

ALTERNATE THRU FLOOR ACCESS

PART	MANUFACTURER MODEL / Cst. No.
1 BACKFLOW PREVENTER, AS APPLICABLE	USC & ASSE APPROVED
2 GASKET GATE VALVE WITH RESILIENT SEATS	TO BE APPROVED BY OWASA
3 DIP FLANGE x FLANGE PIPE (VERIFY LENGTH)	AMERICAN CAST IRON PIPE, or GRIFIN PIPE CO. TO BE APPROVED BY OWASA
4 CSP OR PVC SCH 40 PIPE	SIZE & TYPE DETERMINED BY NC PE.
5 CSP OR PVC SCH 40 90° TRAP	TO BE APPROVED BY OWASA
6 FLOOR DRAIN	---
7 MASONRY BLOCK	---
8 WALL SLEEVE WITH LINK SEAL	TO BE APPROVED BY OWASA
9 METER BOX WITH EXT AND METER	PURCHASED FROM OWASA
10 90° DIP FLANGE x FLANGE ELBOW	AMERICAN CAST IRON PIPE, or GRIFIN PIPE CO. or UNION-TYLER PIPE CO. or U.S. PIPE & FOUNDRY
11 WEDGE ACTION RESTRAINER (GLAND JOINT RESTRAINT)	SEAL IRON SALES, INC. FORD
12 90° DIP M.J. x M.J. ELBOW	AMERICAN CAST IRON PIPE, GRIFIN PIPE CO., UNION-TYLER PIPE CO., U.S. PIPE & FOUNDRY
13 DIP FLANGE x PE PIPE (VERIFY LENGTH)	AMERICAN CAST IRON PIPE, GRIFIN PIPE CO., UNION-TYLER PIPE CO., U.S. PIPE & FOUNDRY
14 3" THRU TOP DIP	---

ORANGE WATER AND SEWER AUTHORITY
 2 1/2" to 10" DCV, DDCV, RPZ, RPDA ASSEMBLY (INDOOR)

ORANGE WATER AND SEWER AUTHORITY
 SANITARY SEWER BEDDING DETAIL

3" METER ASSEMBLY SCHEMATIC

ORANGE WATER AND SEWER AUTHORITY
 3" to 8" WATER METER WITH BYPASS (UNDER GROUND VAULT)

ORANGE WATER AND SEWER AUTHORITY
 STANDARD ECCENTRIC CONE MANHOLE DETAIL

3" METER ASSEMBLY SCHEMATIC

ORANGE WATER AND SEWER AUTHORITY
 3" to 8" WATER METER WITH BYPASS (UNDER GROUND VAULT)

ORANGE WATER AND SEWER AUTHORITY
 STANDARD ECCENTRIC FLAT TOP MANHOLE DETAIL

PART	MANUFACTURER MODEL / Cst. No.
1 COMPOUND METER OR TURNING METER	TO BE APPROVED BY OWASA
2 GASKET GATE VALVE WITH RESILIENT SEATS	TO BE APPROVED BY OWASA
3 STRAINER	TO BE APPROVED BY OWASA
4 DIP CLASS 350	SIZE & TYPE DETERMINED BY NC PE
5 DIP CLASS 350	SIZE & TYPE DETERMINED BY NC PE
6 FLOOR DRAIN WITH STRAINER	SIZE & TYPE DETERMINED BY NC PE BASED ON SIZE OF WATER MAIN (TO BE APPROVED BY OWASA)
7 MORTARED MASONRY BLOCK PIPE SUPPORTS (MINIMUM 4 REQUIRED)	---
8 PRECAST CONCRETE UTILITY VAULT BOX	STAY-RIGHT PRECAST VAULT, H20 LOAD RATING (OR APPROVED EQUIVALENT)
9 DIP FLANGED TEE	AMERICAN CAST IRON PIPE, UNION-TYLER PIPE CO., or U.S. PIPE & FOUNDRY
10 4"-0" MIN. WIDTH (O.D.) x 4'-0" LONG (L.D.) RISER, SEE SHEET 2 of 3 FOR MINIMUM LENGTH.	STAY-RIGHT PRECAST VAULT, H20 LOAD RATING (OR APPROVED EQUIVALENT)
11 4" WIDE x 6" LONG DOOR CAST INTO RISER (DRAIN TO OUTSIDE)	BLOD OR HALDAY PRODUCTS DOUBLE LEAF ACCESS DOOR. USE H20 LOADING IN ALL AREAS. DRAIN TO OUTSIDE (OR APPROVED EQUAL)
12 WALL SLEEVE WITH LINK SEAL (OR APPROVED EQUIVALENT)	TO BE APPROVED BY OWASA
13 REMOTE METER READOUT (N GALLONS)	TO BE APPROVED BY OWASA
14 DIP FLANGE x FLANGE SPOOL PIPE OR THREADED	AMERICAN CAST IRON PIPE, U.S. PIPE & FOUNDRY
15 DIP FLANGED 90° ELBOW (SHORT RADII)	AMERICAN CAST IRON PIPE, UNION-TYLER PIPE CO., or U.S. PIPE & FOUNDRY
16 4" or 6" or 8" DIP FLANGED x PE PIPE (USE 1 FULL LENGTH JOINT PIPE)	UNIFLANGE (TO BE APPROVED BY OWASA)
17 FLANGED ADAPTOR	AMERICAN CAST IRON PIPE, UNION-TYLER PIPE CO., or U.S. PIPE & FOUNDRY
18 DIP FLANGED 4"x3" REDUCER	AMERICAN CAST IRON PIPE, UNION-TYLER PIPE CO., or U.S. PIPE & FOUNDRY
19	---
20 GASKET GATE VALVE WITH RESILIENT SEATS	DRILL STEM FOR SEALING IN CLOSED POSITION (TO BE APPROVED BY OWASA)
21 METER BOX	CSB SYSTEMS CORP. / WADA-111B-120; MID-STATES PLASTICS, INC. / WSCB-111B-12

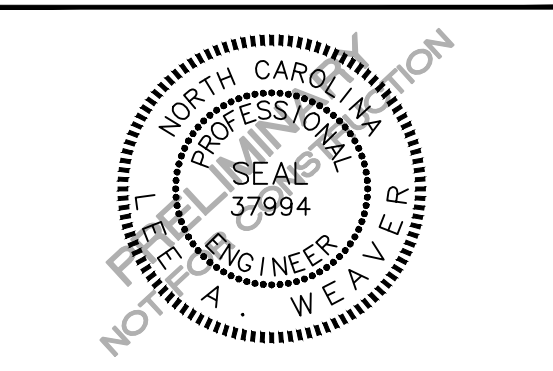
ORANGE WATER AND SEWER AUTHORITY
 3" to 8" WATER METER WITH BYPASS (UNDER GROUND VAULT)

ORANGE WATER AND SEWER AUTHORITY
 STANDARD ECCENTRIC MANHOLE DETAIL

ORANGE WATER AND SEWER AUTHORITY
 STANDARD WATER MANHOLE FRAME and COVER

ORANGE WATER AND SEWER AUTHORITY
 STANDARD SEWER INVERT PLANS FOR MANHOLE

ORANGE WATER AND SEWER AUTHORITY
 SANITARY SEWER MANHOLE FRAME and COVER



REVISIONS

NO.	DATE	DESCRIPTION
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PLAN INFORMATION

PROJECT NO.	2021110354
FILENAME	RAM19000-D1
CHECKED BY	LAW
DRAWN BY	MRO
SCALE	N/A
DATE	07.16.2021

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SHEET LIST TABLE	
Sheet Number	Sheet Title
G0-00	COVER SHEET
G0-01	GENERAL NOTES
G0-02	GENERAL NOTES + SHEET LIST
G1-00	LANDSCAPE DISPOSITION
L1-00	OVERALL MATERIALS PLAN
L1-01	MATERIALS PLAN 1
L1-02	MATERIALS PLAN 2
L1-03	NOT INCLUDED FOR ZCP
L2-00	NOT INCLUDED FOR ZCP
L2-01	NOT INCLUDED FOR ZCP
L2-02	NOT INCLUDED FOR ZCP
L2-03	NOT INCLUDED FOR ZCP
L3-00	OVERALL GRADING PLAN
L3-01	GRADING PLAN 1
L3-02	GRADING PLAN 2
L3-03	NOT INCLUDED FOR ZCP
L4-00	OVERALL REQUIRED PLANTING PLAN
L4-01	REQUIRED PLANTING PLAN 1
L4-02	REQUIRED PLANTING PLAN 2
L4-03	REQUIRED PLANTING SCHEDULE + CALCULATIONS
L5-00	NOT INCLUDED FOR ZCP
L5-01	NOT INCLUDED FOR ZCP
L5-02	NOT INCLUDED FOR ZCP
L5-03	NOT INCLUDED FOR ZCP
L5-04	NOT INCLUDED FOR ZCP
L5-05	PLANTING DETAILS
L5-06	PLANTING DETAILS
L6-00	NOT INCLUDED FOR ZCP
L6-01	NOT INCLUDED FOR ZCP
L6-02	NOT INCLUDED FOR ZCP
L6-03	NOT INCLUDED FOR ZCP
L7-00	NOT INCLUDED FOR ZCP
L7-01	SITE DETAILS
L7-02	NOT INCLUDED FOR ZCP
L7-03	SITE DETAILS
L7-04	NOT INCLUDED FOR ZCP
L7-20	NOT INCLUDED FOR ZCP
L7-21	NOT INCLUDED FOR ZCP
L7-30	SITE DETAILS (FURNITURE)
L7-31	NOT INCLUDED FOR ZCP
L7-40	NOT INCLUDED FOR ZCP

NOTE: REFER TO CIVIL FOR ALL EXISTING CONDITIONS, DEMOLITION, PROPOSED UTILITIES AND VEHICULAR PAVING.

ABBREVIATIONS

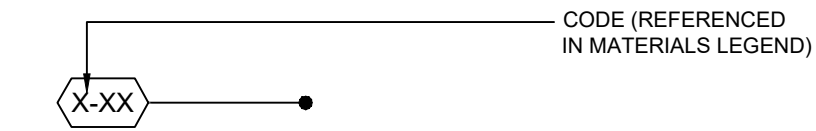
A	AD ADJ AFG ALT ALUM APPROX ARCH	AREA DRAIN ADJACENT ABOVE FINISHED GRADE ALTERNATE ALUMINUM APPROXIMATE ARCHITECT(URAL)	L	L LT LP	LENGTH LIGHT LOW POINT
B	BC BLDG BLKG BOC BOT BR BS BW	BOTTOM OF CURB BUILDING BLOCKING BACK OF CURB BOTTOM BOTTOM OF RAMP BOTTOM OF STAIR BOTTOM OF WALL	M	MAS MATL MAX MECH MED MFR MIN MISC MTL	MASONRY MATERIAL MAXIMUM MECHANICAL MEDIUM MANUFACTURER MINIMUM MISCELLANEOUS METAL
C	CEM CIP CJ CMU CO COL CONT CONC CU FT	CEMENT CAST IN PLACE CONTROL JOINT CONCRETE MASONRY UNIT CLEANOUT COLUMN CONTINUOUS CONCRETE CUBIC FEET	N	N NIC NO NOM NTS	NORTH NOT IN CONTRACT NUMBER NOMINAL NOT TO SCALE
D	DD DE DI DIA DIAG DIM DN DS DWG(S)	DECK DRAIN DRAINAGE EASEMENT DRAIN INLET DIAMETER DIAGONAL DIMENSION DOWN DOWN SPOUT DRAWING(S)	O	OC OD OPNG OPP	ON CENTER OUTSIDE DIAMETER OPENING OPPOSITE
E	E EA EJ EL ELEC EOP EQ EQUIP ESMT EW EXP EXIST EXT	EAST EACH EXPANSION JOINT ELEVATION ELECTRIC(AL) EDGE OF PAVEMENT EQUAL EQUIPMENT EASEMENT EACH WAY EXPANSION EXISTING EXTERIOR	P	PB PERF PNL PNT PSI PT POB POC PROP	PLANT BED PERFORATED PANEL PAINT(ED) POUNDS/SQUARE INCH PRESSURE TREATED POINT OF BEGINNING POINT OF CURVATURE PROPOSED
F	FAB FDC FG FH FIN FOC FT FTG	FABRIC FIRE DEPT. CONNECTION FINISHED GRADE FIRE HYDRANT FINISH FACE OF CURB FOOT, FEET FOOTING	Q	QTY	QUANTITY
G	GA GAL GALV GC GV	GAUGE GALLON GALVANIZED GENERAL CONTRACTOR GATE VALVE	R	RAD REINF REQD REV R.O.W	RADIUS REINFORC(E), (ING) REQUIRED REVISION RIGHT OF WAY
H	HDW HDWD HORZ HP HT	HARDWARE HARDWOOD HORIZONTAL HIGH POINT HEIGHT	S	S SB SCHED SD SF SIM SQ SSMH STL SSTL STD SUSP SW SYM	SOUTH SETBACK SCHEDULE(E), (ED) STORM DRAIN SQUARE FOOT, FEET SIMILAR SQUARE SANITARY SEWER MANHOLE STEEL STAINLESS STEEL STANDARD SUSPENDED SIDEWALK SYMBOL
I	ID INCL INSUL INT INV	INSIDE DIAMETER INCLUDE INSULATION INTERIOR INVERT	T	TBD TC THK TR TS TW TYP	TO BE DETERMINED TOP OF CURB THICK(NESS) TOP OF RAMP TOP OF STAIR TOP OF WALL TYPICAL
J	JB JT	JUNCTION BOX JOINT	U	UE U.N.O	UTILITY EASEMENT UNLESS NOTED OTHERWISE
K	KO	KNOCK OUT	V	VERT VIF	VERTICAL VERIFY IN FIELD
L	L LT LP	LENGTH LIGHT LOW POINT	W	W W/ W/O WD WL WM WT WWM	WEST, WIDE, WIDTH WITH WITHOUT WOOD WATER LINE WATER METER WEIGHT WELDED WIRE MESH

NOTE: ABBREVIATIONS APPLY TO LANDDESIGN NOTATIONS ONLY. SURVEY, ARCHITECTURAL AND OTHER ABBREVIATIONS MAY VARY.

LINETYPE LEGEND



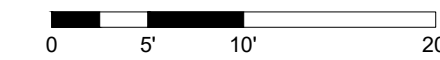
MATERIAL/OBJECT INDICATOR



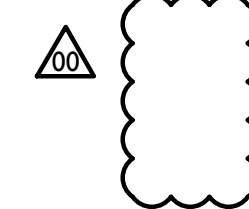
NORTH ARROW



GRAPHIC SCALE



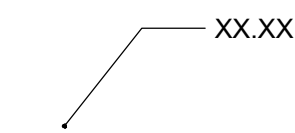
REVISION



PLANTING SYMBOLS

- (PB) PLANT BED
- (GR) GREEN ROOF
- (BIO) BIORETENTION

SPOT ELEVATION



KEY MAP

SEAL

**PRELIMINARY
-FOR REVIEW ONLY-**

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XXXXX XXXXXXXX ### 7/16/21
ENGINEER REG.# DATE

**NOT FOR
CONSTRUCTION**

PROJECT

**UNIVERSITY
PLACE
MULTI-FAMILY**

RAM REALTY
CHAPEL HILL, NC 27514

LANDDESIGN PROJ.#

1021104

REVISION / ISSUANCE

NO.	DESCRIPTION	DATE
1	ZCP	07.16.2021

DESIGNED BY: LD
DRAWN BY: ZK
CHECKED BY: AM

SCALE NORTH

VERT: N/A
HORZ: N/A



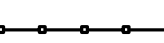
SHEET TITLE

GENERAL NOTES + SHEET LIST

SHEET NUMBER

G0-02

LANDSCAPE DISPOSITION SCHEDULE

-  EXISTING TREE TO REMAIN
-  EXISTING TREE TO BE REMOVED
-  PROPOSED TREE PROTECTION FENCE

LANDSCAPE DISPOSITION CALCULATIONS

OVERALL CANOPY +/- 37,672.58 SF

OVERALL CALIPER +/- 306 IN

	<u>TO BE REMOVED</u>	<u>TO REMAIN</u>
CANOPY	+/- 4,659.20 SF	+/-16,506.69 SF
CALIPER	+/- 99 IN	+/- 207 IN

NOTES:

- ALL WORK IS SUBJECT TO COMPLIANCE WITH THE TOWN OF CHAPEL HILL TREE PROTECTION ORDINANCE.
- A PRE-CONSTRUCTION CONFERENCE WITH THE TOWN'S URBAN FORESTER OR LANDSCAPE ARCHITECT SHALL TAKE PLACE TO REVIEW PROCEDURES FOR PROTECTION AND MANAGEMENT OF ALL PROTECTED LANDSCAPE ELEMENTS IDENTIFIED ON THE LANDSCAPE PROTECTION PLAN.
- THE APPLICANT SHALL DESIGNATE ONE OR MORE PERSONS AS LANDSCAPE PROTECTION SUPERVISORS WHO HAVE COMPLETED INSTRUCTION IN LANDSCAPE PROTECTION PROCEDURES WITH THE TOWN.
- IT SHALL BE THE DUTY OF THE LANDSCAPE PROTECTION SUPERVISOR TO ENSURE THE PROTECTION OF NEW OR EXISTING LANDSCAPE ELEMENTS, AS DEFINED IN THE LANDSCAPE PROTECTION PLAN. THE APPROVED LANDSCAPE PROTECTION SUPERVISOR SHALL SUPERVISE ALL SITE WORK TO ASSURE THAT DEVELOPMENT ACTIVITY CONFORMS TO PROVISIONS OF THE APPROVED LANDSCAPE PROTECTION PLAN. AT LEAST ONE (1) IDENTIFIED LANDSCAPE PROTECTION SUPERVISOR SHALL BE PRESENT ON THE DEVELOPMENT SITE AT ALL TIMES WHEN ACTIVITY THAT COULD DAMAGE OR DISTURB SOIL AND ADJACENT LANDSCAPE ELEMENTS OCCURS.

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UNIVERSITY PLACE MULTI-FAMILY

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SCALE NORTH

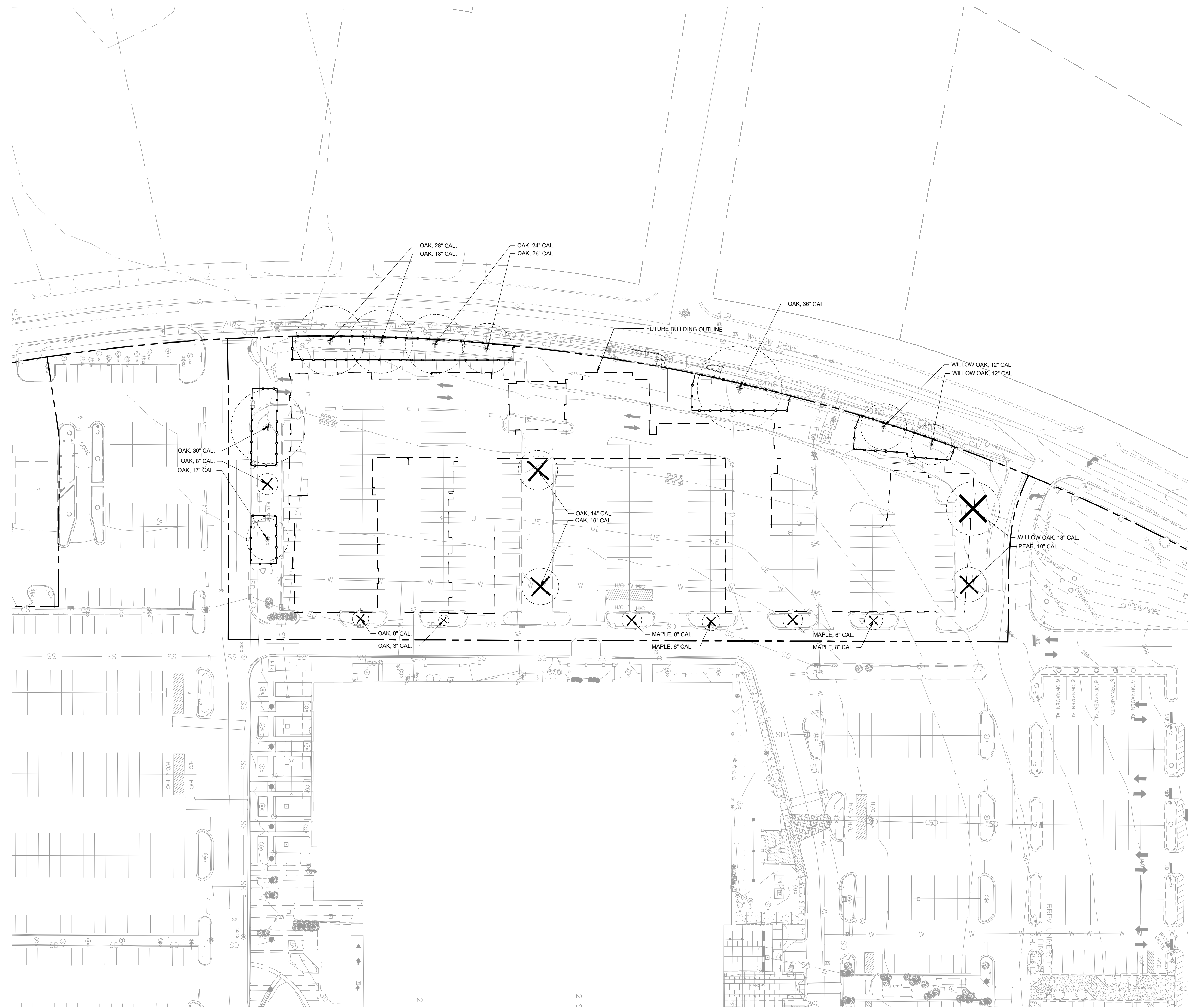
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HORZ: 1" = 40'
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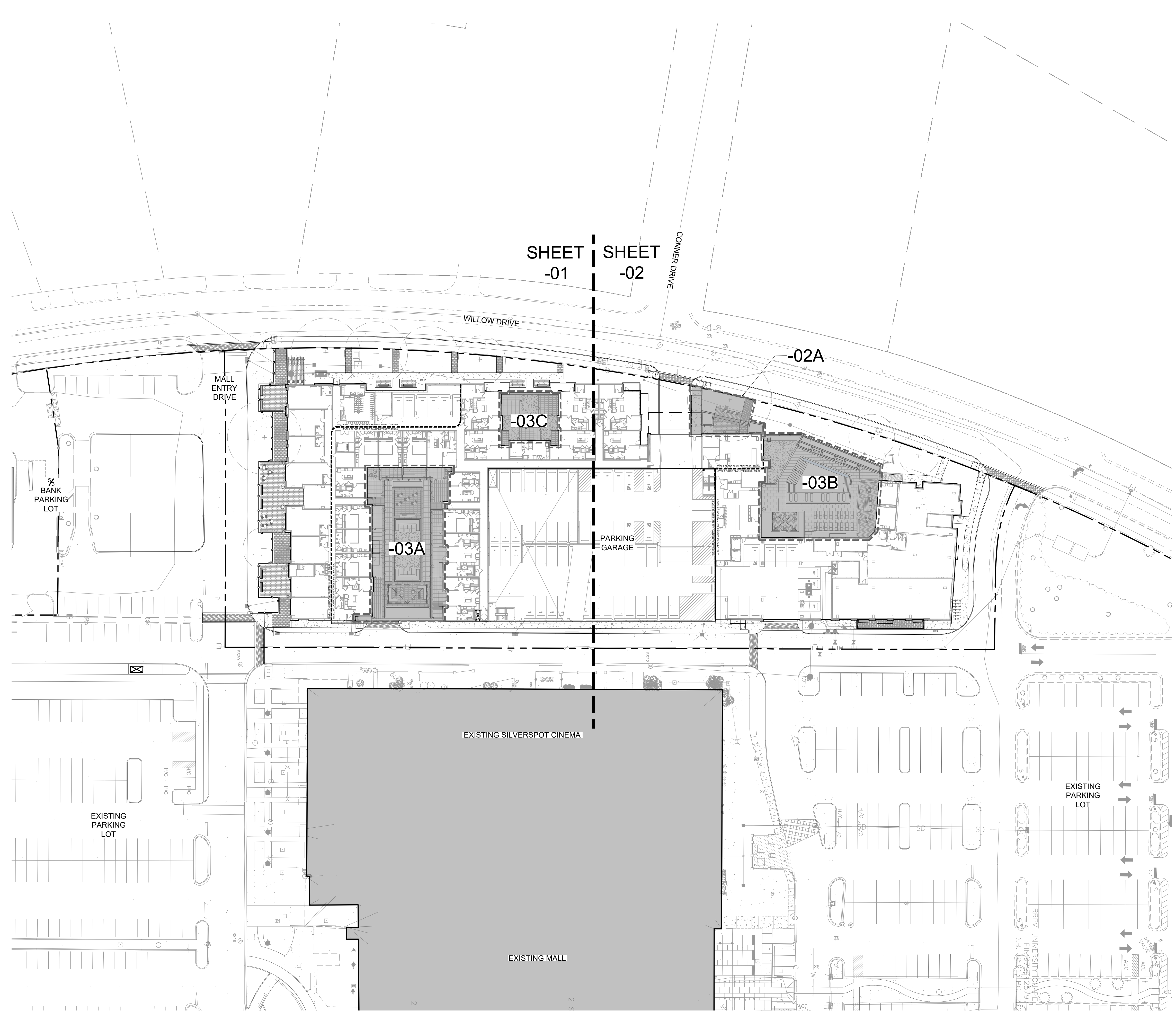
SHEET TITLE

