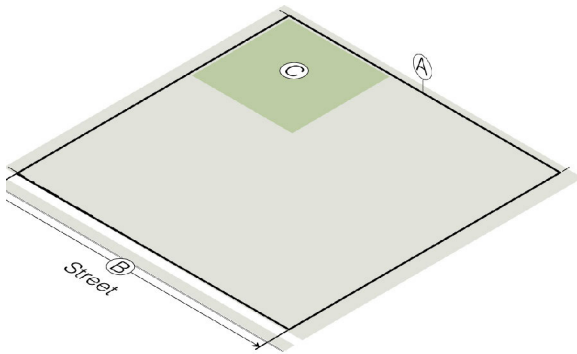


3.11.2.8. Conventional Development

Development in the Form District that meets the Conventional conditions as specified in Section 3.11.1.2.C shall be subject to the following standards:

1. Lot



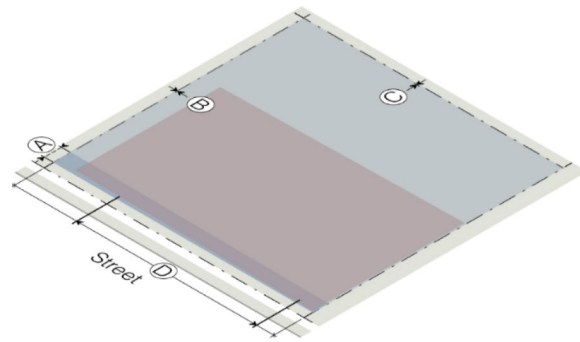
Lot Dimensions	
Ⓐ Net land area (min)	5,500 SF
Ⓑ Lot width (min)	50'
Street Frontage (min) (see 3.8.2(d))	40'

Lot Parameters	
Ⓒ Outdoor amenity space ratio (min)	0.06
Recreation space ratio (min), applies to residential portion of building	
1-3 story building	0.08
4+ story building	0.12
Residential Density (units per acre max) (see 3.8.2(c))	15.0
Floor Area Ratio (max) (see 3.8.2(l))	.429

Outdoor amenity space is a ratio of net land area.

Recreation space, Residential Density, and Floor area ratio are ratios of gross land area.

2. Placement



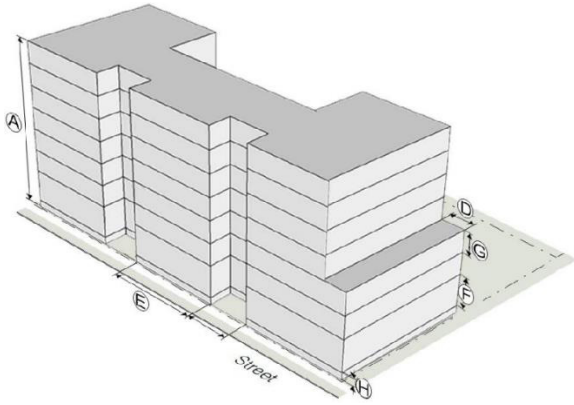
Building Setbacks	
Ⓐ Front	As defined by Frontage Type
Ⓑ Side Interior (min)	0' or 5'
Ⓒ Rear (min)	0' or 5'
Ⓒ Rear, alley (min)	5'

Build-to-Zone (BTZ)	
Ⓓ Building facade in BTZ (min% of lot width)	As defined by Frontage Type for the Primary Frontage; not applicable to secondary Frontages

Block Parameters	
Maximum block length	450'
Maximum block perimeter	1,800'

For additional information regarding other terms, definitions and requirements, see Section 3.11.2.7, Measurements and Exceptions.

3. Mass



Building Height

	Building height, Setback (max) (see 3.8.3(f))	34'
Ⓐ	Building height, Core (max) (see 3.8.2(g))	
	- WR-3	3 stories, not to exceed 45'
	- All Other Subdistricts	5 stories, not to exceed 60'
Ⓑ	Building height for principal structures (min)	2 stories*

Mass Variation

Ⓒ	Average floor plate area (max) above 3rd floor	
	- 3 story buildings or less	
	- 4 story buildings or greater	70% of floor plate area of third floor, with no floor plate exceeding 80% of third floor area**
	Buildings 4 stories or greater shall meet either the step back or module offset standard below	
Ⓓ	Building step back above 2nd or 3rd floor (min)	10' step back above 2nd or 3rd floor
Ⓔ	Module offset	
	- Average module width (max)	80'
	- Depth of offset (min)	6'
	- Width of offset (min)	12'

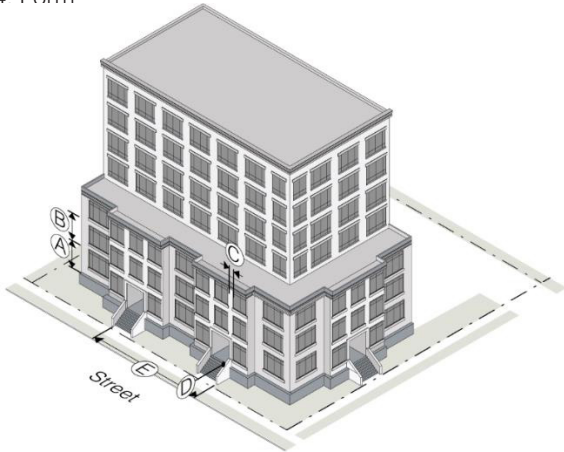
Story Height

Ⓕ	Ground story height, floor to ceiling (min)	
	- Residential	9'
	- Nonresidential	13'
Ⓖ	Upper story height, floor to ceiling (min)	9'
Ⓗ	Ground Floor Elevation	
	- Residential (min/max)	2'/4'
	- Nonresidential (min/max)	0'/2'

* The second story shall be at least 2/3rds the floor area of the first story

** Greater floor plate area is permitted above the 3rd floor for a building that includes non-residential uses, subject to provision of a 20' building setback, as described in Section 3.11.2.7.T.

4 Form



Transparency	
Ⓐ Ground story (min)	
- Residential	20%
- Nonresidential	60%
Ⓑ Upper story (min)	20%
Ⓒ Blank wall distance (max)	
- Residential	50'
- Nonresidential	30'
Pedestrian Access	
Ⓓ Principal entrance facing the public realm	required
Ⓔ Principal entrance spacing along street-facing facade (max)	
- Residential	50'
- Nonresidential	100'
Ⓕ Building pass-through	330' maximum spacing
Width (min)	12'
Height (min)	Equal to the height of the adjacent first floor ceiling

Ⓒ Building Elements Permitted
Front porch, stoop
Balcony
Awning/canopy (WX- Subdistricts only)
Gallery (WX- Subdistricts only)
Forecourt