

3.11.2.5. Frontages

Type A With On-Street Parking



Type A Without On-Street Parking



TYPE A FRONTAGE

Building Location

(A) Front setback, Type A1 (min/max)	0–10'
Front setback, Type A2 (min/max)	0–20'
Front setback, Type A3 (min/max)	0–20'
Building façade in BTZ (min % of lot width)	
– Type A1	80%
– Type A2	60%
– Type A3	60%

Streetscape

(B) Sidewalk, Type A1 (min)	10' with 10' minimum clear zone
Sidewalk, Type A2 (min)	10' with 10' minimum clear zone
Sidewalk, Type A3 (min)	10' with 10' minimum clear zone

(C) Tree planting zone (min)	
Note: Between tree plantings, this area is only required to be hardscaped where retail frontages are located, or as otherwise determined by the Town Manager as desirable or necessary to support transit stops, other public infrastructure or pedestrian connectivity.	8'
Tree spacing (on center, avg)	40'
(D) On-street parking, where provided (min)	Per thoroughfare standards

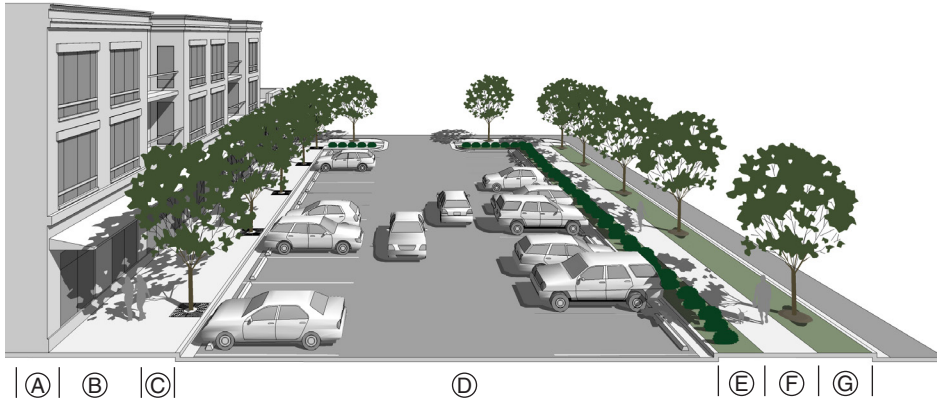
Parking Location

Surface parking: Not permitted in the Build-to-Zone

Structured or covered parking: 30' minimum behind front building façade for all floors. A smaller setback may be permitted for the second and third floors with a design alternative.

Canopy trees meeting the stated average spacing are required. Where conflicts exist due to utility locations, fire access, or required site lines, an equivalent or better alternative for tree type, location, and average spacing can be reviewed and approved by the Community Design Commission.