LANDSCAPE DISPOSITION

SHEET NUMBER

G1-00





REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION	DETAIL
01 GENERAL NOTES		
(01-01)	BUILDING OUTLINE, REFER TO ARCH.	
(01-02)	BUILDING OVERHANG, REFER TO ARCH.	
(01-03)	UTILITIES, REFER TO CIVIL.	
(01-04)	CABANA ROOMS BY ARCH.	
(01-05)	6' POOL EDGE CLEARANCE	
02 EXISTING CONDITIONS		
SYMBOL DESCRIPTION DETAIL		
(02-01)	EXISTING SIDEWALK	
(02-02)	EXISTING CURB	
DRAINAGE		
SYMBOL DESCRIPTION DETAIL		
(D-101)	HARDSCAPE AREA DRAIN	2/L-02
(D-102)	LANDSCAPE AREA DRAIN	4/L-02
(D-103)	TRENCH DRAIN	6/L-02
(D-104)	RAISED PLANTER DRAINAGE (ON-STRUCTURE)	3/L-20
SITE FURNISHINGS		
SYMBOL DESCRIPTION DETAIL		
(F-101)	BENCH	4/L-30
(F-102)	TRASH RECEPTACLE	2/L-30
(F-103)	DOG WASTE STATION	3/L-30
(F-104)	SHORT-TERM BIKE RACK	1/L-30
(F-105)	CHAISE LOUNGE (POOL DECK)	6/L-31
(F-106)	CHAISE LOUNGE (SUN SHELF)	7/L-31
(F-107)	BISTRO CHAIR	7/L-30
(F-108)	BISTRO TABLE	8/L-30
(F-109)	LOUNGE CHAIR	2/L-31
(F-110)	LOUNGE SOFA	1/L-31
(F-111)	LOUNGE SIDE TABLE	3/L-31
(F-112)	BUILT-IN GARDEN DAY BED	6/L-20
(F-113)	GRILL STATION	1/L-04
(F-114)	PLANTER POT 1 - 38 IN. DIA.	5/L-30
(F-115)	PLANTER POT 2 - 36 IN. DIA.	5/L-30
(F-116)	PLANTER POT 3 - 24 IN. DIA.	5/L-30
(F-117)	FIRE FEATURE	4/L-20
(F-118)	COMMUNITY TABLE	5/L-31
(F-119)	HANGING CHAIR	4/L-31
GENERAL IMPROVEMENTS		
SYMBOL DESCRIPTION DETAIL		
(G-101)	TRELLIS A	4/L-04
(G-102)	TRELLIS B (ON-PEDESTAL)	2/L-21
(G-103)	POOL SUN SHELF	1/L-00
(G-104)	POOL STAIRS	1/L-00
(G-105)	POOL 'BENCH' SEAT	1/L-00
PAVING AND CURB		
SYMBOL DESCRIPTION DETAIL		
(P-101)	PAVEMENT TYPE 1	1/L-01
(P-102)	PAVEMENT TYPE 2	3/L-01
(P-103)	PAVEMENT TYPE 3	2/L-01
(P-104)	PAVEMENT TYPE 4	2/L-01
(P-105)	PAVEMENT TYPE 5	2/L-01
(P-106)	PAVEMENT TYPE 6	2/L-01
(P-107)	PAVEMENT TYPE 7	1/L-20
(P-108)	PAVEMENT TYPE 8	1/L-20
(P-109)	PAVEMENT TYPE 9	1/L-20
(P-110)	PAVEMENT TYPE 10	1/L-20
(P-111)	PAVEMENT TYPE 11	/
(P-112)	PAVEMENT TYPE 12	4/L-01
(P-113)	PAVEMENT TYPE 13	2/L-20
(P-114)	PAVEMENT TYPE 14	3/L-04
(P-115)	PAVEMENT TYPE 15	1/L-00
(P-116)	STEEL EDGE RESTRAINT	1/L-02
(P-117)	CURB RAMP + TRUNCATED DOMES	6/L-01
RAILING AND FENCE		
SYMBOL DESCRIPTION DETAIL		
(R-101)	HANDRAIL	1/L-03
(R-102)	GUARDRAIL	6/L-03
(R-103)	TENANT PATIO FENCE + GATE (ON-PEDESTAL)	1/L-21
(R-104)	PLANTER RAIL	5/L-03
(R-105)	POOL HANDRAIL	2/L-04
(R-106)	ACCESSIBLE RAMP HANDRAIL	4/L-03
WALLS AND STAIRS		
SYMBOL DESCRIPTION DETAIL		
(W-101)	CIP CONCRETE STAIRS	1/L-03
(W-102)	STEPPED SEAT WALLS	2/L-03
(W-103)	CIP CONCRETE RETAINING WALL	3/L-03
(W-104)	RAISED PLANTER (ON-STRUCTURE)	3/L-20
(W-105)	WOOD SEATING NOOK	5/L-04
(PB)	PLANTING BED, SEE PLANTING PLANS, TYP.	

BICYCLE PARKING CALCULATIONS:

OVERALL REQUIRED BICYCLE SPACES (1 SPACE/4 UNITS): 253 UNITS/4 = 64

SHORT TERM BICYCLE PARKING SPACES REQUIRED (20% OF OVERALL): 13

SHORT TERM SPACES PROVIDED (ON-SITE): 13

LONG TERM BICYCLE PARKING SPACES REQUIRED (80% OF OVERALL): 51

LONG TERM SPACES PROVIDED (IN BUILDING): 51

* REQUIREMENTS FOR BICYCLE PARKING FOUND ON PAGE 30 OF THE UNIVERSITY PLACE DESIGN STANDARDS.

KEY MAP

SEAL

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XXXXXX XXXXXXXX ### 7/16/21
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UNIVERSITY PLACE MULTI-FAMILY

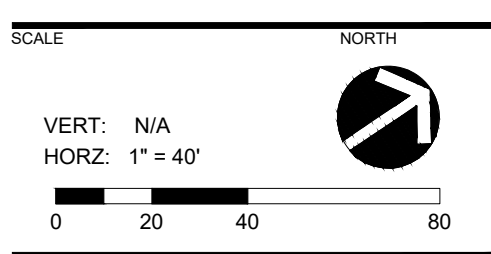
RAM REALTY
 CHAPEL HILL, NC 27514

LANDDESIGN PROJ# 1021104

REVISION / ISSUANCE

NO.	DESCRIPTION	DATE
1	ZCP	07.16.2021

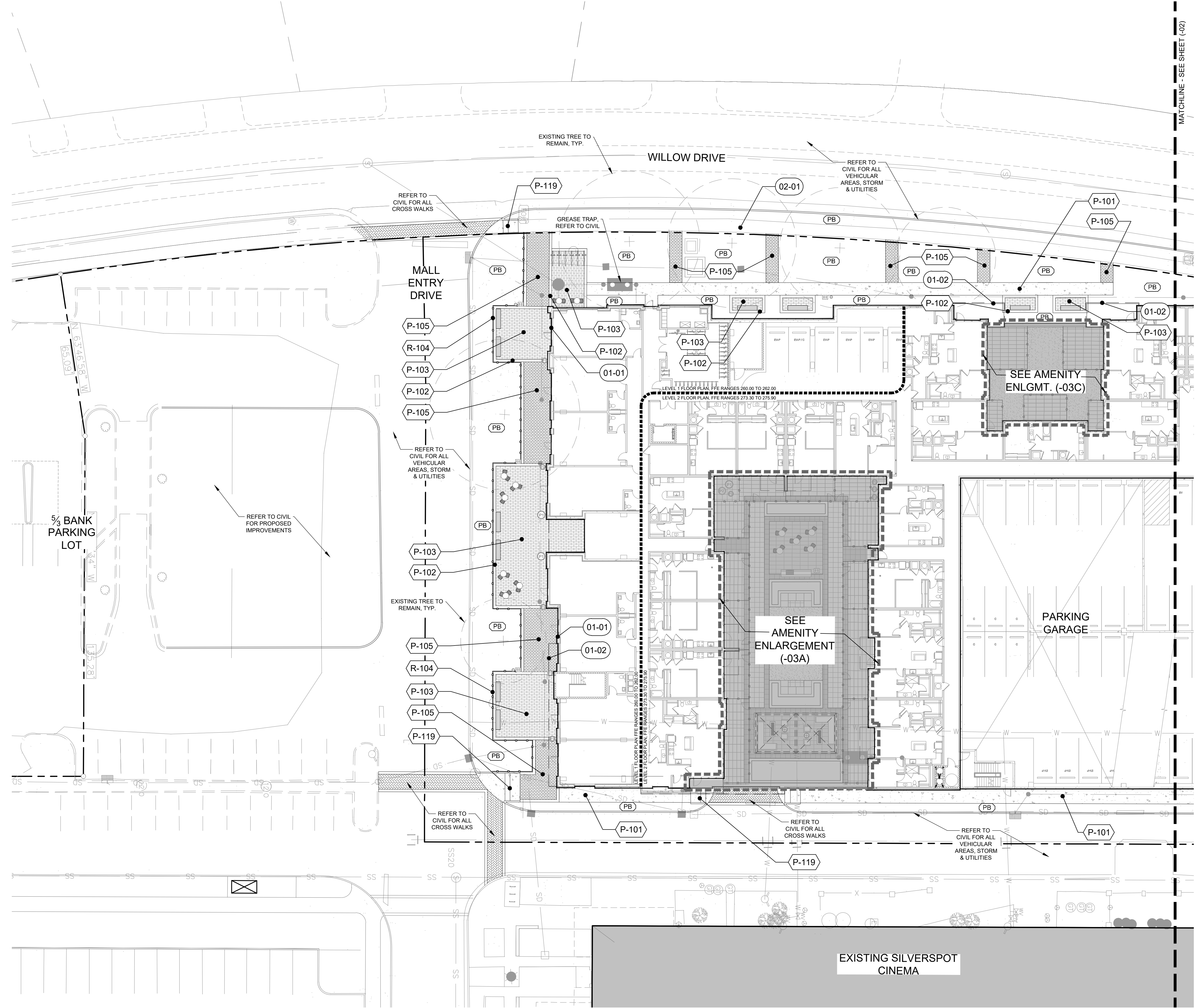
DESIGNED BY: LD
 DRAWN BY: ZK
 CHECKED BY: AM



OVERALL MATERIALS PLAN

SHEET NUMBER

L1-00



REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION	DETAIL
01 GENERAL NOTES		
01-01	BUILDING OUTLINE, REFER TO ARCH.	
01-02	BUILDING OVERHANG, REFER TO ARCH.	
01-03	UTILITIES, REFER TO CIVIL.	
01-04	CABANA ROOMS BY ARCH.	
01-05	6' POOL EDGE CLEARANCE	
02 EXISTING CONDITIONS		
02-01	EXISTING SIDEWALK	
02-02	EXISTING CURB	
DRAINAGE		
D-101	HARDSCAPE AREA DRAIN	2/L-02
D-102	LANDSCAPE AREA DRAIN	4/L-02
D-103	TRENCH DRAIN	6/L-02
D-104	RAISED PLANTER DRAINAGE (ON-STRUCTURE)	3/L-20
SITE FURNISHINGS		
DETAIL		
F-101	BENCH	4/L-30
F-102	TRASH RECEPTACLE	2/L-30
F-103	DOG WASTE STATION	3/L-30
F-104	SHORT-TERM BIKE RACK	1/L-30
F-105	CHAISE LOUNGE (POOL DECK)	6/L-31
F-106	CHAISE LOUNGE (SUN SHELF)	7/L-31
F-107	BISTRO CHAIR	7/L-30
F-108	BISTRO TABLE	8/L-30
F-109	LOUNGE CHAIR	2/L-31
F-110	LOUNGE SOFA	1/L-31
F-111	LOUNGE SIDE TABLE	3/L-31
F-112	BUILT-IN GARDEN DAY BED	6/L-20
F-113	GRILL STATION	1/L-04
F-114	PLANTER POT 1 - 38 IN. DIA.	5/L-30
F-115	PLANTER POT 2 - 36 IN. DIA.	5/L-30
F-116	PLANTER POT 3 - 24 IN. DIA.	5/L-30
F-117	FIRE FEATURE	4/L-20
F-118	COMMUNITY TABLE	5/L-31
F-119	HANGING CHAIR	4/L-31
GENERAL IMPROVEMENTS		
DETAIL		
G-101	TRELLIS A	4/L-04
G-102	TRELLIS B (ON-PEDESTAL)	2/L-21
G-103	POOL SUN SHELF	1/L-00
G-104	POOL STAIRS	1/L-00
G-105	POOL "BENCH" SEAT	1/L-00
PAVING AND CURB		
DETAIL		
P-101	PAVEMENT TYPE 1	1/L-01
P-102	PAVEMENT TYPE 2	3/L-01
P-103	PAVEMENT TYPE 3	2/L-01
P-104	PAVEMENT TYPE 4	2/L-01
P-105	PAVEMENT TYPE 5	2/L-01
P-106	PAVEMENT TYPE 6	2/L-01
P-107	PAVEMENT TYPE 7	1/L-20
P-108	PAVEMENT TYPE 8	1/L-20
P-109	PAVEMENT TYPE 9	1/L-20
P-110	PAVEMENT TYPE 10	1/L-20
P-111	PAVEMENT TYPE 11	/
P-112	PAVEMENT TYPE 12	4/L-01
P-113	PAVEMENT TYPE 13	2/L-20
P-114	PAVEMENT TYPE 14	3/L-04
P-115	PAVEMENT TYPE 15	1/L-00
P-116	STEEL EDGE RESTRAINT	1/L-02
P-119	CURB RAMP + TRUNCATED DOMES	6/L-01
RAILING AND FENCE		
DETAIL		
R-101	HANDRAIL	1/L-03
R-102	GUARDRAIL	6/L-03
R-103	TENANT PATIO FENCE + GATE (ON-PEDESTAL)	1/L-21
R-104	PLANTER RAIL	5/L-03
R-105	POOL HANDRAIL	2/L-04
R-106	ACCESSIBLE RAMP HANDRAIL	4/L-03
WALLS AND STAIRS		
DETAIL		
W-101	CIP CONCRETE STAIRS	1/L-03
W-102	STEPPED SEAT WALLS	2/L-03
W-103	CIP CONCRETE RETAINING WALL	3/L-03
W-104	RAISED PLANTER (ON-STRUCTURE)	3/L-20
W-105	WOOD SEATING NOOK	5/L-04
PB	PLANTING BED, SEE PLANTING PLANS, TYP.	

KEY MAP

SEAL

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PROJECT

UNIVERSITY PLACE MULTI-FAMILY

RAM REALTY
CHAPEL HILL, NC 27514

LANDDESIGN PROJ# 1021104

REVISION / ISSUANCE

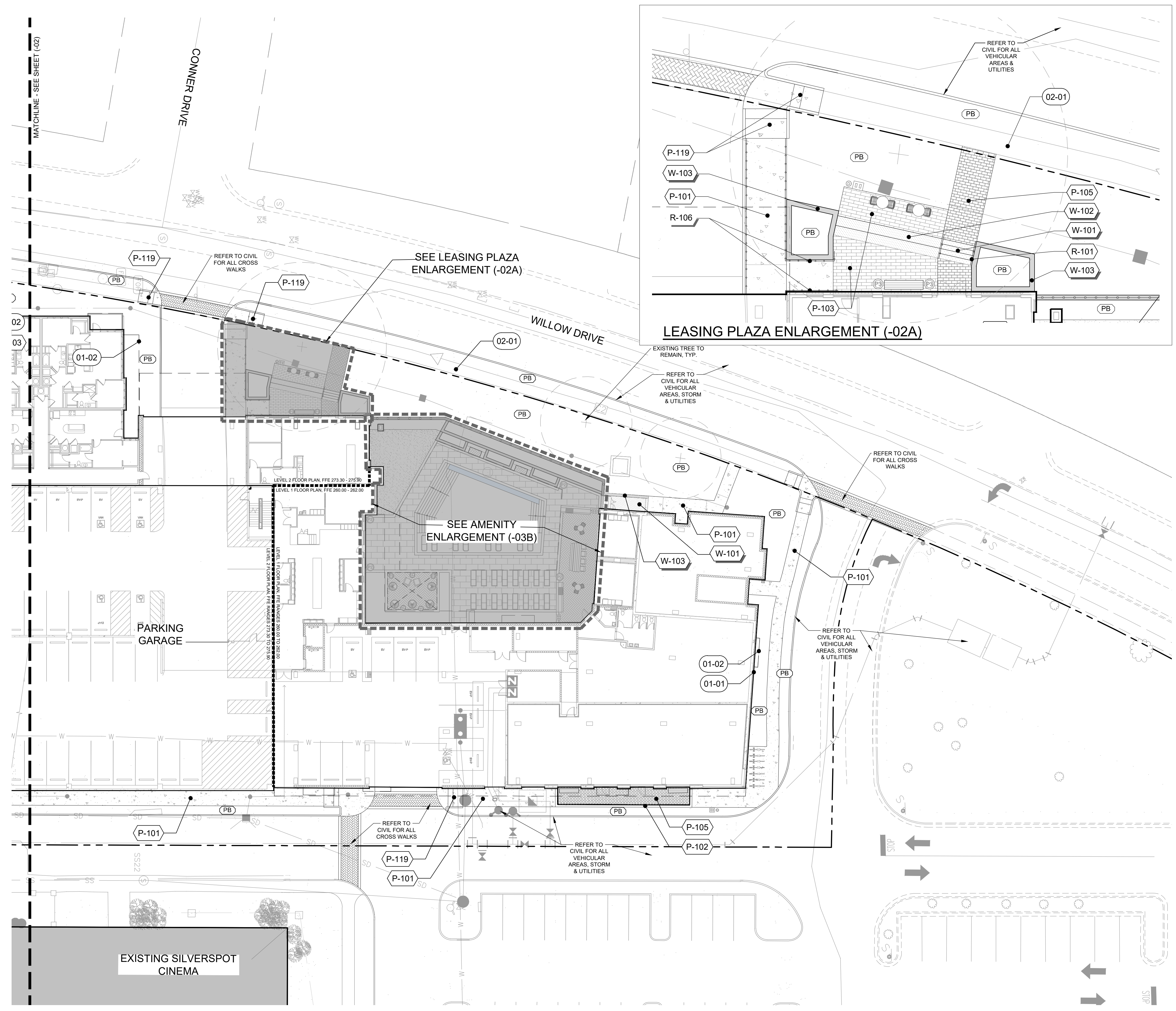
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1	ZCP	07.16.2021

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VERT: N/A
HORZ: 1" = 20'
0 10 20 40

SHEET TITLE
MATERIALS PLAN 1

SHEET NUMBER
L1-01



REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION	DETAIL
01 GENERAL NOTES		
01-01	BUILDING OUTLINE, REFER TO ARCH.	
01-02	BUILDING OVERHANG, REFER TO ARCH.	
01-03	UTILITIES, REFER TO CIVIL.	
01-04	CABANA ROOMS BY ARCH.	
01-05	6' POOL EDGE CLEARANCE	
02 EXISTING CONDITIONS		
DESCRIPTION		
02-01	EXISTING SIDEWALK	
02-02	EXISTING CURB	
DRAINAGE		
DESCRIPTION		
D-101	HARDSCAPE AREA DRAIN	2/L-02
D-102	LANDSCAPE AREA DRAIN	4/L-02
D-103	TRENCH DRAIN	6/L-02
D-104	RAISED PLANTER DRAINAGE (ON-STRUCTURE)	3/L-20
SITE FURNISHINGS		
DESCRIPTION		
F-101	BENCH	4/L-30
F-102	TRASH RECEPTACLE	2/L-30
F-103	DOG WASTE STATION	3/L-30
F-104	SHORT-TERM BIKE RACK	1/L-30
F-105	CHAISE LOUNGE (POOL DECK)	6/L-31
F-106	CHAISE LOUNGE (SUN SHELF)	7/L-31
F-107	BISTRO CHAIR	7/L-30
F-108	BISTRO TABLE	8/L-30
F-109	LOUNGE CHAIR	2/L-31
F-110	LOUNGE SOFA	1/L-31
F-111	LOUNGE SIDE TABLE	3/L-31
F-112	BUILT-IN GARDEN DAY BED	6/L-20
F-113	GRILL STATION	1/L-04
F-114	PLANTER POT 1 - 36 IN. DIA.	5/L-30
F-115	PLANTER POT 2 - 36 IN. DIA.	5/L-30
F-116	PLANTER POT 3 - 24 IN. DIA.	5/L-30
F-117	FIRE FEATURE	4/L-20
F-118	COMMUNITY TABLE	5/L-31
F-119	HANGING CHAIR	4/L-31
GENERAL IMPROVEMENTS		
DESCRIPTION		
G-101	TRELLIS A	4/L-04
G-102	TRELLIS B (ON-PEDESTAL)	2/L-21
G-103	POOL SUN SHELF	1/L-00
G-104	POOL STAIRS	1/L-00
G-105	POOL "BENCH" SEAT	1/L-00
PAVING AND CURB		
DESCRIPTION		
P-101	PAVEMENT TYPE 1	1/L-01
P-102	PAVEMENT TYPE 2	3/L-01
P-103	PAVEMENT TYPE 3	2/L-01
P-104	PAVEMENT TYPE 4	2/L-01
P-105	PAVEMENT TYPE 5	2/L-01
P-106	PAVEMENT TYPE 6	2/L-01
P-107	PAVEMENT TYPE 7	1/L-20
P-108	PAVEMENT TYPE 8	1/L-20
P-109	PAVEMENT TYPE 9	1/L-20
P-110	PAVEMENT TYPE 10	1/L-20
P-111	PAVEMENT TYPE 11	/
P-112	PAVEMENT TYPE 12	4/L-01
P-113	PAVEMENT TYPE 13	2/L-20
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PLANTING BED, SEE PLANTING PLANS, TYP.		

