACKFLOW PREVENTER, AS APPLICABLE	USC & ASSE APPROVED				
2	OS&Y GATE VALVE WITH RESILIENT SEATS	TO BE APPROVED BY OWASA				
3	DIP FLANGE × FLANGE PIPE (VERIFY LENGTH)	AMERICAN CAST IRON PIPE, or GRIFFIN PIPE OF TO BE APPROVED BY OWASA				
4	CISP OR PVC SCH 40 PIPE					
5	CISP OR PVC SCH 40 "P" TRAP					
6	FLOOR DRAIN	SIZE & TYPE DETERMINED BY NC PE. TO BE APPROVED BY OWASA				
7	MASONRY BLOCK					
8	WALL SLEEVE with LINK SEAL	TO BE APPROVED BY OWASA				
9	METER BOX WITH ERT AND METER	PURCHASED FROM OWASA				
10	90' DIP FLANGE x FLANGE ELBOW	AMERICAN CAST IRON PIPE, or GRIFFIN PIPE (or UNION-TYLER PIPE CO., or U.S. PIPE & FOUNDRY				
11	WEDGE ACTION RESTRAINER GLAND JOINT RESTRAINT	EBAA IRON SALES, INC. , FORD				
12	90' DIP MJ x MJ ELBOW	AMERICAN CAST IRON PIPE, GRIFFIN PIPE CO UNION-TYLER PIPE CO., U.S. PIPE & FOUNDE				
13	DIP FLANGE x PE PIPE (VERIFY LENGTH)	AMERICAN CAST IRON PIPE, GRIFFIN PIPE CO UNION-TYLER PIPE CO., U.S. PIPE & FOUNDE				
14	3" THRU 10" DIP	AMERICAN CAST IRON PIPE, GRIFFIN PIPE CO UNION-TYLER PIPE CO., U.S. PIPE & FOUNDE				

ASSEMBLY (INDOOR)

. Foundation stone shall be required when soil conditions are unsuitable. . An additional 1 inch depth of cushioning material will be required for each

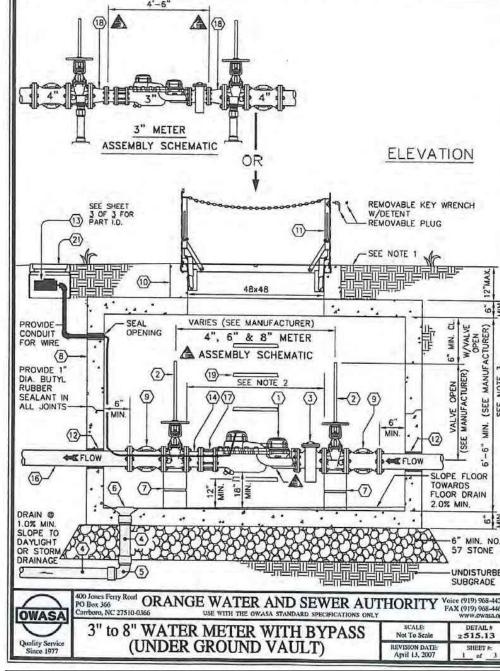
SANITARY SEWER

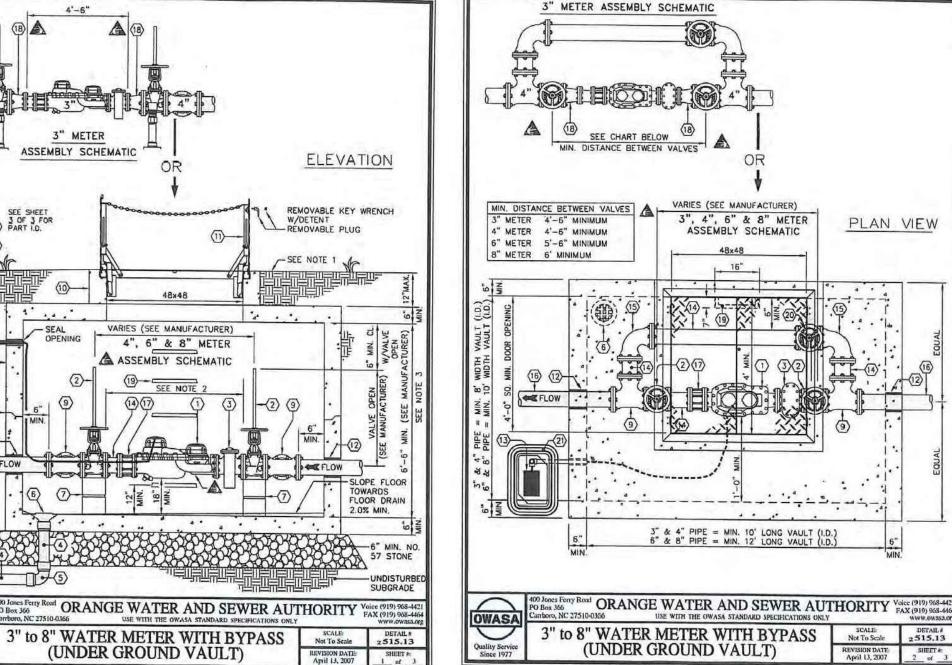
BEDDING DETAIL

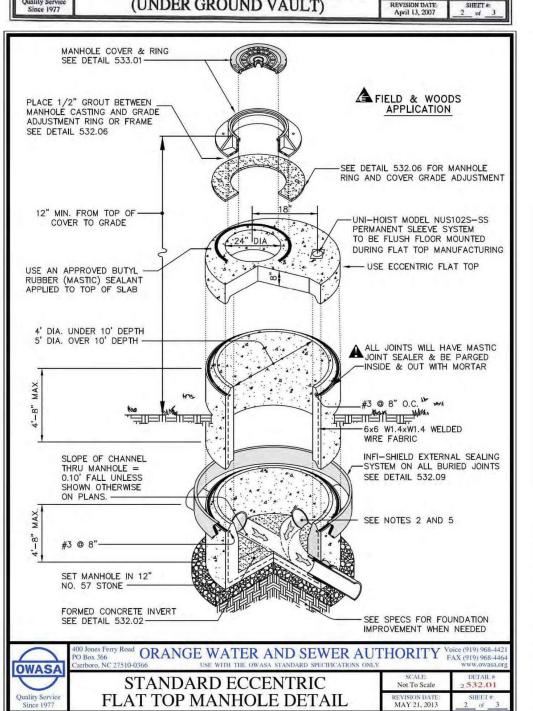
12 inches of cushioning material.

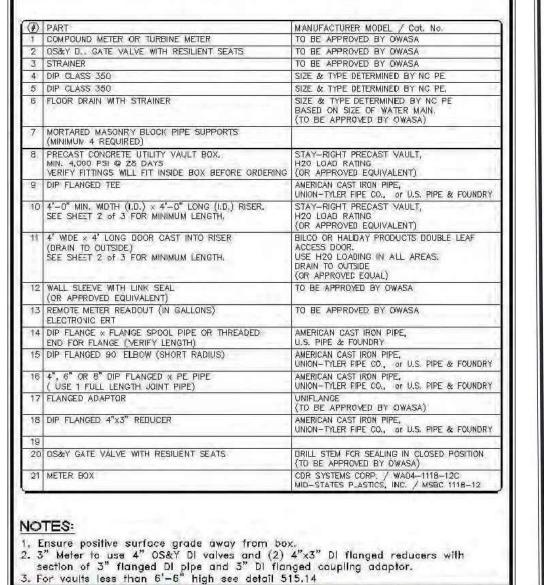
additional 2 feet of trench depth in excess of 16 feet up to a maximum of

ORANGE WATER AND SEWER AUTHORITY





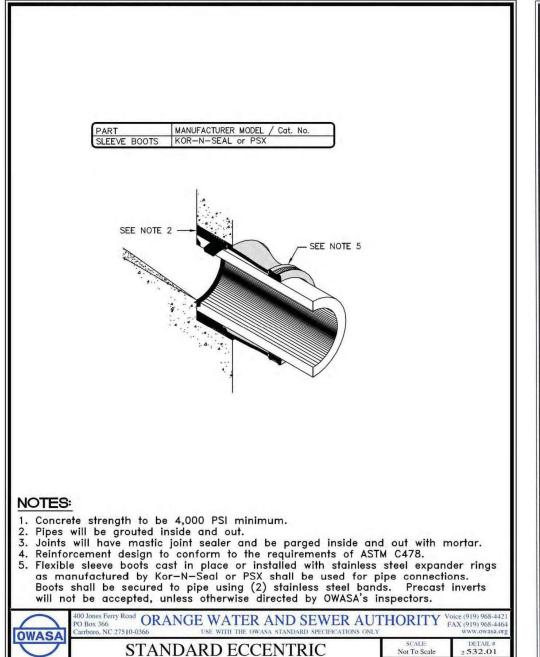




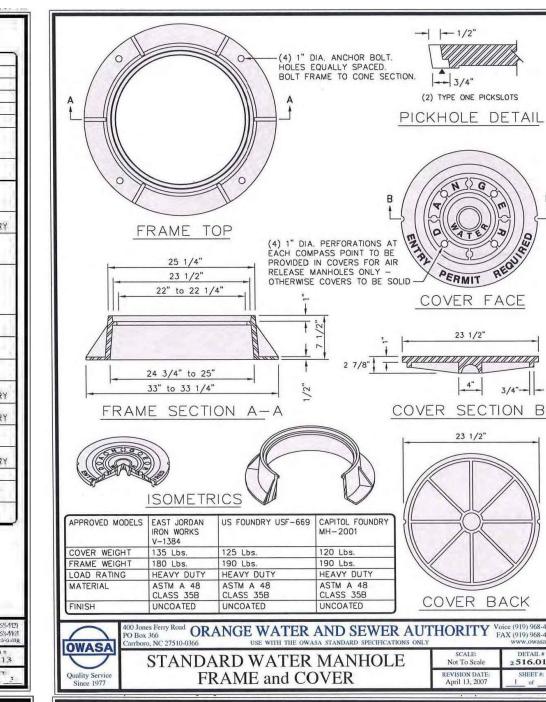
ORANGE WATER AND SEWER AUTHORITY TAX

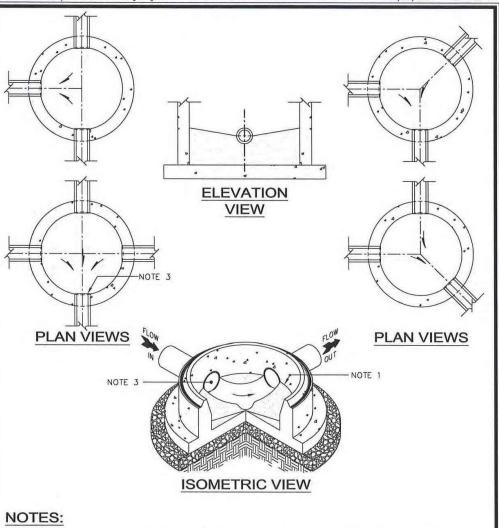
3" to 8" WATER METER WITH BYPASS | Not To Sout |

(UNDER GROUND VAULT)



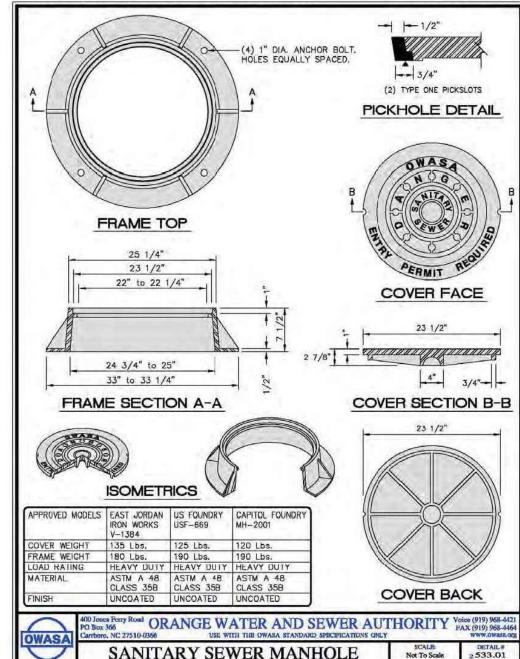
MANHOLE DETAIL





1.	Concrete benches must be sloped away from the manhole wall beginning ir line with the top of the pipe and sloped down to the spring—line of the pipe invert.
2.	Service line entries to have cast in place troughs.
	Radius of invert must have enough room to be able to insert air plugs and TV equipment.

OWASA	400 Jones Ferry Road ORANGE WATER AND SEWER AUTHORITY Voice (919) 968-4421 PO Box 366 FAX (919) 968-4464 FAX (919) 968-4664 FAX					
	STANDARD SEWER INVERT	SCALE: Not To Scale	DETAIL# 2 532.02			
Quality Service Since 1977	PLANS FOR MANHOLE	REVISION DATE: March 11, 2005	SHEET #: 1 of 1			
		*				

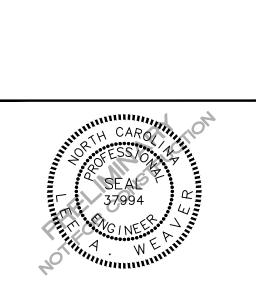


FRAME and COVER

REVISION DATE: SHEET #.
February 20, 2013 1 of 1

FINAL DRAWING - NOT RELEASED FOR CONSTRUCTION

OWASA DETAILS



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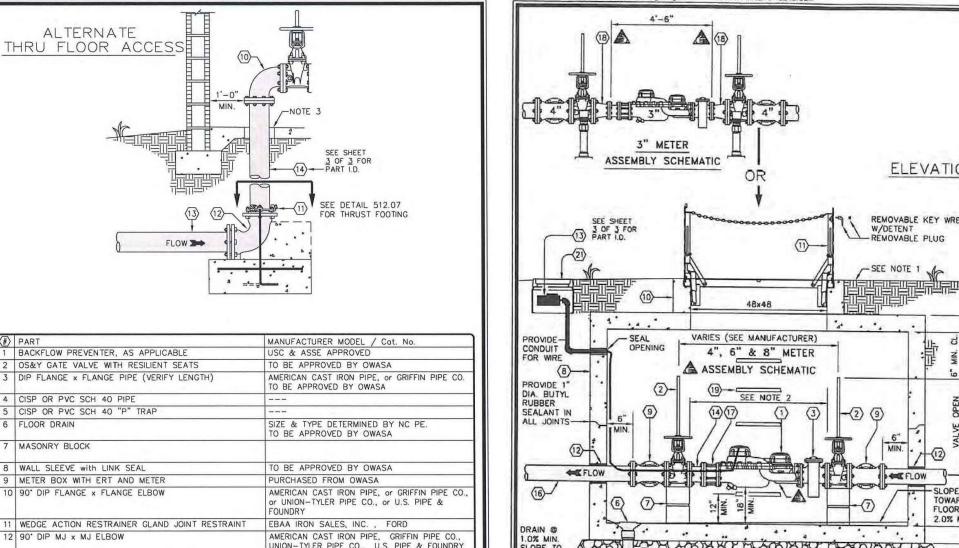
RAM REALTY

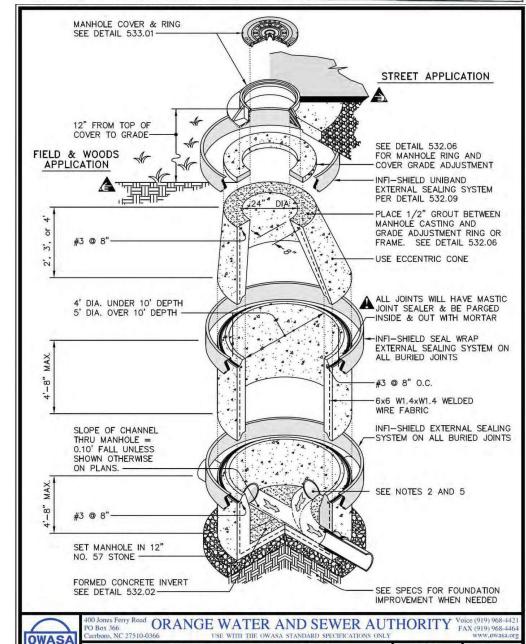
REVISIONS

NO. DATE

PLAN INFORMATION

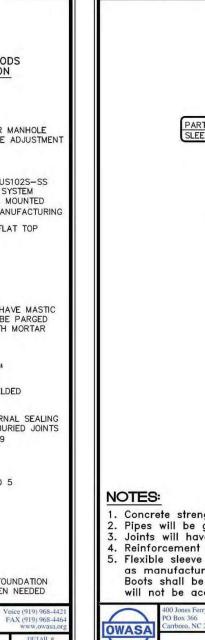
PROJECT NO. 2021110354 FILENAME RAM19000-D1 CHECKED BY LAW DRAWN BY SCALE DATE 07. 16. 2021 SHEET





STANDARD ECCENTRIC

CONE MANHOLE DETAIL



MATERIALS + PAVING NOTES:

- 1. ALL MATERIALS, CONSTRUCTION METHODS, WORKMANSHIP, EQUIPMENT SERVICES AND TESTING FOR ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE PROJECT DOCUMENTS AND THE GOVERNING AUTHORITIES' REQUIREMENTS. IN THE EVENT OF A CONFLICT BETWEEN THE PROJECT DOCUMENTS AND THE GOVERNING AUTHORITIES' REQUIREMENTS, THE MORE STRINGENT SHALL APPLY.
- 2. SUBGRADE PREPARATION, PAVEMENT STRENGTH AND THICKNESS SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT PREPARED FOR THIS PROJECT.
- 3. THE USE OF "LEVEL UP" SAND UNDER PAVEMENT WILL NOT BE ACCEPTED, UNLESS NOTED OTHERWISE.
- 4. CONCRETE SHALL NOT BE PLACED WHEN THE TEMPERATURE IS BELOW 40 DEGREES FAHRENHEIT AND FALLING, BUT MAY BE PLACED WHEN THE TEMPERATURE IS ABOVE 35 DEGREES FAHRENHEIT AND RISING. THE TEMPERATURE READING SHALL BE TAKEN IN THE SHADE AWAY FROM ARTIFICIAL HEAT.
- 4.1. DO NOT PLACE CONCRETE WHILE IT IS RAINING OR WHEN RAIN IS IMMINENT.
- 5. CAST IN PLACE CONCRETE SHALL MEET THE FOLLOWING REQUIREMENTS:
- 5.1. MINIMUM 3,000 PSI COMPRESSIVE STRENGTH AT 28 DAYS, UNLESS NOTED OTHERWISE.
- 5.2. AGGREGATES: ASTM C33 MAX 3/4" IN SIZE, UNLESS NOTED OTHERWISE
- 5.3. SLUMP: 3 TO 5 INCHES
- 5.4. AIR CONTENT: 4 TO 6 PERCENT BY VOLUME

CONCRETE THICKNESS:

- 6.1. PEDESTRIAN AREA: 4" THICK, UNLESS NOTED OTHERWISE.
- 6.2. ALL OTHER CONCRETE COMPONENTS INSTALL PER SIZE SPECIFIED IN DRAWINGS
- 7. CONCRETE REINFORCING:
- 7.1. 4" THICK PAVING: #3's AT 24" SPACING UNLESS NOTED OTHERWISE IN DRAWINGS
- 7.2. 6" THICK PAVING: #4s AT 24" SPACING UNLESS NOTED OTHERWISE IN DRAWINGS
- 7.3. 8" THICK PAVING: #5's AT 24" SPACING UNLESS NOTED OTHERWISE IN DRAWINGS
- 7.4. ALL PAVEMENT REINFORCING BARS SHALL BE GRADE 60 KSI DEFORMED BILLET STEEL BARS, UNCOATED FINISH. SIZE AND SPACING SHALL BE IN ACCORDANCE WITH THE PAVING PLAN AND DETAILS.
- 7.5. ALL REINFORCING STEEL AND DOWEL BARS IN PAVEMENT SHALL BE SUPPORTED AND MAINTAINED AT THE CORRECT CLEARANCES BY THE USE OF BAR CHAIRS.
- 8. CONTROL JOINTS (TROWEL OR SAW CUT)
- 8.1. TO BE PLACED AS INDICATED ON PLANS AND DETAILS TO A MINIMUM DEPTH OF 1/8 OF CONCRETE THICKNESS.
- 8.2. SAW CUT JOINTS TO BE EXECUTED WITHIN 12 HOURS OF CONCRETE PLACEMENT.
- 8.3. SAWN JOINTS ARE TO BE TRUE IN ALIGNMENT AND SHALL CONTINUE THROUGH ADJACENT CURBS. RADIAL JOINTS SHALL BE NO SHORTER THAN 18".

9. EXPANSION JOINTS

- 9.1. PLACE AT A MAXIMUM SPACING OF 30' O.C. AND COORDINATE WITH OVERALL PAVING PATTERN AND COLOR.
- 9.2. PROVIDE DOWELS AS SPECIFIED IN DRAWING DETAILS.
- 9.3. EXPANSION JOINTS TO BE CLEANED OF DEBRIS, DIRT, DUST, SCALE, CURING COMPOUND AND CONCRETE, BLOWN DRY AND IMMEDIATELY SEALED WITH A SELF-LEVELING, ELASTOMERIC POLYURETHANE OR EQUIVALENT. SEALANT COLOR SHALL MATCH PAVEMENT.
- 9.4. CONTRACTOR SHALL PREPARE A JOINT LAYOUT AND PROVIDE IT TO THE ENGINEER FOR REVIEW. THE JOINT LAYOUT SHALL BE PROVIDED A MINIMUM OF ONE WEEK PRIOR TO PLACING CONCRETE. PATTERN SHALL BE CAREFULLY DESIGNED BY THE CONTRACTOR TO AVOID IRREGULAR SHAPES. EXPANSION JOINTS SHALL NOT BE LOCATED ALONG VALLEYS IN PAVEMENT.
- 10. ALL CONSTRUCTION JOINTS SHALL BE SAWN, CONCRETE FINISHES TO BE PER DRAWING DETAILS AND SPECIFICATIONS.
- 11. CONCRETE SHALL BE BROOM FINISHED AND CURED FOR A MINIMUM OF 72 HOURS UNLESS NOTED OTHERWISE.
- 12. BREAKOUTS FOR REMOVAL OF EXISTING PAVEMENT AND CURBS SHALL BE MADE BY FULL DEPTH SAW CUT WHEN ADJACENT TO PROPOSED PAVEMENT AND/OR CURBS.
- 13. CONTRACTOR SHALL REFER TO THE SITE CIVIL, MEP AND IRRIGATION PLANS FOR CONDUIT TO BE INSTALLED UNDER PAVEMENT PRIOR TO COMMENCING PAVEMENT SUBGRADE PREPARATION.
- 14. ALL TESTING SHALL BE PERFORMED BY A QUALIFIED TESTING LABORATORY, EMPLOYED AND PAID DIRECTLY BY THE OWNER. UNLESS NOTED OTHERWISE, TESTING SHALL BE PERFORMED, AT A MINIMUM, IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT. IN THE EVENT THE RESULTS OF THE INITIAL TESTING DO NOT COMPLY WITH THE PLANS AND THE SPECIFICATIONS, SUBSEQUENT TEST NECESSARY TO DETERMINE THE ACCEPTABILITY OF CONSTRUCTION SHALL BE AT THE CONTRACTOR'S EXPENSE. PAVEMENT FOUND TO BE DEFICIENT IN STRENGTH OR THICKNESS SHALL BE REMOVED AND REPLACED SOLELY AT THE EXPENSE OF THE CONTRACTOR.

ACCESSIBILITY NOTES:

- 1. MAX CROSS SLOPE ON PAVED SURFACES SHALL BE 2% MAXIMUM, UNLESS NOTED OTHERWISE.
- 2. MAX RUNNING SLOPE ON PAVED SURFACES SHALL BE 5% MAXIMUM, UNLESS NOTED OTHERWISE
- 3. ACCESSIBLE PATH OF TRAVEL SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM, AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM WALL AND ABOVE 27" AND LESS THAN 80". CONTRACTOR SHALL VERIFY THAT THERE ARE NO BARRIERS IN THE PATH OF TRAVEL.
- 4. ALL CURB RAMPS SHALL BE BROOM FINISHED PERPENDICULAR TO SLOPE.
- 5. ALL CURB RAMPS SHALL HAVE A 1:12 MAX SLOPE IN THE DIRECTION OF TRAVEL, 2% MAX CROSS SLOPE.
- 6. IT IS THE INTENT OF THE CONTRACT DOCUMENTS TO COMPLY WITH ALL APPROPRIATE FAIR HOUSING ACCESSIBILITY GUIDELINES AND GENERAL NOTES FOR PUBLIC AND COMMON USE FACILITIES. REPORT ANY DISCREPANCIES TO LANDDESIGN.

PLANTING NOTES:

- ALL QUANTITIES LISTED IN THE DRAWINGS ARE FOR INFORMATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL QUANTITIES AND TO PROVIDE ALL MATERIALS NECESSARY FOR FULL COVERAGE IN ALL PLANTING AREAS AS SPECIFIED ON THE DRAWINGS. ANY DISCREPANCY SHOULD BE REPORTED TO THE OWNER.
- ALL PLANTS SHOULD BE IN ACCORDANCE WITH ANSI Z60.1 -2014, AMERICAN STANDARD FOR NURSERY STOCK PUBLICATION, APPROVED
- 3. CALIPER SIZE OF CANOPY TREES ARE TO BE MEASURED PER LOCAL CITY LANDSCAPE ORDINANCE.

STRUCTURES, AND LINE RUNS IN THE FIELD PRIOR TO THE INSTALLATION OF ANY PLANT MATERIAL.

- 4. ALL PLANT MATERIAL SHALL CONFORM TO THE SIZE SPECIFICATIONS (CALIPER, HEIGHT AND SPREAD) GIVEN IN THE PLANT SCHEDULE AND SHALL BE NURSERY GROWN UNLESS SPECIFIED OTHERWISE.
- 5. ANY PLANT SUBSTITUTION SHALL BE APPROVED BY LANDDESIGN PRIOR TO PURCHASE.
- 6. SIZES LISTED ARE MIN. AND REFER TO HEIGHT, UNLESS OTHERWISE SPECIFIED.
- 7. LANDSCAPE CONTRACTOR SHALL STAKE OUT LOCATIONS OF ALL TREES TO BE PLANTED FOR REVIEW BY LANDDESIGN PRIOR TO INSTALLING. LANDDESIGN RESERVES THE RIGHT TO ADJUST TREE LOCATIONS IN THE FIELD AS NECESSARY.
- 8. SHRUB/GROUNDCOVER BEDS SHALL BE STAKED FOR REVIEW BY LANDDESIGN/OWNER'S REPRESENTATIVE PRIOR TO EXCAVATION AND OR BED PREPARATION.
- 9. LANDSCAPE CONTRACTOR SHALL INSTALL STEEL EDGING BETWEEN PLANTING BEDS AND LAWNS, OR AS SHOWN IN DETAILS.
- 10. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UNDERGROUND UTILITIES. PIPES,
- 11. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ADVISE LANDDESIGN OF ANY CONDITION FOUND ON THE SITE WHICH PROHIBITS INSTALLATION AS SHOWN ON THE DRAWINGS.
- 12. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION WITH OTHER CONTRACTORS ON SITE AS REQUIRED TO ACCOMPLISH ALL PLANTING OPERATIONS.
- 13. ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION AND MUST BE REPLACED WITH PLANT OF SAME VARIETY AND SIZE IF DAMAGED, DESTROYED, DEAD AND /OR REMOVED.
- 14. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FINE GRADING AND REMOVAL OF DEBRIS PRIOR TO PLANTING IN ALL AREAS.
- 15. FINAL FINISHED GRADING SHALL BE REVIEWED BY LANDDESIGN. CONTRACTOR IS RESPONSIBLE FOR ANY ADDITIONAL TOPSOIL REQUIRED TO CREATE A SMOOTH CONDITION SUITABLE FOR PLANTING.
- 16. TREES OVERHANGING INTO THE PUBLIC R.O.W. SHALL HAVE A MINIMUM CLEAR TRUNK HEIGHT OF FOURTEEN(14) FEET OVER STREETS, DRIVE AISLES, ALLEYS AND FIRE LANES. TREES OVERHANGING PRIVATE STREETS, WALKS, AND /OR PARKING LOTS SHALL HAVE A MINIMUM CLEAR TRUNK HEIGHT OF SEVEN (7) FEET.
- 17. LANDSCAPE CONTRACTOR IS REQUIRED TO PERFORM A TREE PIT PERCOLATION TEST FOR EACH TREE PIT PRIOR TO INSTALLATION. IF TREE PIT DOES NOT DRAIN WITHIN A 24-HOUR PERIOD, THE CONTRACTOR WILL BE REQUIRED TO PROVIDE A GRAVEL SUMP, FILTER FABRIC AND STAND PIPE. ALL TREE PIT SUMPS SHALL BE INCLUDED IN IN THE CONTRACTOR'S BASE BID AS A UNIT PRICE AND PROVIDE AS A DEDUCT ALTERNATE PER TREE PIT SUMPS NOT REQUIRED TO BE INSTALLED.
- 18. LANDSCAPE CONTRACTOR IS RESPONSIBLE TO REVIEW SITE ENVIRONMENTAL CONDITIONS PRIOR TO AND DURING INSTALLATION OF PLANT MATERIAL. ANY DISCREPANCIES OR CONCERNS BETWEEN THE ENVIRONMENTAL SITE CONDITIONS (I.E., SOIL TYPE, WATER, CLIMATE, WIND, SUN EXPOSURE ETC.) AND THE PLANT MATERIAL SPECIFIED WITHIN THE DRAWING SHALL BE BROUGHT TO THE ATTENTION OF LANDDESIGN AND/OR OWNER, AND SHALL BE DONE SO IN WRITING. CONTRACTOR SHALL PROVIDE SUGGESTED SOLUTIONS FOR ALTERNATIVE PLANT MATERIAL PROPOSED FOR SUBSTITUTION. LANDDESIGN TO REVIEW CONDITIONS AND INFORMATION SUBMITTED BY CONTRACTOR AND WILL ISSUE DIRECTIVE. SHOULD PLANT MATERIAL DIE BECAUSE OF ENVIRONMENTAL CONDITIONS DESCRIBED ABOVE, THE LANDSCAPE CONTRACTOR ASSUMES ALL WARRANTY AND GUARANTEE OF THE PLANT MATERIAL INSTALLED.
- 19. ALL NEW PLANTING AREAS SHALL BE BACKFILLED WITH PLANTING SOIL THAT IS A MIXTURE OF 40-50% IMPORTED UNSCREENED TOPSOIL, 40-45% COARSE SAND, AND 10% COMPOST. FINAL TESTED ORGANIC MATTER SHALL BE BETWEEN 2.75 AND 4% (BY DRY WEIGHT). BACKFILL SHALL BE TO A DEPTH OF 18" FOR SHRUB AND GROUNDCOVER ZONES AND 36" FOR TREE PITS.
- 20. AFTER PLANTING SOIL MIXES ARE INSTALLED IN PLANTING BED AREAS AND JUST PRIOR TO THE INSTALLATION OF SHRUB OR GROUNDCOVER PLANTINGS, SPREAD 3-4 INCHES OF COMPOST OVER THE BEDS AND ROTO TILL INTO THE TOP 8 INCHES OF THE PLANTING SOIL. THIS WILL RAISE GRADES SLIGHTLY ABOVE THE FINISHED GRADES, IN ANTICIPATION GRADES WILL SETTLE WITHIN A FEW MONTHS AFTER INSTALLATION AS COMPOST BREAKS DOWN.
- 21. IN ALL EXISTING PLANTING AREAS DESIGNATED TO RECEIVE NEW PLANTINGS, SPREAD 3-4 INCHES OF COMPOST OVER THE BEDS AND ROTO TILL INTO THE TOP 8 INCHES OF THE PLANTING SOIL. THIS WILL RAISE THE GRADES SLIGHTLY ABOVE THE FINISHED GRADES, IN ANTICIPATION GRADES WILL SETTLE WITHIN A FEW MONTHS AFTER INSTALLATION AS COMPOST BREAKS DOWN. IN NO CASE WILL THIS BE PERFORMED WHERE IT MAY NEGATIVELY IMPACT THE HEALTH OF ADJACENT, EXISTING PLANT MATERIALS WHICH ARE DESIGNATED TO REMAIN.
- 22. LANDSCAPE CONTRACTOR TO WARRANTY ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR. THE CONTRACTOR AGREES TO REPLACE DEFECTIVE WORK AND DEFECTIVE PLANTS, AND THAT THE OWNER'S REPRESENTATIVE SHALL MAKE THE FINAL DETERMINATION IF PLANTS MEET THE REQUIRED SPECIFICATIONS OR THAT PLANTS ARE DEFECTIVE. PLANTS DETERMINED TO BE DEFECTIVE SHALL BE REMOVED IMMEDIATELY UPON NOTIFICATION BY THE OWNER'S REPRESENTATIVE AND REPLACED WITHOUT COST TO THE OWNER, AS SOON AS WEATHER CONDITIONS PERMIT AND WITHIN THE SPECIFIED PLANTING PERIOD. THE REPLACED MATERIALS SHALL ALSO RECEIVE A WARRANTY PERIOD OF ONE YEAR WHICH STARTS AT THE DATE OF INSTALLATION. BULBS, ANNUAL FLOWERS, AND SEASONAL COLOR PLANTS SHALL ONLY BE WARRANTED FOR THE PERIOD OF THE EXPECTED BLOOM OR PRIMARY DISPLAY.