Type B Frontage



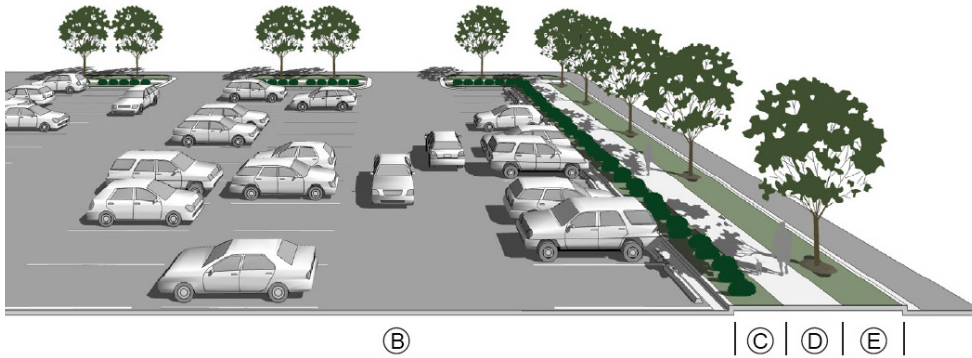
TYPE B FRONTAGE

Building Location	
Ⓐ Front setback, with parking (min/max)	0–85'
Front setback, without parking (min/max)	0–20'
Building façade in BTZ (min % of lot width)	60%
Pedestrian Way	
Ⓑ Sidewalk (min)	8'
Ⓒ Tree planting zone (min)	8'
Note: Between tree plantings, this area is only required to be hardscaped where retail frontages are located, or as otherwise determined by the Town Manager as desirable or necessary to support transit stops, other public infrastructure or pedestrian connectivity.	
Tree spacing (on center, avg)	40'
Vehicular Way	
Ⓓ Parking area (max)	60'
Ⓔ Hedge planting or wall zone (36" min height)	5' (min width)

Streetscape	
Ⓕ Sidewalk or multiuse path not in conjunction with a Town plan (min) OR	6' with 6' minimum clear zone OR
Sidewalk or multiuse path in conjunction with a Town plan (min)	12' with 14' minimum clear zone
Ⓖ Tree planting zone (min)	8'
Note: Between tree plantings, this area is only required to be hardscaped where retail frontages are located, or as otherwise determined by the Town Manager as desirable or necessary to support transit stops, other public infrastructure or pedestrian connectivity.	
Tree spacing (on center, avg)	40'
Parking Location	
Surface parking: 2 bays maximum permitted between building and street	
Structured or covered parking: 30' minimum behind front building façade for all floors. A smaller setback may be permitted with a design alternative.	

Canopy trees meeting the stated average spacing are required. Where conflicts exist due to utility locations, fire access, or required site lines, an equivalent or better alternative for tree type, location, and average spacing can be reviewed and approved by the Community Design Commission.

Type C Frontage



TYPE C FRONTAGE

Building Location

Ⓐ Front setback (min/max)	5'
Building façade in BTZ (min % of lot width)	n/a

Vehicular Way

Ⓑ Parking area (min)	Unlimited
Ⓒ Hedge planting or wall zone (36" min height)	5' (min width)

Streetscape

Ⓓ Sidewalk or multiuse path not in conjunction with a Town plan (min)	6' with 6' minimum clear zone
OR	OR
Sidewalk or multiuse path in conjunction with a Town plan (min)	12' with 14' minimum clear zone
Ⓔ Tree planting zone (min)	8'
Tree spacing (on center, avg)	40'

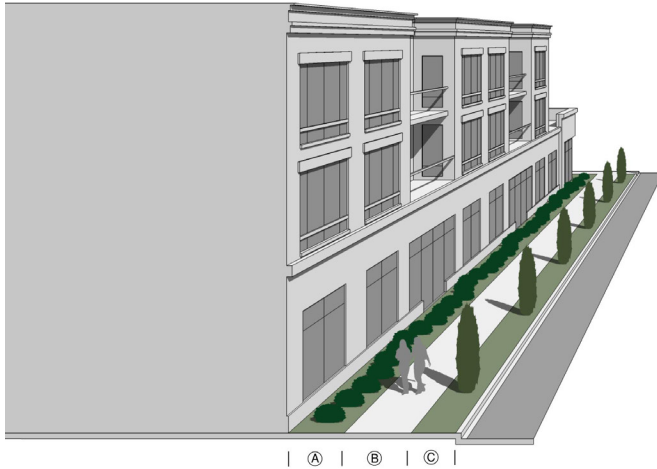
Parking Location

Surface parking: No restriction

Structured or covered parking: No restriction

Canopy trees meeting the stated average spacing are required. Where conflicts exist due to utility locations, fire access, or required site lines, an equivalent or better alternative for tree type, location, and average spacing can be reviewed and approved by the Community Design Commission.