KEY MAP

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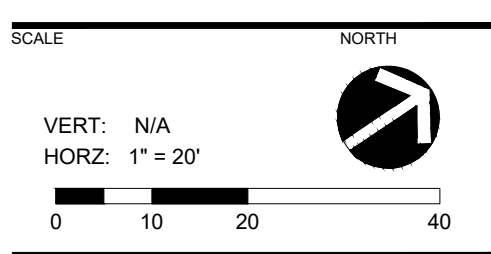
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CHAPEL HILL, NC 27514

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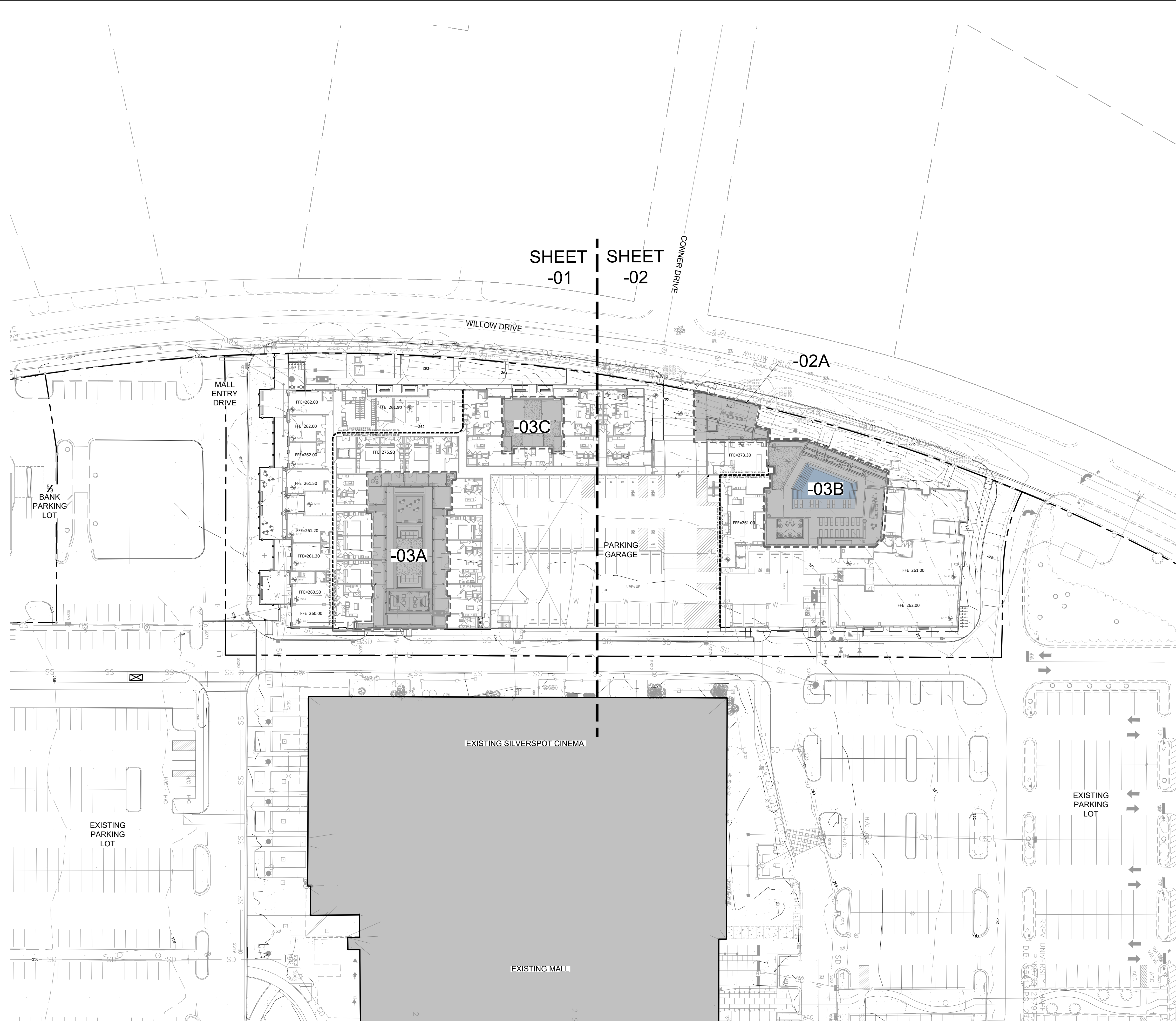
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MATERIALS PLAN 2

SHEET NUMBER
L1-02

NOTE: FINAL DOOR LOCATIONS TO BE
 COORDINATED WITH TENANT.



KEY MAP

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**UNIVERSITY
 PLACE
 MULTI-FAMILY**

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SCALE NORTH

VERT: N/A
 HORZ: 1" = 40'

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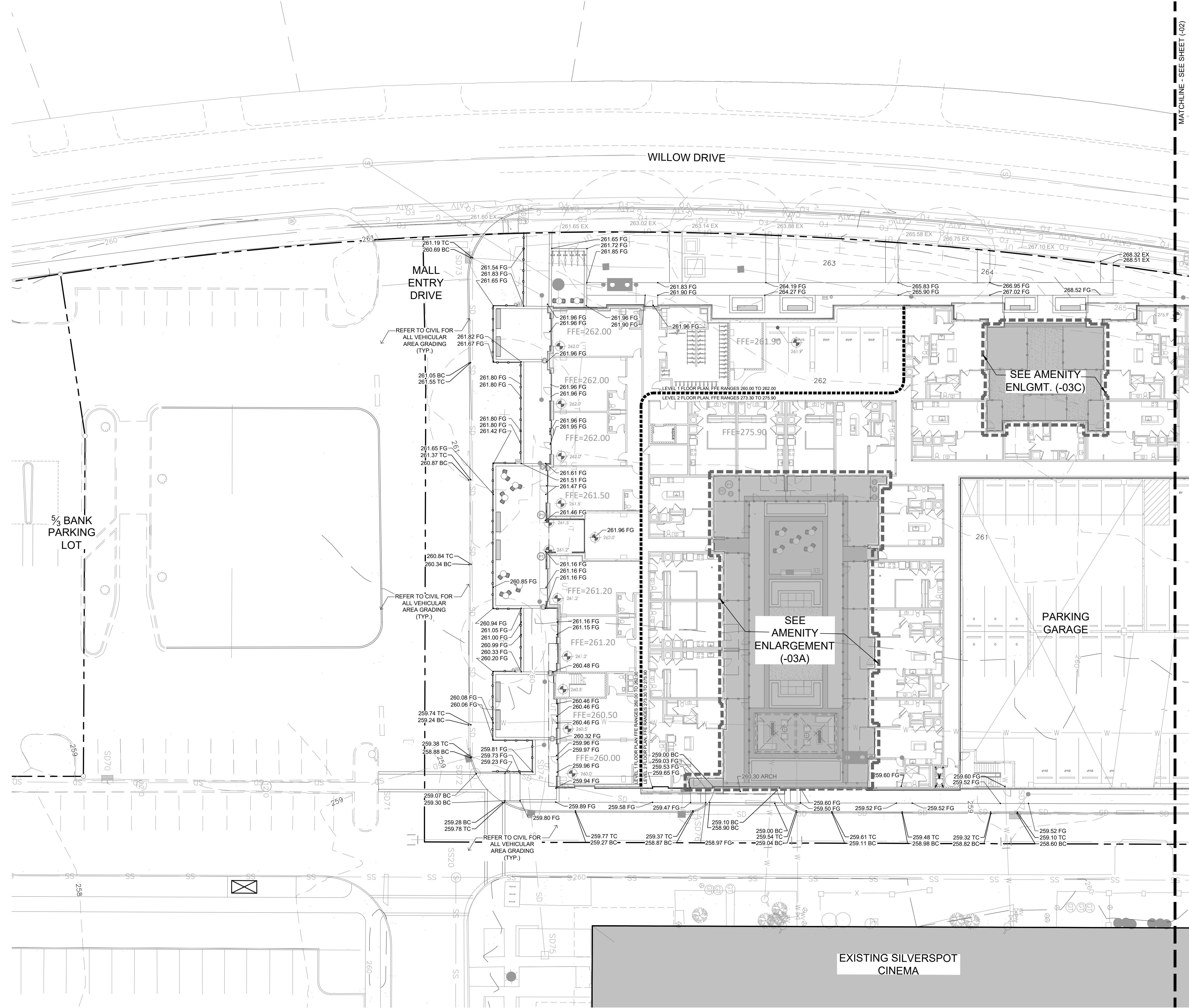
SHEET TITLE

OVERALL GRADING PLAN

SHEET NUMBER

L3-00

NOTE: FINAL DOOR LOCATIONS TO BE
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KEY MAP

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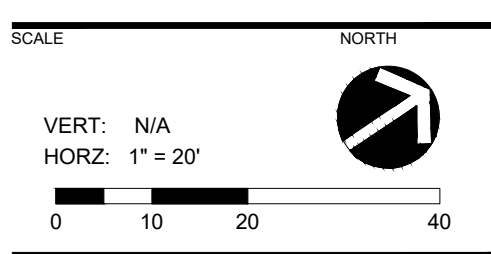
UNIVERSITY PLACE MULTI-FAMILY

RAM REALTY
 CHAPEL HILL, NC 27514

LANDDESIGN PROJ# 1021104

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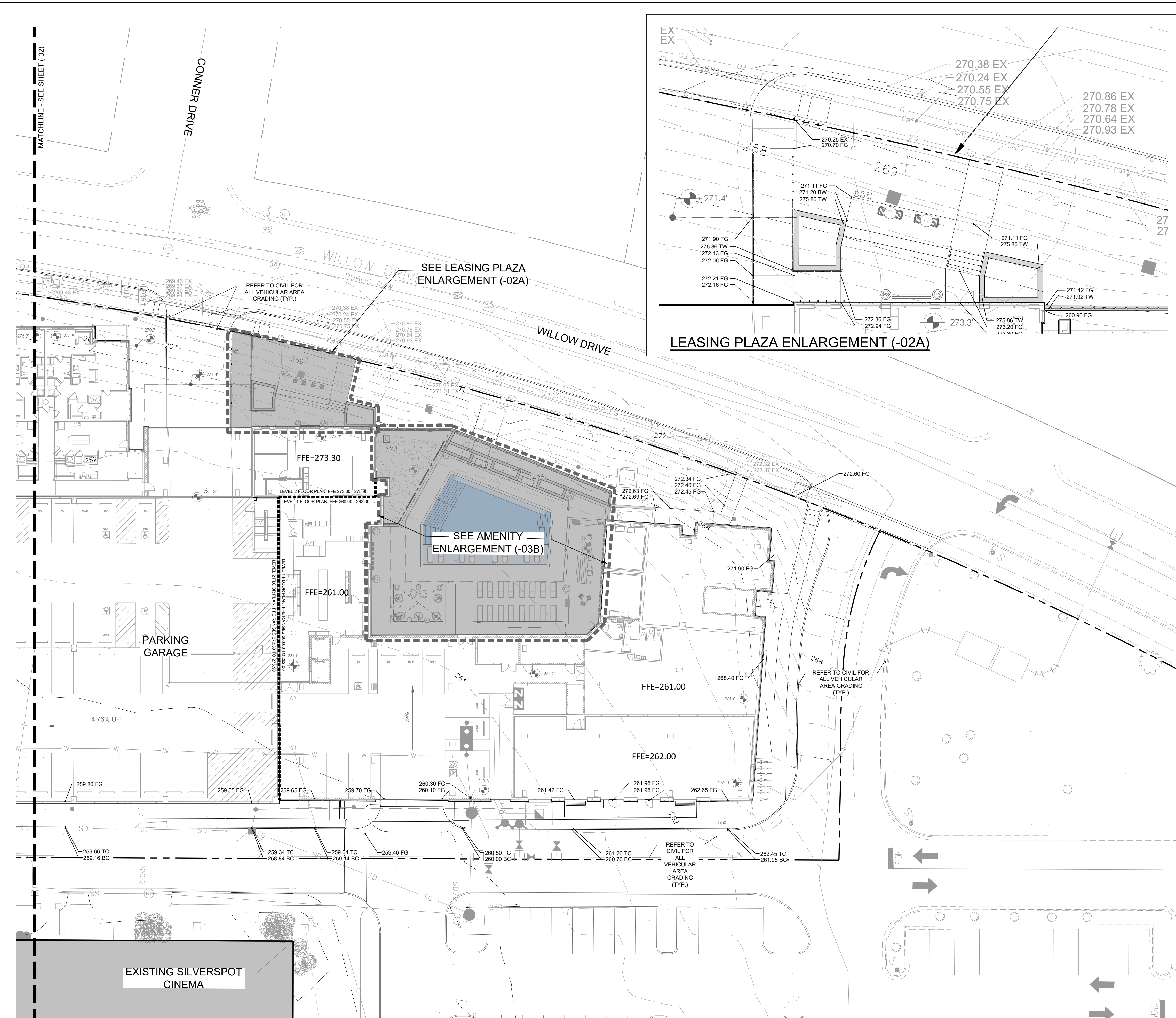
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 DRAWN BY: ZK
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SHEET TITLE
GRADING PLAN 1

SHEET NUMBER
L3-01

NOTE: FINAL DOOR LOCATIONS TO BE
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KEY MAP

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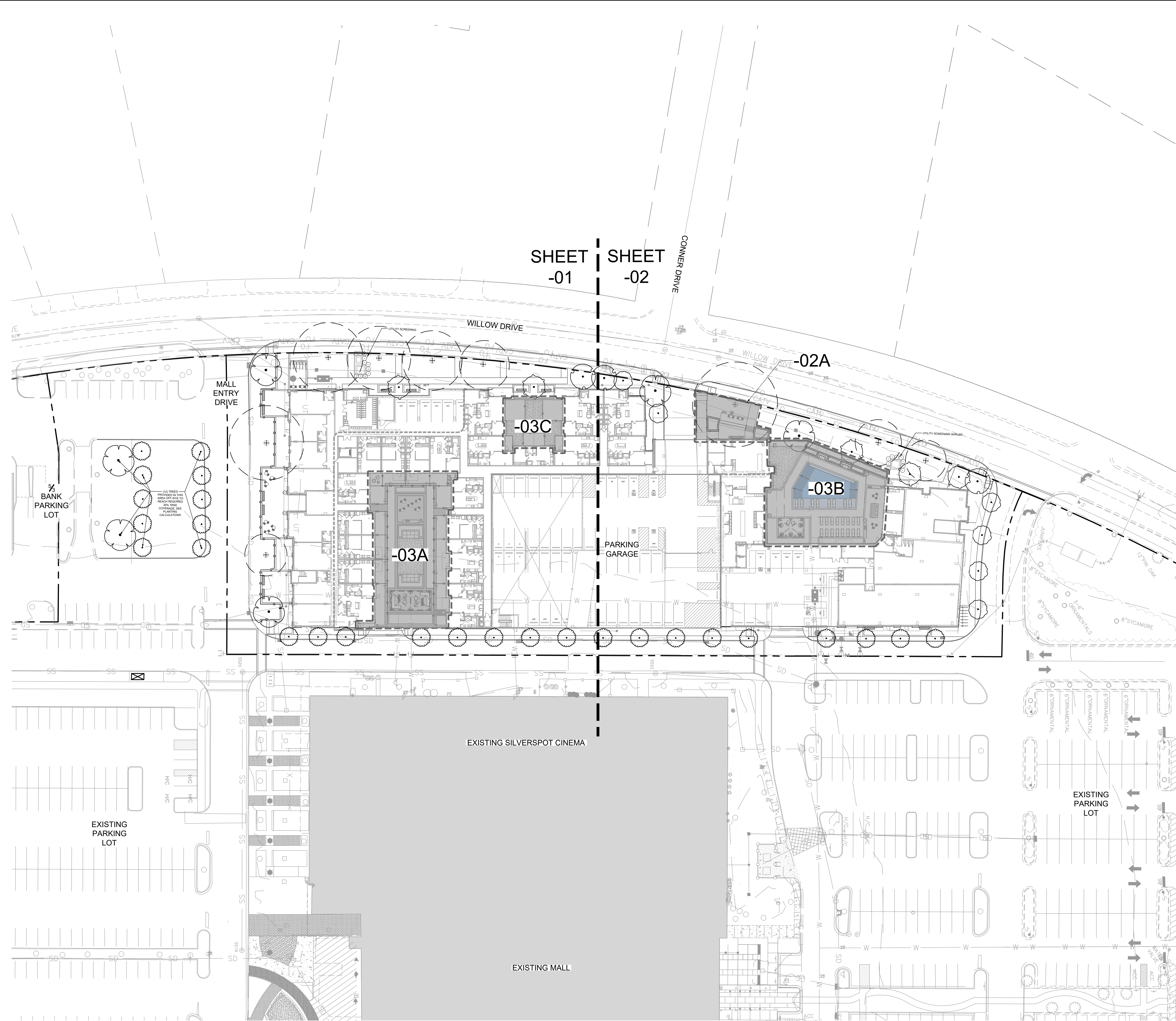
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SHEET TITLE
GRADING PLAN 2

SHEET NUMBER
L3-02

PLANT SCHEDULE		
TREES	CODE	BOTANICAL NAME
	ACE AER	Acer buergerianum
	AME GRA	Amelanchier x grandiflora 'Autumn Brilliance'
	CAR CAR	Carpinus caroliniana
	CER CAN	Cercis canadensis
	QUE LAU	Quercus laurifolia
SHRUBS	CODE	BOTANICAL NAME
	ILE GLA	Ilex glabra 'Compacta'

Existing Tree to Remain



KEY MAP

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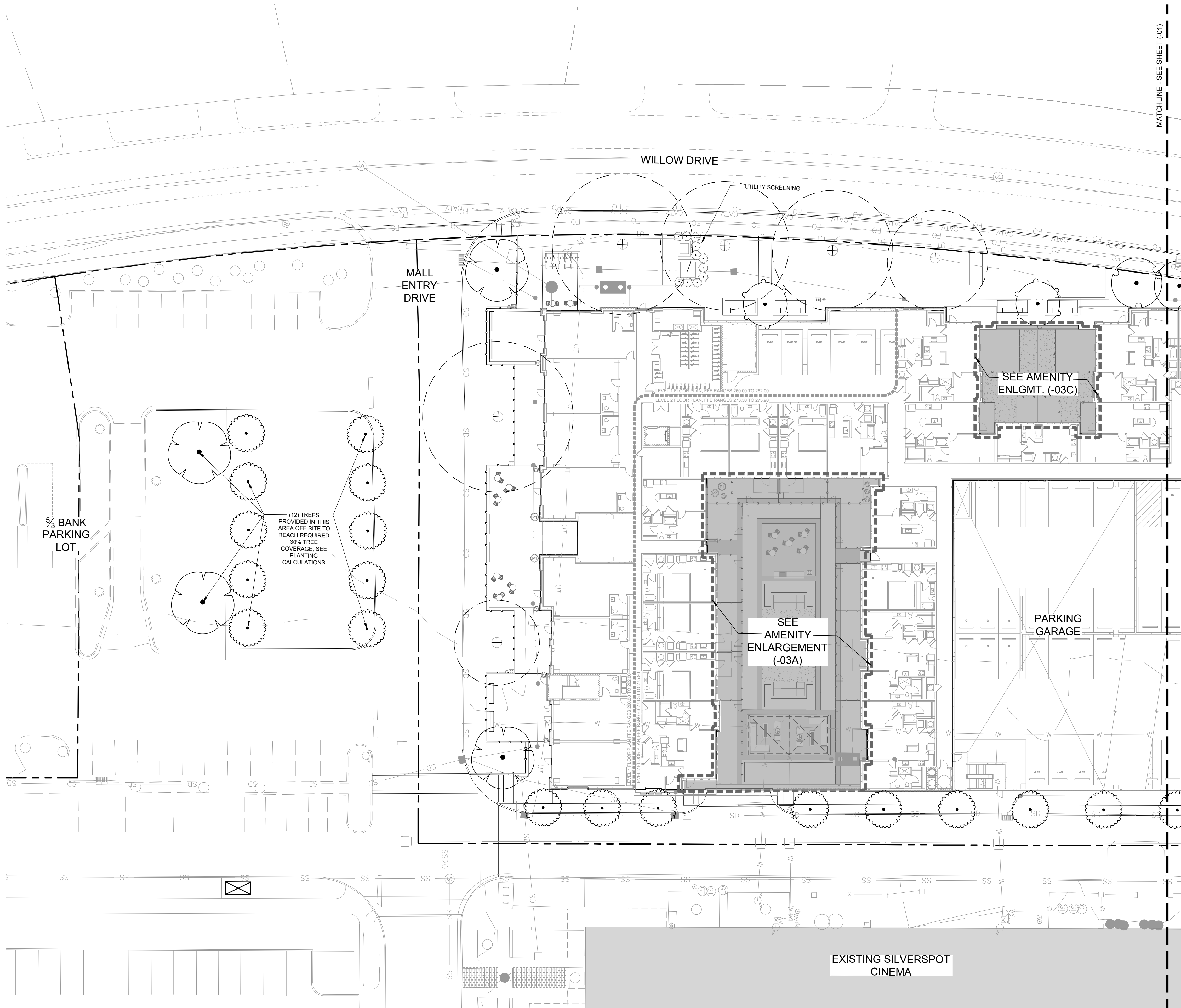
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 VERT: N/A
 HORZ: 1" = 40'

OVERALL REQUIRED PLANTING PLAN

SHEET NUMBER
L4-00

PLANT SCHEDULE		
TREES	CODE	BOTANICAL NAME
	ACE AER	Acer buergerianum
	AME GRA	Amelanchier x grandiflora 'Autumn Brilliance'
	CAR CAR	Carpinus caroliniana
	CER CAN	Cercis canadensis
	QUE LAU	Quercus laurifolia
SHRUBS	CODE	BOTANICAL NAME
	ILE GLA	Ilex glabra 'Compacta'

Existing Tree to Remain



KEY MAP

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**UNIVERSITY
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 MULTI-FAMILY**

RAM REALTY
 CHAPEL HILL, NC 27514

LANDDESIGN PROJ.# 1021104

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SCALE NORTH

VERT: N/A
 HORZ: 1" = 20'

SHEET TITLE

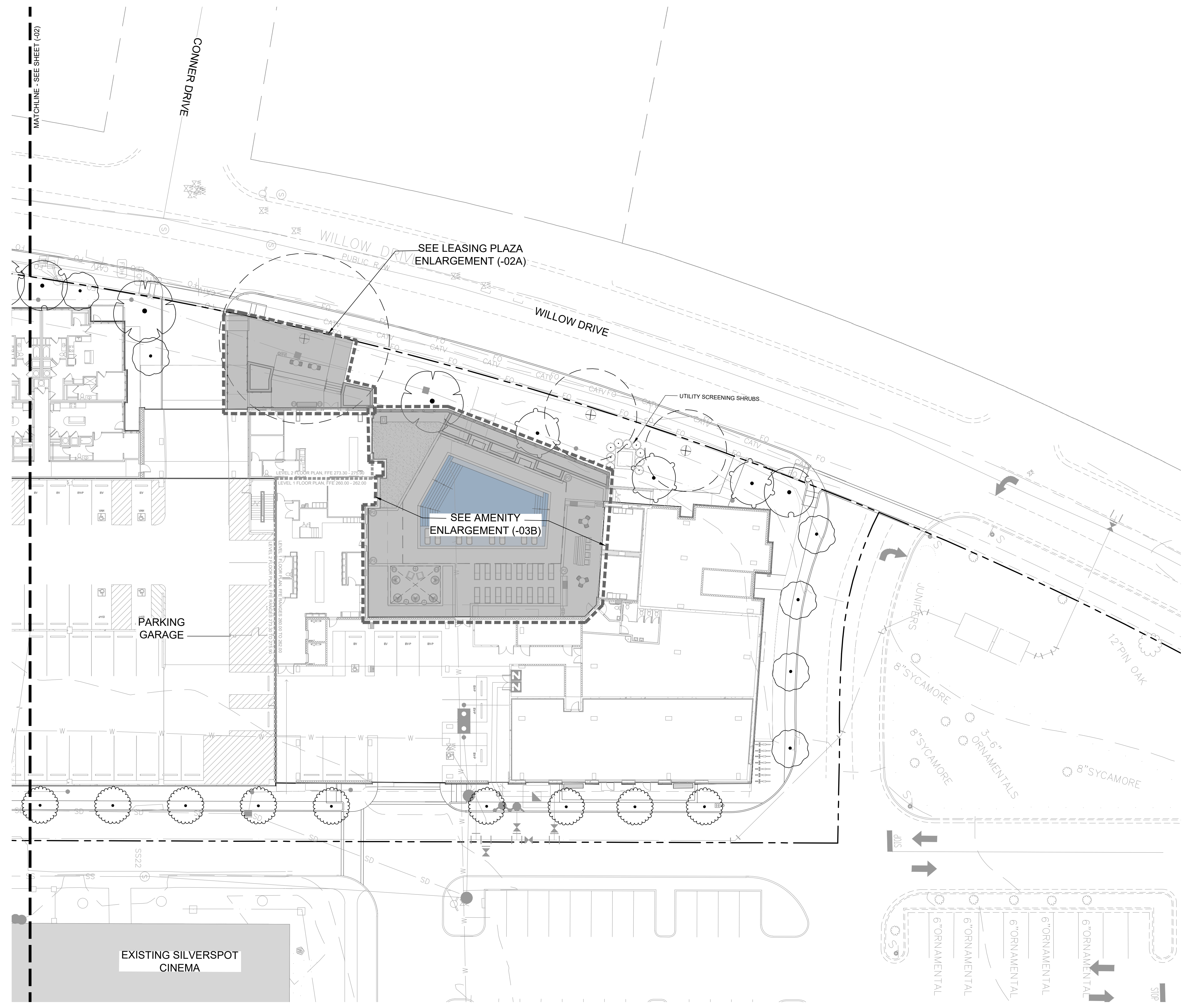
REQUIRED PLANTING PLAN 1

SHEET NUMBER

L4-01

PLANT SCHEDULE		
TREES	CODE	BOTANICAL NAME
	ACE AER	Acer buergerianum
	AME GRA	Amelanchier x grandiflora 'Autumn Brilliance'
	CAR CAR	Carpinus caroliniana
	CER CAN	Cercis canadensis
	QUE LAU	Quercus laurifolia
SHRUBS	CODE	BOTANICAL NAME
	ILE GLA	Ilex glabra 'Compacta'

Existing Tree to Remain



KEY MAP

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**UNIVERSITY PLACE
MULTI-FAMILY**

RAM REALTY
 CHAPEL HILL, NC 27514

LANDDESIGN PROJ.# 1021104

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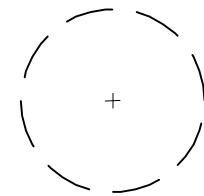
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SHEET TITLE
REQUIRED PLANTING PLAN 2

SHEET NUMBER
L4-02

PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	MIN. CONT.	MIN. CAL.	MIN. HT.	REMARKS
	ACE AER	3	Acer buergerianum	Trident Maple	B&B	2"	-	12' MIN. HEIGHT, LIMBED UP TO A MIN. OF 7' IN AREAS OF PEDESTRIAN TRAFFIC.
	AME GRA	27	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Apple Serviceberry	B&B	2"	-	12' MIN. HEIGHT, LIMBED UP TO A MIN. OF 7' IN AREAS OF PEDESTRIAN TRAFFIC.
	CAR CAR	6	Carpinus caroliniana	American Hornbeam	B&B	2"	-	12' MIN. HEIGHT, LIMBED UP TO A MIN. OF 7' IN AREAS OF PEDESTRIAN TRAFFIC.
	CER CAN	5	Cercis canadensis	Eastern Redbud Multi-trunk	B&B	2"	-	5' MIN. HEIGHT
	QUE LAU	6	Quercus laurifolia	Laurel Oak	B&B	2"	-	12' MIN. HEIGHT, LIMBED UP TO A MIN. OF 7' IN AREAS OF PEDESTRIAN TRAFFIC.
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	MIN. CONT.	SPACING	MIN. HT.	REMARKS
	ILE GLA	20	Ilex glabra 'Compacta'	Compact Inkberry	#3		36"	36" MIN. HEIGHT AT TIME OF PLANTING



Existing Tree to Remain

REQUIRED PLANTING CALCULATIONS

TOTAL SITE AREA: +/- 133,216.96 SF

MIN. 30% CANOPY: +/- 39,965.09 SF
 EXISTING CANOPY TO REMAIN: - +/- 16,506.69 SF

TREE CANOPY DEFICIT: +/- 23,458.40 SF

TREES REQUIRED (23,458.40 SF OF DEFICIT / 500 SF)*: **= 47 TREES TOTAL**
 1 TREE REQUIRED PER 500 SF DEFICIT

TREES PROVIDED ON-SITE: **= 35 TREES TOTAL**
TREES PROVIDED OFF-SITE: **= 12 TREES TOTAL**

EXISTING PERCENT CANOPY: 12.18%
 PROVIDED PERCENT CANOPY: 12.82%
TOTAL FINISHED CANOPY ON-SITE: 25.00%

TOTAL FINISHED CANOPY OFF-SITE: 5.00%

TOTAL FINISHED CANOPY: **30.00%**

* REPLACEMENT OF CANOPY DETERMINED BY SECTION 5.7 OF CHAPEL HILL CODE OF ORDINANCES. A MINIMUM TREE CANOPY COVERAGE OF 30% IS REQUIRED WITH AT LEAST 20% COVERAGE REQUIRED ON-SITE DETERMINED BY UNIVERSITY PLACE DESIGN STANDARDS. REMAINING 10% IS ALLOWED TO BE PROVIDED EITHER OFF-SITE OR BY PAYMENT IN LIEU (PER LUMO 5.7.2(C)).

