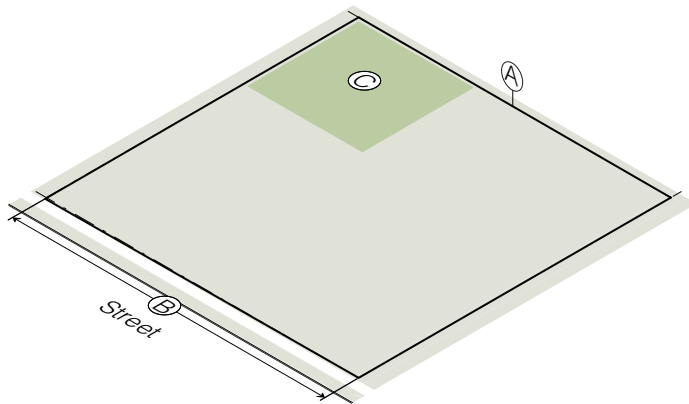


3.11.2.3. Walkable Residential (WR-3 and WR-7)

Development in the Walkable Residential Subdistricts that meets the Enhanced Development Option conditions as specified in Section 3.11.1.2.C. shall be subject to the following standards:

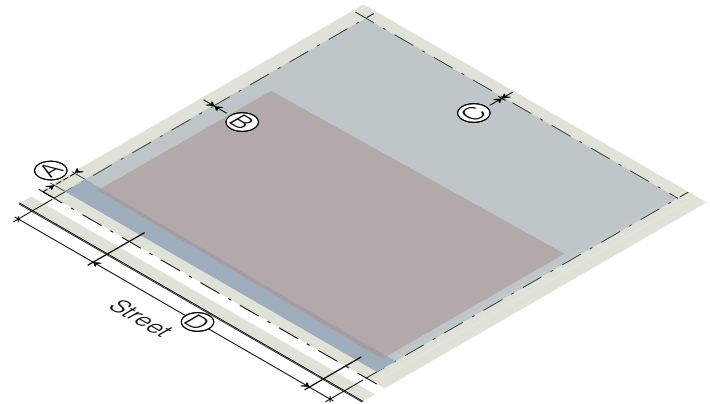
1. Lot



Lot Dimensions	
Ⓐ Net land area (min)	1,700 SF
Ⓑ Lot width (min)	20'
Lot Parameters	
Ⓒ Outdoor amenity space ratio (min)	0.06
Recreation space ratio (min), applies to residential portion of building	
1-3 story building	0.08
4+ story building	0.12

Outdoor amenity space is a ratio of net land area.
Recreation space is a ratio of gross land area.

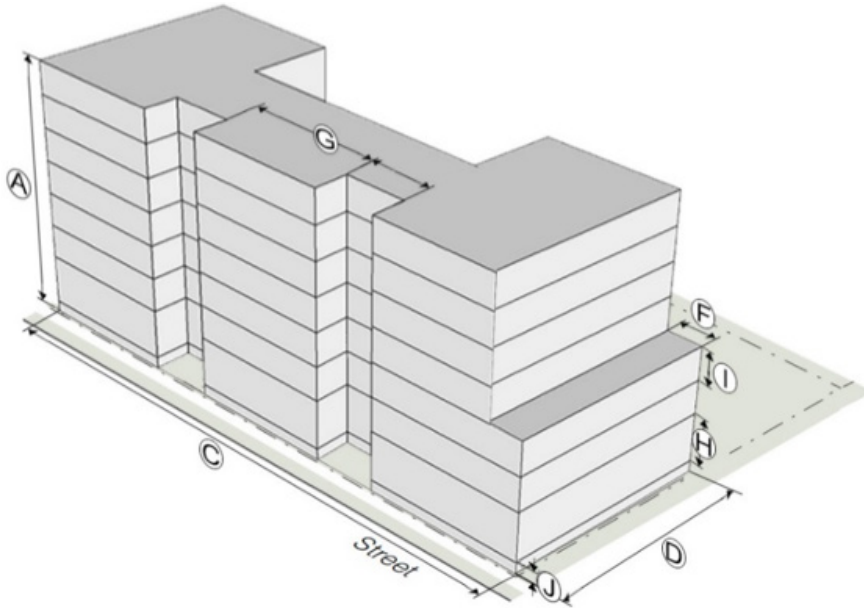
2. Placement



Building Setbacks	
Ⓐ Front	As defined by Frontage Type
Ⓑ Side interior (min)	0' or 5'
Ⓒ Rear (min)	0' or 5'
Ⓒ Rear, alley (min)	5'
Build-to Zone (BTZ)	
Ⓓ Building façade in BTZ (min % of lot width)	As defined by Frontage Type
Block Parameters	
Maximum block length	450'
Maximum block perimeter	1,800'

1. For the definition of Build-to-Zone (BTZ), see Section 3.11.2.7, Measurements and Exceptions, subsection G.
2. For additional information regarding other terms, definitions and requirements, see Section 3.11.2.7 Measurements and Exceptions.