PLANTERS/POTS/SEASONAL PLANTING NOTES:

- I. SOIL SHOULD BE NUTRIENT-RICH, MOISTURE CONTAINING PLANTING MEDIUM AND BE A MINIMUM 18" DEPTH FOR SEASONALS, PERENNIALS AND SMALL SHRUBS; MINIMUM 36" DEPTH FOR ALL TREES.
- 2. A LAYER OF RIVER ROCK SHALL BE PLACED IN THE BASE OF EACH PLANTER POT TO A MINIMUM 6" DEPTH OR AS ALLOWABLE BY REQUIRED SOIL DEPTH. PLACE FILTER FABRIC BETWEEN SOIL MEDIUM AND RIVER ROCK AND SOIL MEDIUM AND PLANTER EDGES. OVERLAP FABRIC 6" MINIMUM TO MINIMIZE SOIL WASH.
- 3. PLANTERS POTS WHICH DO NOT RECEIVE IRRIGATION SHALL BE HAND-WATERED. HAND WATERING SHOULD OCCUR MINIMUM 2 TIMES PER WEEK DURING COOLER AND RAINY SEASONS AND INCREASED TO EVERY 2-3 DAYS DURING HOT/DRY WEATHER. ALWAYS CHECK SOIL 6" BELOW SURFACE FOR SATURATION PRIOR TO WATERING TO PREVENT OVERWATERING/DROWNING OF PLANT MATERIAL.
- 4. WHEN APPLICABLE, PLANTS TO REMAIN IN CONTAINERS FOR DURATION OF SEASON ARE SHOWN IN THE "PERMANENT" LAYOUT. EACH SEASON WILL HAVE ITS OWN PLANT MATERIAL, SOME OF WHICH MAY LAST ALL YEAR. ROTATE IN THE PLANTS NOTED FOR EACH SEASON.
- 5. IF PLANT MATERIAL DIES DURING A SEASON AND IS EXPECTED TO REMAIN FOR AN ADDITIONAL SEASON, CONTRACTOR IS TO REPLACE AT TIME OF NEXT SEASONAL ROTATION.
- 6. CONTACT LANDDESIGN FOR ANY REQUIRED SUBSTITUTIONS.
- 7. ALL PLANTS SHOULD BE FULL AT TIME OF INSTALLATION AND COVER 75% OF POT SURFACE AREA.
- 8. AVOID PLANTING IN THE ROOT ZONE OF ANY PERMANENT TREES, SHRUBS, OR PERENNIALS.
- 9. SEASONAL PLANTS SHOULD BE REMOVED FOLLOWING THE FIRST MAJOR FROST DIEBACK AND REPLACED WITH EVERGREEN BOUGHS OR OTHER OWNER APPROVED WINTER DECOR. TREES, SHRUBS AND PERENNIALS SHOULD REMAIN IN THE CONTAINERS YEAR ROUND AND REPLACED ONLY AS NECESSARY.

IRRIGATION NOTES:

- 1. A FULLY AUTOMATED IRRIGATION SYSTEM PROVIDING 100% COVERAGE SHALL BE PROVIDED FOR ALL PLANTING AREAS, UNLESS NOTED OTHERWISE. SYSTEM SHALL BE IN OPERATION PRIOR TO INSTALLATION OF ANY PLANT MATERIAL OTHER THAN CANOPY TREES.
- 2. ALL PLANTING BEDS/ SHRUB AND GROUNDCOVER AREAS TO BE IRRIGATED WITH EITHER 12" SPRAY POP-UPS AND/OR A LANDSCAPE
- DRIP-LINE SYSTEM, UNLESS NOTED OTHERWISE.

 3. ALL PLANTER POTS AND RAISED PLANTERS TO BE IRRIGATED WITH MICRO SPRAY SPRINKLER HEADS.
- 4. IRRIGATION SYSTEM IS DESIGN/BUILD. CONTRACTOR TO PROVIDE DRAWINGS AND CUT SHEETS OF ALL COMPONENTS.
- 5. PROVIDE AS-BUILT DRAWINGS OF IRRIGATION AFTER INSTALLATION.

GENERAL NOTES:

- 1. BASE INFORMATION, INCLUDING EXISTING CONDITIONS, TOPOGRAPHY, EXISTING UTILITIES, AND BOUNDARY INFORMATION IS FROM PLANS BY: MCADAMS
- 2. ARCHITECTURAL INFORMATION IS FROM PLANS BY: BB+M
- 3. WRITTEN DIMENSIONS PREVAIL OVER SCALED DIMENSIONS. NOTIFY LANDDESIGN OF ANY DISCREPANCIES.
- 4. DIMENSIONS ARE TO FACE OF OBJECT, UNLESS NOTED OTHERWISE.
- 5. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL UNDERGROUND UTILITIES, PIPES, STRUCTURES, AND LINE RUNS IN THE FIELD PRIOR TO CONSTRUCTION. ANY DAMAGE TO NEW AND EXISTING UTILITIES ARE TO BE REPAIRED IMMEDIATELY AT NO ADDITIONAL EXPENSE TO THE OWNER. LANDDESIGN ASSUMES NO RESPONSIBILITY FOR ANY UTILITIES NOT SHOWN ON PLANS.
- 6. ALL PROPOSED FINISHED GRADES ARE BASED ON INFORMATION PROVIDED BY THE OWNER'S SURVEY AND OR CIVIL ENGINEER. ANY DISCREPANCIES IN ACTUAL FIELD MEASUREMENTS ARE TO BE REPORTED TO LANDDESIGN IMMEDIATELY.
- 7. PRIOR TO COMMENCEMENT OF HARDSCAPE CONSTRUCTION, ALL PIERS, FOOTINGS, AND WALLS SPECIFIC TO THE SCOPE OF THIS DRAWING PACKAGE ARE TO BE SURVEYED, LAID OUT, AND STAKED IN THE FIELD FOR REVIEW BY LANDDESIGN. CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ANY DEMOLITION, ADJUSTMENTS, OR RECONSTRUCTION OF HARDSCAPE CONSTRUCTION RESULTING FROM INACCURATE CONSTRUCTION.
- 8. CONTRACTOR IS RESPONSIBLE TO PROVIDE AND INSTALL ALL ITEMS PER DRAWINGS AND SPECIFICATION. NOTIFY LANDDESIGN OF ANY MAJOR DISCREPANCIES BETWEEN CONTRACTOR'S VERIFIED QUANTITIES, BID BOOK, AND INTENT OF DRAWING.
- 9. CONTRACTOR IS RESPONSIBLE FOR ALL FINAL QUANTITIES PER DRAWINGS AND SPECIFICATIONS ANY QUANTITIES PROVIDE BY LANDDESIGN ARE PROVIDED FOR CONVENIENCE ONLY AND SHALL NOT BE CONSIDERED ABSOLUTE. LANDDESIGN SHOULD BE NOTIFIED OF ANY GRADING DISCREPANCIES.
- 10. THE CONTRACTOR SHALL EXAMINE AND BECOME FAMILIAR WITH ALL CONTRACT DOCUMENTS IN THEIR ENTIRETY. SURVEY THE PROJECT AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS AND SCOPE OF WORK. ALL COSTS SUBMITTED SHALL BE BASED ON THOROUGH KNOWLEDGE OF ALL WORK AND MATERIALS REQUIRED ANY DISCREPANCY AND/ OR UNCERTAINTY AS TO WHAT MATERIAL OR PRODUCT IS TO BE USED, SHALL BE VERIFIED WITH THE OWNER OR LANDDESIGN PRIOR TO BIDDING.
- 11. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES REQUIRED FOR SAFE EXECUTION AND COMPLETION OF WORK, AND FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.
- 12. IN THE EVENT A DISCREPANCY IS FOUND IN THE CONTRACT DOCUMENTS, THE OWNER & LANDDESIGN SHALL BE NOTIFIED IMMEDIATELY.
- 13. CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD AND NOTIFY LANDDESIGN OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
- 14. CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AT THIS SITE AND AND BE RESPONSIBLE FOR ACCURACY AND CORRECTNESS OF SAME.
- 15. CONTRACTOR SHALL COORDINATE WORK WITH ALL OTHER TRADES AND NOTIFY OWNER & LANDDESIGN OF ANY DISCREPANCIES PRIOR TO
- CONSTRUCTION.

 16. ALL EXISTING WORK OR LANDSCAPING NOT SHOWN TO BE ALTERED OR REMOVED SHALL BE PROTECTED FROM DAMAGE DURING CONSTRUCTION. THE CONTRACTOR(S) SHALL BEAR THE TOTAL EXPENSE FOR, AND SHALL REPAIR ANY DAMAGE TO EXISTING CONDITIONS.

LAYOUT NOTES:

1. ALL MATERIALS AND CONSTRUCTION WITHIN RIGHT OF WAYS SHALL BE IN ACCORDANCE WITH THE TOWN OF CHAPEL HILL STANDARD SPECIFICATIONS AND CONSTRUCTION STANDARDS.

OR IMPROVEMENTS NOT INDICATED IN THE DRAWINGS OR SPECIFICATIONS TO RECEIVE ALTERATION, ADDITIONS OR REMOVAL.

- 2. EXISTING UTILITIES ARE SHOWN SCHEMATICALLY AND ARE FOR THE CONTRACTOR'S GUIDANCE ONLY. THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
- 3. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING IMPROVEMENTS IN THE CONSTRUCTION OF THIS PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION. REPAIRS SHALL BE EQUAL TO OR BETTER THAN CONDITION PRIOR TO CONSTRUCTION.
- 4. ALL ONSITE PAVING DIMENSIONS ARE TO THE FACE OF CURB, WHERE APPLICABLE, UNLESS NOTED OTHERWISE.
- 5. ALL CURB RADII AND SIDEWALK RETURNS ARE 2' UNLESS NOTED OTHERWISE.
- 6. ALL PAVING AND EARTHWORK OPERATIONS SHALL CONFORM TO THE PROJECT GEOTECHNICAL REPORT.
- 7. BUILDING DIMENSIONS: THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS TO VERIFY THE EXACT BUILDING DIMENSIONS.
- 8. LAY PAVERS IN PATTERN(S) SHOWN ON DRAWINGS. PLACE UNITS HAND TIGHT WITHOUT USING HAMMERS. MAKE HORIZONTAL ADJUSTMENTS TO PLACEMENT OF LAID PAVERS WITH RUBBER HAMMERS AS REQUIRED.
- 9. PROVIDE JOINTS BETWEEN PAVERS BETWEEN 1/16 IN. AND 3/16 IN. (2 AND 5 MM) WIDE. NO MORE THAN 5% OF THE JOINTS SHALL EXCEED 1/4" WIDE TO ACHIEVE STRAIGHT BOND LINES.
- 10. JOINT (BOND) LINES SHALL NOT DEVIATE MORE THAN ±1/2 IN. (±15 MM) OVER 50 FT. (15 M) FROM STRING LINES.
- 11. FILL GAPS AT THE EDGES OF THE PAVED AREA WITH CUT PAVERS OR EDGE UNITS.12. CUT PAVERS TO BE PLACED ALONG THE EDGE WITH A MASONRY SAW.
- 13. ADJUST BOND PATTERN AT PAVEMENT EDGES SUCH THAT CUTTING OF EDGE PAVERS IS MINIMIZED.
- 14. IN NO CASE SHALL A CUT PAVER BE LESS THAN 1/3 FULL PAVER SIZE.
- 15. PAVER DIMENSIONS ARE NOMINAL. PRIOR TO POURING SLABS, BANDING, OR OTHERWISE SETTING PAVER FIELDS, VERIFY ACTUAL PAVER SIZES AND LAYOUT OF THE PAVER FIELDS. MAKE MINOR ADJUSTMENTS TO EDGE CONSTRAINTS AS REQUIRED TO ACCOMMODATE ACTUAL PAVER SIZES. NOTIFY LANDDESIGN IMMEDIATELY OF DISCREPANCIES AND/OR ADJUSTMENTS.

GRADING NOTES:

- STAKE PER SPOT ELEVATIONS AND NOTED SLOPES. CONTOURS ARE PROVIDED FOR MASS GRADING/INTENT ONLY.
- 2. WRITTEN DIMENSIONS AND GRADES PREVAIL OVER SCALED DIMENSIONS. NOTIFY LANDDESIGN OF ANY DISCREPANCIES.
- 3. ALL SPOT ELEVATIONS SHOWN ON GRADING PLAN ARE TO BOTTOM OF CURB/TOP OF PAVEMENT UNLESS OTHERWISE NOTED. ALL RIM ELEVATIONS ARE TO EDGE OF PAVEMENT.
- MATERIAL, DEEP FILLS, EXCAVATION, AND FOUNDATIONS.

 5. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE

4. REFER TO GEOTECHNICAL ENGINEER AND GEOTECH REPORT FOR INFORMATION ON SUBSURFACE MATERIALS, TOPSOIL, STRUCTURAL

- GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
- 7. ALL PLANTING ISLANDS SHALL BE GRADED TO MOUND TO PROVIDE POSITIVE DRAINAGE.

6. IN ORDER TO ASSURE PROPER DRAINAGE, KEEP A MINIMUM OF .5% SLOPE ON THE CURB.

- 8. CONTRACTOR TO VERIFY 2% MAX. CROSS-SLOPE ON ALL SIDEWALKS.
- CONTRACTOR TO VERIFY THAT ALL SIDEWALK SLOPES, HANDICAP RAMPS, AND HANDICAP PARKING SPACES MEET ADA REQUIREMENTS.
 CONCRETE SIDEWALKS ADJACENT TO TREE SAVE LOCATIONS SHOULD BE POURED ON TOP OF EXISTING GRADE.
- 11. REFER TO LANDSCAPE PLAN FOR ALL TREE PROTECTION FENCE LOCATIONS AND INSTALLATION PROCEDURES. BEFORE GRADING/CONSTRUCTION BEGINS, CALL FOR INSPECTION OF TREE PROTECTION BARRICADES. NO SOIL DISTURBANCE OR COMPACTION, CONSTRUCTION MATERIALS, TRAFFIC, BURIAL PITS, TRENCHING, OR OTHER LAND DISTURBING ACTIVITY ALLOWED IN THE TREE PROTECTION ZONE
- 12. DIMENSIONS ON BUILDINGS ARE FOR GRADING PURPOSES ONLY AND ARE NOT TO BE USED TO LAYOUT FOOTINGS.
- 13. GRADING CONTRACTORS SHALL NOTIFY AND COOPERATE WITH ALL UTILITY COMPANIES OR FIRMS HAVING FACILITIES ON OR ADJACENT TO THE SITE BEFORE DISTURBING, ALTERING, REMOVING, RELOCATING, ADJUSTING OR CONNECTING TO SAID FACILITIES. CONTRACTORS SHALL PAY ALL COSTS IN CONNECTION WITH THE ALTERATION OF OR RELOCATION OF THE FACILITIES. CONTRACTORS SHALL RAISE OR LOWER TOPS OF EXISTING MANHOLES AS REQUIRED TO MATCH FINISHED GRADES.
- 14. GRADING CONTRACTOR SHALL COOPERATE AND WORK WITH ALL OTHER CONTRACTORS PERFORMING WORK ON THIS PROJECT TO INSURE PROPER AND TIMELY COMPLETION OF THIS PROJECT.

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RAM REALTY

CHAPEL HILL, NC 27514

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LANDDESIGN PROJ.#

REVISION / ISSUANCE

NO. DESCRIPTION DATE

1 ZCP 07.16.2021

DESIGNED BY: LD
DRAWN BY: ZK

CHECKED BY: AM

CALE

VERT: N/A HORZ: N/A

GENERAL NOTES

G0-01

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NOTE: REFER TO CIVIL FOR ALL EXISTING CONDITIONS, DEMOLITION, PROPOSED UTILITIES AND VEHICULAR PAVING.