KEY MAP

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UNIVERSITY PLACE MULTI-FAMILY

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 CHAPEL HILL, NC 27514

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SHEET TITLE

REQUIRED PLANTING SCHEDULE + CALCULATIONS

SHEET NUMBER

KEY MAP

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PLACE
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CHAPEL HILL, NC 27514

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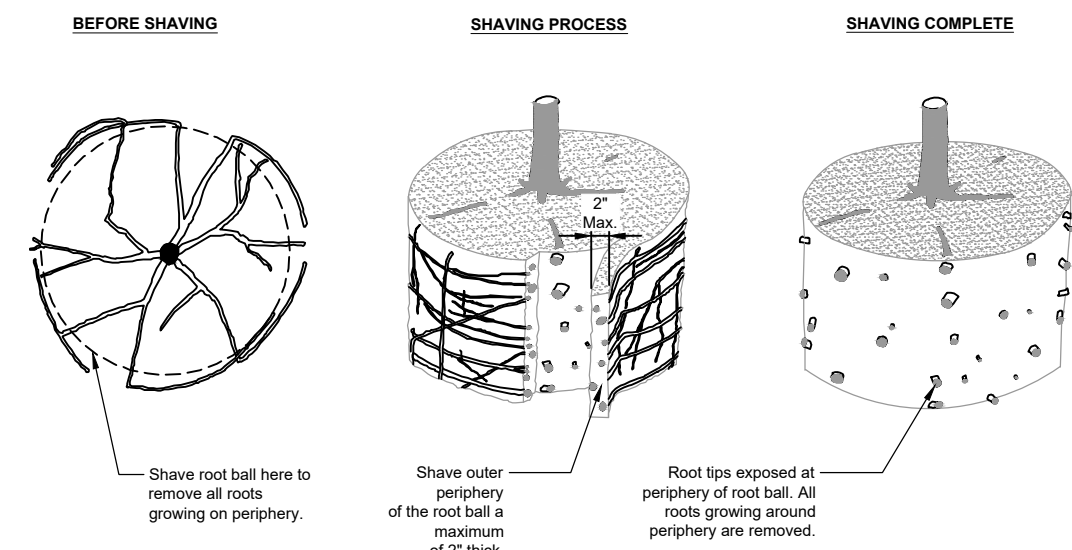
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SHEET TITLE

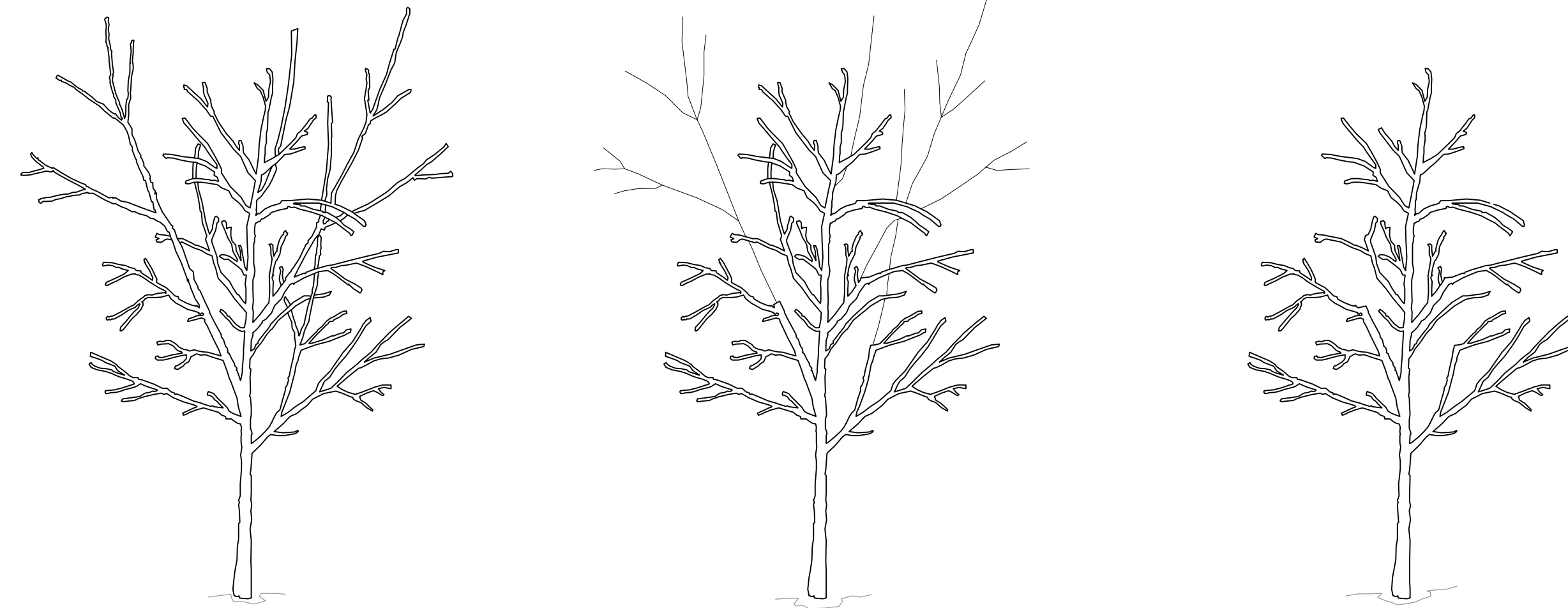
PLANTING DETAILS

SHEET NUMBER

L5-05



Notes:
1- Shaving to be conducted using a sharp blade or hand saw eliminating no more than needed to remove all roots on the periphery of root ball.
2- Shaving can be performed just prior to planting or after placing in the hole.



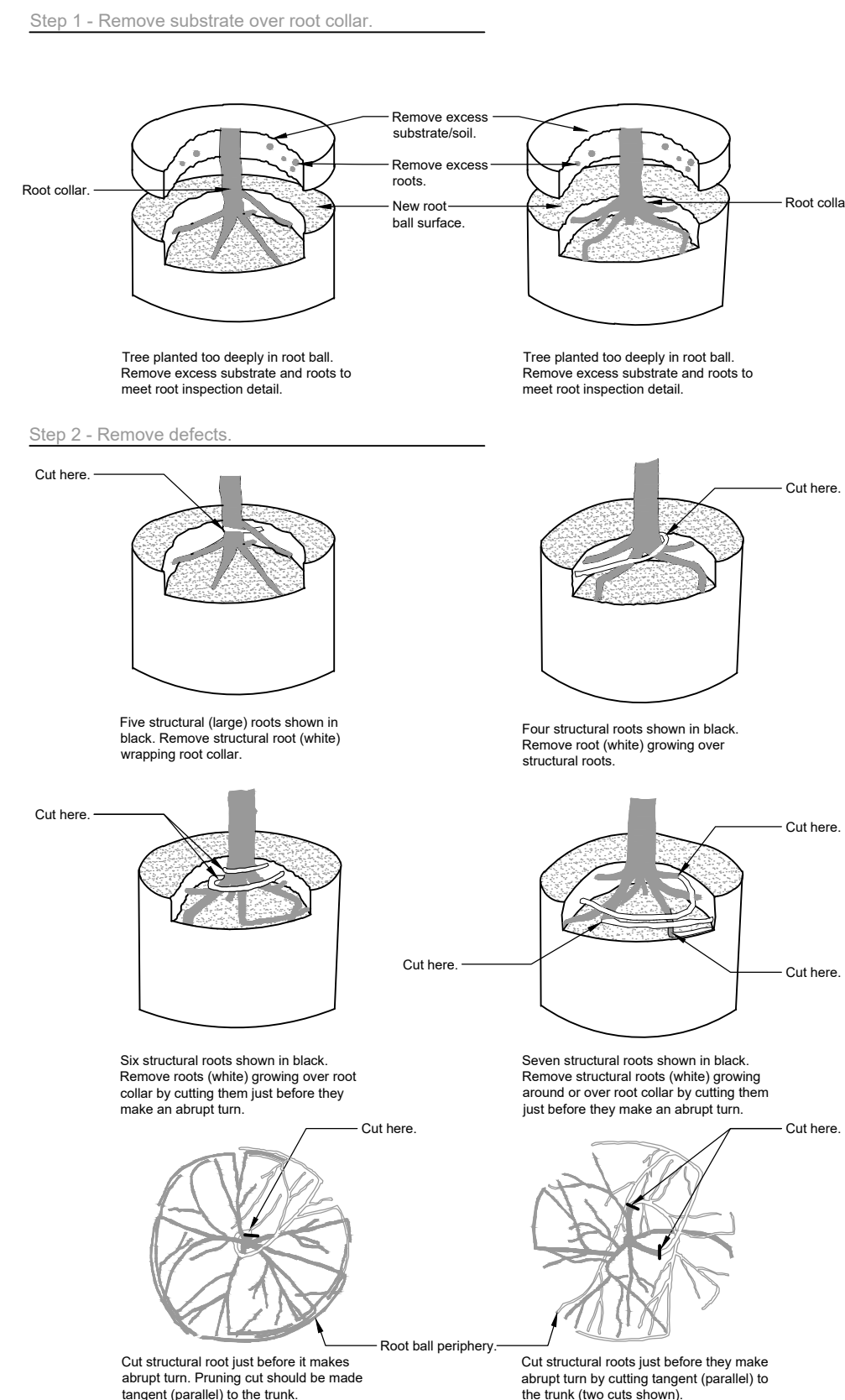
Notes:
1- All trees shown are rejectable unless they undergo recommended treatment.
2- Tree shall meet crown observation detail following correction.

1 ROOTBALL CORRECTION - ROOT SHAVING
L5-05 PLAN / SECTION / ELEVATION

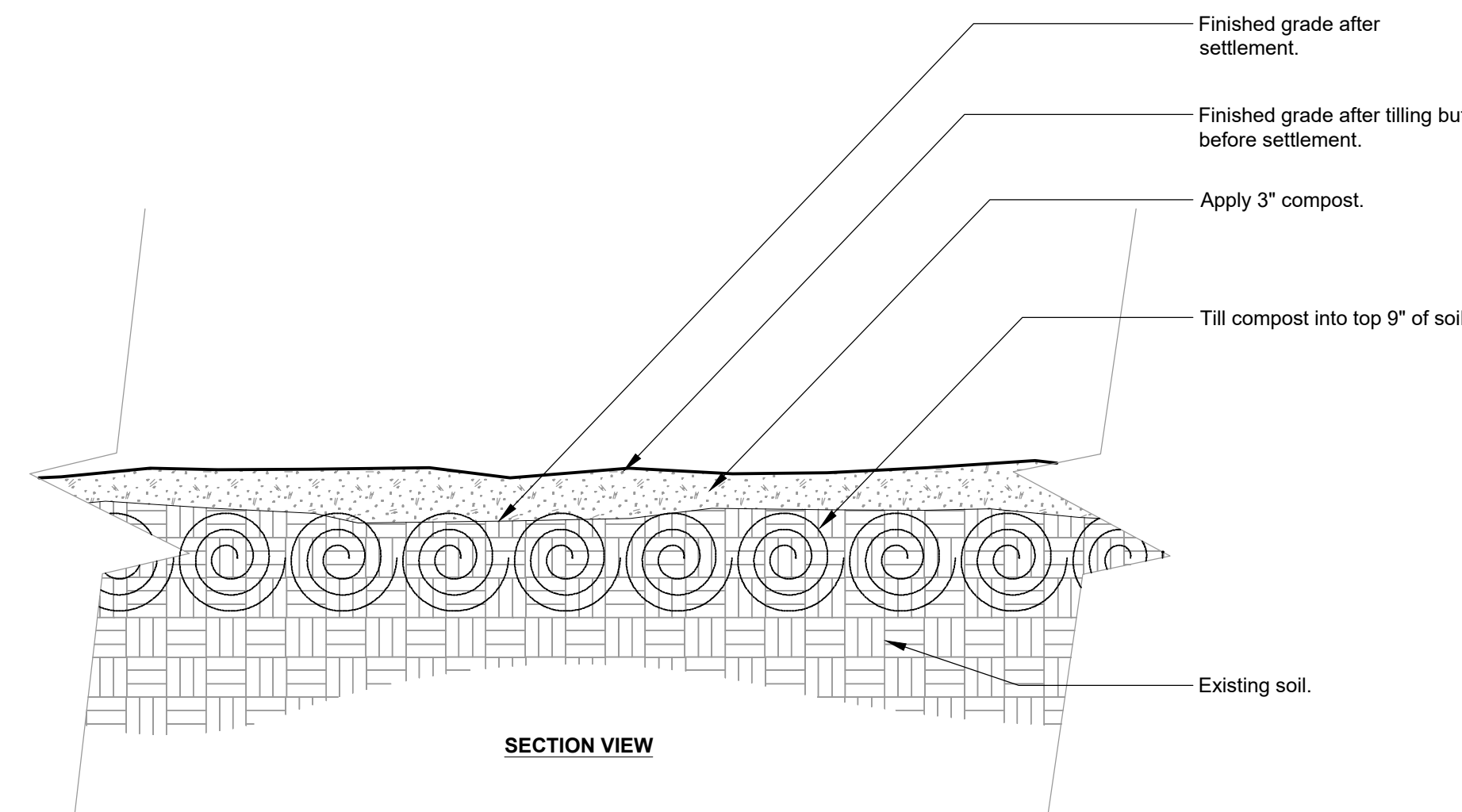
NOT TO SCALE

2 CROWN CORRECTION
L5-05 PLAN / SECTION / ELEVATION

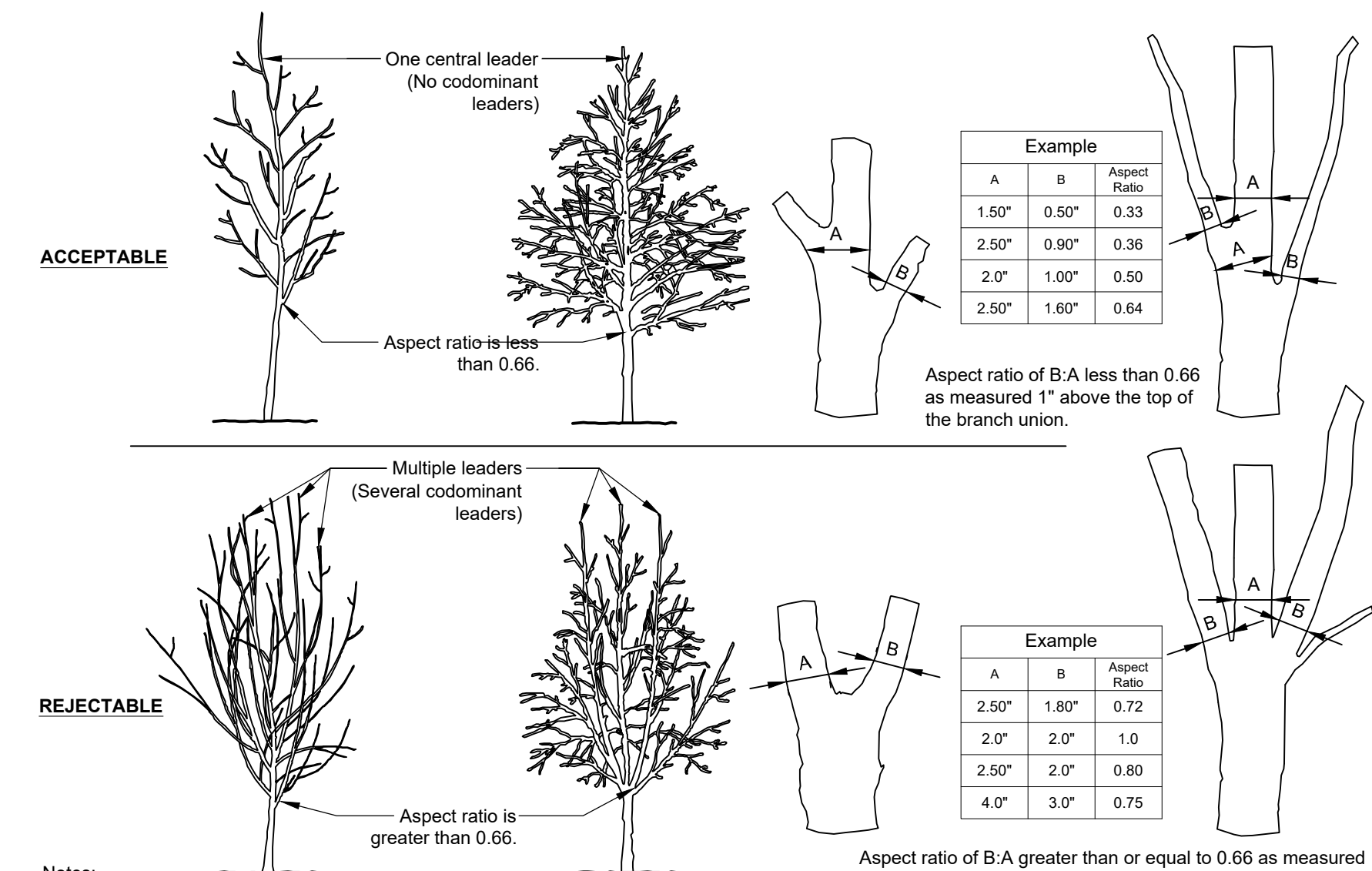
NOT TO SCALE



Notes:
1- All trees shown are rejectable unless they undergo recommended correction.
2- First Step 1, then Step 2. Roots and soil may be removed during the correction process; substrate/soil shall be replaced after correction has been completed.
3- Trees shall meet root observations detail following correction.
4- Small roots (1/4" or less) on the periphery of the root ball are common with container plant production. These small roots are not defined as "defects" and can be addressed at the time of installation (See root ball shaving container detail).



Notes:
1- See planting soil specifications for additional requirements.



Notes:
1- Aspect ratio shall be less than 0.66 on all branch unions. Aspect ratio is the diameter of branch (B) divided by the diameter of the trunk (A) as measured 1" above the top of the branch union.
2- Any tree not meeting the crown observations detail may be rejected.

