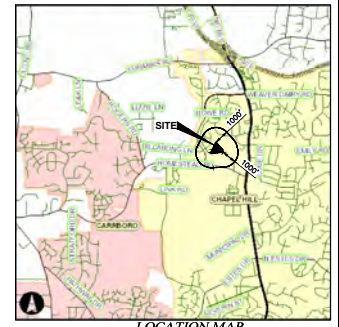


# CONDITIONAL ZONING PLANS

# STANAT'S PLACE

PIN: 9880028073  
CHAPEL HILL, NC  
2022



**OWNER**  
DONALD & SYLVIA STANAT  
2516 HOMESTEAD RD  
CHAPEL HILL, NC 27516

**DEVELOPER**  
KB HOME CAROLINAS  
4506 S. MIAMI BLVD., SUITE 100  
DURHAM, NC 27703  
PHONE: 919.768.7979

**DEVELOPER**  
CAPKOV VENTURES, INC.  
202 E WINNOR AVE.  
CHAPEL HILL, NC 27516-8430  
PHONE: (919) 481-6230  
FAX (919) 336-8127

**ENGINEER/SURVEYOR**  
ADVANCED CIVIL DESIGN, INC.  
51 KILMAYNE DRIVE, SUITE 102  
CARY, NC 27511  
PHONE: (919) 481-6230  
FAX (919) 336-8127

**TOWN OF CHAPEL HILL FIRE DEPARTMENT NOTES:**

- ALL CONSTRUCTION AND DEMOLITION CONDUCTED SHALL BE IN COMPLIANCE OF THE CURRENT EDITION OF THE NC FIRE CODE, 2018 NFCC CHAPTER 33
- INTENTIONALLY DELETED.
- AN APPROVED WATER SUPPLY FOR FIRE PROTECTION, EITHER TEMPORARY OR PERMANENT, SHALL BE MADE AVAILABLE AS SOON AS COMBUSTIBLE MATERIAL ARRIVES ON THE SITE. 2018 NFCC 503.4
- TRAFFIC CALMING DEVICES SHALL BE PROHIBITED UNLESS APPROVED BY THE FIRE CODE OFFICIAL. 2018 NFCC 503.4.1
- FIRE APPARATUS ACCESS ROADS SHALL NOT BE OBSTRUCTED IN ANY MANNER, INCLUDING THE PARKING OF VEHICLES. THE MINIMUM WIDTHS AND CLEARANCES ESTABLISHED IN SECTIONS 503.2.1 AND 503.2.2 SHALL BE MAINTAINED AT ALL TIMES. 2018 NFCC 503.4
- DURING CONSTRUCTION, VEHICLE ACCESS FOR FIREPROTECTING SHALL BE PROVIDED. TEMPORARY STREET SIGNS SHALL BE INSTALLED AT EACH STREET INTERSECTION WHEN CONSTRUCTION ALLOWS THE PASSAGE OF VEHICLES. SIGNS SHALL BE OF AN APPROVED SIZE, WEATHER RESISTANT, AND MAINTAINED UNTIL REPLACED BY PERMANENT SIGNS. 2018 NFCC SECTION 505.2
- A NFPA 130 FIRE SPRINKLER SYSTEM WILL BE REQUIRED FOR EACH GROUPING OF TOWNHOMES.
- THE FINAL PLAT SHALL INCLUDE A NOTE THAT STATES "ALL LOCAL STREETS WITHIN THE STANAT'S PLACE SUBDIVISION SHALL NOT ALLOW ON-STREET PARKING IN ACCORDANCE WITH SECTION D103.03 OF THE 2018 NORTH CAROLINA FIRE PREVENTION CODE."