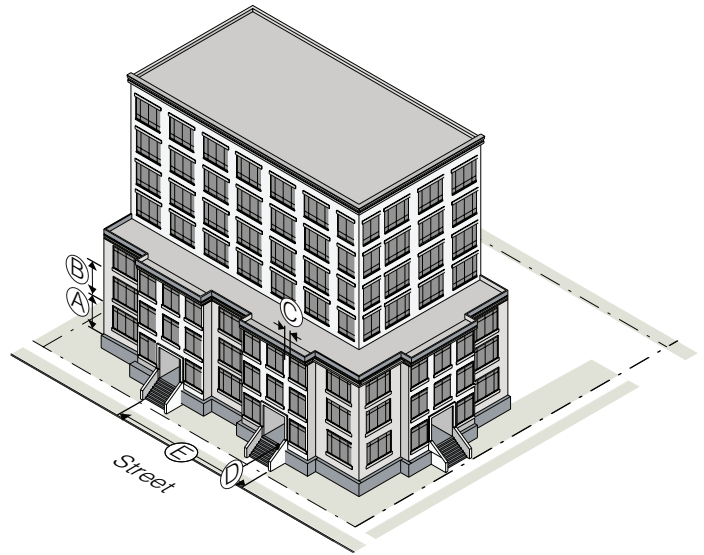
3. Mass



Building Height			
Ⓐ	Building height (max)		
	- WR-7	7 stories, not to exceed 90'	
	- WR-3	3 stories, not to exceed 45'	
Ⓑ	Building height for principal structures	2 stories*	
Building Footprint and Aggregation			
Building Configuration	Width (max) Ⓒ	Depth (max) Ⓓ	Separation (min) **
WR-7, Wrapped Parking			
- Main Building	330'	200'	30'
- Secondary Wing	75'	100'	
WR-7, Wider and Shallower			
- Main Building	330'	120'	30'
- Secondary Wing	75'	100'	
WR-7, Narrower and Deeper			
- Main Building	275'	210'	30'
- Secondary Wing	75'	100'	
WR-3, All Buildings			
- Main Building	220'	130'	20'
- Secondary Wing	75'	100'	
Structured Parking	230'	180'	30'

Mass Variation	
Ⓔ	Average floor plate area (max as percent of ground story floor plate area)
- Second and Third stories	Not Applicable
- Fourth story	100% for a 4-story building; Otherwise, 80%
- Fifth story and above	70%; max of 80% for any one story
Buildings 4 stories or greater shall meet either the step back or module offset standard below	
Ⓕ	Building step back above 2nd or 3rd floor (min)
	10' step back above 2 nd or 3 rd floor
Ⓖ	Module offset
- Module width (max)	80'
- Depth of offset (min)	6'
- Width of offset	12'

4. Form



Story Height	
Ⓜ	Ground story height, floor to ceiling (min) 9'
Ⓜ	Upper story height, floor to ceiling (min) 9'
Ground Floor Elevation	
	Ground floor elevation (min/max) 2' / 4'

* The second story shall be at least 2/3rds the floor area of the first story.

** Separation is required when aggregate multiple buildings placed in proximity would otherwise exceed the Width and Depth criteria. See also Pedestrian Connectivity.

Transparency	
Ⓜ	Ground story (min) 20%
Ⓜ	Upper story (min) 20%
Ⓜ	Blank wall distance (max) 50'