ABBREVIATIONS

Α	AD ADJ AFG ALT	AREA DRAIN ADJACENT ABOVE FINISHED GRADE ALTERNATE	L	L LT LP	LENGTH LIGHT LOW POINT
	ALUM APPROX ARCH	ALUMINUM APPROXIMATE ARCHITECT(URAL)	М	MAS MATL	MASONRY MATERIAL
В	BC BLDG	BOTTOM OF CURB BUILDING		MAX MECH MED MFR	MAXIMUM MECHANICAL MEDIUM MANUFACTURER
	BLKG BOC BOT BR	BLOCKING BACK OF CURB BOTTOM BOTTOM OF RAMP		MIN MISC MTL	MINIMUM MISCELLANEOUS METAL
	BS BW	BOTTOM OF STAIR BOTTOM OF WALL	N	N NIC	NORTH NOT IN CONTRACT
С	CEM CIP CJ	CEMENT CAST IN PLACE CONTROL JOINT		NO NOM NTS	NUMBER NOMINAL NOT TO SCALE
	CMU CO COL	CONCRETE MASONRY UNIT CLEANOUT COLUMN	Ο	OC OD	ON CENTER OUTSIDE DIAMETER
	CONT CONC CU FT	CONTINUOUS CONCRETE CUBIC FEET		OPNG OPP	OPENING OPPOSITE
D	DD DE	DECK DRAIN DRAINAGE EASEMENT	Р	PB PERF PNL	PLANT BED PERFORATED PANEL
	DI DIA DIAG	DRAIN INLET DIAMETER DIAGONAL		PNT PSI PT	PAINT(ED) POUNDS/SQUARE INCH PRESSURE TREATED
	DIM DN DS DWG(S)	DIMENSION DOWN DOWN SPOUT DRAWING(S)		POB POC PROP	POINT OF BEGINNING POINT OF CURVATURE PROPOSED
E	E EA	EAST EACH	Q	QTY	QUANTITY
	EA EJ EL ELEC EOP EQ EQUIP ESMT	EXPANSION JOINT ELEVATION ELECTRIC(AL) EDGE OF PAVEMENT EQUAL EQUIPMENT EASEMENT	R	RAD REINF REQD REV R.O.W	RADIUS REINFORC(E), (ING) REQUIRED REVISION RIGHT OF WAY
	EW EXP EXIST EXT	EAGEMENT EACH WAY EXPANSION EXISTING EXTERIOR	S	S SB SCHED SD	SOUTH SETBACK SCHEDUL(E), (ED) STORM DRAIN
F	FAB FDC FG	FABRIC FIRE DEPT. CONNECTION FINISHED GRADE		SF SIM SQ SSMH	SQUARE FOOT, FEET SIMILAR SQUARE SANITARY SEWER MANHOL
	FH FIN FOC FT FTG	FIRE HYDRANT FINISH FACE OF CURB FOOT, FEET FOOTING		STL SSTL STD SUSP SW SYM	STEEL STAINLESS STEEL STANDARD SUSPENDED SIDEWALK SYMBOL
G	GA GAL	GAUGE GALLON	Т	TBD	TO BE DETERMINED
	GALV GC GV	GALVANIZED GENERAL CONTRACTOR GATE VALVE	•	TC THK TR TS TW	TOP OF CURB THICK(NESS) TOP OF RAMP TOP OF STAIR TOP OF WALL
Н	HDW HDWD HORZ HP	HARDWARE HARDWOOD HORIZONTAL HIGH POINT		TYP	TYPICAL
	нт	HEIGHT	U	UE U.N.O	UTILITY EASEMENT UNLESS NOTED OTHERWIS
I	ID INCL INSUL INT INV	INSIDE DIAMETER INCLUDE INSULATION INTERIOR INVERT	V	VERT VIF	VERTICAL VERIFY IN FIELD
J	JB	JUNCTION BOX	W	W W/ W/O	WEST, WIDE, WIDTH WITH WITHOUT
	JT	JOINT		WD WL WM WT	WOOD WATER LINE WATER METER WEIGHT
K	КО	KNOCK OUT		WWM	WELDED WIRE MESH
L	L LT	LENGTH LIGHT			

LIGHT LOW POINT

NOTE: ABBREVIATIONS APPLY TO LANDDESIGN NOTATIONS ONLY. SURVEY, ARCHITECTURAL AND OTHER ABBREVIATIONS MAY VARY.

LINETYPE LEGEND

MATCHLINE
PROPERTY LINE

MATERIAL/OBJECT INDICATOR

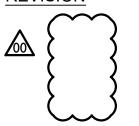


NORTH ARROW



GRAPHIC SCALE

REVISION



PLANTING SYMBOLS

PB PLANT BED

GR GREEN ROOF

BIO BIORETENTION

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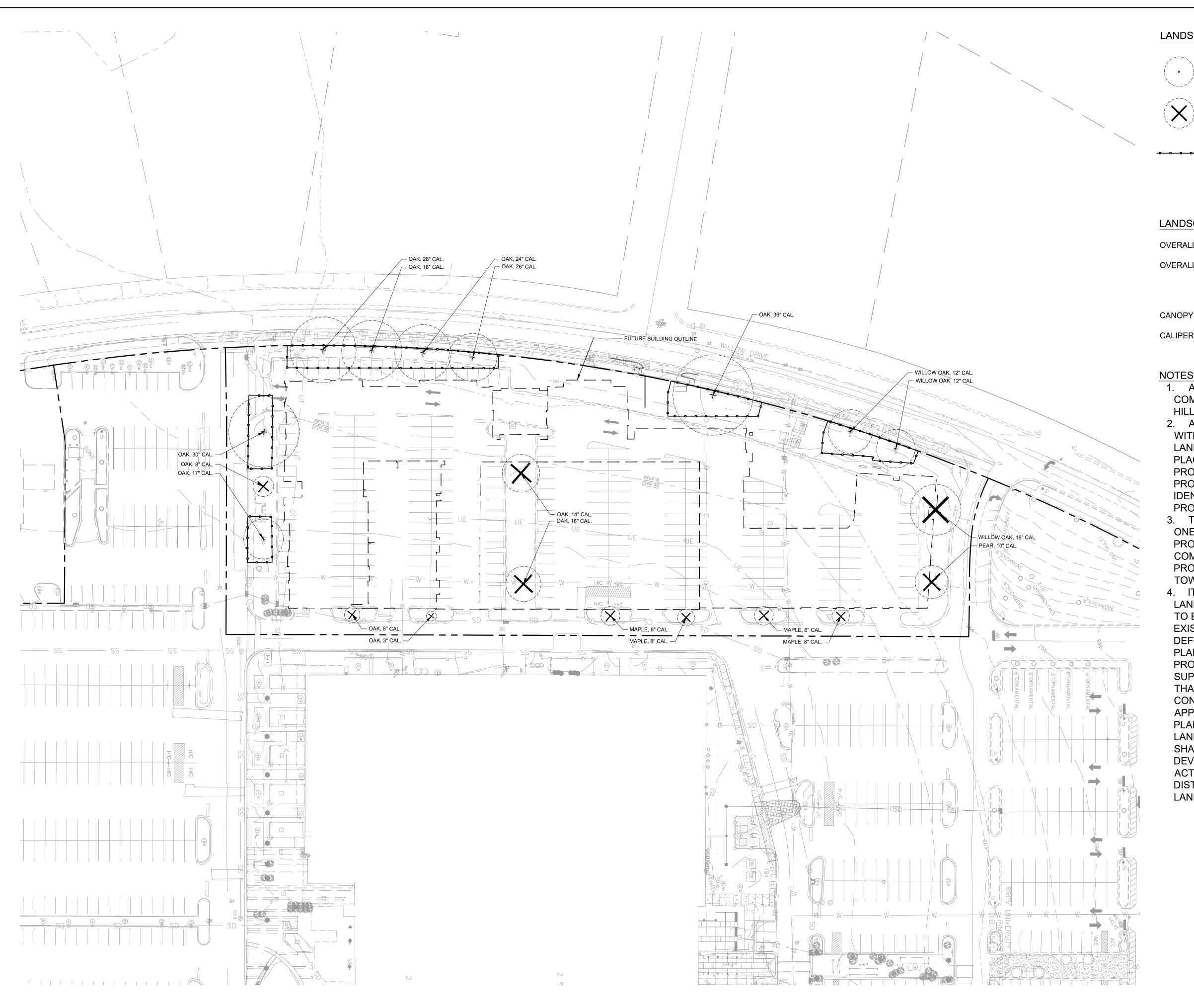
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HORZ: N/A

GENERAL NOTES + SHEET LIST

G0-02



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LANDSCAPE DISPOSITION SCHEDULE

EXISTING TREE TO REMAIN



EXISTING TREE TO BE REMOVED



PROPOSED TREE PROTECTION FENCE

LANDSCAPE DISPOSITION CALCULATIONS

+/- 4,659.20 SF

OVERALL CANOPY

+/- 37,672.58 SF

TO REMAIN

OVERALL CALIPER

+/- 306 IN

TO BE REMOVED

+/-16,506.69 SF

CALIPER

+/- 207 IN +/- 99 IN

- 1. ALL WORK IS SUBJECT TO COMPLIANCE WITH THE TOWN OF CHAPEL HILL TREE PROTECTION ORDINANCE.
- 2. A PRE-CONSTRUCTION CONFERENCE WITH THE TOWN'S URBAN FORESTER OR LANDSCAPE ARCHITECT SHALL TAKE PLACE TO REVIEW PROCEDURES FOR PROTECTION AND MANAGEMENT OF ALL PROTECTED LANDSCAPE ELEMENTS IDENTIFIED ON THE LANDSCAPE PROTECTION PLAN.
- 3. THE APPLICANT SHALL DESIGNATE ONE OR MORE PERSONS AS LANDSCAPE PROTECTION SUPERVISORS WHO HAVE COMPLETED INSTRUCTION IN LANDSCAPE PROTECTION PROCEDURES WITH THE TOWN.
- 4. IT SHALL BE THE DUTY OF THE LANDSCAPE PROTECTION SUPERVISOR TO ENSURE THE PROTECTION OF NEW OR EXISTING LANDSCAPE ELEMENTS, AS DEFINED IN THE LANDSCAPE PROTECTION PLAN. THE APPROVED LANDSCAPE PROTECTION SUPERVISOR SHALL SUPERVISE ALL SITE WORK TO ASSURE THAT DEVELOPMENT ACTIVITY CONFORMS TO PROVISIONS OF THE APPROVED LANDSCAPE PROTECTION PLAN. AT LEAST ONE (1) IDENTIFIED LANDSCAPE PROTECTION SUPERVISOR SHALL BE PRESENT ON THE DEVELOPMENT SITE AT ALL TIMES WHEN ACTIVITY THAT COULD DAMAGE OR DISTURB SOIL AND ADJACENT LANDSCAPE ELEMENTS OCCURS.

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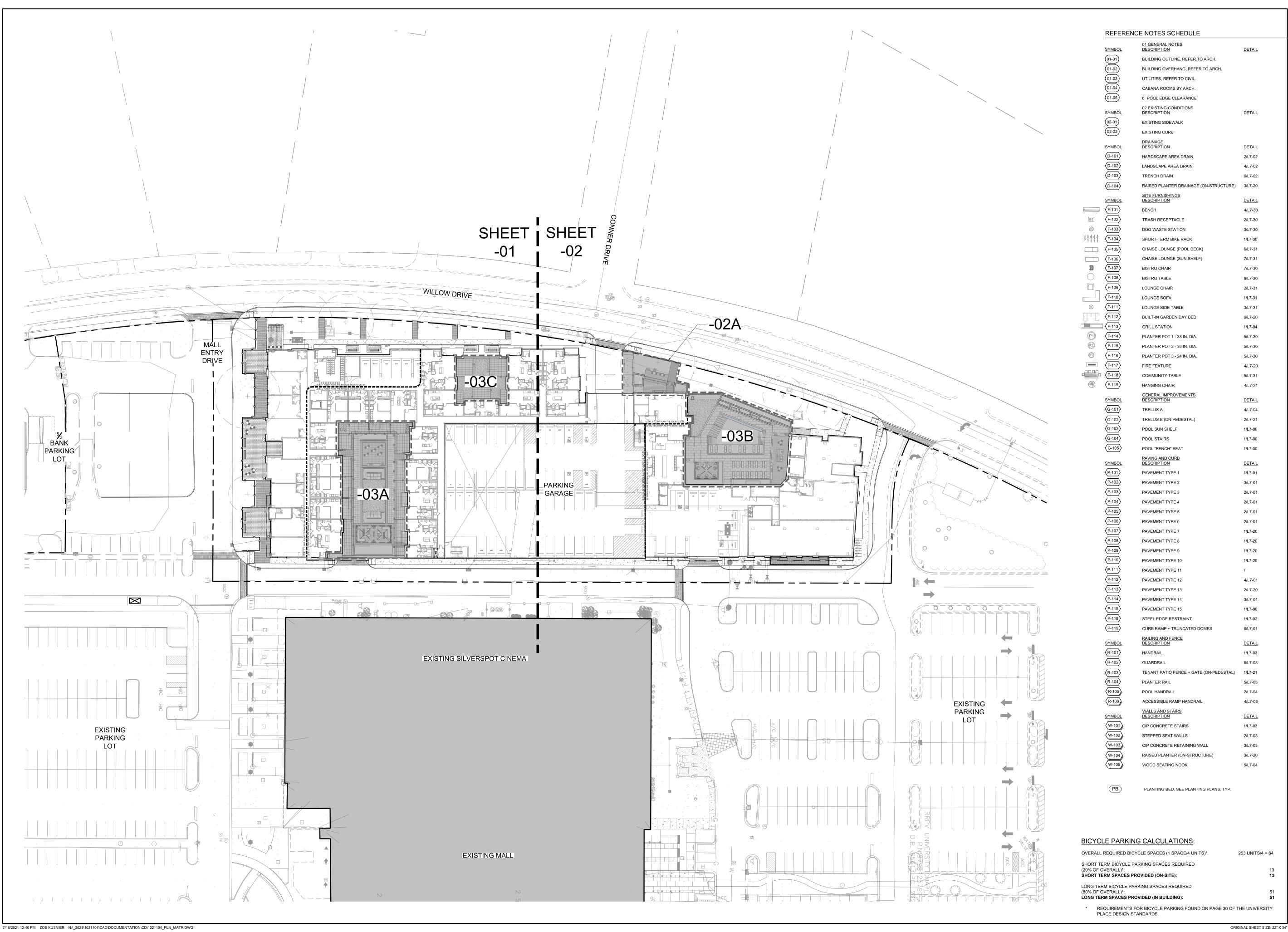
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ORIGINAL SHEET SIZE: 22" X 34"

LANDSCAPE DISPOSITION

G1-00



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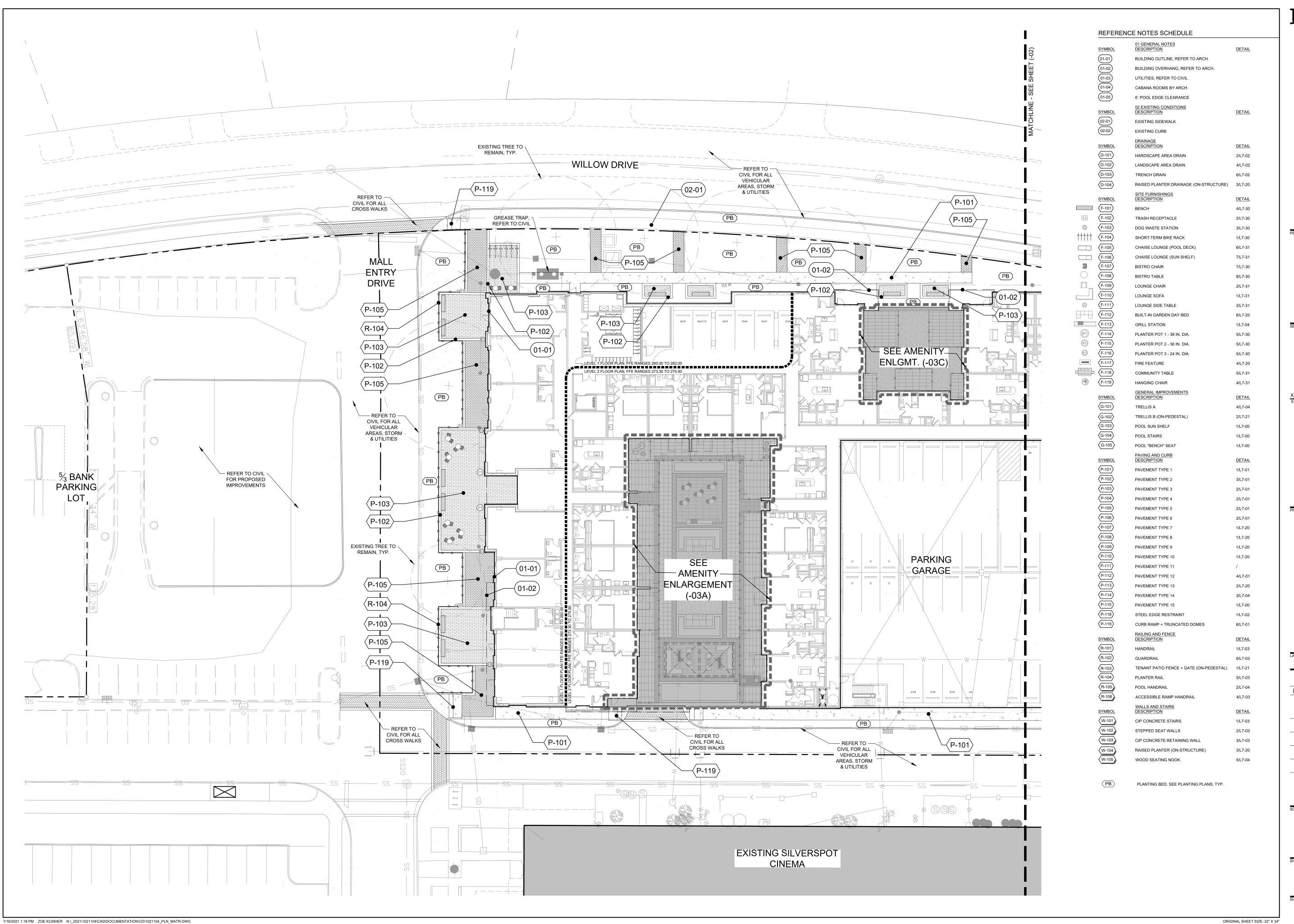
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0 20 40