3 ROOTBALL CORRECTION - CONTAINER GROWN
L5-05 PLAN / SECTION / ELEVATION

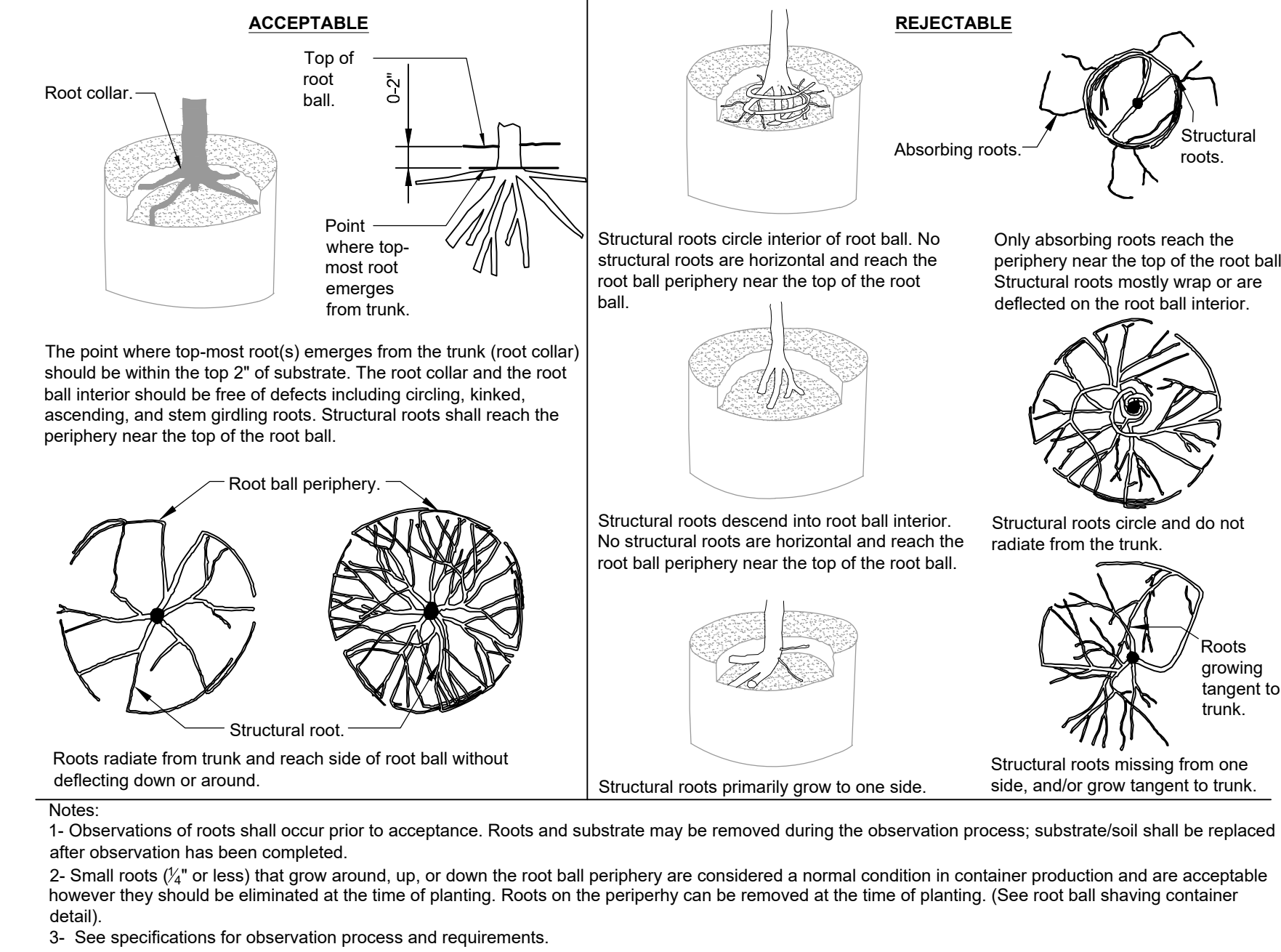
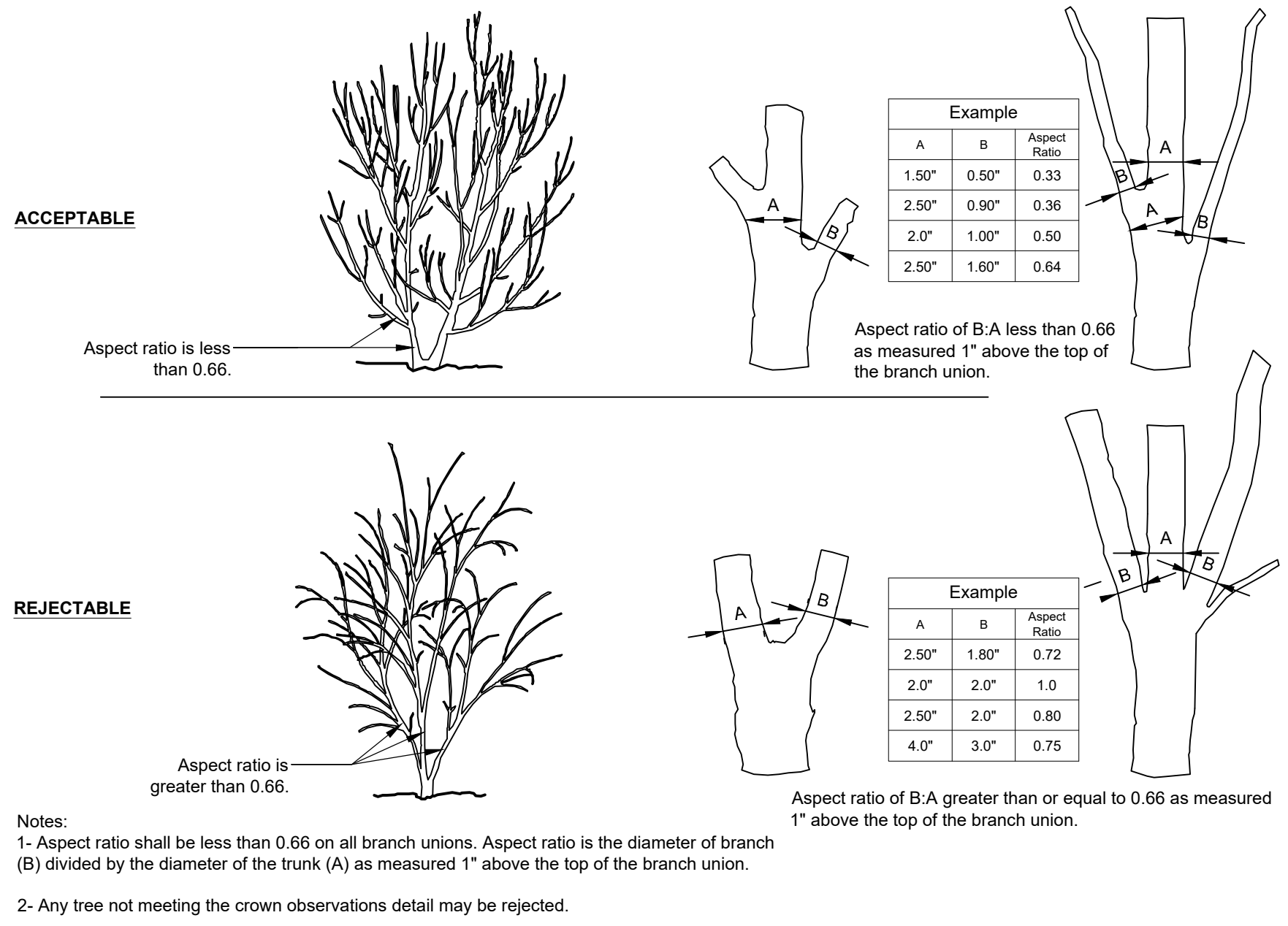
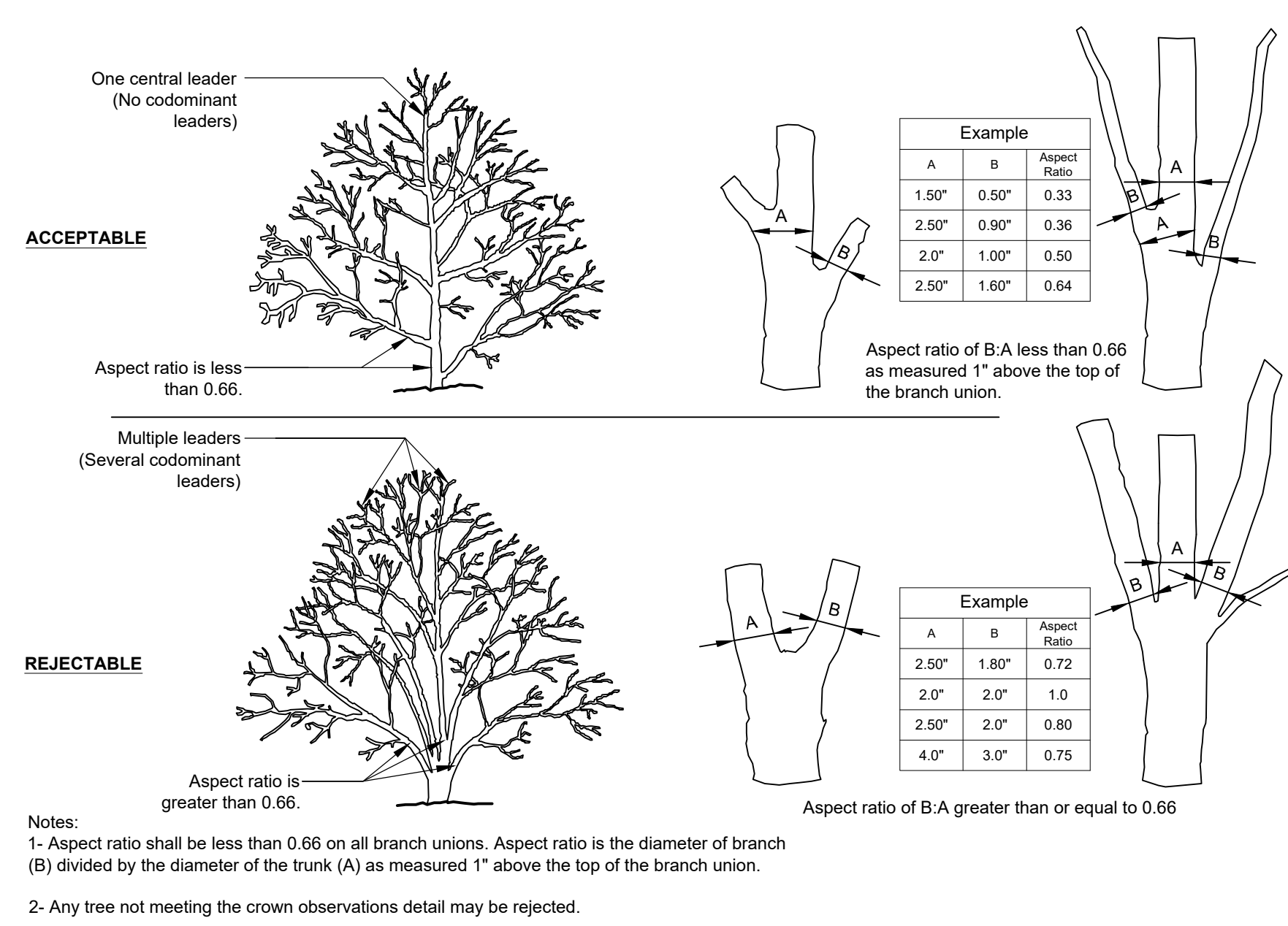
NOT TO SCALE

4 SOIL MODIFICATION FOR PLANTING AREAS
L5-05 PLAN / SECTION / ELEVATION

NOT TO SCALE

5 CROWN OBSERVATION - HIGH BRANCHING
L5-05 PLAN / SECTION / ELEVATION

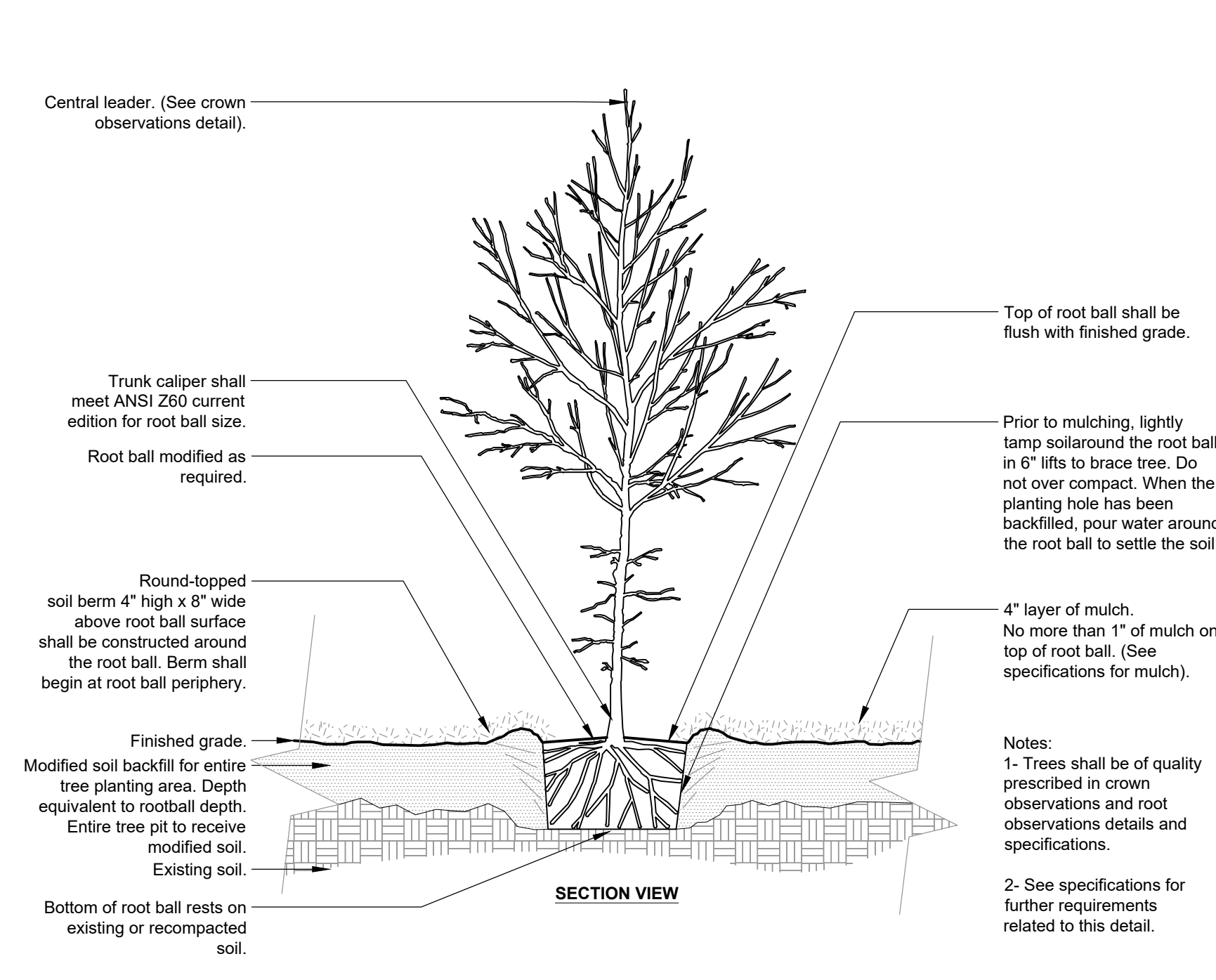
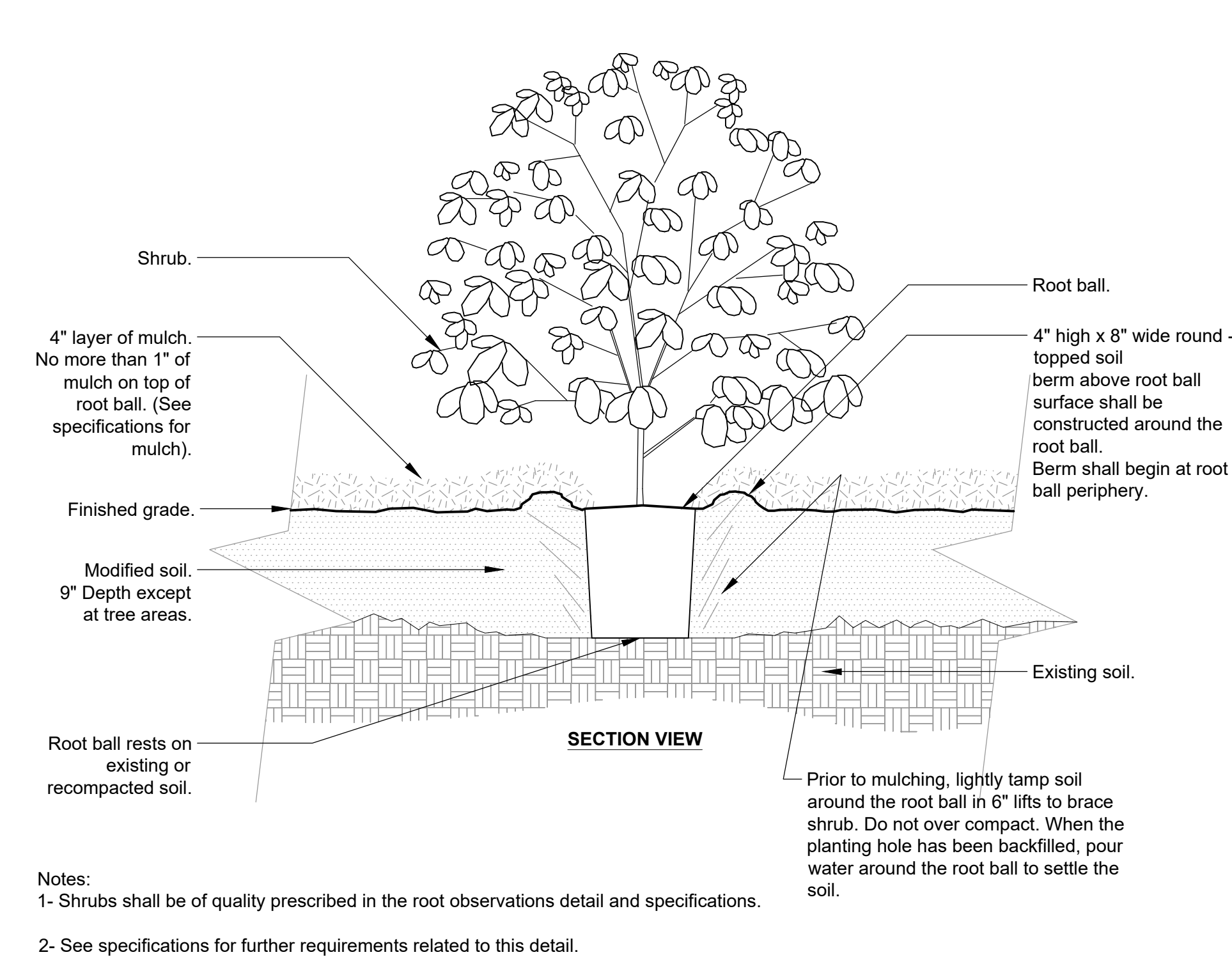
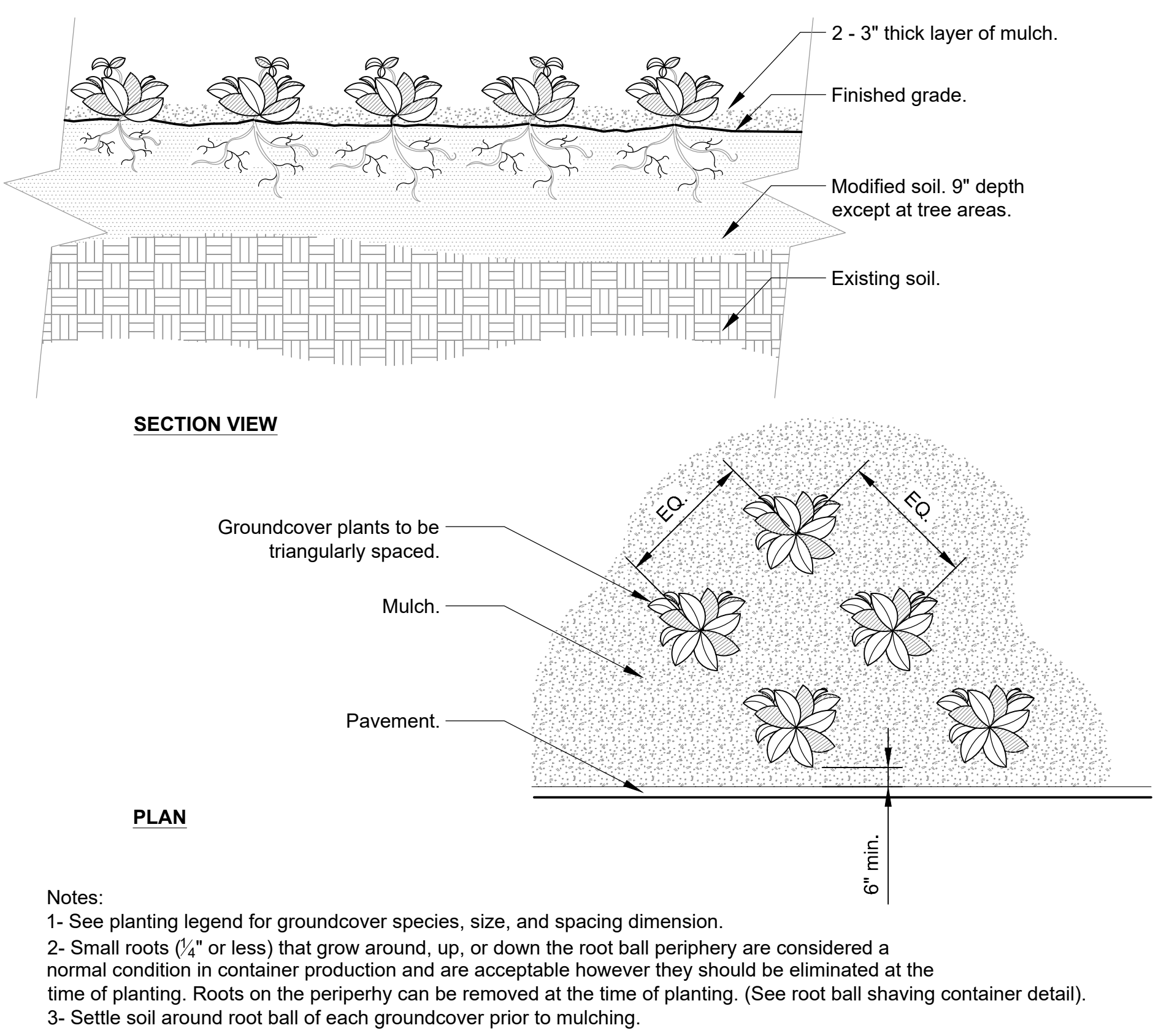
NOT TO SCALE



1 CROWN OBSERVATION - LOW BRANCHING
PLAN / SECTION / ELEVATION

2 CROWN OBSERVATION - MULTI-STEM
PLAN / SECTION / ELEVATION

3 ROOT OBSERVATION - CONTAINER GROWN
PLAN / SECTION / ELEVATION



4 PLANT SPACING
PLAN / SECTION / ELEVATION

5 SHRUB PLANTING
PLAN / SECTION / ELEVATION

6 TREE PLANTING
PLAN / SECTION / ELEVATION

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UNIVERSITY PLACE MULTI-FAMILY

RAM REALTY
CHAPEL HILL, NC 27514

LANDDESIGN PROJ.# 1021104

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NO.	DESCRIPTION	DATE
1	ZCP	07.16.2021

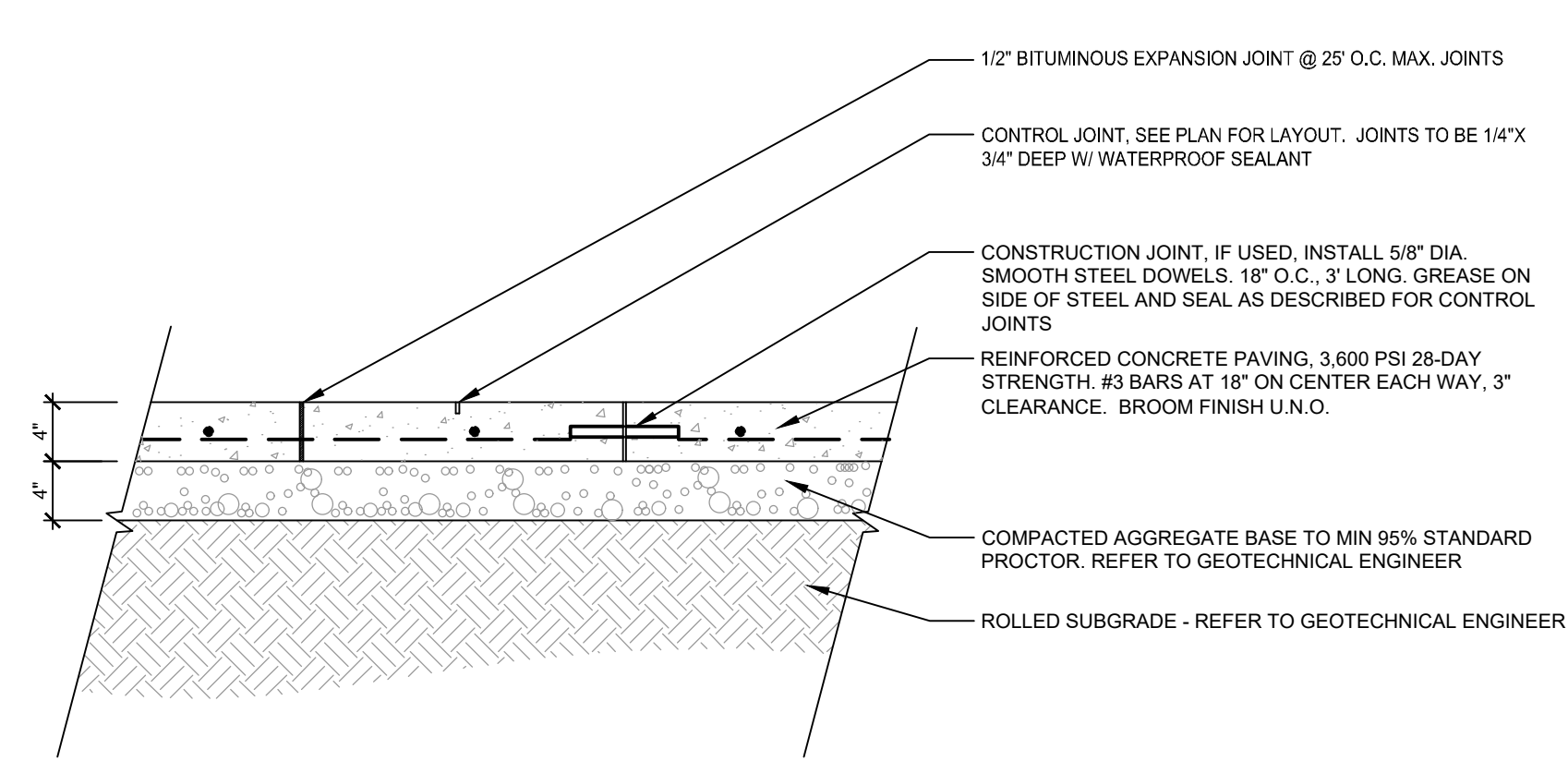
DESIGNED BY: LD
DRAWN BY: ZK
CHECKED BY: AM

