

GATEWAY

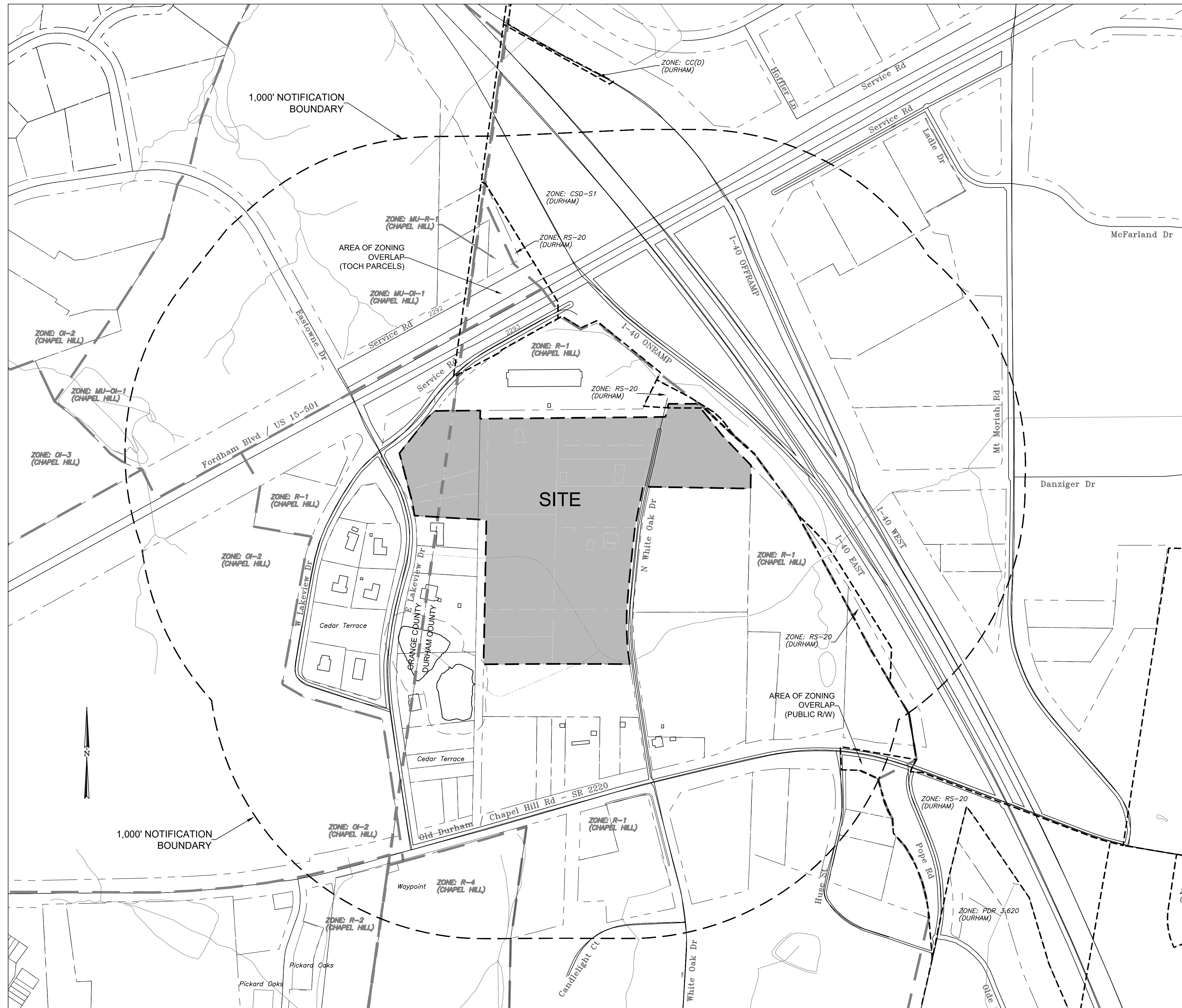
EAST LAKEVIEW DRIVE, CHAPEL HILL, NC



111 West Main Street
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NC BOARD OF EXAMINERS FOR
 ENGINEERS AND SURVEYORS
 LIC # C-1209

NC BOARD OF
 LANDSCAPE ARCHITECTS
 LIC # C-104



SITE DATA

PIN:	PARCELS IN ASSEMBLAGE DESCRIBED ON SHEET C100
CONTRACT PURCHASER:	BRYAN PROPERTIES, INC
ENVIRONMENTAL CONSTRAINTS:	NONE
TOTAL LAND AREA:	686,964 SF / 15.77 AC (NET)
EXISTING ZONING:	R-1
PROPOSED ZONING:	POSSIBLY OI-3
PROPOSED LAND DISTURBANCE:	665,500 SF / >15 AC
EXISTING IMPERVIOUS ON-SITE:	16,000 SF / 0.37 AC
PROPOSED IMPERVIOUS ON-SITE:	413,800 SF / 9.2 AC
PROPOSED USE:	
MULTI-FAMILY RESIDENTIAL:	380 UNITS
TOTAL SQUARE FOOTAGE:	574,700 SF
FLOOR AREA RATIO:	.871
PARKING PROVIDED:	535 SPACES