OVERALL MATERIALS PLAN

L1-00



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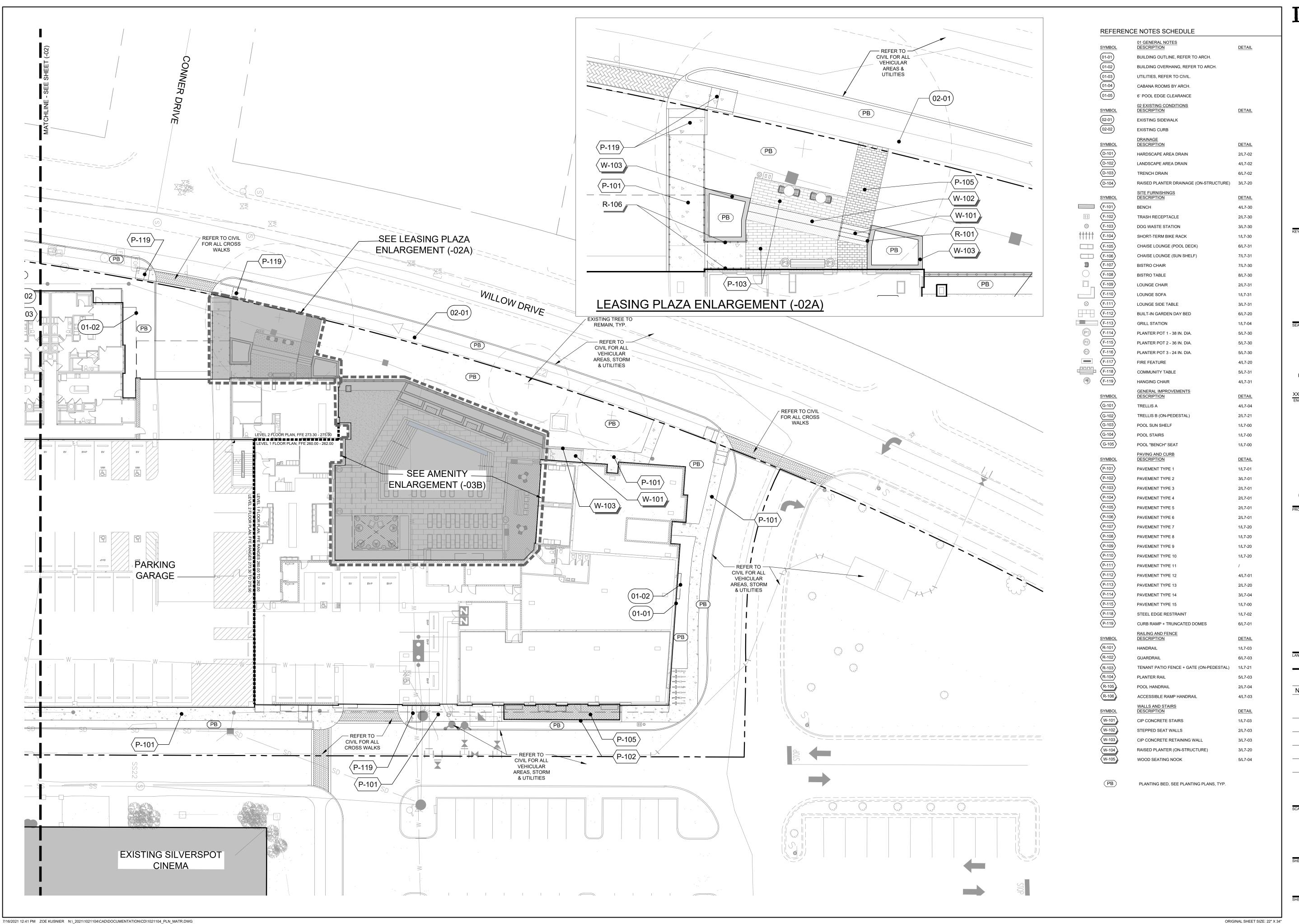
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SHEET TITLE

MATERIALS PLAN 1

L1-01



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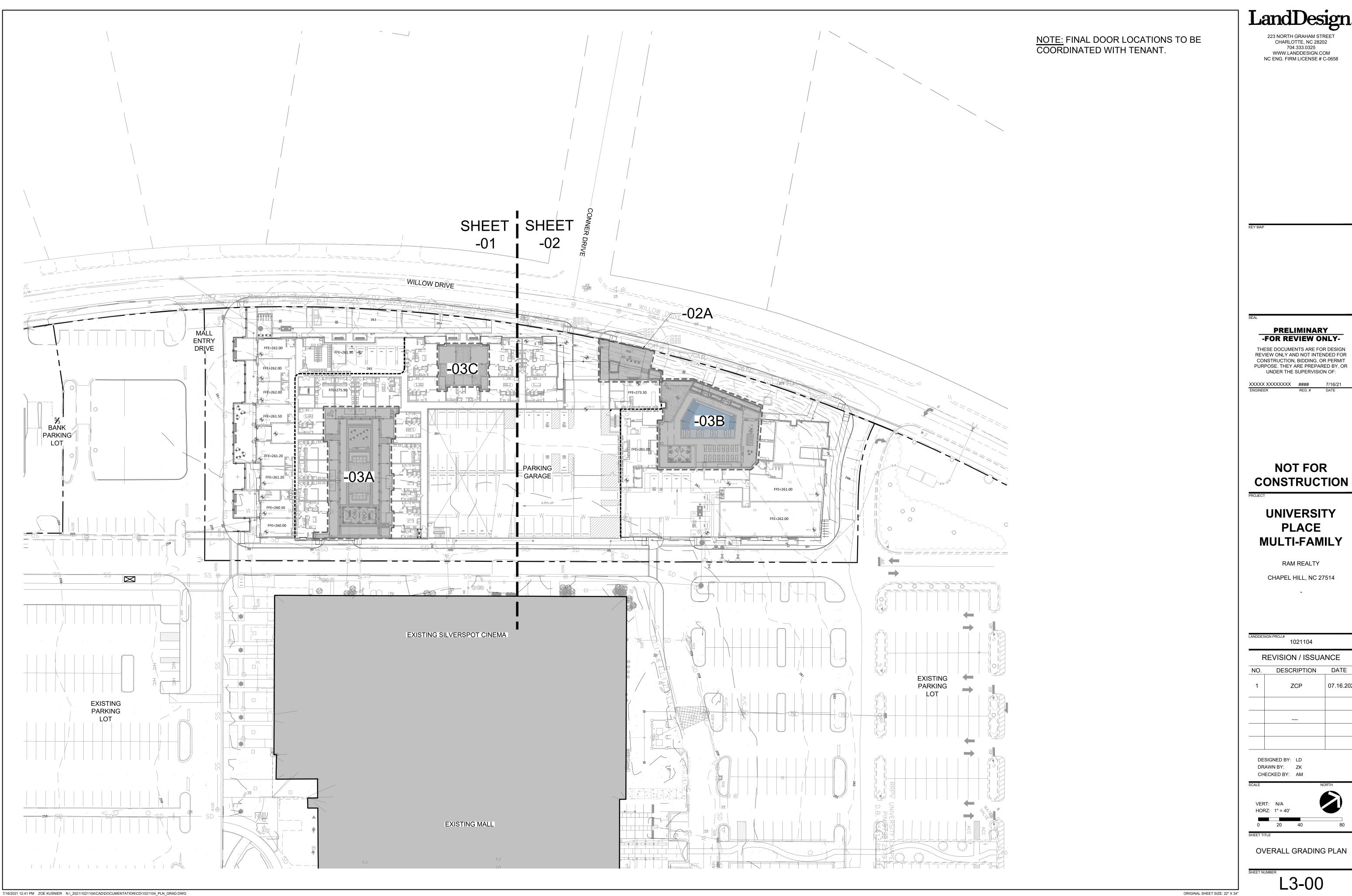
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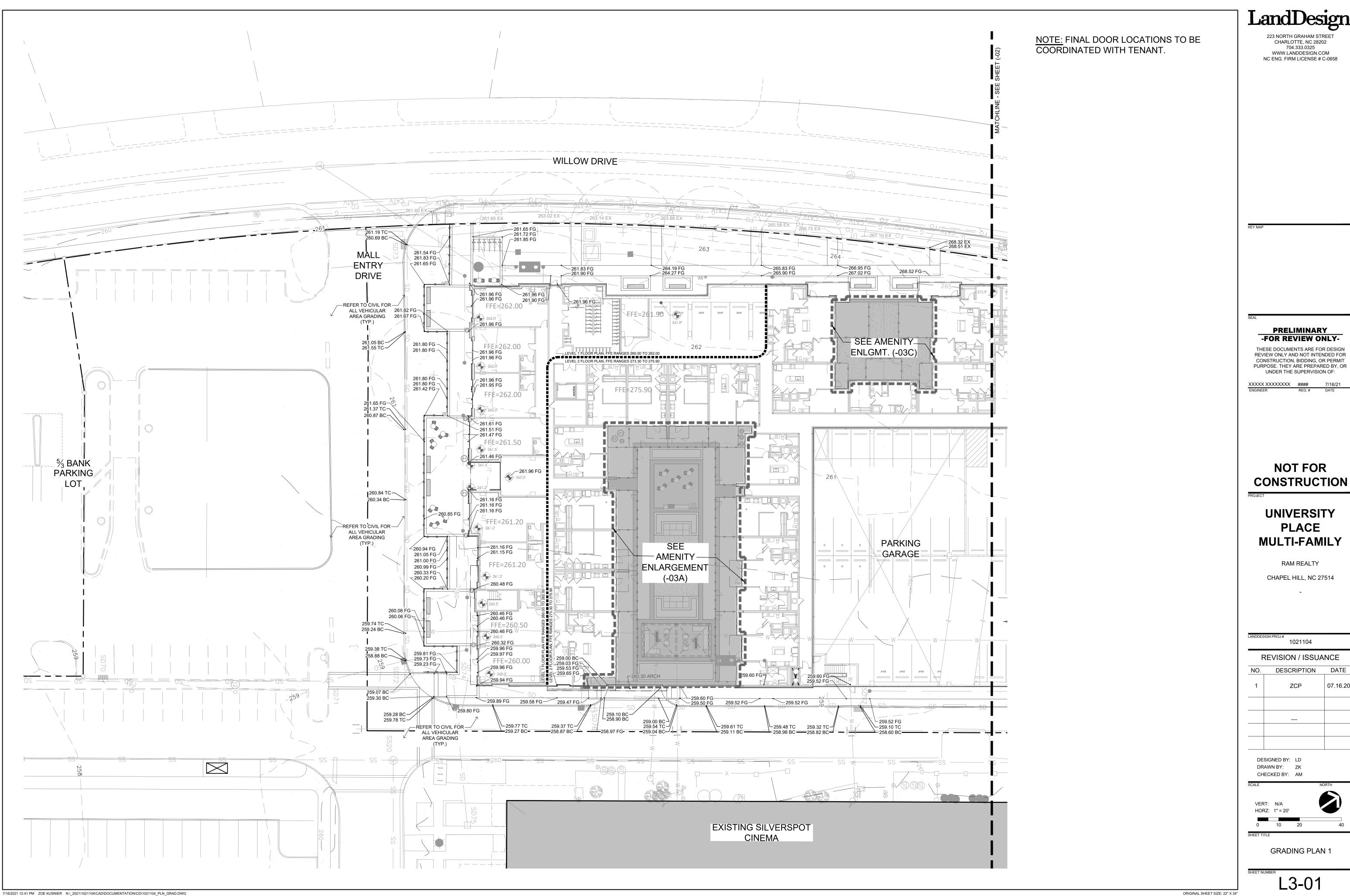
MATERIALS PLAN 2