**TOWN OF CHAPEL HILL INSPECTION DEPARTMENT NOTES:**

- NO ON STREET PARKING ALLOWED PER NC FIRE CODE SECTION D103.6.1.
- ALL PUBLIC SITE ELEMENTS MUST COMPLY WITH NCSC 2018 CH 11 AND ICC A 117.1.
- ACCESSIBLE PARKING PER NCSC SECT 1106.1.1 PER 6 COMPLIANT SPACES MUST BE VAN ACCESSIBLE, NO SLOPE EXCEEDING 2% IN ANY DIRECTION. SIGNAGE PER NC REQUIREMENTS AND ICC A 117.1.
- TEMPORARY STREET OR ROAD SIGNS ARE REQUIRED AT EACH STREET INTERSECTION WHEN CONSTRUCTION OF NEW ROADS ALLOWS FOR THE PASSAGE OF VEHICLES. SIGNS SHALL BE OF AN APPROVED SIZE, WEATHER RESISTANT AND BE MAINTAINED UNTIL REPLACED BY PERMANENT SIGNS. NC FPC 2018, SECTION 505.2
- ADDRESS NUMBERS MUST BE A MINIMUM OF 6 INCHES HIGH AND OF CONTRASTING COLOR TO THEIR BACKGROUND, WITH THE DISTANCE FROM THE STREET OR FIRE DEPARTMENT ACCESS LANE TO THE FRONT OR ADDRESS SIDE OF THE BUILDING EXCEEDS 25 FEET, LARGER NUMBERS ARE REQUIRED. 26 FEET TO 50 FEET SHALL HAVE 8 INCH NUMBERS, 51-75 FEET SHALL HAVE 12 INCH NUMBERS AND OVER 75 FEET SHALL HAVE 18 INCH NUMBERS.
- RETAINING WALLS OVER FIVE (5) FEET HIGH SHALL BE PERMITTED SEPARATELY FROM THE BUILDING(S) AND MUST BE SIGNED BY A DESIGN PROFESSIONAL.
- ONSITE PARKING SHALL BE PROVIDED FOR INSPECTORS FOR THE DURATION OF THE CONSTRUCTION PROJECT.
- A TIRE WASH AREA FOR TRUCKS SHALL BE PROVIDED ONSITE BEFORE THEY HIT THE MAIN ROADS.
- CURB AND GUTTER AND AT LEAST THE FIRST LIFT OF ASPHALT FOR THE ROADS MUST BE DOWN AHEAD OF CONSTRUCTION.
- A SEPARATE SUBMITTAL AND PERMIT WILL BE REQUIRED FOR THE CONSTRUCTION TRAILER.
- A SEPARATE SUBMITTAL AND PERMIT WILL BE REQUIRED FOR ANY SIGNAGE ON THE BUILDING OR GROUND MOUNTED SIGNS.
- FUNCTIONAL FIRE SHALL BE PROVIDED PRIOR TO BRINGING COMBUSTIBLE MATERIALS ON-SITE. THE FIRE HYDRANT WEST OF THE SITE LOCATED ON THE SOUTH SIDE OF THE INTERSECTION OF CABINET DRIVE AND VINTAGE DRIVE SHALL BE MAINTAINED SO THAT ACCESS TO THE HYDRANT STAYS AND IS USABLE DURING CONSTRUCTION AND AFFORD ACCESS WHEN THE PROJECT IS COMPLETE FOR ITS ENTIRETY.
- PRIOR TO PUBLIC STREET ACCEPTANCE THE STORM SEWER WITHIN PUBLIC RIGHT-OF-WAY SHALL BE VIDEOATED AND THE VIDEO SUBMITTED TO THE TOWN FOR REVIEW AND ACCEPTANCE.