Type D Frontage



TYPE D FRONTAGE

Building Location

Ⓐ Front setback (min/max)	5–20'
Building façade in BTZ (min % of lot width)	60%

Streetscape

Ⓑ Sidewalk (min)	6' with 6' minimum clear zone
Ⓒ Planting zone (min)	4'
Note: Portions may be hardscaped	
Shrub/Tree spacing (on center, avg)	20'

Parking Location

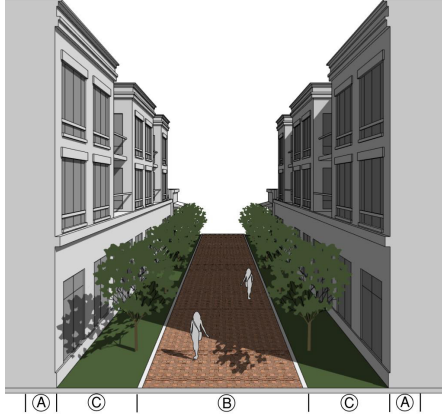
Surface parking: Not permitted in the Build-to-Zone

Structured or covered parking: No restriction

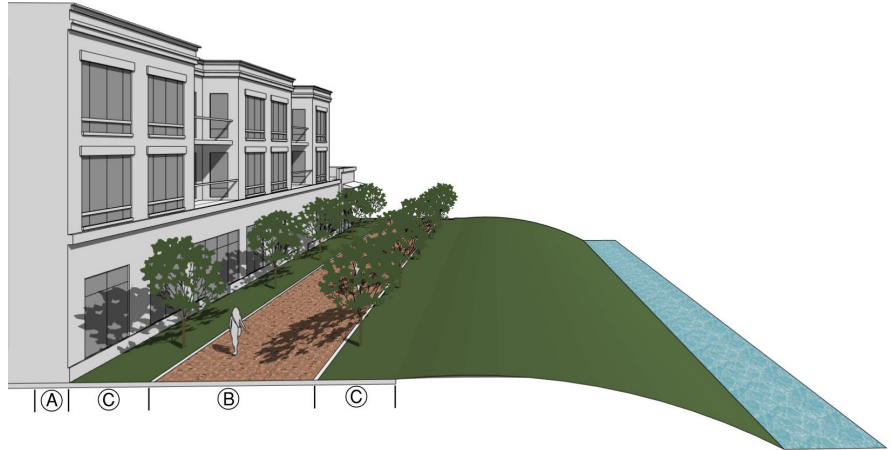
A mix of columnar trees, understory trees and shrubs may be provided to meet shrub/tree spacing requirements. Where conflicts exist due to utility locations, fire access, or required site lines, an equivalent or better alternative for tree type, location, and average spacing can be reviewed and approved by the Community Design Commission.

Type E Frontage

Type E Frontage: Non-Vehicular Thoroughfare



Type E Frontage: Booker Creek



TYPE E FRONTAGE

Building Location

Ⓐ Front setback (min/max)	0–20'
Building façade in BTZ (min % of lot width)	60%

Streetscape

Ⓑ Sidewalk or path adjoining stream corridor, not in conjunction with a Town plan (min) OR Multiuse path (min)	10' with 10' minimum clear zone 12' with 14' minimum clear zone
Ⓒ Tree planting zone (min) Note: Between tree plantings, this area should not be hardscaped, except to support path amenities, public infrastructure or pedestrian connectivity. Where a tree planting zone adjoins an outdoor amenity space, it may be considered part of the outdoor amenity space.	8' provided on both sides of sidewalk or path
Tree spacing (on center, avg)	20'