Project:

Gateway

E Lakeview Drive
 Chapel Hill
 North Carolina



PRELIMINARY-DO NOT USE FOR CONSTRUCTION

CJT Job Number: 2119

Drawn	WLR, MTC
Checked	WLR
Date	2-22-22 Cond Rezoning
Revisions	

Concept Plan

Sheet Title:

COVER & AREA MAP

Sheet Number

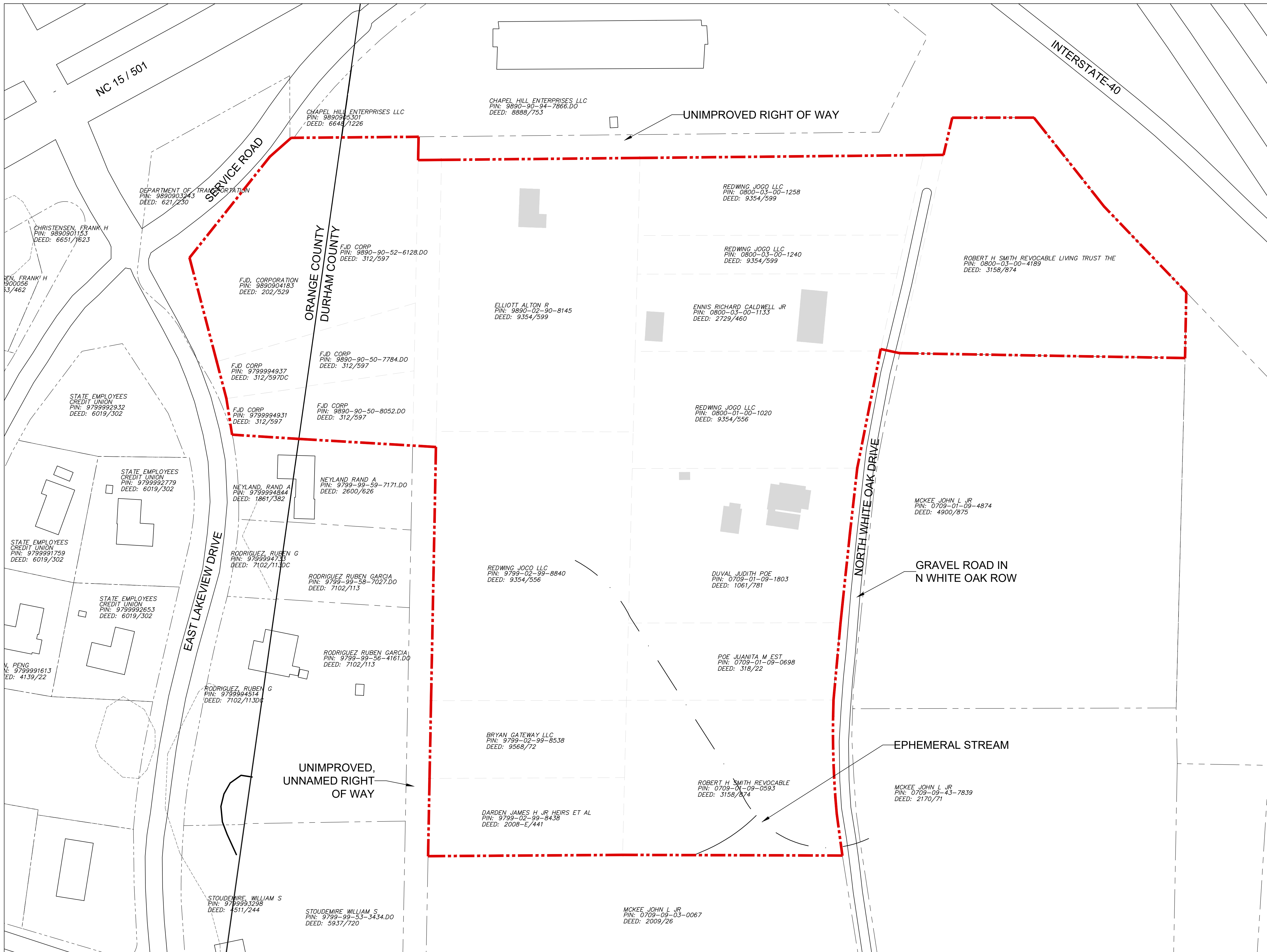
C000

LIST OF SHEETS

C000	COVER & AREA MAP
C100	EXISTING PARCEL OWNERSHIP
C101	EXISTING CONDITIONS RENDERED CONCEPT SITE PLAN

AREA MAP
 C000
 1"=200'