**LAND USE MANAGEMENT ORDINANCE - SPECIAL PERMITTED MODIFICATIONS OF REGULATIONS (ARTICLE 4.5.6)**

- EXCEED DISTURBED AREA RATIO OF 0.40 IN MANAGED USE AND UPLAND ZONES OF FLD TO ALLOW FOR THE CONSTRUCTION OF A STORMWATER CONTROL MEASURE. SEE SHEET 8 FOR LAND DISTURBED AREAS AND PRIORITIES WITHIN THE RD.
- UTILIZE 30-INCH VALLEY CURB AND GUTTER SECTION II-ULU OF 30-INCH STANDARD CURB SECTION FOR LOCAL STREET (WITHOUT PARKING).
- SECTION D103 OF THE NORTH CAROLINA FIRE PREVENTION CODE REQUIRES THE MINIMUM ROAD WIDTH TO BE 26-FT WHERE A FIRE HYDRANT IS LOCATED ON A FIRE APPARATUS ACCESS ROAD. TOWN OF CHAPEL HILL'S STANDARD DETAIL FOR A LOCAL STREET DOES NOT MEET THIS CRITERIA. THEREFORE, THE 26-FT BACK-TO-BACK DIMENSION FOR LOCAL STREET (WITHOUT ON-STREET PARKING) HAS BEEN REDUCED TO 26-FT WITH VALLEY CURB AND 27-FT WITH STANDARD CURB WHEN ADJACENT TO A FIRE HYDRANT TO MEET SECTION D103.1 OF THE NORTH CAROLINA FIRE PREVENTION CODE. THE RIGHT-OF-WAY WIDTH OF 30-FT SHALL REMAIN UNCHANGED.
- EXCEED 25% OF THE AREA CONTAINING 25% OR GREATER SLOPES. A MAJORITY OF THESE DISTURBED SLOPES OCCUR ALONG THE NORTHERN/EASTERN BOUNDARY AND WERE CREATED DURING THE CONSTRUCTION OF HOMESTEAD PARK. ADDITIONAL SLOPES 25% OR GREATER ARE LOCATED CENTRALLY WITHIN THE SITE AND WERE CREATED DURING CONSTRUCTION OF THE EXISTING HOME SITE. THE TOTAL AREA OF DISTURBED NATURAL SLOPES 25% OR GREATER IS ONLY 1,807 SF. THIS AREA OF IMPACT IS 99% CONSTRUCTED SLOPES FROM AN EXISTING SWALE. THIS AREA OF IMPACT IS NECESSARY TO RE-SHAPE THE SWALE AND HAVE PROPER DRAINAGE FOR THE REAR OF LOTS 20-36.
- REDUCE INTERIOR FRONT, SIDE, REAR, AND SIDE CORNER LOT SETBACKS FROM 6-FT TO 0-FT.
- THE APPLICANT HAS PROPOSED PROVIDING FOUR (4) AFFORDABLE HOMES TO THE COMMUNITY HOME TRUST FOR PERPETUAL AFFORDABILITY. THIS EQUATES TO 10% OF THE MARKET RATE HOMES BEING AFFORDABLE. TWO (2) OF THE HOMES WILL MEET THE 60% OF THE MEDIAN INCOME RATIO, AND TWO (2) OF THE HOMES WILL MEET 80% OF THE MEDIAN INCOME RATIO IN CONFORMANCE WITH THE CHAPEL HILL LAND USE ORDINANCE. WHILE THE 10% AFFORDABLE HOMES BEING PROPOSED IS UNDER THE LAND USE ORDINANCE TARGET OF 12% ALL FOUR (4) OF THE HOMES PROVIDED WILL BE THE SAME SIZE AS THE MARKET RATE HOMES AT OVER 1700 SQUARE FEET EACH. THEY WILL ALSO EACH HAVE TWO CAR GARAGES MAKING THEM MORE IDENTICAL TO THE MARKET RATE HOMES. THIS WILL ALLOW THE COMMUNITY HOME TRUST TO MARKET THE HOMES TO A WIDER SET OF POTENTIAL HOMEOWNERS WHILE STILL MEETING THE INCOME RATIOS TARGETED IN THE LAND USE ORDINANCE. THE COMBINED SQUARE FOOTAGE OF THE FOUR (4) PROPOSED AFFORDABLE HOMES EXCEEDS THE MINIMUM LIVABLE AREA SQUARE FOOTAGE REQUIREMENTS ASSOCIATED WITH THE 15% INCLUSIVE ZONING TARGET.
- ALLOW 90-DEGREE (PERPENDICULAR) ON-STREET PARKING ON PUBLIC STREETS.

**SHEET INDEX**

- COVER SHEET
- AREA MAP
- EXISTING CONDITIONS PLAN
- SLOPE ANALYSIS PLAN
- 5A SITE PLAN - OPTION A
- 5B SITE PLAN - OPTION B
- SIGNAGE AND MARKING PLAN
- UTILITY PLAN
- GRADING AND DRAINAGE PLAN
- SOIL & EROSION CONTROL PLAN
- LANDSCAPE PROTECTION AND TREE SURVEY PLAN
- PLANTING PLAN
- CONSTRUCTION MANAGEMENT PLAN
- BUILDING ELEVATION EXHIBIT
- GROUP UNIT ELEVATION EXHIBIT
- BUILDING FLOOR PLAN
- DETAILS

**CONDITIONAL ZONING APPLICATION**

**Town of Chapel Hill Planning Department**

**Section A: Project Information**

Project Name: Stanat's Place  
 Project Address: 2516 Homestead Rd, Chapel Hill, NC Zip Code: 27516  
 Use District (A, B, or R): R-2  
 Project Description: 4 residential lots, with 27 lots in the subdivision.

**Section B: Applicant, Owner, and/or Contact Person Information**

Applicant Information (to whom correspondence will be made):  
 Name: Donald & Sylvia Stanat  
 Address: 2516 Homestead Rd, Suite 200  
 City: Cary State: NC Zip Code: 27511  
 Phone: 919-481-6230 Email: dstanat@stanat.com

Owner Information:  
 Name: Capkov Ventures, Inc.  
 Address: P.O. Box 2925  
 City: Cary State: NC Zip Code: 27511  
 Phone: 919-481-6230 Email: info@capkov.com

Page 1 of 12 06.08.2022

**PROJECT FACT SHEET**

**Town of Chapel Hill Planning Department**

**Section A: Project Information**

Use Type: Residential  
 Other:  Residential  Mixed Use  Other

**Section B: Land Area**

|  |        |         |         |
|--|--------|---------|---------|
| Net Land Area (Acres)                          | 10.000 | Ac. Ft. | 435,600 |
| Useable Land Area (Acres)                      | 9.500  | Ac. Ft. | 413,700 |
| Area of Land Disturbance (Acres)               | 0.500  | Ac. Ft. | 217,800 |
| Area of Land Disturbance within Buffer (Acres) | 0.000  | Ac. Ft. | 0       |