SCALE NORTH

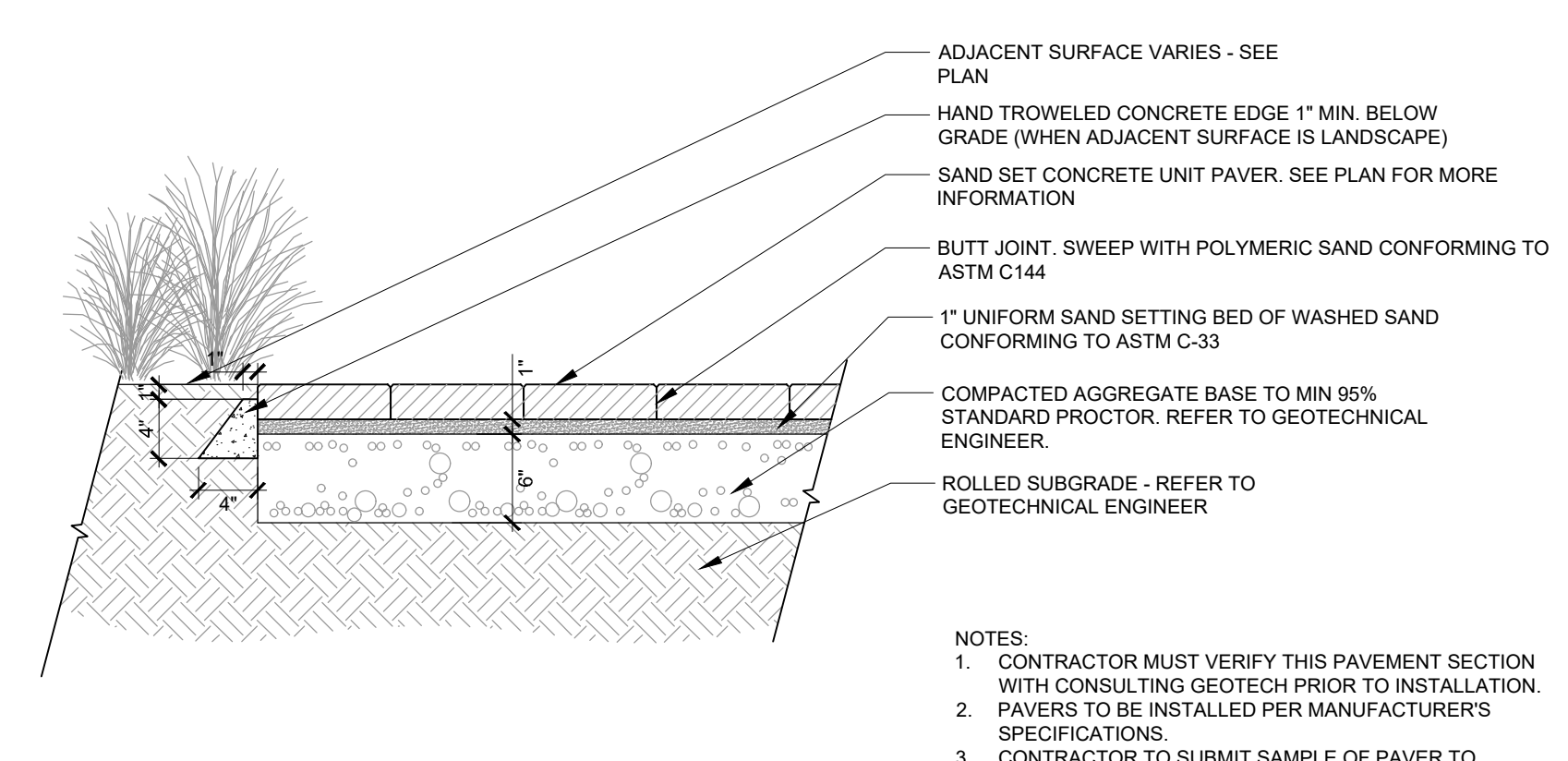
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SHEET TITLE
PLANTING DETAILS

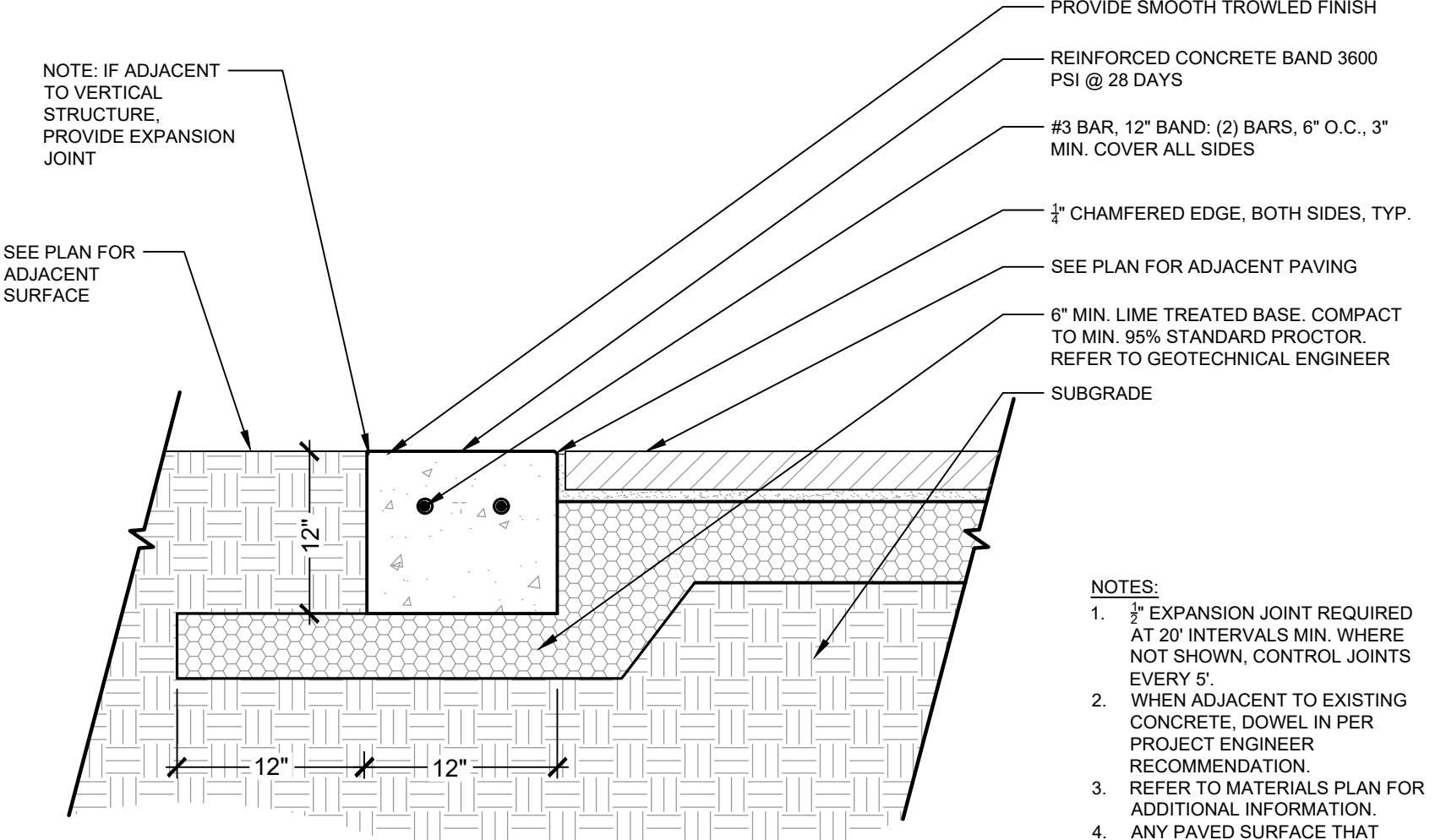
SHEET NUMBER
L5-06



- 1/2" BITUMINOUS EXPANSION JOINT @ 25' O.C. MAX. JOINTS
 - CONTROL JOINT, SEE PLAN FOR LAYOUT. JOINTS TO BE 1/4" X 3/4" DEEP W/ WATERPROOF SEALANT
 - CONSTRUCTION JOINT, IF USED, INSTALL 5/8" DIA. SMOOTH STEEL DOWELS. 18" O.C., 3' LONG. GREASE ON SIDE OF STEEL AND SEAL AS DESCRIBED FOR CONTROL JOINTS
 - REINFORCED CONCRETE PAVING, 3,600 PSI 28-DAY STRENGTH, #3 BARS AT 18" ON CENTER EACH WAY, 3" CLEARANCE. BROOM FINISH U.N.O.
 - COMPACTED AGGREGATE BASE TO MIN 95% STANDARD PROCTOR. REFER TO GEOTECHNICAL ENGINEER
 - ROLLED SUBGRADE - REFER TO GEOTECHNICAL ENGINEER
- NOTES:
1. CONTRACTOR MUST VERIFY THIS PAVEMENT SECTION WITH CONSULTING GEOTECH PRIOR TO INSTALLATION.
2. SEE LAYOUT PLAN FOR CONTROL JOINT AND EXPANSION JOINT SPACING.
3. WATERPROOFING SEALANT TO MATCH CONCRETE COLOR



- ADJACENT SURFACE VARIES - SEE PLAN
 - HAND TROWELED CONCRETE EDGE 1" MIN. BELOW GRADE (WHEN ADJACENT SURFACE IS LANDSCAPE)
 - SAND SET CONCRETE UNIT PAVES. SEE PLAN FOR MORE INFORMATION
 - BUTT JOINT. SWEEP WITH POLYMERIC SAND CONFORMING TO ASTM C144
 - 1" UNIFORM SAND SETTING BED OF WASHED SAND CONFORMING TO ASTM C-33
 - COMPACTED AGGREGATE BASE TO MIN 95% STANDARD PROCTOR. REFER TO GEOTECHNICAL ENGINEER.
 - ROLLED SUBGRADE - REFER TO GEOTECHNICAL ENGINEER
- NOTES:
1. CONTRACTOR MUST VERIFY THIS PAVEMENT SECTION WITH CONSULTING GEOTECH PRIOR TO INSTALLATION.
2. PAVERS TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
3. CONTRACTOR TO SUBMIT SAMPLE OF PAVES TO LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION FOR APPROVAL.
4. REFER TO PAVING PLAN FOR ADDITIONAL INFORMATION.
5. ANY PAVES(S) SURFACE THAT BECOMES STAINED DURING INSTALLATION SHALL BE DISCARDED AND REPLACED WITH NEW PAVES(S).
6. PAVERS TO BE INSTALLED BY AN I.C.P.I. CERTIFIED CONTRACTOR.

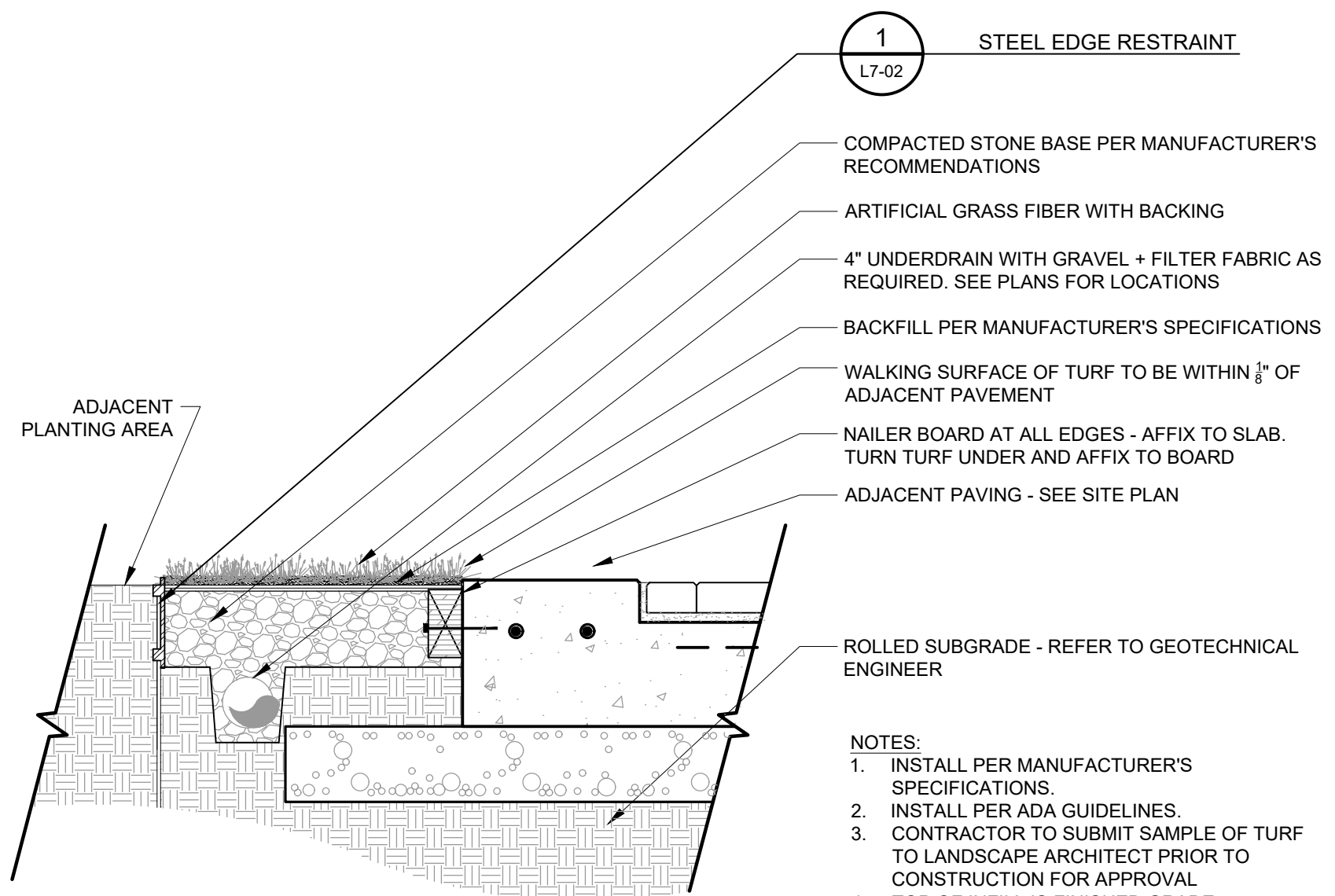


- PROVIDE SMOOTH TROWELED FINISH
 - REINFORCED CONCRETE BAND 3600 PSI @ 28 DAYS
 - #3 BAR, 12" BAND: (2) BARS, 6" O.C., 3" MIN. COVER ALL SIDES
 - 1/2" CHAMFERED EDGE, BOTH SIDES, TYP.
 - SEE PLAN FOR ADJACENT PAVING
 - 6" MIN. LIME TREATED BASE. COMPACT TO MIN. 95% STANDARD PROCTOR. REFER TO GEOTECHNICAL ENGINEER
 - SUBGRADE
- NOTES:
1. 1/2" EXPANSION JOINT REQUIRED AT 20' INTERVALS MIN. WHERE NOT SHOWN, CONTROL JOINTS EVERY 5'
2. WHEN ADJACENT TO EXISTING CONCRETE, DOWEL IN PER PROJECT ENGINEER RECOMMENDATION
3. REFER TO MATERIALS PLAN FOR ADDITIONAL INFORMATION.
4. ANY PAVED SURFACE THAT BECOMES STAINED DURING INSTALLATION SHALL BE DISCARDED AND REPLACED WITH NEW PAVING.

1 CONCRETE PAVING SECTION 1" = 1'-0"

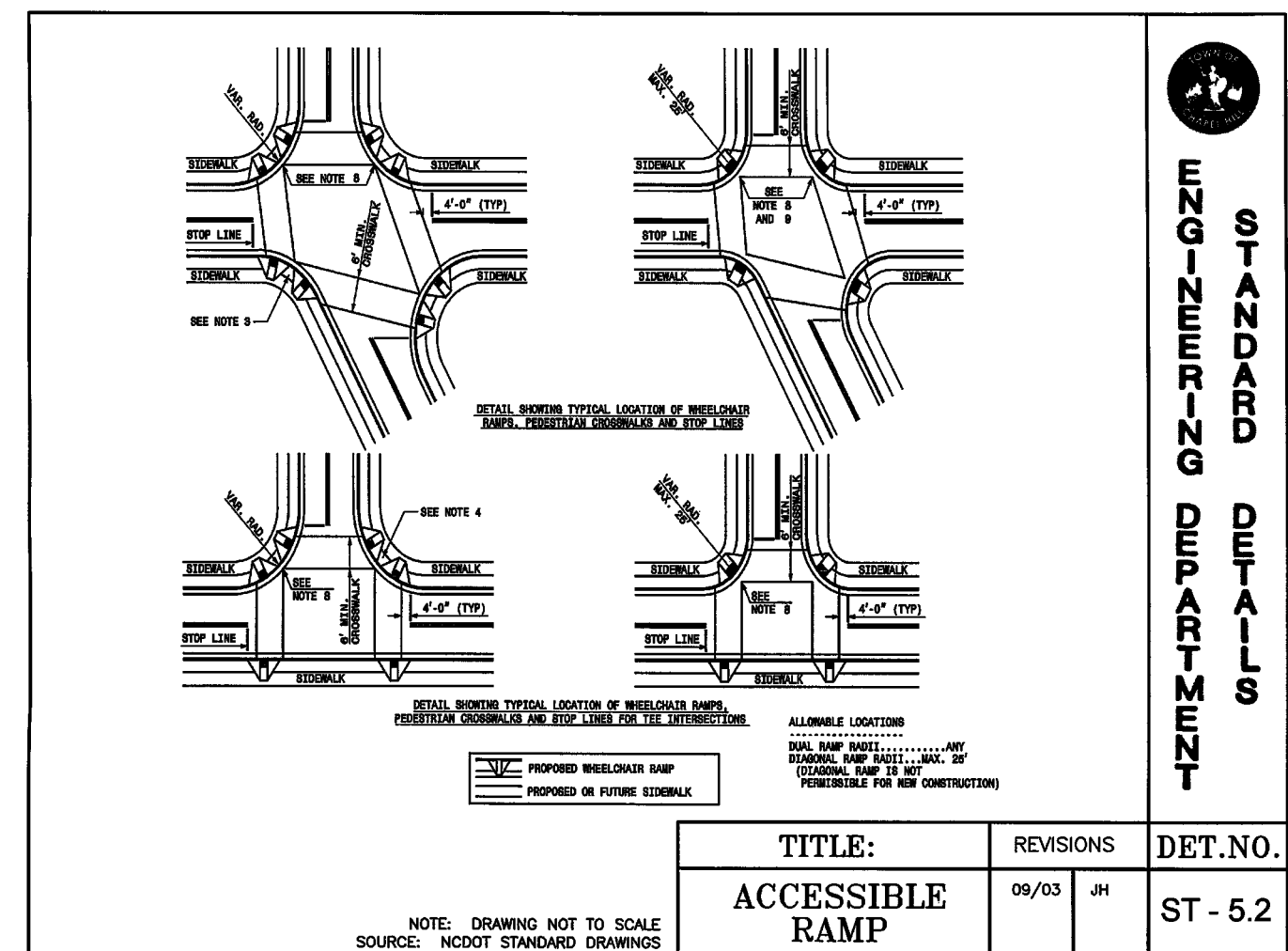
2 PEDESTRIAN PAVER SECTION 1" = 1'-0"

3 CONCRETE BANDING SECTION 1" = 1'-0"



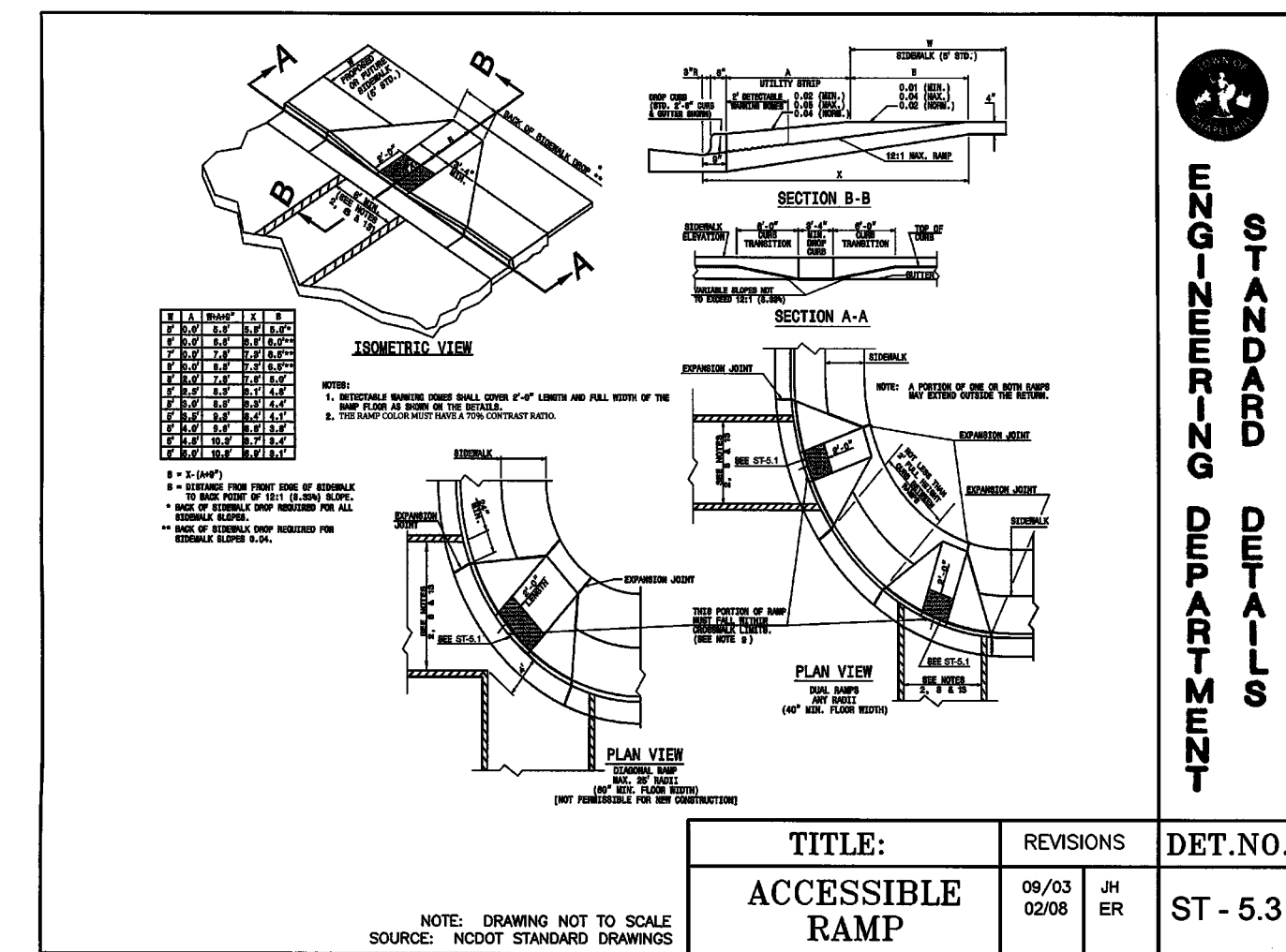
- 1 L7-02 STEEL EDGE RESTRAINT
 - COMPACTED STONE BASE PER MANUFACTURER'S RECOMMENDATIONS
 - ARTIFICIAL GRASS FIBER WITH BACKING
 - 4" UNDERDRAIN WITH GRAVEL + FILTER FABRIC AS REQUIRED. SEE PLANS FOR LOCATIONS
 - BACKFILL PER MANUFACTURER'S SPECIFICATIONS
 - WALKING SURFACE OF TURF TO BE WITHIN 1/8" OF ADJACENT PAVEMENT
 - NAILER BOARD AT ALL EDGES - AFFIX TO SLAB. TURN TURF UNDER AND AFFIX TO BOARD
 - ADJACENT PAVING - SEE SITE PLAN
 - ROLLED SUBGRADE - REFER TO GEOTECHNICAL ENGINEER
- NOTES:
1. INSTALL PER MANUFACTURER'S SPECIFICATIONS
2. INSTALL PER ADA GUIDELINES
3. CONTRACTOR TO SUBMIT SAMPLE OF TURF TO LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION FOR APPROVAL
4. TOP OF INFILL IS FINISHED GRADE.