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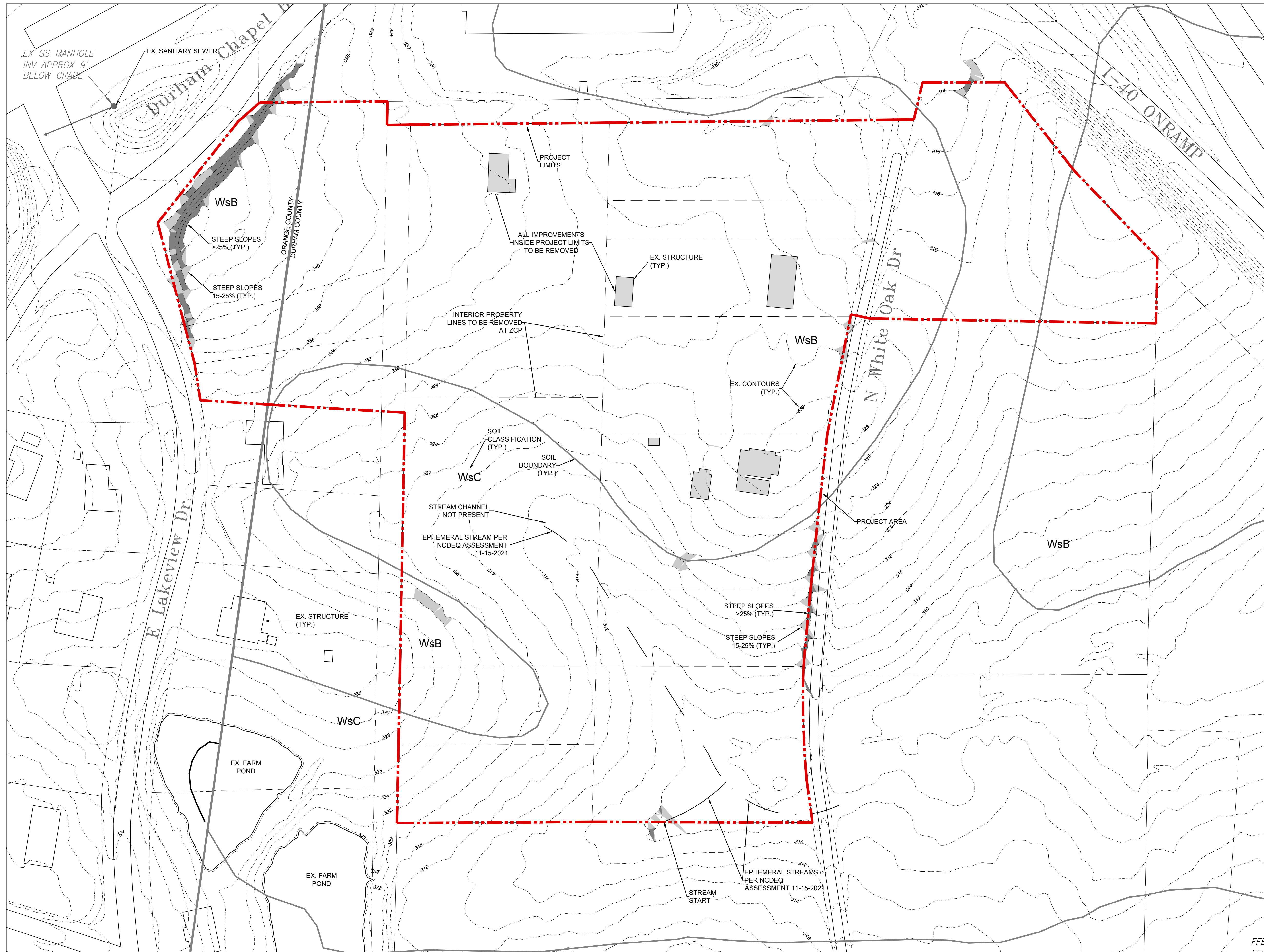
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Concept Plan

Sheet Title:

EXISTING PARCEL OWNERSHIP

Sheet Number
C100



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Concept plan

Sheet Title:

EXISTING CONDITIONS

Sheet Number

C101



SITE DATA	
FEBRUARY 21, 2022	
SITE AREA:	15.76 ACRES
PROPOSED F.A.R.:	.8
APARTMENTS	
PROPOSED UNITS:	308
PARKING:	465 SPACES = 1.51/UNIT
	14 EV SPACES = 3%
	77 BIKE SPACES = 1 PER 4 UNITS
AFFORDABLE SENIOR APARTMENTS	
PROPOSED UNITS:	72
PARKING:	72 SPACES @ 1.0/UNIT
	2 EV SPACES = 3%
	18 BIKE SPACES = 1 PER 4 UNITS