**Section C: Special Protection Areas, Land Disturbance, and Impact/Vision Area**

Special Protection Areas (Total of those that apply):  
 Antler Buffer  Resource Conservation Easement  100 Year Floodplain  Wetland Protection District

**Section D: Land Use/Development**

|                                     |                    |                      |                    |                 |
|-------------------------------------|--------------------|----------------------|--------------------|-----------------|
| Use District                        | Existing (Sq. Ft.) | Demolition (Sq. Ft.) | Proposed (Sq. Ft.) | Total (Sq. Ft.) |
| Residential Single-Family           | 0                  | 0                    | 171,000            | 171,000         |
| Residential Medium-Density          | 0                  | 0                    | 0                  | 0               |
| Residential High-Density            | 0                  | 0                    | 0                  | 0               |
| Residential Single-Family Attached  | 0                  | 0                    | 0                  | 0               |
| Residential Medium-Density Attached | 0                  | 0                    | 0                  | 0               |
| Residential High-Density Attached   | 0                  | 0                    | 0                  | 0               |

Page 8 of 12 06.08.2022

**PROJECT FACT SHEET**

**Town of Chapel Hill Planning Department**

**Section A: Existing Conditions**

|  |                    |                      |                    |                 |
|--|--------------------|----------------------|--------------------|-----------------|
| Dimensional Grid (Sq. Ft.)             | Existing (Sq. Ft.) | Demolition (Sq. Ft.) | Proposed (Sq. Ft.) | Total (Sq. Ft.) |
| Area of Land Disturbance               | 217,800            | 0                    | 0                  | 217,800         |
| Area of Land Disturbance within Buffer | 0                  | 0                    | 0                  | 0               |

**Section B: Proposed Plans**

|                                     |                    |                      |                    |                 |
|-------------------------------------|--------------------|----------------------|--------------------|-----------------|
| Use District                        | Existing (Sq. Ft.) | Demolition (Sq. Ft.) | Proposed (Sq. Ft.) | Total (Sq. Ft.) |
| Residential Single-Family           | 0                  | 0                    | 171,000            | 171,000         |
| Residential Medium-Density          | 0                  | 0                    | 0                  | 0               |
| Residential High-Density            | 0                  | 0                    | 0                  | 0               |
| Residential Single-Family Attached  | 0                  | 0                    | 0                  | 0               |
| Residential Medium-Density Attached | 0                  | 0                    | 0                  | 0               |
| Residential High-Density Attached   | 0                  | 0                    | 0                  | 0               |

Page 9 of 12 06.08.2022

**PROJECT FACT SHEET**

**Town of Chapel Hill Planning Department**

**Section A: Addressing or Correcting Streets and Subdivisions**

| Street Name  | Right of Way Width (Feet) | Proposed Width (Feet) | Number of Lanes | Existing | Proposed |
|--------------|---------------------------|-----------------------|-----------------|----------|----------|
| Homestead Rd | 100                       | 100                   | 2               | Yes      | Yes      |
| Stanat Dr    | 60                        | 60                    | 2               | Yes      | Yes      |

**Section B: Parking Information**

|                                     |         |          |
|-------------------------------------|---------|----------|
| Use District                        | Minimum | Proposed |
| Residential Single-Family           | 1       | 1        |
| Residential Medium-Density          | 1       | 1        |
| Residential High-Density            | 1       | 1        |
| Residential Single-Family Attached  | 1       | 1        |
| Residential Medium-Density Attached | 1       | 1        |
| Residential High-Density Attached   | 1       | 1        |

**Section C: Landscape Features**

|                                     |                      |                       |                   |                   |
|-------------------------------------|----------------------|-----------------------|-------------------|-------------------|
| Use District                        | Minimum Width (Feet) | Proposed Width (Feet) | Attractive Buffer | Attractive Buffer |
| Residential Single-Family           | 5                    | 5                     | Yes               | Yes               |
| Residential Medium-Density          | 5                    | 5                     | Yes               | Yes               |
| Residential High-Density            | 5                    | 5                     | Yes               | Yes               |
| Residential Single-Family Attached  | 5                    | 5                     | Yes               | Yes               |
| Residential Medium-Density Attached | 5                    | 5                     | Yes               | Yes               |
| Residential High-Density Attached   | 5                    | 5                     | Yes               | Yes               |