4 ARTIFICIAL TURF SECTION 1" = 1'-0"



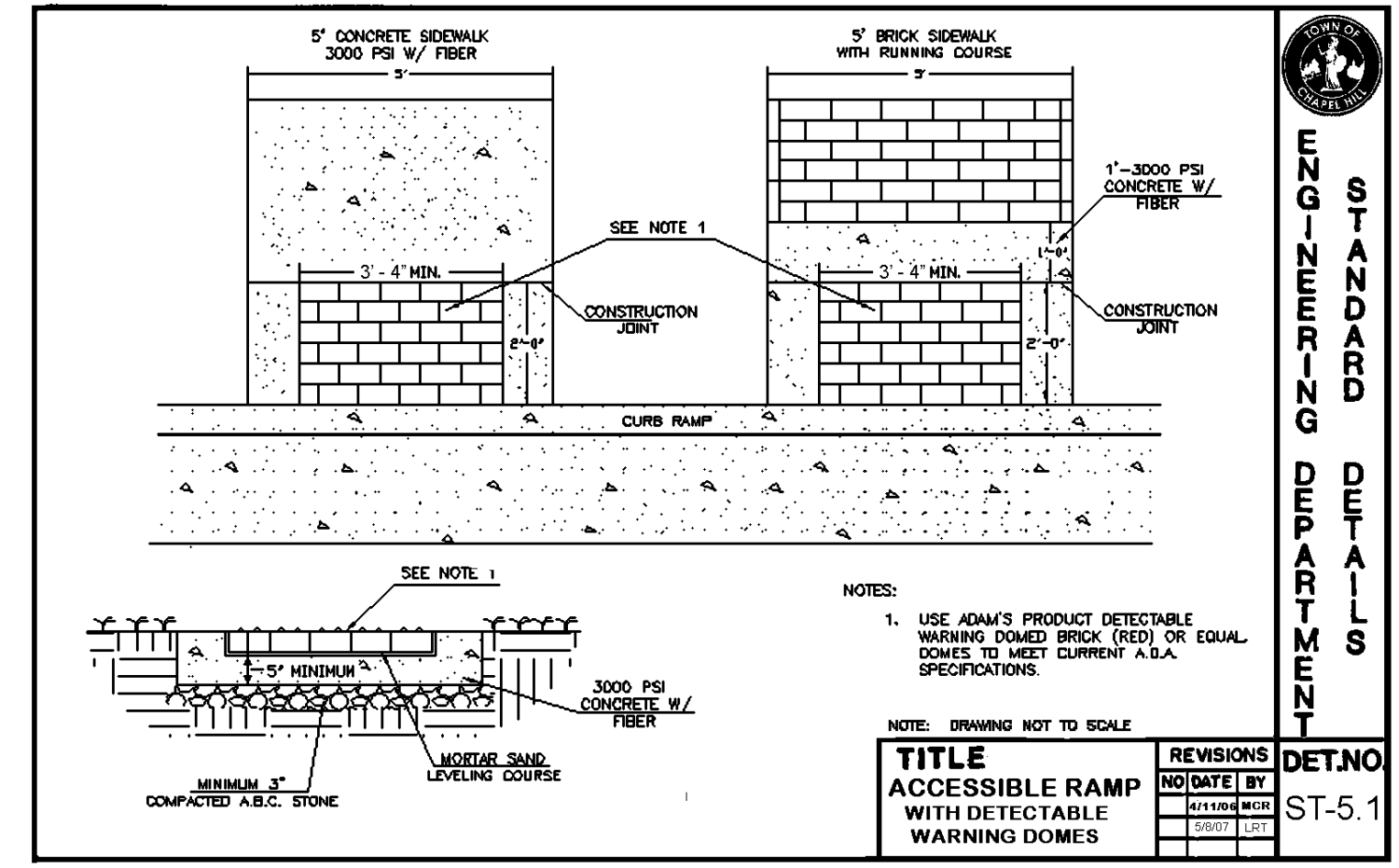
TITLE:	REVISIONS	DET. NO.
ACCESSIBLE RAMP	09/03 JH	ST - 5.2

5 ACCESSIBLE CURB RAMP - 5.2 CHAPEL HILL STANDARD DETAILS



TITLE:	REVISIONS	DET. NO.
ACCESSIBLE RAMP	09/03 JH	ST - 5.3

6 ACCESSIBLE CURB RAMP - 5.3 CHAPEL HILL STANDARD DETAILS



- NOTES:
1. USE ADAM'S PRODUCT DETECTABLE WARNING DOME BRICK (RED) OR EQUAL. DOME TO MEET CURRENT A.D.A. SPECIFICATIONS.
- NOTE: DRAWING NOT TO SCALE
- | | | |
|--|-----------|----------|
| TITLE: | REVISIONS | DET. NO. |
| ACCESSIBLE RAMP WITH DETECTABLE WARNING DOME | 09/03 JH | ST-5.1 |

7 TRUNCATED DOMES CHAPEL HILL STANDARD DETAILS

KEY MAP

PRELIMINARY - FOR REVIEW ONLY -
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XXXXX XXXXXXXX ### 7/15/21
ENGINEER REG. # DATE

NOT FOR CONSTRUCTION

UNIVERSITY PLACE MULTI-FAMILY

RAM REALTY
CHAPEL HILL, NC 27514

LANDDESIGN PROJ.# 1021104

REVISION / ISSUANCE		
NO.	DESCRIPTION	DATE
1	ZCP	07.16.2021

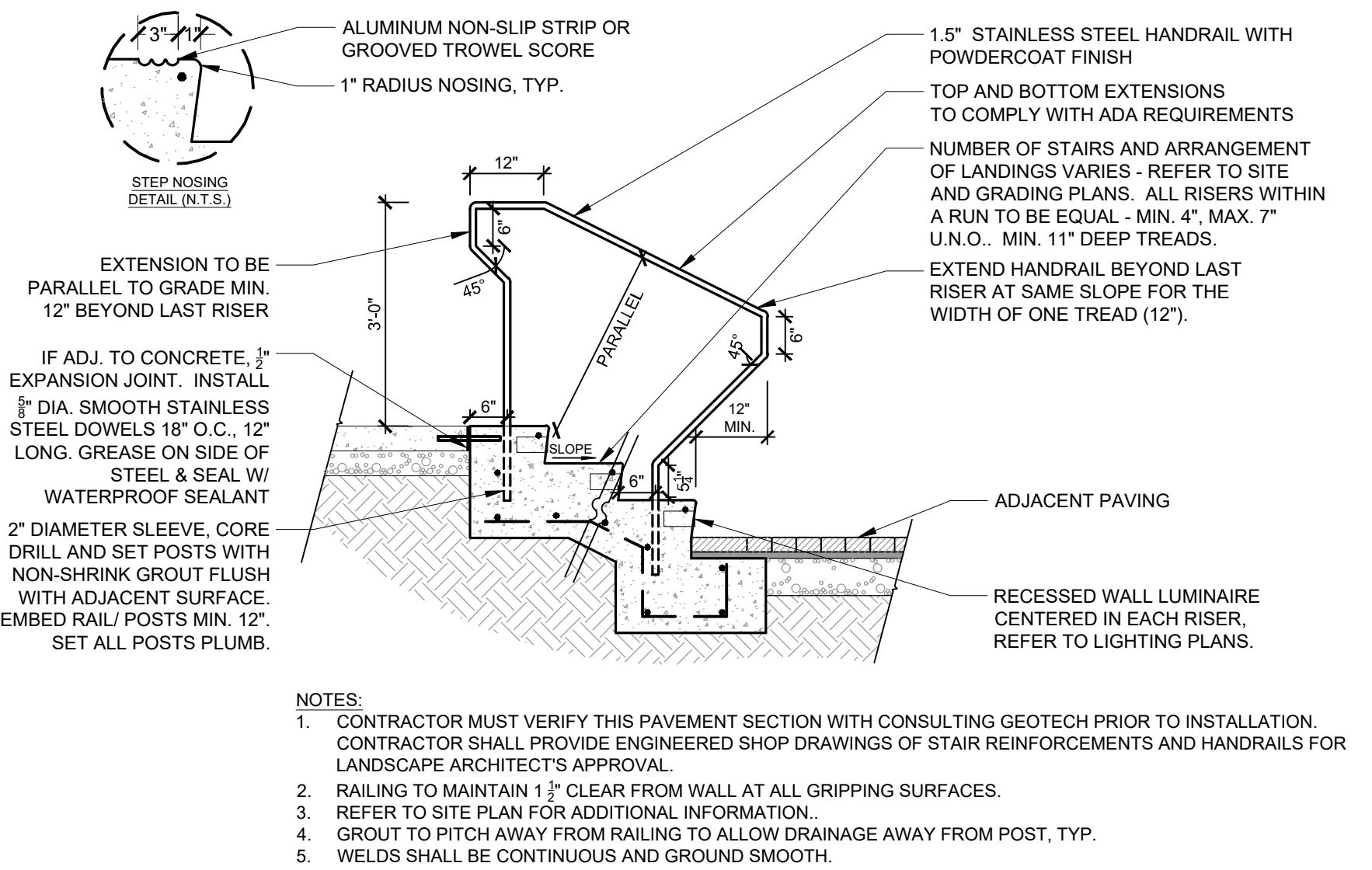
DESIGNED BY: LD
DRAWN BY: ZK
CHECKED BY: AM

SCALE NORTH

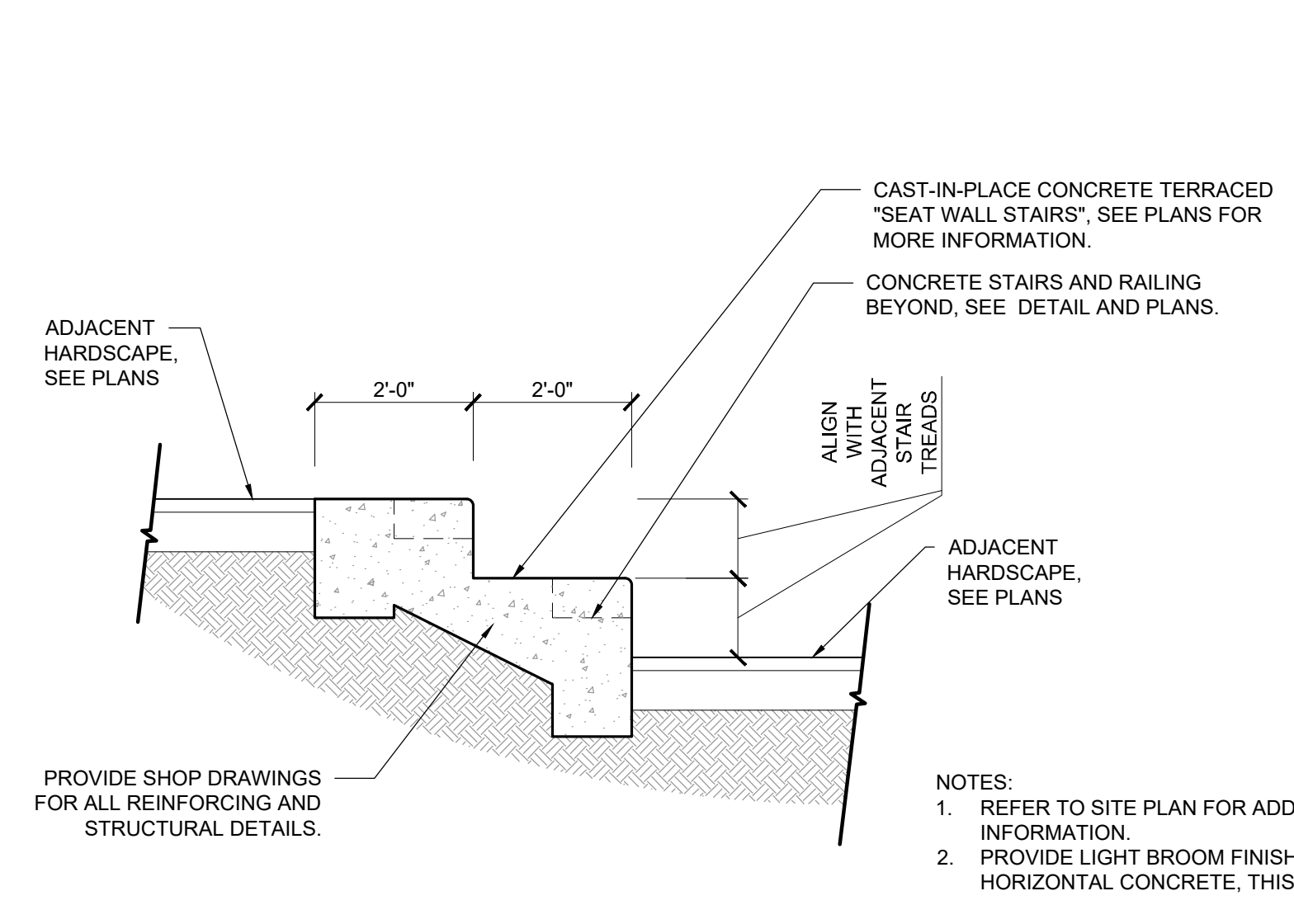
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HORZ: AS NOTED

SHEET TITLE
SITE DETAILS

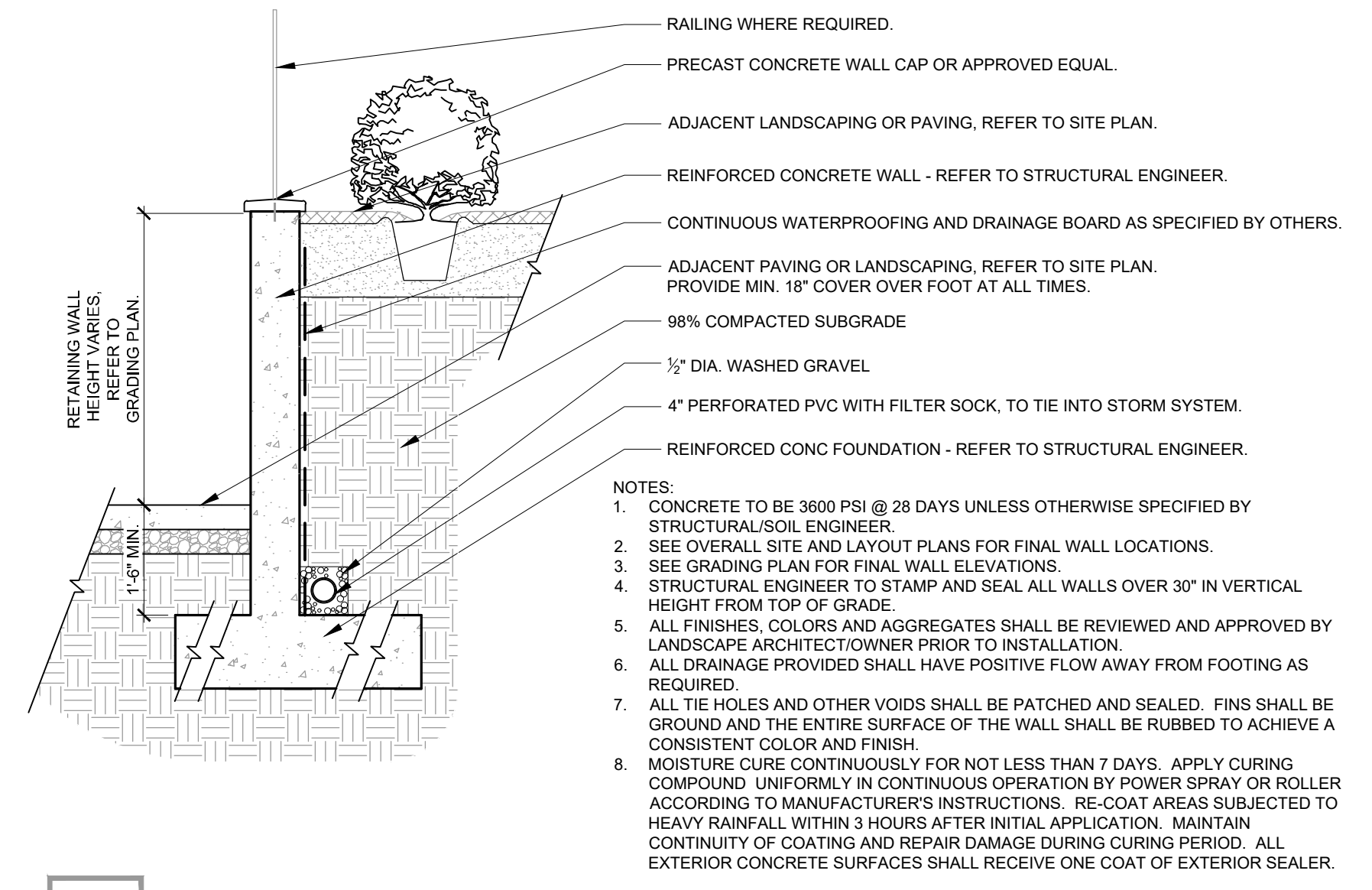
SHEET NUMBER
L7-01



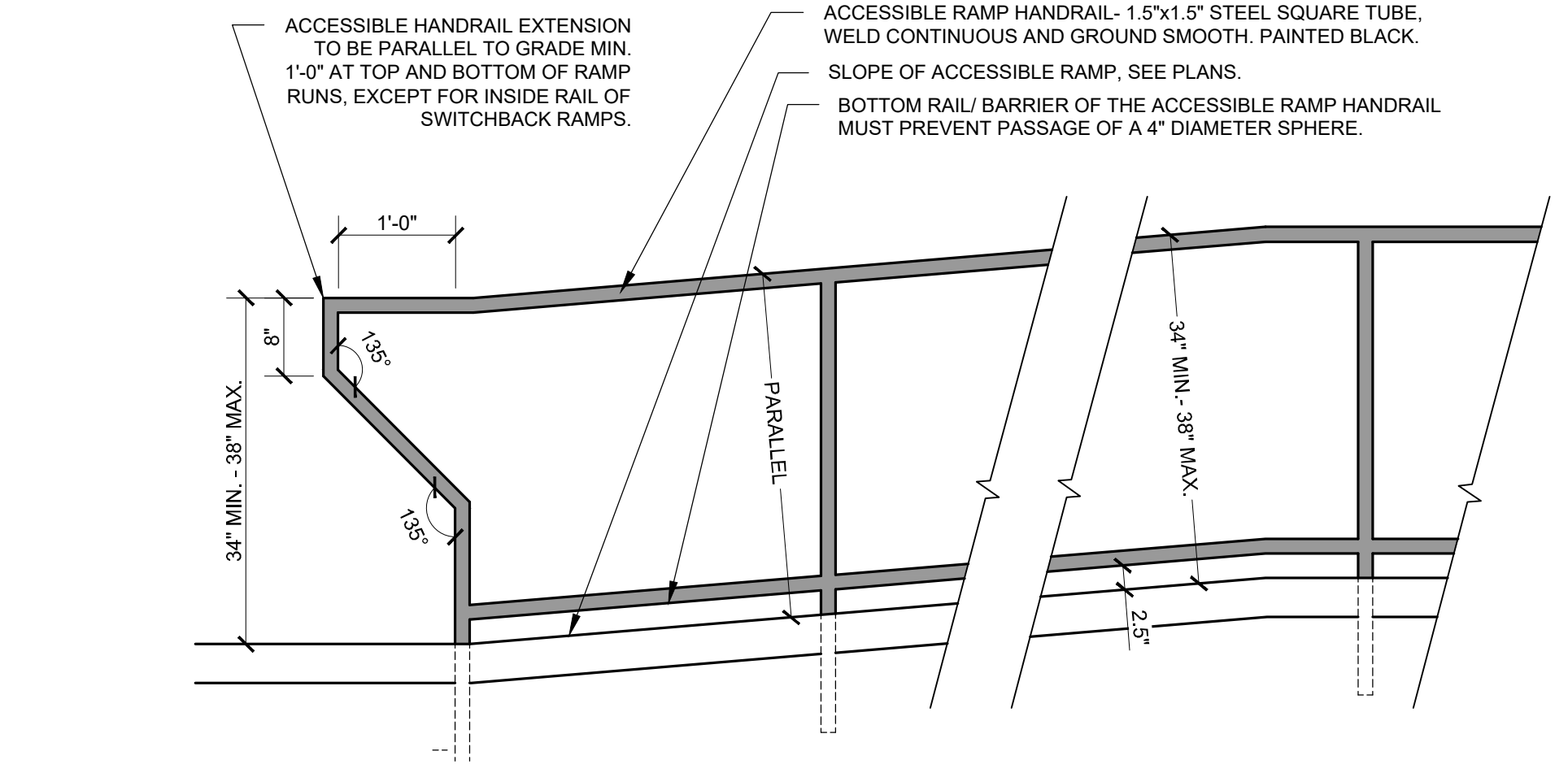
1 CIP CONCRETE STAIR + HANDRAIL
SECTION
1/2" = 1'-0"