Parking Location

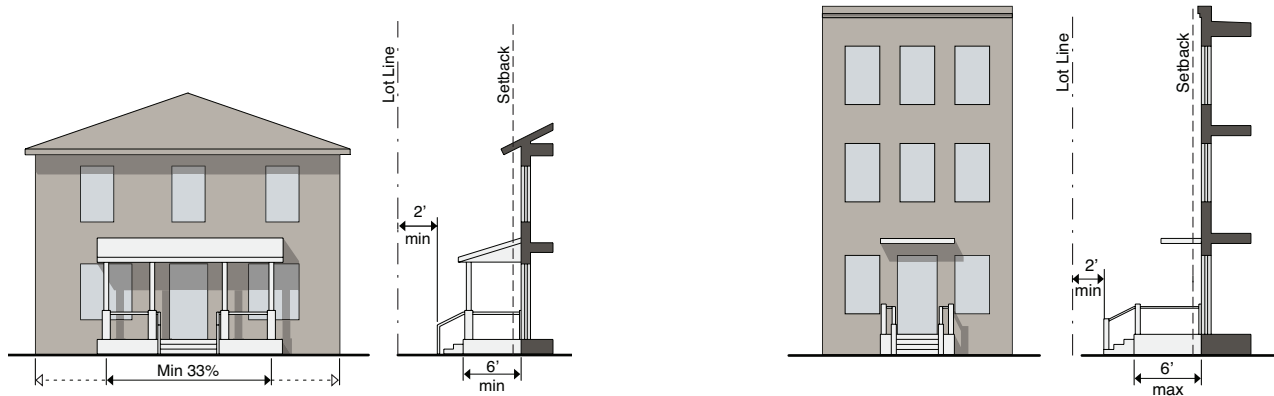
Surface parking: Not permitted in the Build-to-Zone

Structured or covered parking: 30' minimum behind front building façade for all floors. A smaller setback may be permitted with a design alternative.

A mix of canopy trees and understory trees, provided on both sides of the sidewalk or path, may be provided to meet tree spacing requirements.

3.11.2.6. Building Elements

The following standards are intended to ensure that certain building elements, when added to a street-facing façade, are of sufficient size to be usable, functional and architecturally compatible with the building to which they are attached. These regulations do not apply to building elements on building façades that do not face a street. Building elements are permitted by subdistrict as shown in each subdistrict.

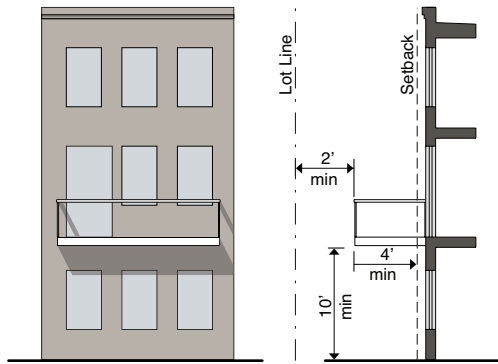


A. Front Porch. A raised structure attached to a building, forming a covered entrance to a doorway.

1. A front porch must be at least 6 feet deep (not including the steps).
2. A front porch must be continuous, with a width not less than 33% of the building façade from which it projects.
3. A front porch must be roofed and may be screened, but cannot be fully enclosed.
4. A front porch, including the steps, may extend into a front setback, provided that such extension is at least 2 feet from the vertical plane of any lot line.
5. A front porch may not encroach into the public right-of-way.

B. Stoop. A small raised platform that serves as an entrance to a building.

1. A stoop may be no more than 6 feet deep (not including the steps) and 6 feet wide.
2. A stoop may be covered but cannot be fully enclosed.
3. A stoop, including the steps, may extend into a front setback, provided that such extension is at least 2 feet from the vertical plane of any lot line.
4. A stoop may not encroach into the public right-of-way.

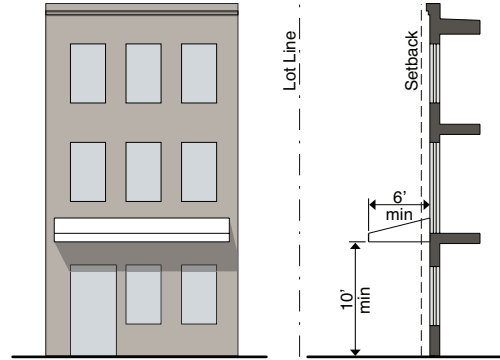


C. Balcony. A platform projecting from the wall of an upper-story of a building with a railing along its outer edge, often with access from a door or window.