Page 8 of 12 06.08.2022

**PROJECT FACT SHEET**

**Town of Chapel Hill Planning Department**

**Section A: Land Use/Development**

| Zoning District | Area (Acres)  | Residential Single-Family (RSF) | Low Density Residential (LD) | High Density Residential (HD) | Medium Density Residential (MD) | Other        |
|-----------------|---------------|---------------------------------|------------------------------|-------------------------------|---------------------------------|--------------|
| R-2             | 10.000        | 0.000                           | 0.000                        | 0.000                         | 0.000                           | 0.000        |
| Other           | 0.000         | 0.000                           | 0.000                        | 0.000                         | 0.000                           | 0.000        |
| <b>TOTAL</b>    | <b>10.000</b> | <b>0.000</b>                    | <b>0.000</b>                 | <b>0.000</b>                  | <b>0.000</b>                    | <b>0.000</b> |

**Section B: Land Use/Development**

|                                     |                    |                      |                    |                 |
|-------------------------------------|--------------------|----------------------|--------------------|-----------------|
| Use District                        | Existing (Sq. Ft.) | Demolition (Sq. Ft.) | Proposed (Sq. Ft.) | Total (Sq. Ft.) |
| Residential Single-Family           | 0                  | 0                    | 171,000            | 171,000         |
| Residential Medium-Density          | 0                  | 0                    | 0                  | 0               |
| Residential High-Density            | 0                  | 0                    | 0                  | 0               |
| Residential Single-Family Attached  | 0                  | 0                    | 0                  | 0               |
| Residential Medium-Density Attached | 0                  | 0                    | 0                  | 0               |
| Residential High-Density Attached   | 0                  | 0                    | 0                  | 0               |

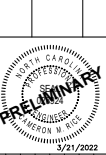
Page 8 of 12 06.08.2022

G:\11-0002-2786\11-0002-2786\Production\Drawings\DEVELOPMENT PLAN\CONDITIONAL ZONING PLANS\0002-978 COVER SHEET.dwg COVER SHEET Mar 31, 2022 11:14:22am jroy