2 STEPPED SEAT WALLS
SECTION
1/2" = 1'-0"

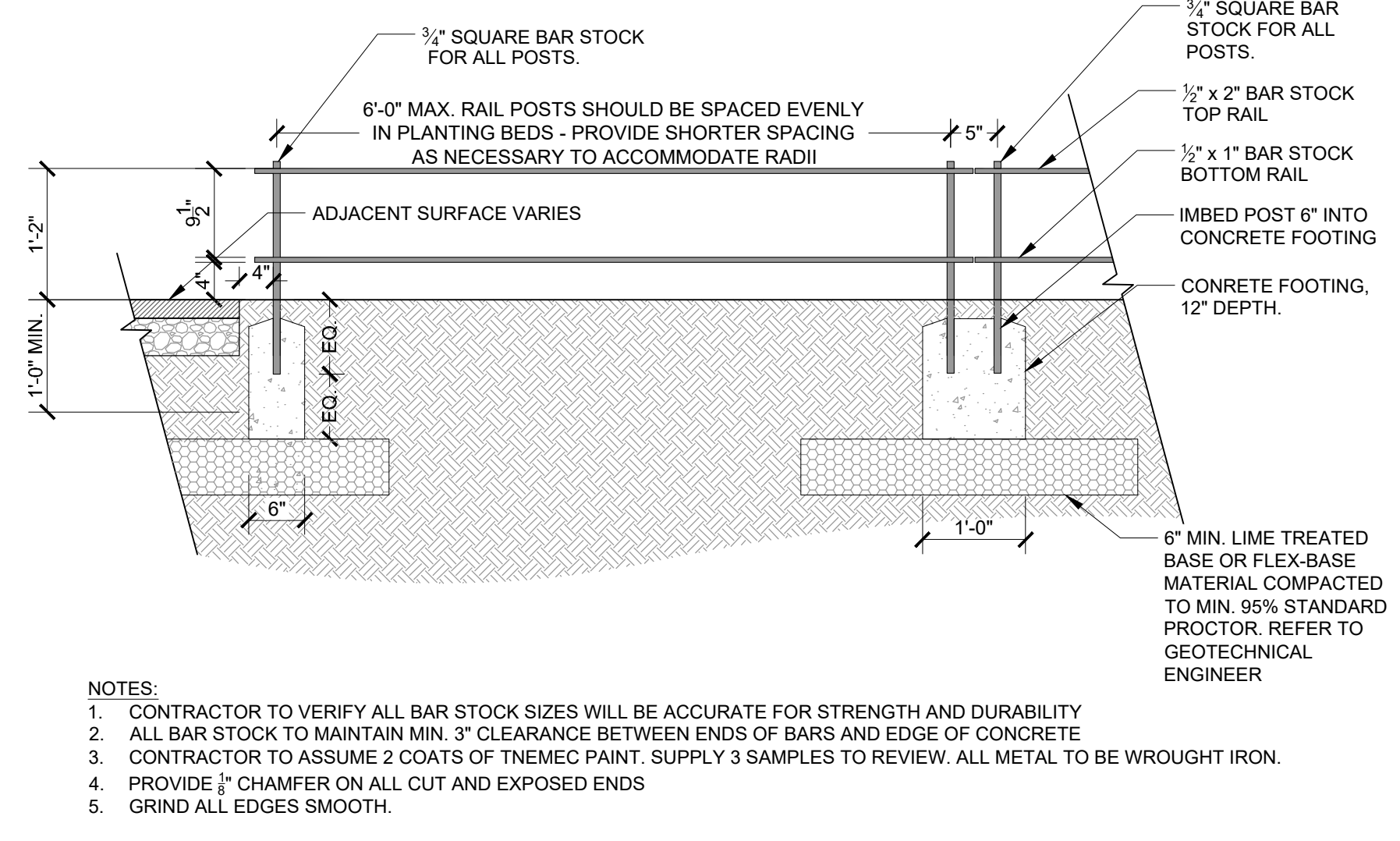


3 CIP CONCRETE RETAINING WALL
SECTION
1/2" = 1'-0"

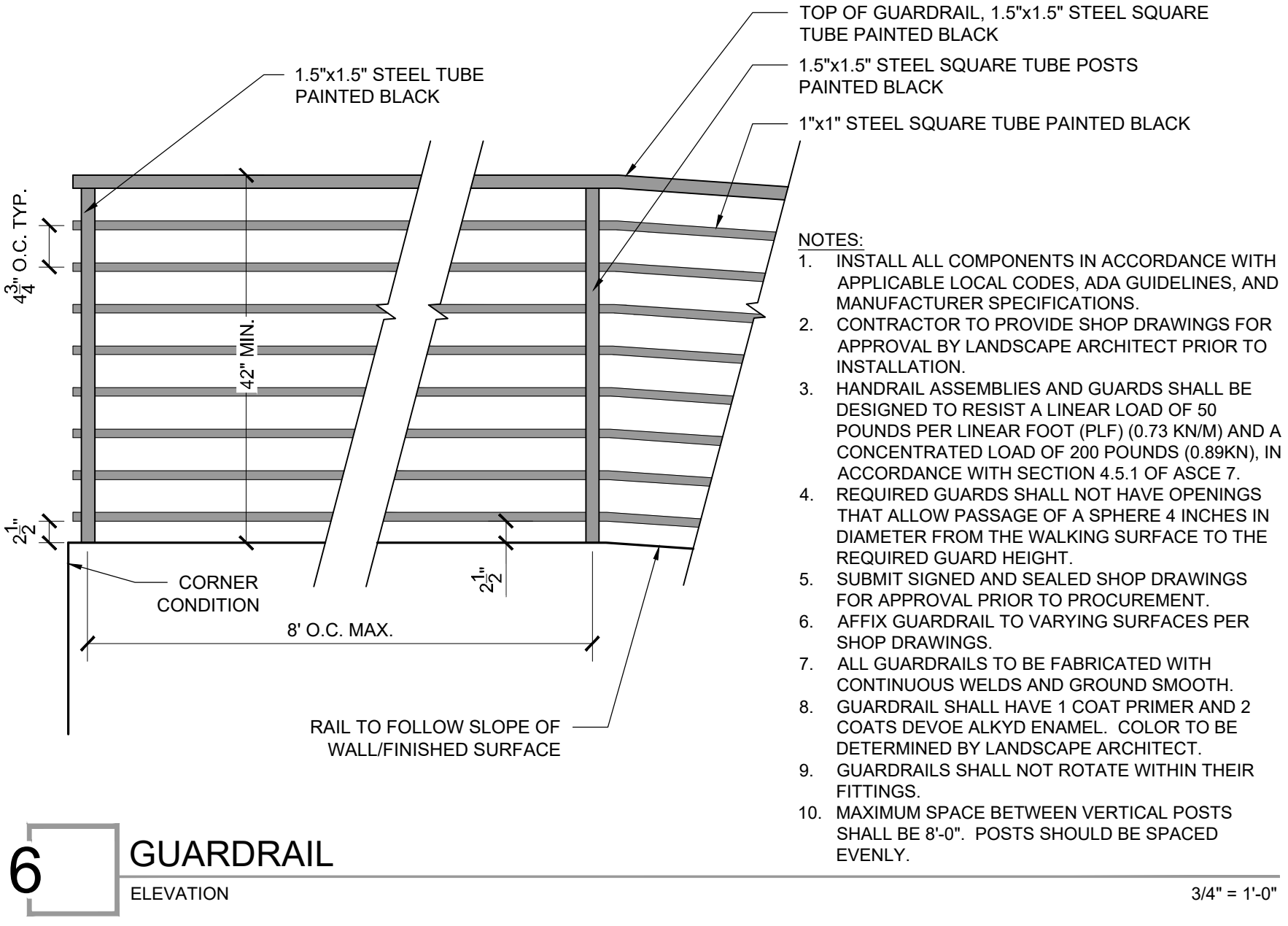


4 ACCESSIBLE RAMP HANDRAIL
ELEVATION
3/4" = 1'-0"

- NOTES:
- HANDRAILS ARE REQUIRED AT ALL GRADES EXCEEDING 5%.
 - ALL HANDRAILS TO COMPLY TO CURRENT ADA STANDARDS FOR ACCESSIBLE DESIGN.
 - SLOPE OF RAMP VARIES; REFER TO GRADING PLAN.
 - RAMP RUNS MUST HAVE A CLEAR WIDTH OF 36" MINIMUM (MEASURED BETWEEN HANDRAILS WHERE PROVIDED).
 - HANDRAIL SHALL HAVE 1 COAT PRIMER AND 2 COATS DEVCON ALKYD ENAMEL. COLOR TO BE DETERMINED BY LANDSCAPE ARCHITECT.
 - HANDRAIL SHALL BE CONTINUOUS METAL FROM TOP OF STEP OR RAMP TO BOTTOM OF STEP OR RAMP.
 - MAXIMUM SPACE BETWEEN VERTICAL HANDRAIL POSTS SHALL BE 8'-0". POSTS SHOULD BE SPACED EVENLY. GRIPPING SURFACE SHALL BE UNINTERRUPTED BY ANY CONSTRUCTION ELEMENTS OR OBSTRUCTIONS.
 - HANDRAILS SHALL NOT ROTATE WITHIN THEIR FITTINGS.
 - CLEAR SPACE BETWEEN THE HANDRAIL AND ANY WALL OR STRUCTURE SHALL BE MIN. 1 1/2".
 - ALL SITE HANDRAILS TO BE FABRICATED WITH CONTINUOUS WELDS, GROUND SMOOTH.
 - HANDRAIL SHALL BE SET WITH A Ø2" CORE DRILL AND EMBEDDED INTO PLACE AT A MINIMUM DEPTH OF 12". EPOXY INTO PLACE AND CAP WITH WATERPROOFING SEALANT. SEALANT COLOR TO MATCH BRICK MORTAR COLOR. ALUMINUM RING COLLAR PROVIDED AT BASE OF HANDRAIL. COLOR TO MATCH HANDRAIL.
 - ALL HANDRAILS TO BE GALVANIZED STEEL UNLESS OTHERWISE APPROVED BY OWNER AND LANDSCAPE ARCHITECT.
 - EXTENSIONS SHALL NOT BE REQUIRED FOR CONTINUOUS HANDRAILS AT THE INSIDE TURN OF SWITCHBACK OR DOGLEG STAIRS AND RAMPS.
 - FINAL RAILING DESIGN BY TENANT.



5 PLANTER RAIL
SECTION
3/4" = 1'-0"



6 GUARDRAIL
ELEVATION
3/4" = 1'-0"

KEY MAP

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UNIVERSITY PLACE MULTI-FAMILY

RAM REALTY
CHAPEL HILL, NC 27514

LANDDESIGN PROJ.# 1021104

REVISION / ISSUANCE		
NO.	DESCRIPTION	DATE
1	ZCP	07.16.2021

DESIGNED BY: LD
DRAWN BY: ZK
CHECKED BY: AM

SCALE: NORTH

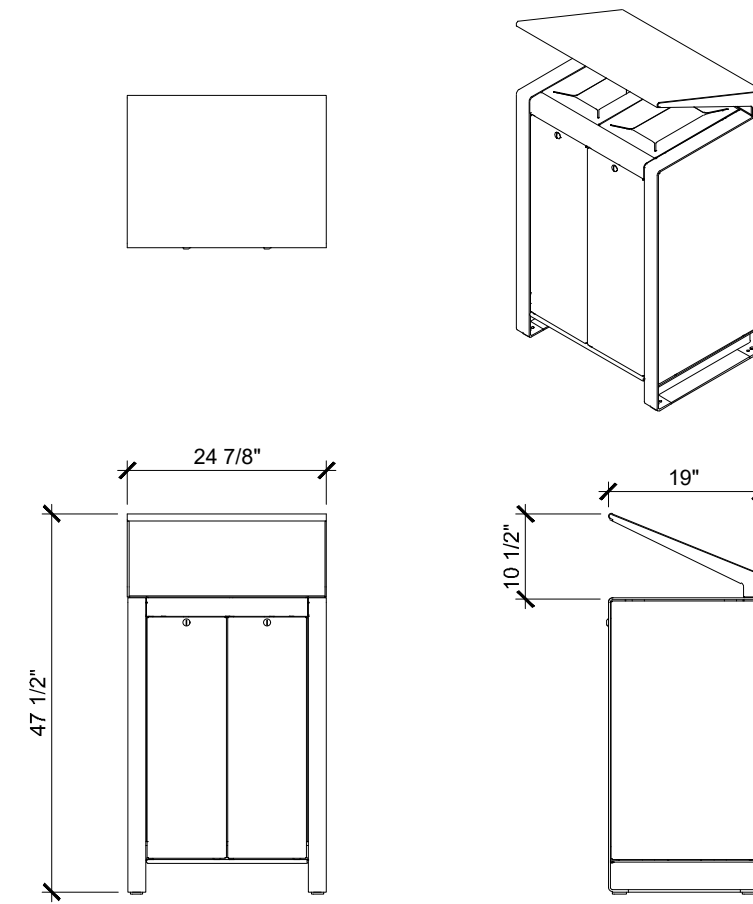
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HORZ: AS NOTED

SHEET TITLE: SITE DETAILS

SHEET NUMBER: L7-03

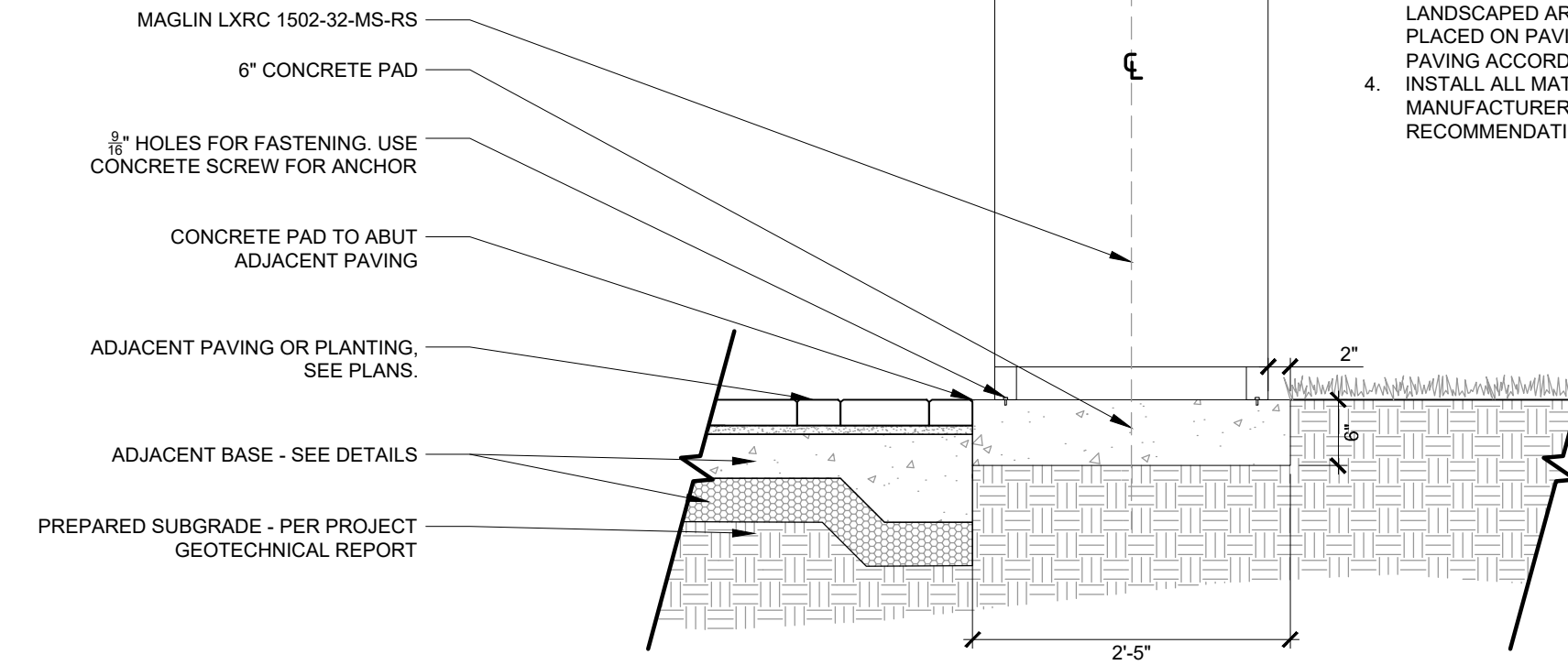


MANUFACTURER: LANDSCAPE FORMS
PRODUCT NAME: BOLA BIKE RACK
FINISH: OBSIDIAN
NOTE: EMBEDDED MOUNTING



LXRC 1502-32-MS-RS WITH VINYL GRAPHICS

MANUFACTURER: MAGLIN
MODEL: LXRC 1502-32-MS-RS
LEXICON: 32 GAL., 2 STREAM, RAINSHIELD
DOORS: VINYL GRAPHICS(VG)
FINISH: POWDERCOAT
COLOR: TITANIUM
WEIGHT: 149.34 LBS
CONTACT: ANDREW COEN, T/855.512.5627

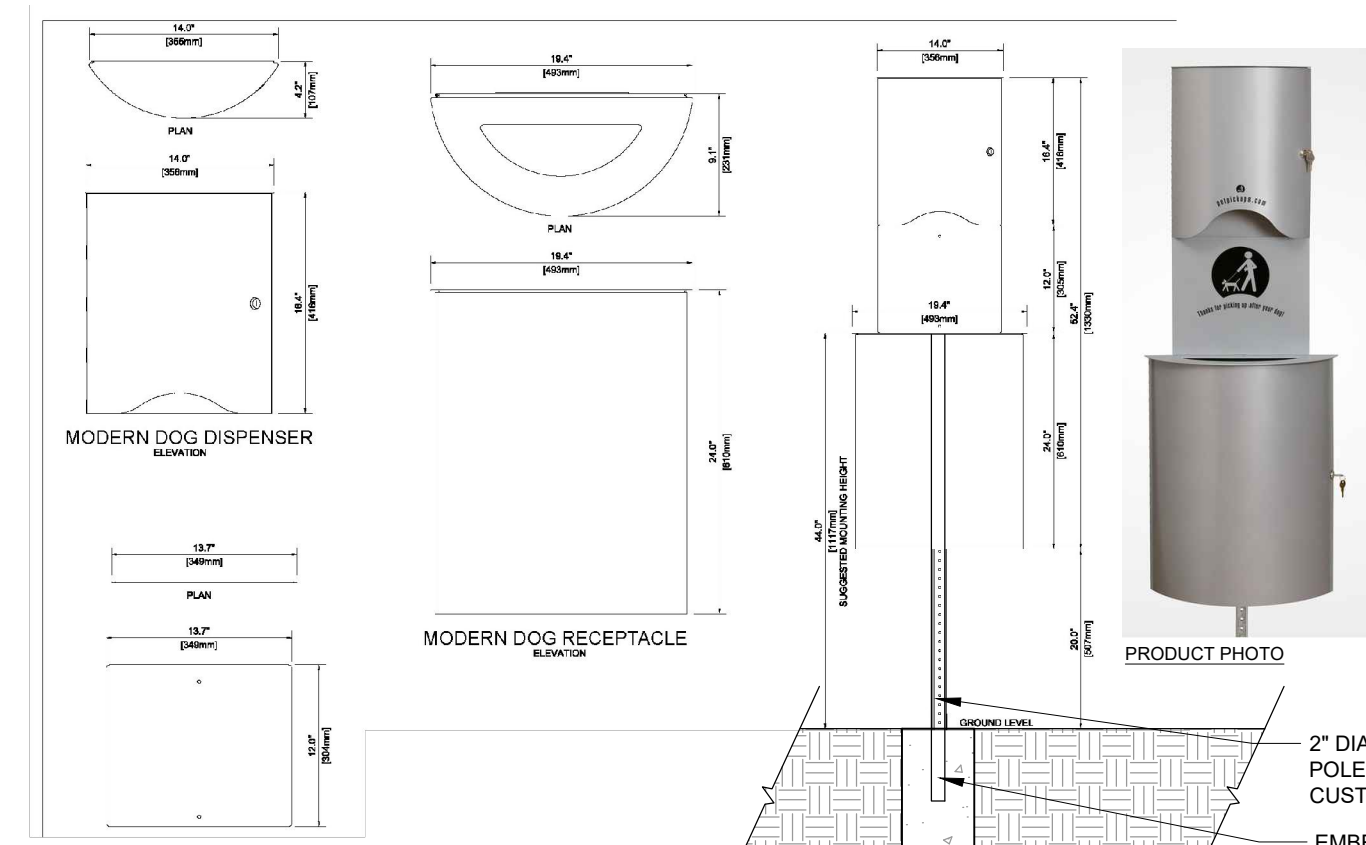


- NOTES:
1. THE TRASH/RECYCLE UNIT IS DELIVERED PRE-ASSEMBLED. 2\"/>
 2. REFER TO PLANS FOR TRASH RECEPTACLE PLACEMENT
 3. CONCRETE PAD ONLY FOR WHEN TRASH/RECYCLE UNIT IS SHOWN PLACED IN LANDSCAPED AREA OR CRUSHED FINES. WHEN PLACED ON PAVING, IT SHOULD BE SECURED TO PAVING ACCORDINGLY.
 4. INSTALL ALL MATERIALS ACCORDING TO MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS

1 BIKE RACK
CHARACTER IMAGERY

2 TRASH RECEPTACLE
SECTION AND SPEC SHEET

3/4\" = 1'-0"



MANUFACTURER: PET PICKUPS
COLOR: CUSTOM RAL PAINT
MODEL: MODERN DOG

2\" DIA. PAINTED STEEL POLE, COLOR TO BE CUSTOM RAL.
EMBED MIN. 6\"
CONCRETE FOOTING 6\"X18\"

- NOTE:
1. INSTALL ALL MATERIALS PER MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
 2. PROVIDE POST CAP.



MANUFACTURER: LANDSCAPE FORMS
MODEL: AUSTIN BENCH
SIZE: 24\" X 72\" X 33\"
COLOR: IPE AND OBSIDIAN POWDERCOAT

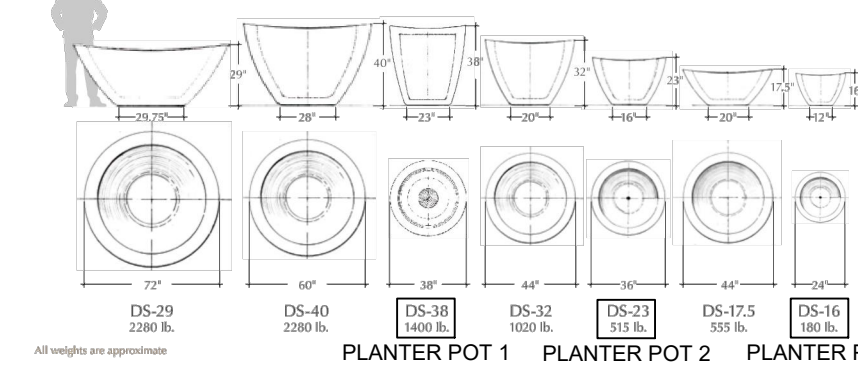


Dune Series LANDSCAPE CONTAINERS
Tapered landscape container with curved rim.



- TO SPECIFY
Select the DS product number along with the options below.
- Drainage:
- Standard diameter hole: approximately 2.310"
 - Custom size to function with irrigation & drainage (note size of plumbing fixture to be used)
- Concrete Color
- Natural gray concrete
 - 9 standard color options available
 - Additional color mixing available
- Finishing
- Bituminous sealer (suggested for interior applications)
 - Sandblaze finish
- Notes
- Matching Dune Tush & Ash Receptacles
 - See website to download CSI specifications
 - Upcharges will apply for colors, sandblasting, sealer, and extra drain holes.

MANUFACTURER: KORNEGAY DESIGN
PRODUCT NAME: DUNE SERIES
SIZES: PLANTER POT 1, DS-38
PLANTER POT 2, DS-23
PLANTER POT 3, DS-16
COLOR: SILVER SMOKE (IRON OXIDE)



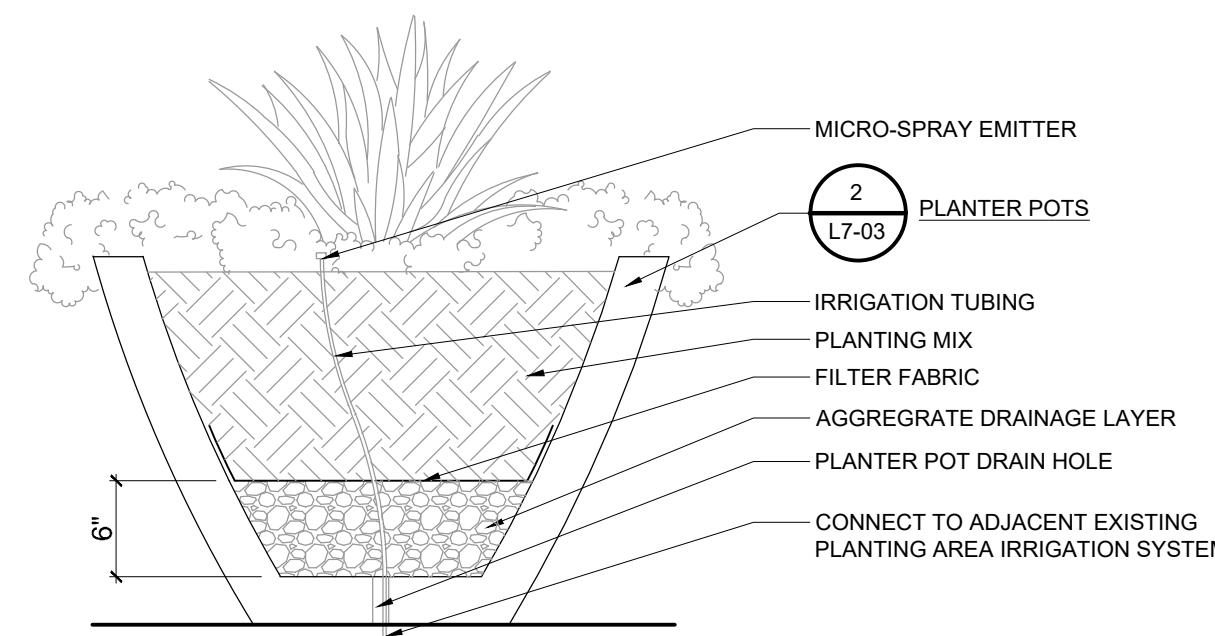
- NOTE:
1. REFER TO PLANTER POT IRRIGATION DETAIL FOR MORE INFORMATION FOR THE TYPICAL PLANTING MIX, AGGREGATE, FILTER FABRIC, AND IRRIGATION COMPOSITION INSIDE THE PLANTER POT.
 2. REFER TO PLANTING PLANS FOR PLANTING DESIGN.
 3. REFER TO MANUFACTURER'S RECOMMENDATIONS FOR HANDLING INFORMATION AND CARE / MAINTENANCE OF POTS.

3 DOG WASTE STATION
CUT SHEET | SECTION

4 BENCH
PRODUCT INFORMATION

5 PLANTER POTS
CUT SHEET

N.T.S.



- NOTE:
1. DETAIL IS SCHEMATIC IN NATURE; REFER TO PROJECT DRAWINGS FOR EXACT PLANTER MODEL, PLANTING PLAN, + OTHER INFORMATION.
 2. CONTRACTOR TO PROVIDE ALL NECESSARY MATERIALS FOR COMPLETE + OPERATIONAL INSTALLATION OF THE PLANTER, INCLUDING, SOIL, DRAINAGE LAYER, FILTER FABRIC, + OTHER NECESSARY MATERIALS.
 3. CONTRACTOR IS RESPONSIBLE TO ENSURE ADEQUATE DRAINAGE IN A MANNER ACCEPTABLE TO OWNER.



MANUFACTURER: LANDSCAPE FORMS
PRODUCT NAME: CHIPMAN CHAIR, NO ARMS
FINISH: SILVER METALLIC FINISH



MANUFACTURER: LANDSCAPE FORMS
PRODUCT NAME: PARK CENTRE TABLE
SIZE: 24\" ROUND
FINISH: SILVER METALLIC

6 PLANTER POT ASSEMBLY
SECTION

7 BISTRO CHAIR
CHARACTER IMAGERY

8 BISTRO TABLE
CHARACTER IMAGERY

N.T.S.

KEY MAP

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RAM REALTY
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LANDDESIGN PROJ# 1021104

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SCALE NORTH

VERT: N/A
HORZ: AS NOTED

SHEET TITLE

SITE DETAILS (FURNITURE)

SHEET NUMBER

L7-30