L1-02

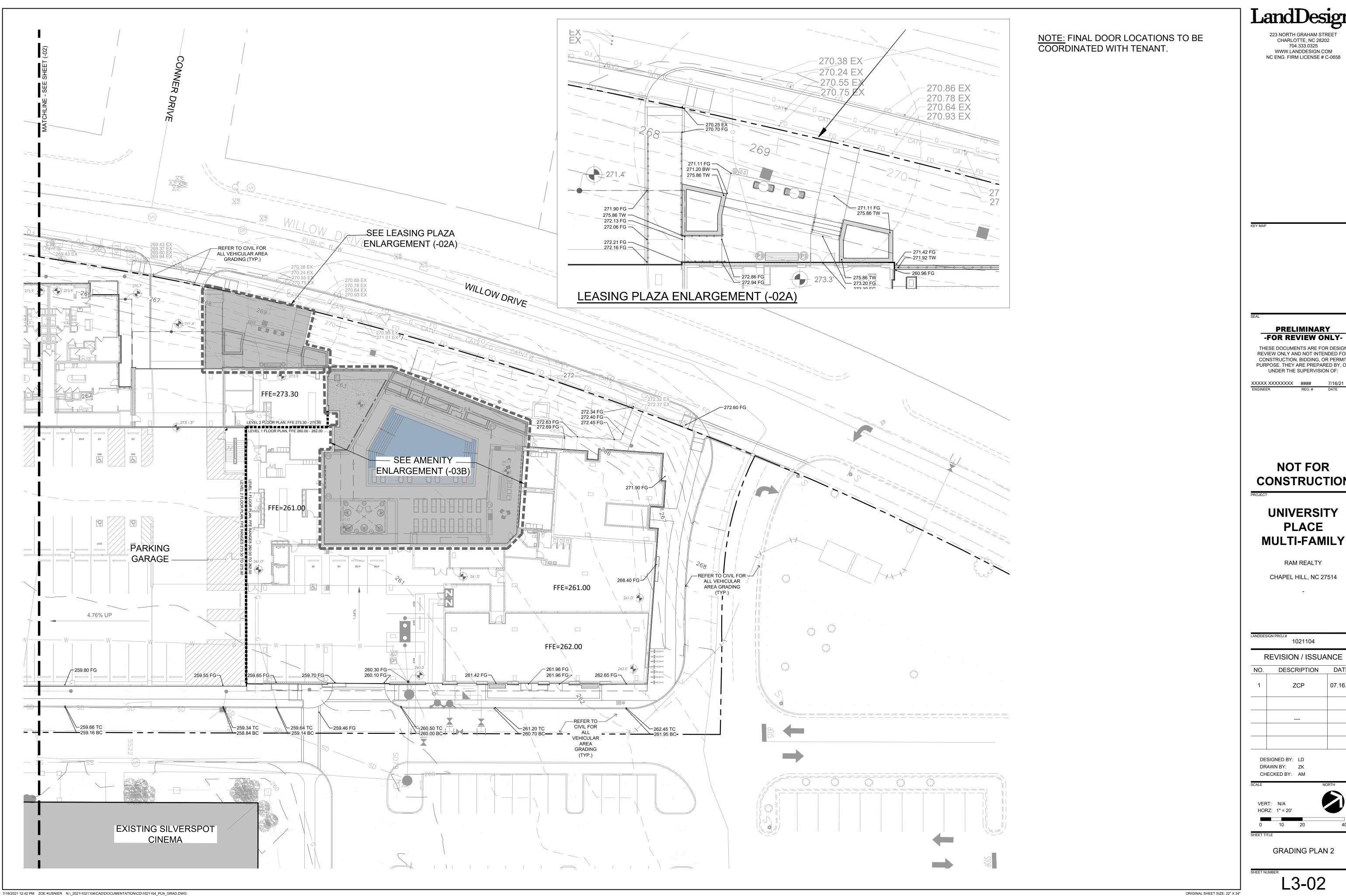


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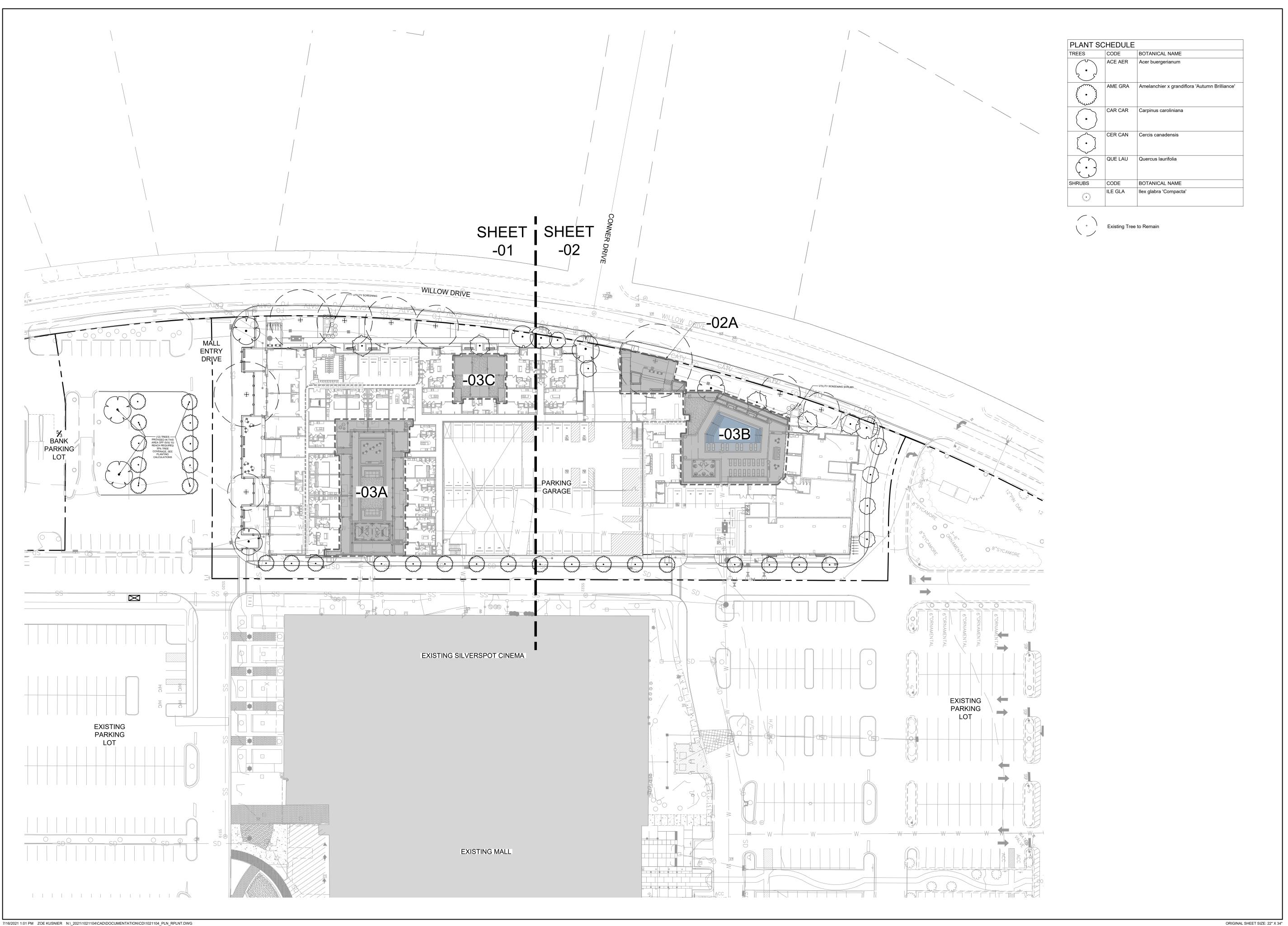
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GRADING PLAN 2

L3-02



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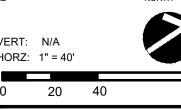
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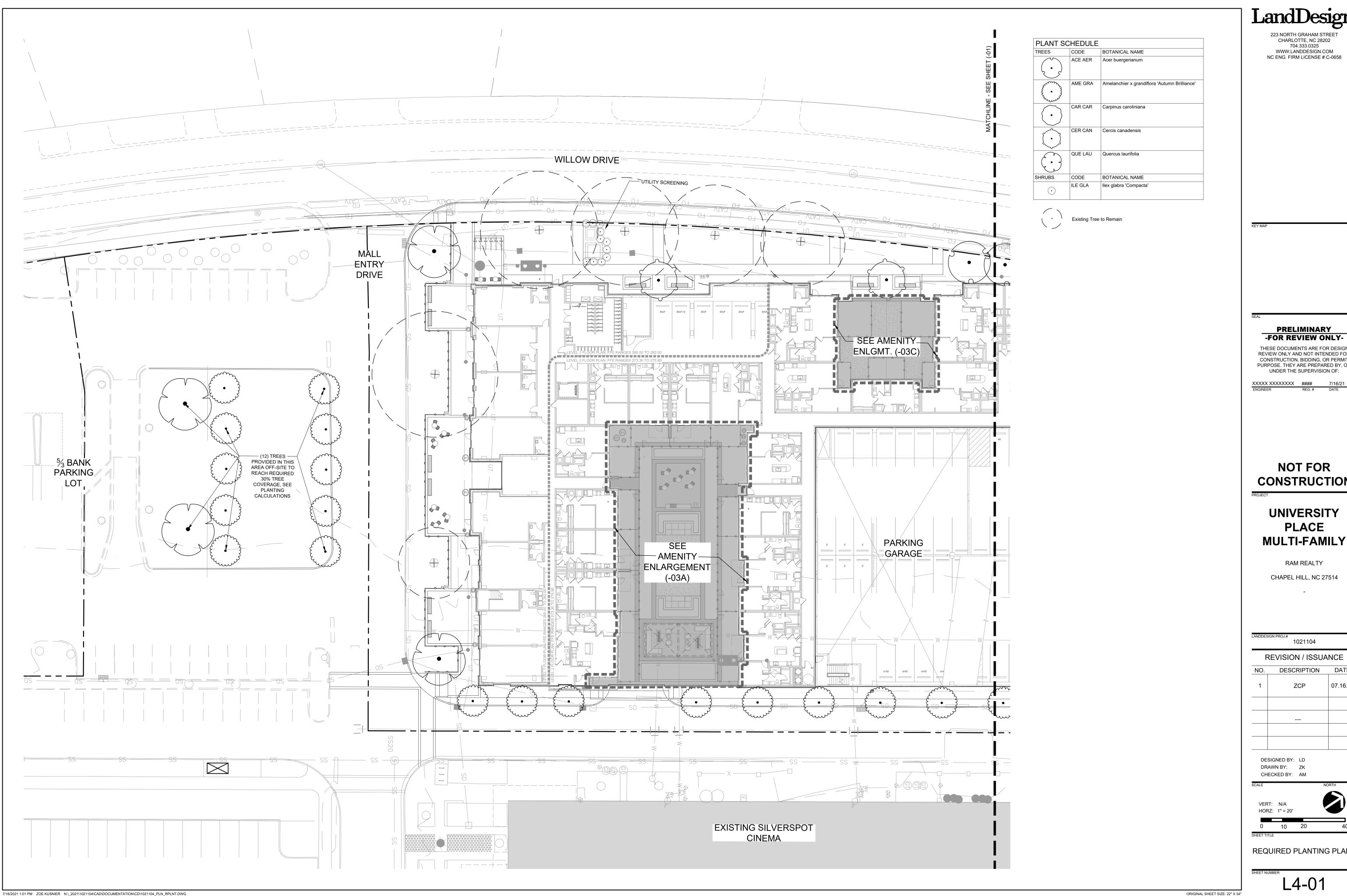
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OVERALL REQUIRED PLANTING PLAN



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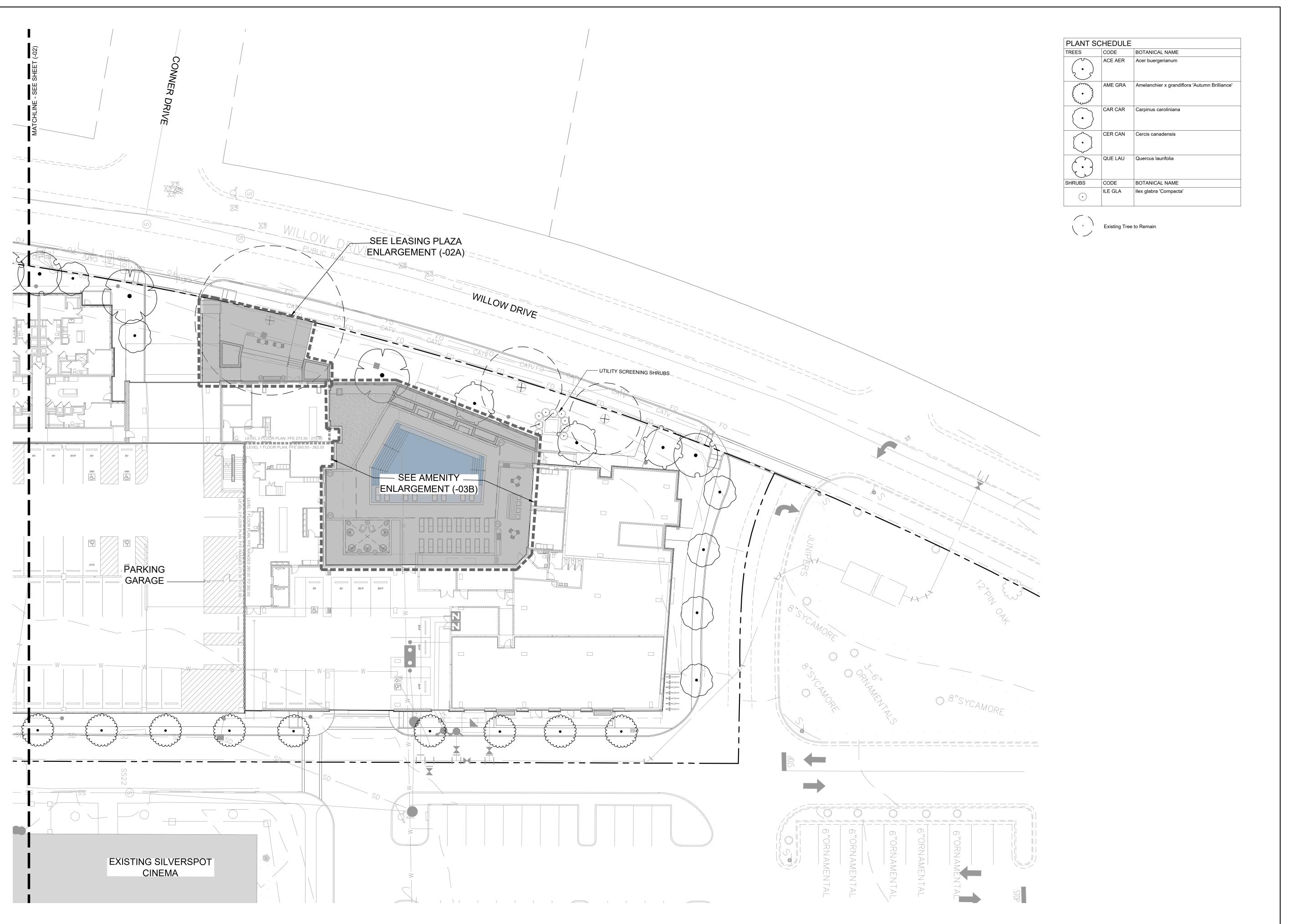
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REQUIRED PLANTING PLAN 1



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DESIGNED BY: LD
DRAWN BY: ZK

CHECKED BY: AM

T: N/A Z: 1" = 20'

SHEET TITLE

ORIGINAL SHEET SIZE: 22" X 34"

REQUIRED PLANTING PLAN 2

PLANT S	CHEDULE							
TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	MIN. CONT.	MIN. CAL.	MIN. HT.	REMARKS
•	ACE AER	3	Acer buergerianum	Trident Maple	B&B	2"	-	12' MIN. HEIGHT, LIMBED UP TO A MIN. OF 7' IN AREAS OF PEDESTRIAN TRAFFIC.
£ • 33	AME GRA	27	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Apple Serviceberry	B&B	2"	-	12' MIN. HEIGHT, LIMBED UP TO A MIN. OF 7' IN AREAS OF PEDESTRIAN TRAFFIC.
•	CAR CAR	6	Carpinus caroliniana	American Hornbeam	B&B	2"	-	12' MIN. HEIGHT, LIMBED UP TO A MIN. OF 7' IN AREAS OF PEDESTRIAN TRAFFIC.
	CER CAN	5	Cercis canadensis	Eastern Redbud Multi-trunk	B&B	2"	-	5' MIN. HEIGHT
	QUE LAU	6	Quercus laurifolia	Laurel Oak	B&B	2"	-	12' MIN. HEIGHT, LIMBED UP TO A MIN. OF 7' IN AREAS OF PEDESTRIAN TRAFFIC.
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	MIN. CONT.	SPACING	MIN. HT.	REMARKS
•	ILE GLA	20	Ilex glabra 'Compacta'	Compact Inkberry	#3		36"	36" MIN. HEIGHT AT TIME OF PLANTING



REQUIRED PLANTING CALCULATIONS

TOTAL SITE AREA: +/- 133,216.96 SF

MIN. 30% CANOPY: +/- 39,965.09 SF EXISTING CANOPY TO REMAIN: - +/- 16,506.69 SF

TREE CANOPY DEFICIT: +/- 23,458.40 SF

TREES REQUIRED (23,458.40 SF OF DEFICIT / 500 SF)*: = 47 TREES TOTAL

1 TREE REQUIRED PER 500 SF DEFICIT

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TREES PROVIDED ON-SITE: = 35 TREES TOTAL
TREES PROVIDED OFF-SITE: = 12 TREES TOTAL

EXISTING PERCENT CANOPY:

PROVIDED PERCENT CANOPY:

12.18%

12.82%

12.82%

12.00%

TOTAL FINISHED CANOPY OFF-SITE: 5.00%

TOTAL FINISHED CANOPY: 30.00%

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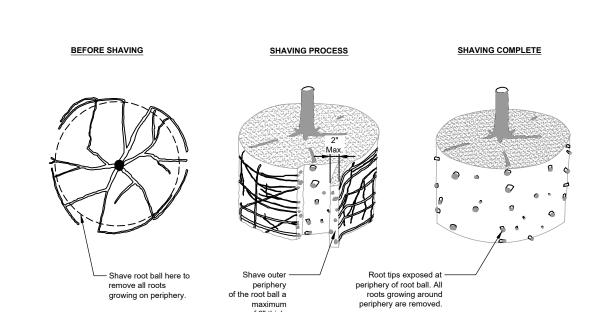
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VERT: N/A HORZ: ########

REQUIRED PLANTING SCHEDULE + CALCULATIONS

^{*} REPLACEMENT OF CANOPY DETERMINED BY SECTION 5.7 OF CHAPEL HILL CODE OF ORDINANCES. A MINIMUM TREE CANOPY COVERAGE OF 30% IS REQUIRED WITH AT LEAST 20% COVERAGE REQUIRED ON-SITE DETERMINED BY UNIVERSITY PLACE DESIGN STANDARDS. REMAINING 10% IS ALLOWED TO BE PROVIDED EITHER OFF-SITE OR BY PAYMENT IN LIEU (PER LUMO 5.7.2(C)).



Notes:
1- Shaving to be conducted using a sharp blade or hand saw eliminating no more than needed to remove all roots on the periphery of root ball. 2- Shaving can be performed just prior to planting or after placing in the hole.

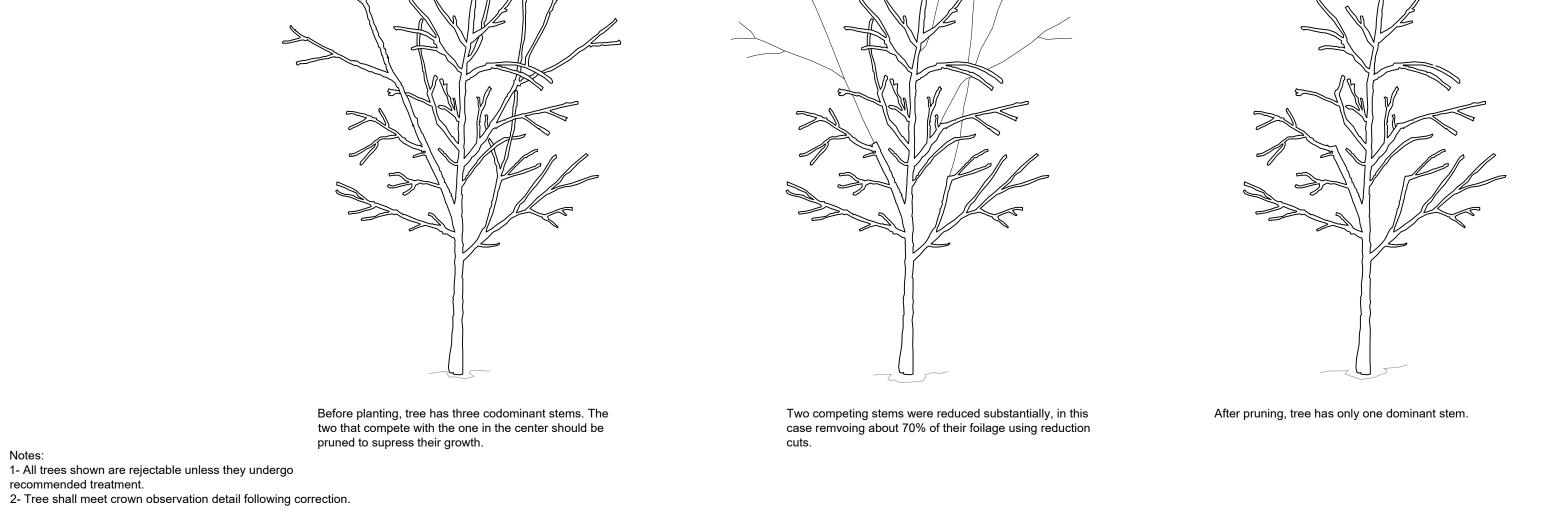
ROOTBALL CORRECTION - ROOT SHAVING

PLAN / SECTION / ELEVATION

recommended treatment. 2- Tree shall meet crown observation detail following correction.