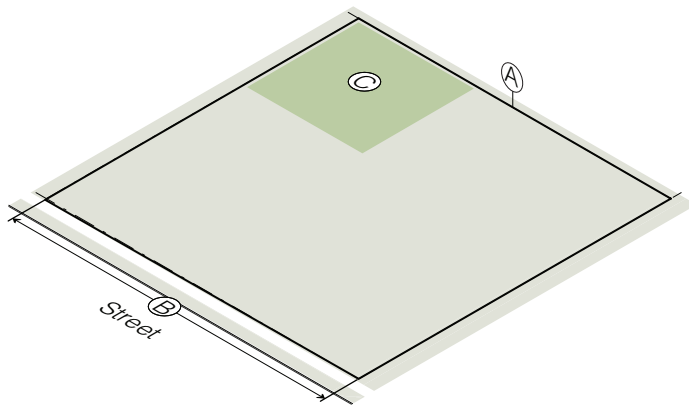
Pedestrian Access	
Ⓜ	Principal entrance facing the public realm Required
Ⓜ	Principal entrance spacing along street-facing façade (max) 50'
Ⓜ	Pedestrian Connectivity 350' maximum spacing

Ⓜ Building Elements Permitted	
	Front porch, stoop
	Balcony
	Forecourt

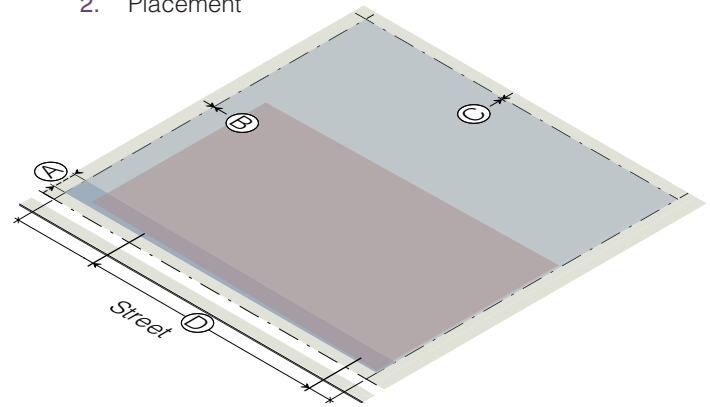
3.11.2.4. Walkable Mixed Use (WX-5 and WX-7)

Development in the Walkable Mixed Use Subdistricts that meets the Enhanced Development Option conditions as specified in Section 3.11.1.2.C. shall be subject to the following standards:

1. Lot



2. Placement



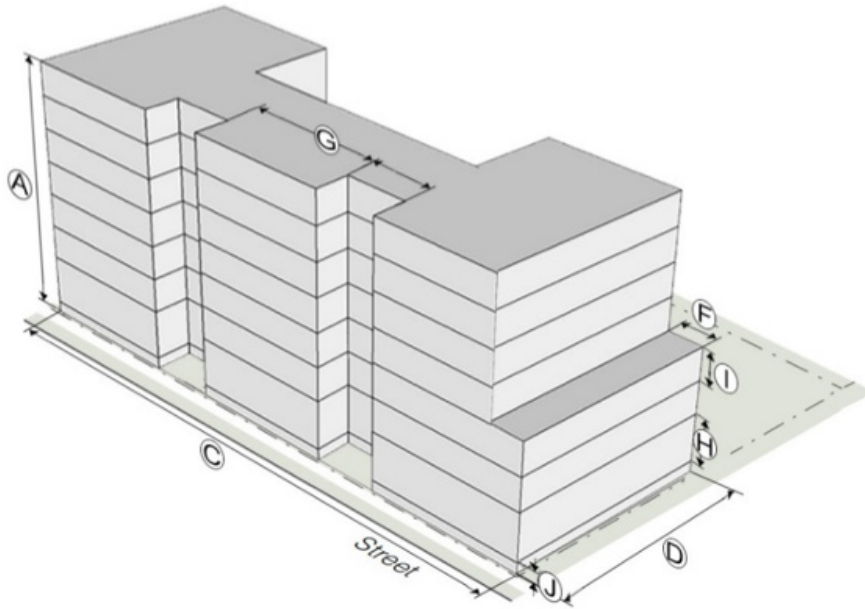
Lot Dimensions	
Ⓐ Net land area (min)	
- All residential	1,700 SF
- Mixed use / nonresidential	5,000 SF
Ⓑ Lot width (min)	
- All residential	20'
- Mixed use / nonresidential	50'
Lot Parameters	
Ⓒ Outdoor amenity space ratio (min)	0.06
Recreation space ratio (min), applies to residential portion of building	
1-3 story building	0.08
4+ story building	0.12

Outdoor amenity space is a ratio of net land area.
Recreation space is a ratio of gross land area

Building Setbacks	
Ⓐ Front	As defined by Frontage Type
Ⓑ Side interior (min)	0' or 5'
Ⓒ Rear (min)	0' or 5'
Ⓒ Rear, alley (min)	5'
Build-to Zone (BTZ)	
Ⓓ Building façade in BTZ (min % of lot width)	As defined by Frontage Type
Block Parameters	
Maximum block length	450'
Maximum block perimeter	1,800'