**KB HOME CAROLINAS**  
4506 SOUTH MIAMI BLVD., SUITE 100A  
DURHAM, NC 27703  
PHONE: 919.768.7960

**STANAT'S PLACE**  
CONDITIONAL ZONING PLANS  
KB HOME CAROLINAS  
COVER SHEET



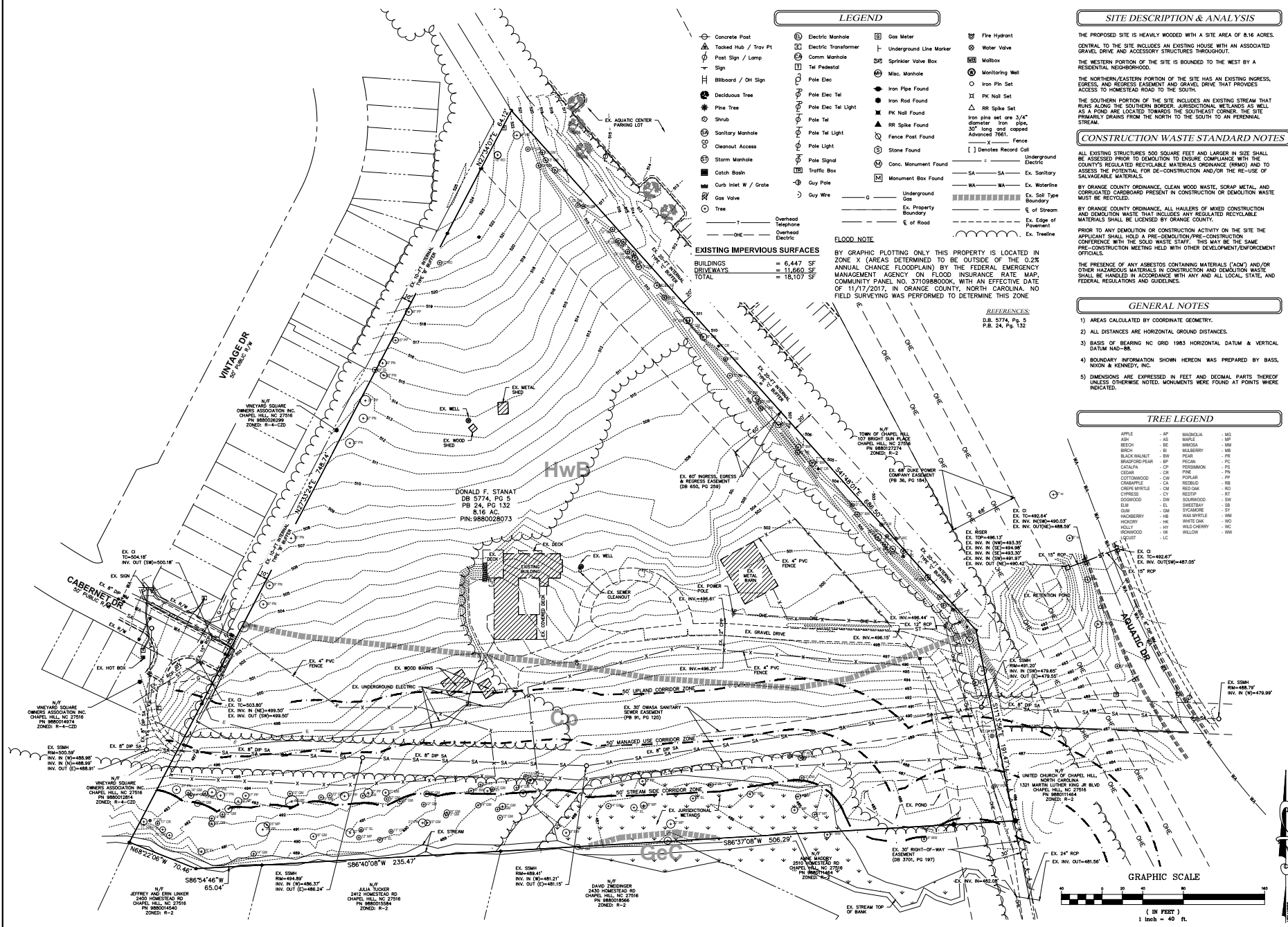
**Drawn By:** JRR  
**Checked By:** CMK

**Date:** 03/21/2022  
**Scale:** AS NOTED

**Project Number:** 21-0002-978

**Sheet Number:** 1 / 16





EXISTING IMPERVIOUS SURFACES  
BUILDINGS = 6,447 SF  
DRIVEWAYS = 11,660 SF  
TOTAL = 18,107 SF

**FLOOD NOTE**  
BY GRAPHIC PLOTTING ONLY THIS PROPERTY IS LOCATED IN ZONE X (AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN) BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY ON FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 371098800K, WITH AN EFFECTIVE DATE OF 11/17/2017, IN ORANGE COUNTY, NORTH CAROLINA. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE.

**REFERENCES**  
S.B. 5774, P. 3  
P.B. 24, Pg. 132

**LEGEND**

- Concrete Post
- Tacked Hub / Trav Pt
- Post Sign / Lamp
- Sign
- Billboard / OH Sign
- Deciduous Tree
- Pine Tree
- Shrub
- Sanitary Manhole
- Cleanout Access
- Storm Manhole
- Catch Basin
- Curb Inlet W / Grate
- Gas Valve
- Tree
- Overhead Electric
- Electric Manhole
- Electric Transformer
- Comm. Manhole
- Tel Pedestal
- Pole Elec
- Pole Elec Tel
- Pole Elec Tel Light
- Pole Tel
- Pole Tel Light
- Pole Light
- Pole Signal
- Traffic Box
- Guy Pole
- Guy Wire
- Gas Meter
- Underground Line Marker
- Sprinkler Valve Box
- Misc. Manhole
- Iron Pipe Found
- Iron Rod Found
- PK Nail Found
- RR Spike Found
- Fence Post Found
- Stone Found
- Conc. Monument Found
- Monument Box Found
- Underground Gas
- Ex. Property Boundary
- % of Road
- Fire Hydrant
- Water Valve
- Mailbox
- Monitoring Well
- Iron Pin Set
- PK Nail Set
- RR Spike Set
- Iron pin set one 3/4" diameter iron pipe, 30' long and capped
- Advanced 7661
- Fence
- Denotes Record Call
- Underground Electric
- SA - SA Ex. Sanitary
- WA - WA Ex. Waterline
- Ex. Soil Type Boundary
- % of Stream
- Ex. Edge of Pavement
- Ex. Tree Line

**SITE DESCRIPTION & ANALYSIS**

THE PROPOSED SITE IS HEAVILY WOODED WITH A SITE AREA OF 8.16 ACRES. CENTRAL TO THE SITE INCLUDES AN EXISTING HOUSE WITH AN ASSOCIATED GRAVEL DRIVE, AND ACCESSORY STRUCTURES THROUGHOUT.

THE WESTERN PORTION OF THE SITE IS BOUNDED TO THE WEST BY A RESIDENTIAL NEIGHBORHOOD.

THE NORTHERN EASTERN PORTION OF THE SITE HAS AN EXISTING INGRESS, EGRESS, AND REGRESS EASEMENT AND GRAVEL DRIVE THAT PROVIDES ACCESS TO HOMESTEAD ROAD TO THE SOUTH.