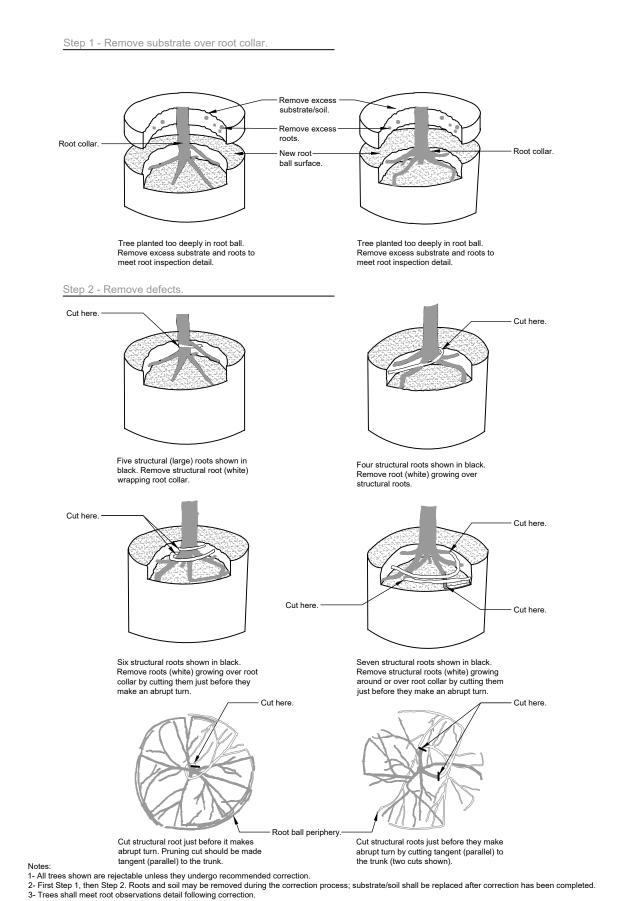
NOT TO SCALE

NOT TO SCALE



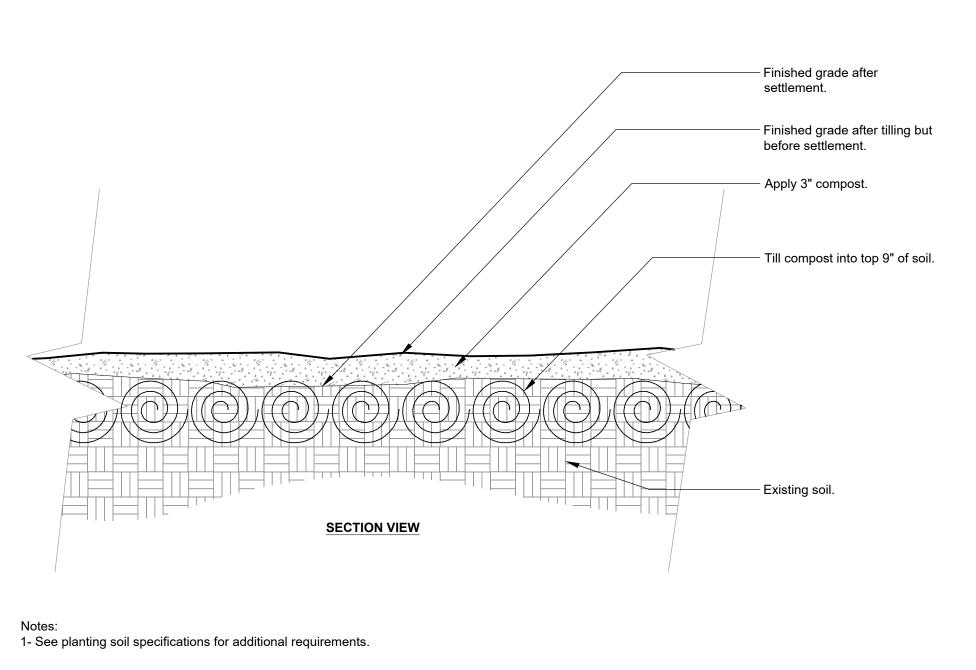
CROWN CORRECTION

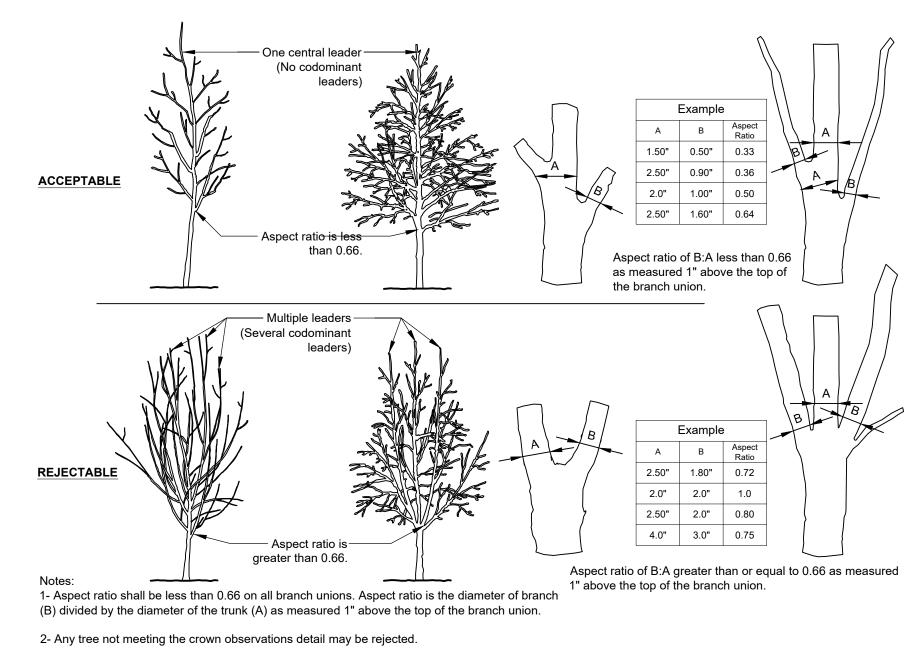
PLAN / SECTION / ELEVATION



4- Small roots (11/4" or less) on the periphery of the root ball are common with container plant production. These small roots are not defined as "defects" and can be addressed at the time of installation (See root ball shaving container detail).

ROOTBALL CORRECTION - CONTAINER GROWN





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UNIVERSITY **PLACE MULTI-FAMILY**

RAM REALTY

CHAPEL HILL, NC 27514

1021104 REVISION / ISSUANCE NO. DESCRIPTION DATE 07.16.2021 ZCP

DESIGNED BY: LD DRAWN BY: ZK CHECKED BY: AM

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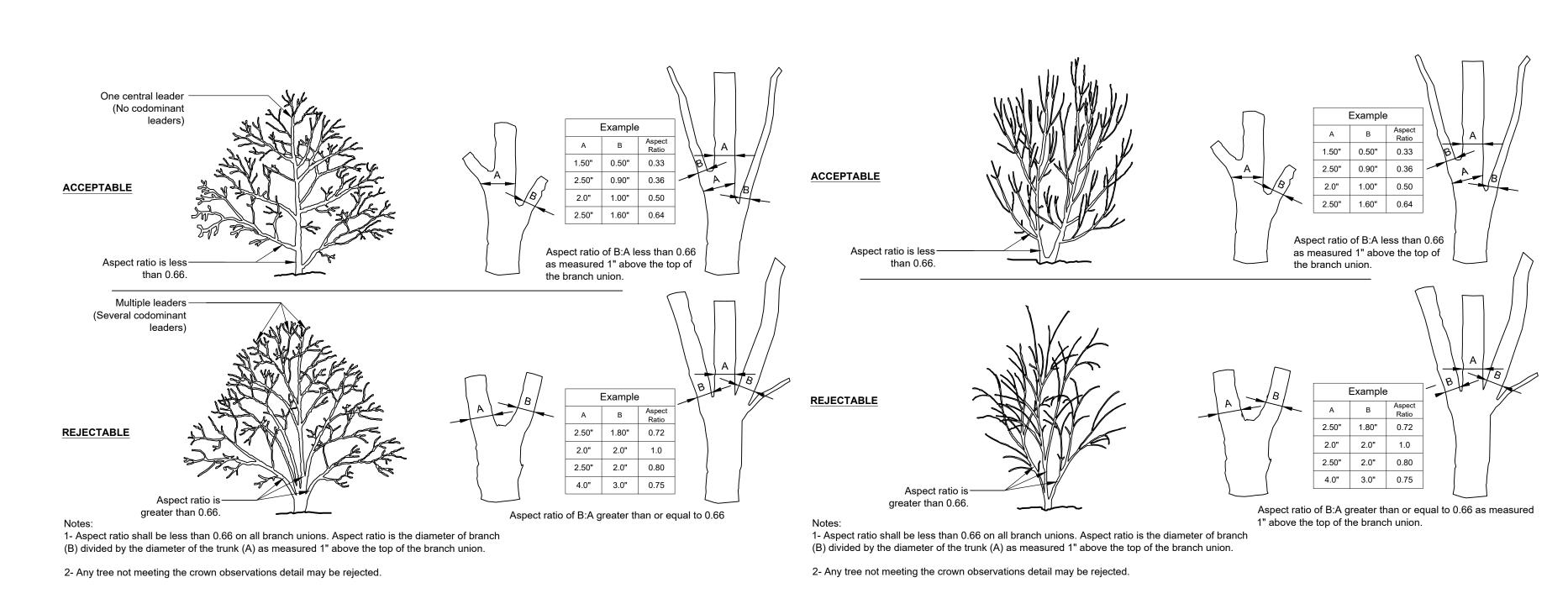
NOT TO SCALE

ORIGINAL SHEET SIZE: 22" X 34"

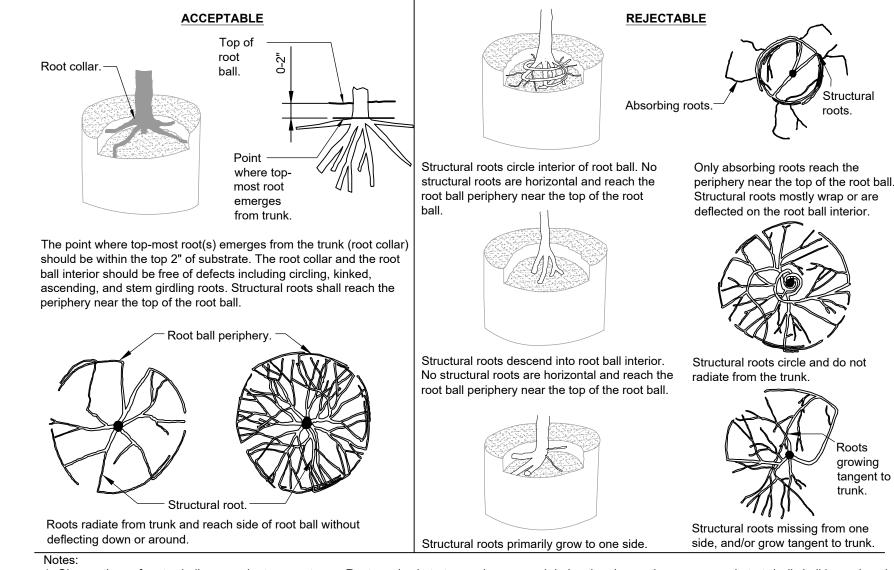
PLANTING DETAILS

L5-05

LAN / SECTION / ELEVATION



NOT TO SCALE



1- Observations of roots shall occur prior to acceptance. Roots and substrate may be removed during the observation process; substrate/soil shall be replaced after observation has been completed.

2- Small roots (1/4" or less) that grow around, up, or down the root ball periphery are considered a normal condition in container production and are acceptable however they should be eliminated at the time of planting. Roots on the periperhy can be removed at the time of planting. (See root ball shaving container

3- See specifications for observation process and requirements.

TREE PLANTING

PLAN / SECTION / ELEVATION

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RAM REALTY

CHAPEL HILL, NC 27514

1021104

NO. DESCRIPTION DATE ZCP 07.16.2021

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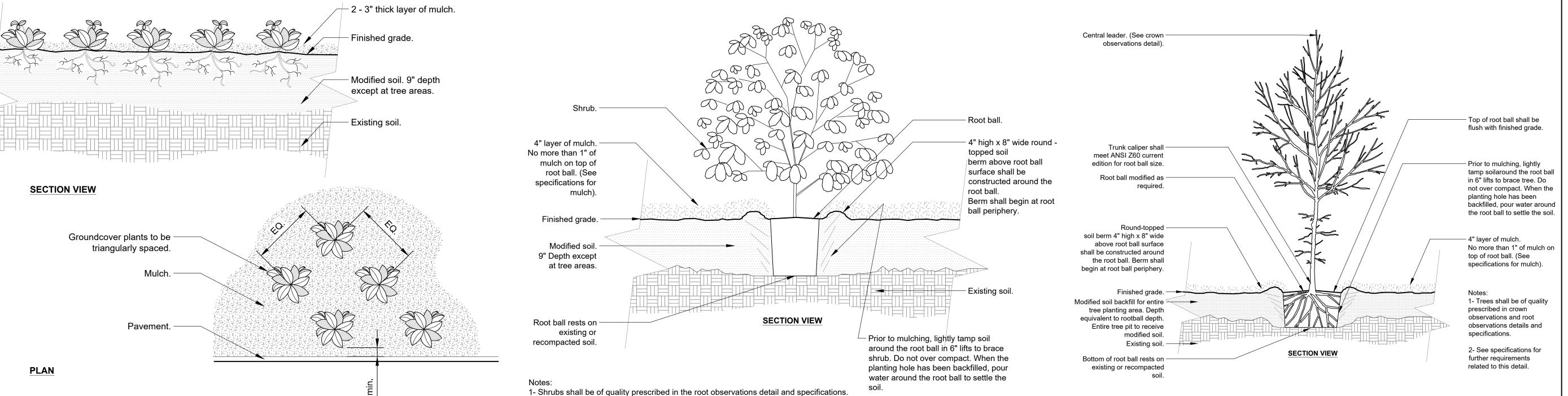
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PLANTING DETAILS

L5-06



CROWN OBSERVATION - MULTI-STEM

2- See specifications for further requirements related to this detail.

SHRUB PLANTING

L5-06 PLAN / SECTION / ELEVATION

NOT TO SCALE

PLAN / SECTION / ELEVATION

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4 PLANT SPACING

AN / SECTION / ELEVATION

1- See planting legend for groundcover species, size, and spacing dimension.

3- Settle soil around root ball of each groundcover prior to mulching.