1. A balcony must be at least 4 feet deep and may extend into a required setback, provided that such extension is at least 2 feet from the vertical plane of side interior or rear lot line.
2. A balcony must have a clear height above the sidewalk of at least 10 feet.
3. A balcony may be covered and screened, but cannot be fully enclosed.
4. A balcony may encroach up to 6 feet into the public right-of-way but must be at least 2 feet inside the curb line or edge of pavement, whichever is greater.

D. Gallery. A covered passage extending along the outside wall of a building supported by arches or columns that is open on 3 sides.

1. A gallery must have a clear depth from the support columns to the building's façade of at least 8 feet and a clear height above the sidewalk of at least 10 feet.
2. A gallery must be contiguous and extend over at least 75% of the width of the building façade from which it projects.
3. A gallery may extend into a required front setback.
4. A gallery may encroach up 8 feet into the public right-of-way but must be at least 2 feet inside the curb line or edge of pavement, whichever is greater.

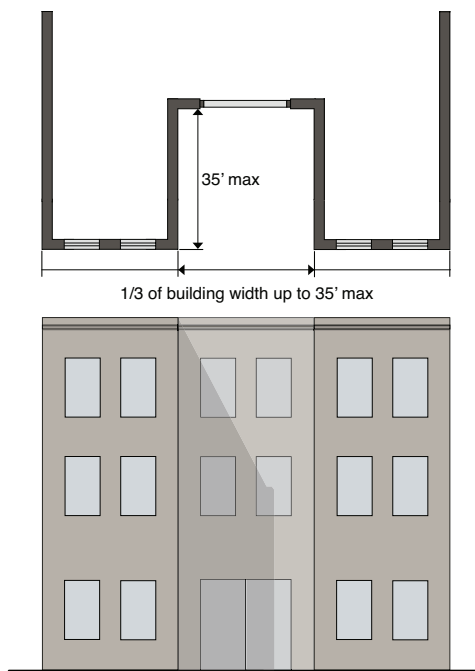


E. Arcade. A covered passage extending along the outside wall of a building supported by arches or columns that is open on 3 sides.

1. An arcade must have a clear depth from the support columns to the building's façade of at least 8 feet and a clear height above the sidewalk of at least 10 feet.
2. An arcade must be continuous and extend over at least 75% of the width of the building façade.
3. An arcade may extend into a required front setback.
4. An arcade may not encroach into the public right-of-way.

F. Awning/Canopy. A wall-mounted, cantilevered structure providing shade and cover from the weather for a sidewalk.

1. An awning/canopy must be a minimum of 10 feet clear height above the sidewalk and must have a minimum depth of 6 feet.
2. An awning/canopy may extend into a front setback.
3. An awning/canopy may encroach up to 8 feet into the public right-of-way but must be at least 2 feet inside the curb line or edge of pavement, whichever is greater.



G. Forecourt. An open area at grade, or within 30 inches of grade, that serves as an open space, plaza or outdoor dining area.

1. A forecourt must be no more than one-third of the length of the building face and no longer than 35 feet in width, except where a larger space would increase pedestrian interest and/or allow more variation in the massing and design of the building. Where such purpose is achieved, the width may increase up to 50 feet with approval of a design alternative.
2. A forecourt may be no more than 35 feet in depth, except where a larger space would achieve the purposes defined above, in which case the depth may increase up to 50 feet with approval of a design alternative.
3. A maximum of one forecourt is permitted for every 100 feet in lot width.
4. A forecourt meeting the above requirements is considered part of the building for the purpose of measuring the build-to zone.
5. The area of a forecourt may be included in the calculation of required outdoor amenity space.

H. Other Building Elements or Design Treatments.

Architectural elements or design treatments at the ground level not included above may be approved by the Community Design Commission if they are deemed to contribute to walkability by activating the street frontage, whether associated with residential or other uses.