THE SOUTHERN PORTION OF THE SITE INCLUDES AN EXISTING STREAM THAT RUNS ALONG THE SOUTHERN BORDER. JURISDICTIONAL WETLANDS AS WELL AS A POND ARE LOCATED TOWARDS THE SOUTHEAST CORNER. THE SITE PRIMARILY DRAINS FROM THE NORTH TO THE SOUTH TO AN PERENNIAL STREAM.

**CONSTRUCTION WASTE STANDARD NOTES**

ALL EXISTING STRUCTURES 500 SQUARE FEET AND LARGER IN SIZE SHALL BE ASSESSED PRIOR TO DEMOLITION TO ENSURE COMPLIANCE WITH THE COUNTY'S REGULATED RECYCLABLE MATERIALS ORDINANCE (RROM) AND TO ASSESS THE POTENTIAL FOR DE-CONSTRUCTION AND/OR THE RE-USE OF SALVAGEABLE MATERIALS.

BY ORANGE COUNTY ORDINANCE, CLEAN WOOD WASTE, SCRAP METAL, AND CORRUGATED CARDBOARD PRESENT IN CONSTRUCTION OR DEMOLITION WASTE MUST BE RECYCLED.

BY ORANGE COUNTY ORDINANCE, ALL HAZARDOUS OF MIXED CONSTRUCTION AND DEMOLITION WASTE THAT INCLUDES ANY REGULATED RECYCLABLE MATERIALS SHALL BE LICENSED BY ORANGE COUNTY.

PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE THE APPLICANT SHALL HOLD A PRE-DEMOLITION/PRE-CONSTRUCTION CONFERENCE WITH THE SOLID WASTE STAFF. THIS MAY BE THE SAME PRE-CONSTRUCTION MEETING HELD WITH OTHER DEVELOPMENT/ENFORCEMENT OFFICIALS.

THE PRESENCE OF ANY ASBESTOS CONTAINING MATERIALS (ACM) AND/OR OTHER HAZARDOUS MATERIALS IN CONSTRUCTION AND DEMOLITION WASTE SHALL BE HANDLED IN ACCORDANCE WITH ANY AND ALL LOCAL, STATE, AND FEDERAL REGULATIONS AND GUIDELINES.

**GENERAL NOTES**

- AREAS CALCULATED BY COORDINATE GEOMETRY.
- ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES.
- BASIS OF BEARING NC GRID 1983 HORIZONTAL DATUM & VERTICAL DATUM NAD-83.
- BOUNDARY INFORMATION SHOWN HEREON WAS PREPARED BY BASS, NISBON & KENNEDY, INC.
- DIMENSIONS ARE EXPRESSED IN FEET AND DECIMAL PARTS THEREOF UNLESS OTHERWISE NOTED. MONUMENTS WERE FOUND AT POINTS WHERE INDICATED.

**TREE LEGEND**

|               |     |             |     |
|---------------|-----|-------------|-----|
| APPLE         | -AP | MADONIA     | -MD |
| ASH           | -AS | MAPLE       | -MP |
| BEECH         | -BE | MANGROVE    | -MM |
| BLACK WALNUT  | -BW | PEAR        | -PR |
| BROOKLYN STAR | -BS | PECAN       | -PC |
| CATALPA       | -CP | PERGAMON    | -PS |
| COGON         | -CO | PISTACHIO   | -PI |
| DOGWOOD       | -DW | REDWOOD     | -RS |
| DOGWOOD       | -DW | ROSE        | -RO |
| CYPRESS       | -CY | REDTIP      | -RT |
| DOGWOOD       | -DW | SHEDD       | -SD |
| ELM           | -EL | SWEETBAY    | -SB |
| ELM           | -EL | STAGHORN    | -SH |
| HACKBERRY     | -HB | WAX MYRTLE  | -WM |
| HOLLY         | -HO | WILLOW      | -WI |
| HOLLY         | -HO | WILD CHERRY | -WC |
| LOCUST        | -LO | WILLOW      | -WI |

**GRAPHIC SCALE**



PLAN PREPARED BY: **ADVANCED CIVIL DESIGN**  
15 Wilshire Drive, Suite 102  
Durham, North Carolina 27701  
Phone: 919.336.9277