2- Small roots ($\frac{1}{4}$ " or less) that grow around, up, or down the root ball periphery are considered a

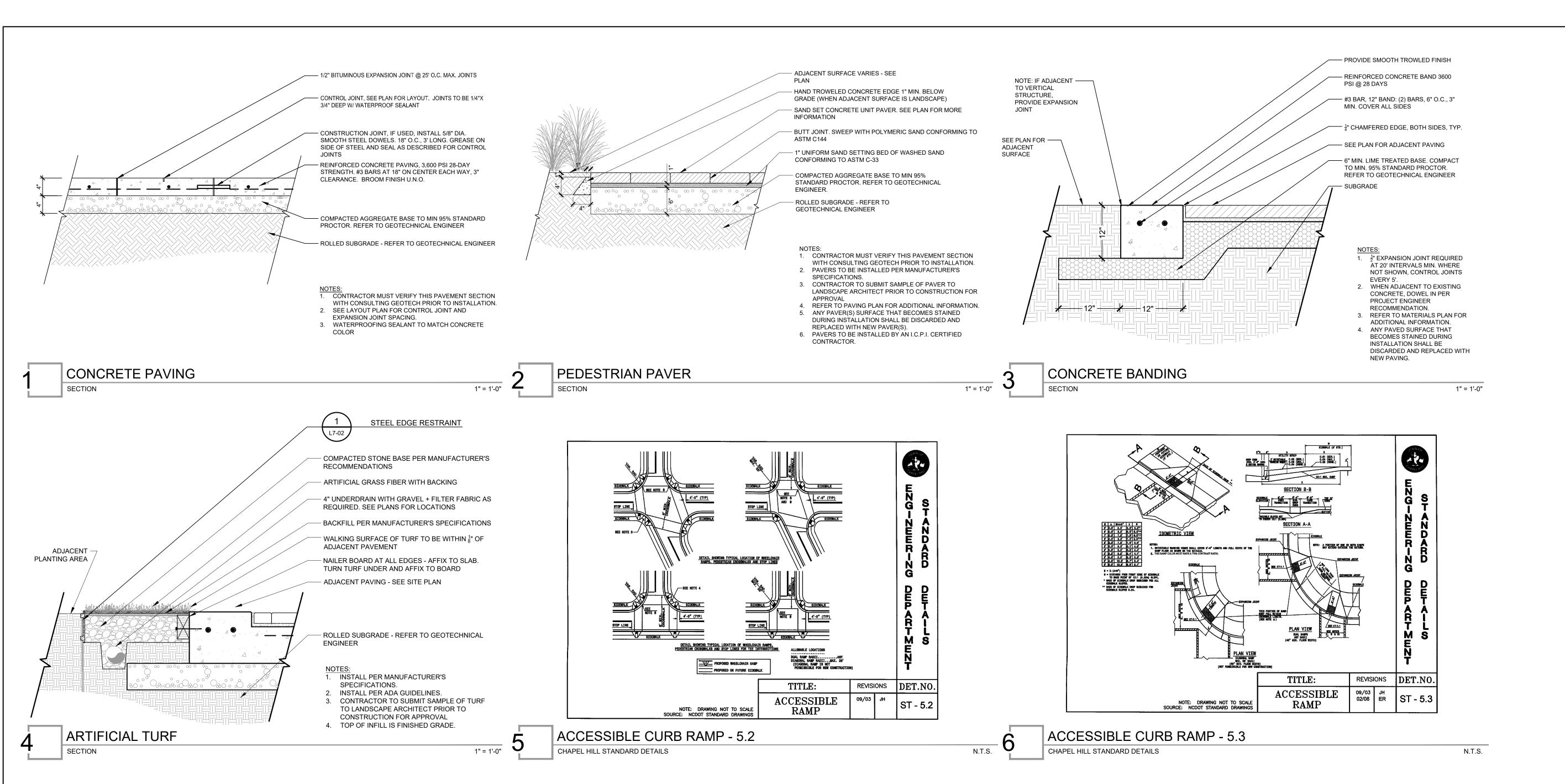
normal condition in container production and are acceptable however they should be eliminated at the

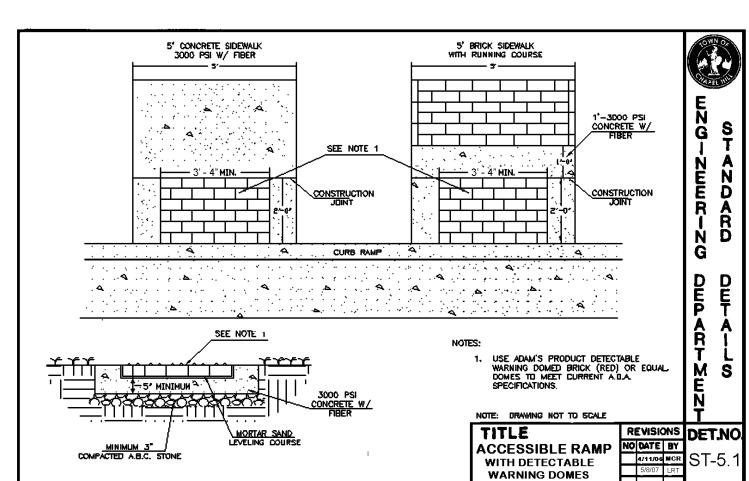
time of planting. Roots on the periperhy can be removed at the time of planting. (See root ball shaving container detail).

CROWN OBSERVATION - LOW BRANCHING

PLAN / SECTION / ELEVATION

ORIGINAL SHEET SIZE: 22" X 34"





TRUNCATED DOMES

CHAPEL HILL STANDARD DETAILS

N.T.S.

TANDDESIGN PROJ.#

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MULTI-FAMILY

RAM REALTY

CHAPEL HILL, NC 27514

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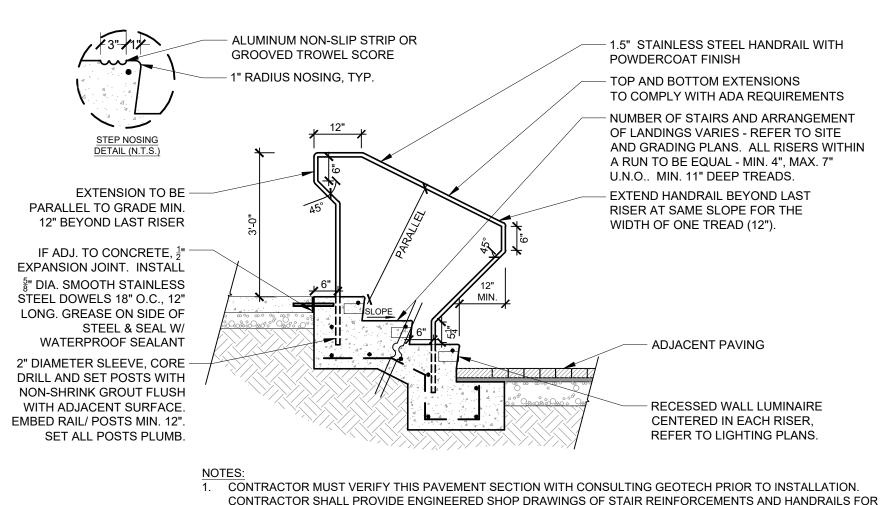
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EET TITLE

SITE DETAILS

L7-01



CONTRACTOR SHALL PROVIDE ENGINEERED SHOP DRAWINGS OF STAIR REINFORCEMENTS AND HANDRAILS FOR LANDSCAPE ARCHITECT'S APPROVAL.

2. RAILING TO MAINTAIN 1 $\frac{1}{2}$ " CLEAR FROM WALL AT ALL GRIPPING SURFACES.

REFER TO SITE PLAN FOR ADDITIONAL INFORMATION.. GROUT TO PITCH AWAY FROM RAILING TO ALLOW DRAINAGE AWAY FROM POST, TYP.

5. WELDS SHALL BE CONTINUOUS AND GROUND SMOOTH.

ACCESSIBLE HANDRAIL EXTENSION

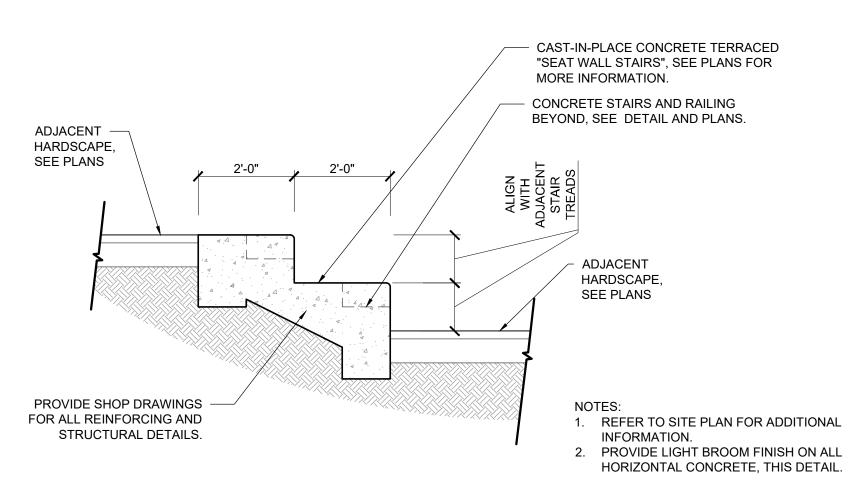
1'-0" AT TOP AND BOTTOM OF RAMP

RUNS, EXCEPT FOR INSIDE RAIL OF

TO BE PARALLEL TO GRADE MIN.

SWITCHBACK RAMPS.

CIP CONCRETE STAIR + HANDRAIL 1/2" = 1'-0"



- RAILING WHERE REQUIRED. - PRECAST CONCRETE WALL CAP OR APPROVED EQUAL. ADJACENT LANDSCAPING OR PAVING, REFER TO SITE PLAN. REINFORCED CONCRETE WALL - REFER TO STRUCTURAL ENGINEER. - CONTINUOUS WATERPROOFING AND DRAINAGE BOARD AS SPECIFIED BY OTHERS. - ADJACENT PAVING OR LANDSCAPING, REFER TO SITE PLAN. PROVIDE MIN. 18" COVER OVER FOOT AT ALL TIMES. 98% COMPACTED SUBGRADE $-\frac{1}{2}$ " DIA. WASHED GRAVEL — 4" PERFORATED PVC WITH FILTER SOCK, TO TIE INTO STORM SYSTEM. - REINFORCED CONC FOUNDATION - REFER TO STRUCTURAL ENGINEER. 1. CONCRETE TO BE 3600 PSI @ 28 DAYS UNLESS OTHERWISE SPECIFIED BY STRUCTURAL/SOIL ENGINEER. SEE OVERALL SITE AND LAYOUT PLANS FOR FINAL WALL LOCATIONS. SEE GRADING PLAN FOR FINAL WALL ELEVATIONS. 4. STRUCTURAL ENGINEER TO STAMP AND SEAL ALL WALLS OVER 30" IN VERTICAL HEIGHT FROM TOP OF GRADE. 5. ALL FINISHES, COLORS AND AGGREGATES SHALL BE REVIEWED AND APPROVED BY LANDSCAPE ARCHITECT/OWNER PRIOR TO INSTALLATION. 6. ALL DRAINAGE PROVIDED SHALL HAVE POSITIVE FLOW AWAY FROM FOOTING AS 7. ALL TIE HOLES AND OTHER VOIDS SHALL BE PATCHED AND SEALED. FINS SHALL BE GROUND AND THE ENTIRE SURFACE OF THE WALL SHALL BE RUBBED TO ACHIEVE A CONSISTENT COLOR AND FINISH. 8. MOISTURE CURE CONTINUOUSLY FOR NOT LESS THAN 7 DAYS. APPLY CURING COMPOUND UNIFORMLY IN CONTINUOUS OPERATION BY POWER SPRAY OR ROLLER ACCORDING TO MANUFACTURER'S INSTRUCTIONS. RE-COAT AREAS SUBJECTED TO HEAVY RAINFALL WITHIN 3 HOURS AFTER INITIAL APPLICATION. MAINTAIN CONTINUITY OF COATING AND REPAIR DAMAGE DURING CURING PERIOD. ALL EXTERIOR CONCRETE SURFACES SHALL RECEIVE ONE COAT OF EXTERIOR SEALER.

CIP CONCRETE RETAINING WALL

3/4" SQUARE BAR STOCK FOR ALL 3/4" SQUARE BAR STOCK POSTS. FOR ALL POSTS. - ½" x 2" BAR STOCK 6'-0" MAX. RAIL POSTS SHOULD BE SPACED EVENLY TOP RAIL IN PLANTING BEDS - PROVIDE SHORTER SPACING $-\frac{1}{2}$ " x 1" BAR STOCK AS NECESSARY TO ACCOMMODATE RADII **BOTTOM RAIL** ADJACENT SURFACE VARIES IMBED POST 6" INTO CONCRETE FOOTING CONRETE FOOTING, 12" DEPTH. - 6" MIN. LIME TREATED

CONTRACTOR TO VERIFY ALL BAR STOCK SIZES WILL BE ACCURATE FOR STRENGTH AND DURABILITY 2. ALL BAR STOCK TO MAINTAIN MIN. 3" CLEARANCE BETWEEN ENDS OF BARS AND EDGE OF CONCRETE

3. CONTRACTOR TO ASSUME 2 COATS OF TNEMEC PAINT. SUPPLY 3 SAMPLES TO REVIEW. ALL METAL TO BE WROUGHT IRON.

4. PROVIDE 1" CHAMFER ON ALL CUT AND EXPOSED ENDS

5. GRIND ALL EDGES SMOOTH

BASE OR FLEX-BASE MATERIAL COMPACTED TO MIN. 95% STANDARD PROCTOR. REFER TO GEOTECHNICAL **ENGINEER**

OWNER AND LANDSCAPE ARCHITECT. 13. EXTENSIONS SHALL NOT BE REQUIRED FOR CONTINUOUS HANDRAILS AT THE INSIDE TURN OF SWITCHBACK OR DOGLEG STAIRS AND RAMPS.

HANDRAILS ARE REQUIRED AT ALL GRADES EXCEEDING 5%.

COLOR TO BE DETERMINED BY LANDSCAPE ARCHITECT.

ANY CONSTRUCTION ELEMENTS OR OBSTRUCTIONS. 8. HANDRAILS SHALL NOT ROTATE WITHIN THEIR FITTINGS.

3. SLOPE OF RAMP VARIES; REFER TO GRADING PLAN.

HANDRAILS WHERE PROVIDED).

OF STEP OR RAMP.

2. ALL HANDRAILS TO COMPLY TO CURRENT ADA STANDARDS FOR ACCESSIBLE

4. RAMP RUNS MUST HAVE A CLEAR WIDTH OF 36" MINIMUM (MEASURED BETWEEN

6. HANDRAIL SHALL BE CONTINUOUS METAL FROM TOP OF STEP OR RAMP TO BOTTOM

5. HANDRAIL SHALL HAVE 1 COAT PRIMER AND 2 COATS DEVOE ALKYD ENAMEL.

7. MAXIMUM SPACE BETWEEN VERTICAL HANDRAIL POSTS SHALL BE 8'-0". POSTS SHOULD BE SPACED EVENLY. GRIPPING SURFACE SHALL BE UNINTERRUPTED BY

9. CLEAR SPACE BETWEEN THE HANDRAIL AND ANY WALL OR STRUCTURE SHALL BE

11. HANDRAIL SHALL BE SET WITH A Ø2" CORE DRILL AND EMBEDDED INTO PLACE AT A

MINIMUM DEPTH OF 12". EPOXY INTO PLACE AND CAP WITH WATERPROOFING

SEALANT. SEALANT COLOR TO MATCH BRICK MORTAR COLOR. ALUMINUM RING

10. ALL SITE HANDRAILS TO BE FABRICATED WITH CONTINUOUS WELDS, GROUND

COLLAR PROVIDED AT BASE OF HANDRAIL, COLOR TO MATCH HANDRAIL.

12. ALL HANDRAILS TO BE GALVANIZED STEEL UNLESS OTHERWISE APPROVED BY

14. FINAL RAILING DESIGN BY TENANT.

STEPPED SEAT WALLS

PLANTER RAIL

1/2" = 1'-0"

3/4" = 1'-0"

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RAM REALTY

CHAPEL HILL, NC 27514

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SITE DETAILS

L7-03



CORNER

GUARDRAIL

ELEVATION

8' O.C. MAX.

CONDITION

1.5"x1.5" STEEL TUBE

PAINTED BLACK

TOP OF GUARDRAIL, 1.5"x1.5" STEEL SQUARE TUBE PAINTED BLACK

ACCESSIBLE RAMP HANDRAIL- 1.5"x1.5" STEEL SQUARE TUBE,

WELD CONTINUOUS AND GROUND SMOOTH. PAINTED BLACK.

MUST PREVENT PASSAGE OF A 4" DIAMETER SPHERE.

BOTTOM RAIL/ BARRIER OF THE ACCESSIBLE RAMP HANDRAIL

SLOPE OF ACCESSIBLE RAMP, SEE PLANS.

MANUFACTURER SPECIFICATIONS. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR

APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. HANDRAIL ASSEMBLIES AND GUARDS SHALL BE DESIGNED TO RESIST A LINEAR LOAD OF 50

ACCORDANCE WITH SECTION 4.5.1 OF ASCE 7. 4. REQUIRED GUARDS SHALL NOT HAVE OPENINGS THAT ALLOW PASSAGE OF A SPHERE 4 INCHES IN

5. SUBMIT SIGNED AND SEALED SHOP DRAWINGS FOR APPROVAL PRIOR TO PROCUREMENT.

SHOP DRAWINGS. 7. ALL GUARDRAILS TO BE FABRICATED WITH CONTINUOUS WELDS AND GROUND SMOOTH.

9. GUARDRAILS SHALL NOT ROTATE WITHIN THEIR FITTINGS.

3/4" = 1'-0"

- 1.5"x1.5" STEEL SQUARE TUBE POSTS PAINTED BLACK

— 1"x1" STEEL SQUARE TUBE PAINTED BLACK

INSTALL ALL COMPONENTS IN ACCORDANCE WITH APPLICABLE LOCAL CODES, ADA GUIDELINES, AND

POUNDS PER LINEAR FOOT (PLF) (0.73 KN/M) AND A CONCENTRATED LOAD OF 200 POUNDS (0.89KN), IN

DIAMETER FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT.

6. AFFIX GUARDRAIL TO VARYING SURFACES PER

8. GUARDRAIL SHALL HAVE 1 COAT PRIMER AND 2 COATS DEVOE ALKYD ENAMEL. COLOR TO BE DETERMINED BY LANDSCAPE ARCHITECT.

10. MAXIMUM SPACE BETWEEN VERTICAL POSTS SHALL BE 8'-0". POSTS SHOULD BE SPACED

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RAIL TO FOLLOW SLOPE OF

WALL/FINISHED SURFACE

ORIGINAL SHEET SIZE: 22" X 34"



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RAM REALTY

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SITE DETAILS (FURNITURE)

L7-30