1. For the definition of Build-to-Zone (BTZ), see Section 3.11.2.7 Measurements and Exceptions, subsection G
2. For additional information regarding other terms, definitions and requirements, see Section 3.11.2.7 Measurements and Exceptions

3. Mass



Building Height

Ⓐ Building height (max)	
- WX-7	7 stories, not to exceed 90'
- WX-5	5 stories, not to exceed 60'
Ⓑ Building height for principal structures (min)	2 stories*

Building Footprint and Aggregation

Building Configuration	Width (max) Ⓒ	Depth (max) Ⓓ	Separation (min) **
WR-7, Wrapped Parking			
- Main Building	330'	200'	30'
- Secondary Wing	75'	100'	
WR-7, Wider and Shallower			
- Main Building	330'	120'	30'
- Secondary Wing	75'	100'	
WR-7, Narrower and Deeper			
- Main Building	275'	210'	30'
- Secondary Wing	75'	100'	
Structured Parking	230'	180'	30'

Mass Variation

Ⓒ Average floor plate area (max as percent of ground story floor plate area)	
- Second and Third stories	Not Applicable
- Fourth story	100% for a 4 story building; Otherwise, 80%
- Fifth story and above	70%; max of 80% for any one story
Buildings 4 stories or greater shall meet either the step back or module offset standard below	
Ⓓ Building step back above 2nd or 3rd floor (min)	10' step back above 2 nd or 3 rd floor
Ⓔ Module Offset	
- Average Module Width (max)	80'
- Depth of offset (min)	6'
- Width of offset (min)	12'

Story Height

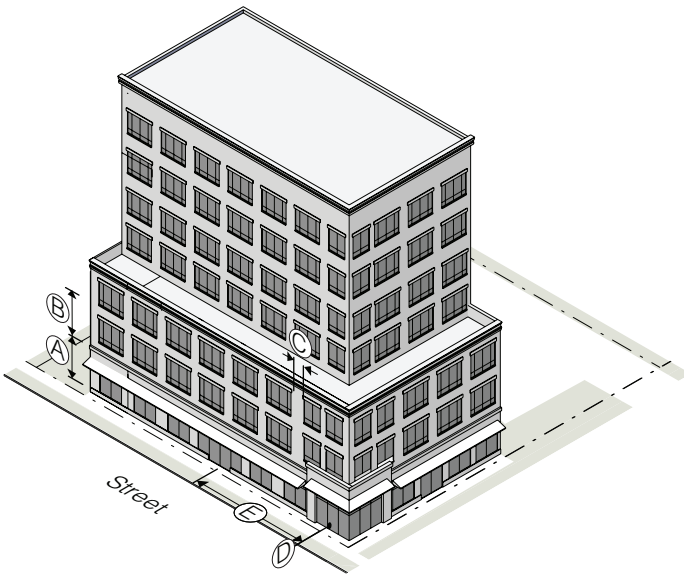
Ⓕ	Ground story height, floor to ceiling (min)	
- Residential		9'
- Nonresidential		13'
Ⓖ	Upper story height, floor to ceiling (min)	9'

Ⓕ Ground Floor Elevation

- Residential (min/max)	2' / 4'
- Nonresidential (min/max)	0' / 2'

- * The second story shall be at least 2/3rds the floor area of the first story.
- ** Separation is required when aggregate multiple buildings placed in proximity would otherwise exceed the Width and Depth criteria. See also Pedestrian Connectivity.
- *** Greater floor plate area is permitted above the 3rd floor for a building that includes non-residential uses, subject to provision of a 20' building setback, as described in Section 3.11.2.7.T.

4. Form



Transparency	
Ⓐ Ground story (min)	
- Residential	20%
- Nonresidential	60%
Ⓑ Upper story (min)	20%
Ⓒ Blank wall distance (max)	
- Residential	50'
- Nonresidential	30'

Pedestrian Access	
Ⓓ Principal entrance facing the public realm	Required
Ⓔ Principal entrance spacing along street-facing façade (max)	
- Residential	50'
- Nonresidential	100'
Ⓕ Pedestrian Connectivity	350' maximum spacing

Ⓖ Building Elements Permitted	
Front porch, stoop	
Balcony	
Awning/canopy	
Gallery	
Forecourt	