PLAN PREPARED FOR: **KB HOME CAROLINAS**  
4609 SOUTH HAWK BLVD., SUITE 100A  
DURHAM, NC 27703  
PHONE: 919.768.7960

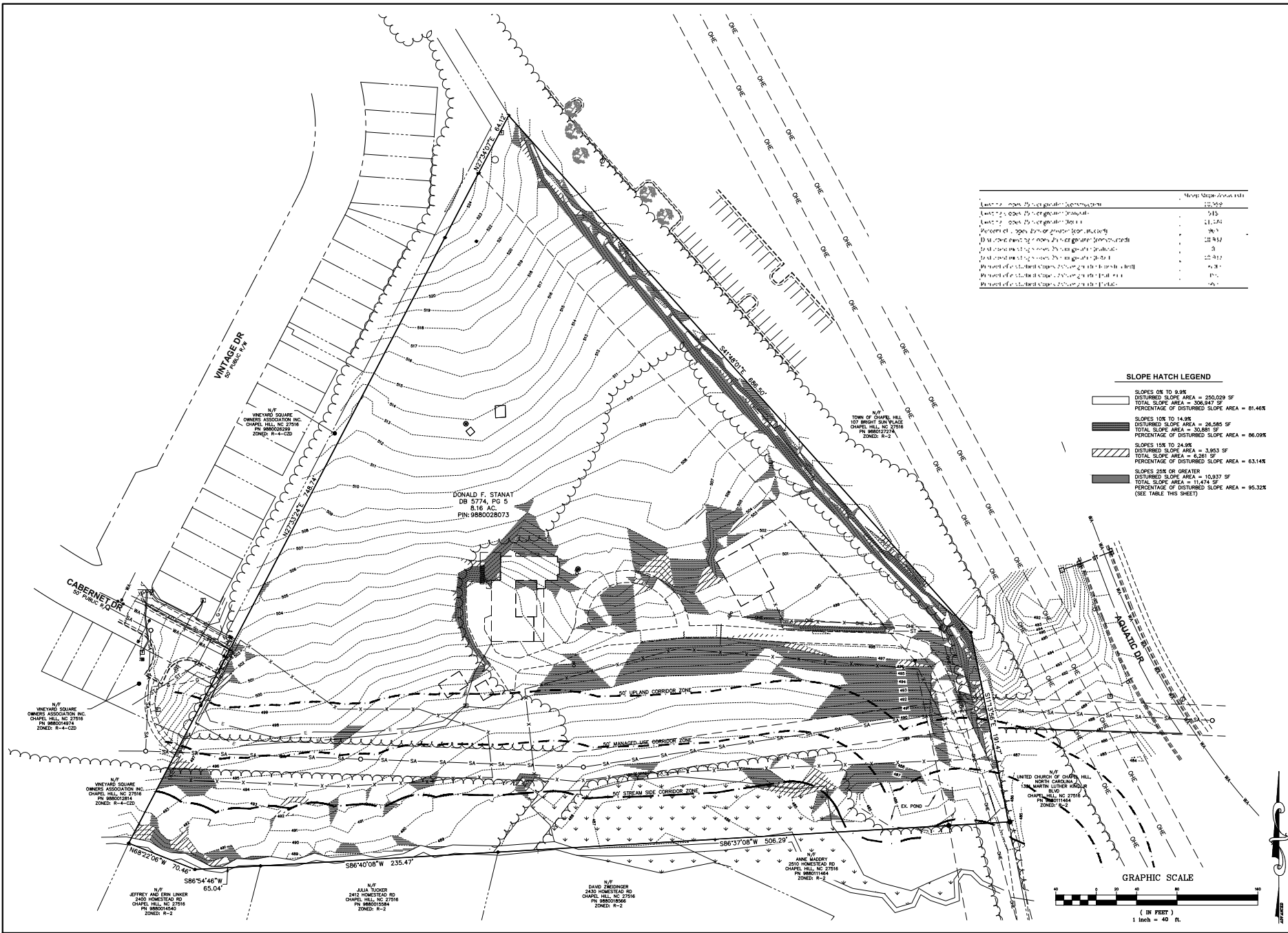
PROJECT: **STANNAT'S PLACE**  
CONDITIONAL ZONING PLANS  
KB HOME CAROLINAS  
EXISTING CONDITIONS PLAN

DATE: 03/21/2022  
SCALE: 1" = 40'

DRAWN BY: JRR  
CHECKED BY: CMR

PROJECT NUMBER: 21-0002-978  
SHEET NUMBER: 3 / 16

G:\31-0002-978\31-0002-978\Production Drawings\Development Plan\CONDITIONAL ZONING PLANS\0002-978 SLOPE ANALYSIS PLAN.dwg Mar 21, 2022 - 5:04:57pm Jroyd



|  | Slope Slope=20.00% (1:5) |
|--|--------------------------|
| Length of slope 25' or greater (feet)                | 127,259                  |
| Length of slope 25' or greater (feet)                | 9,915                    |
| Length of slope 25' or greater (feet)                | 11,174                   |
| Percent of slopes 25' or greater (percent)           | 36.3                     |
| Disturbance of slopes 25' or greater (percent)       | 28,947                   |
| Disturbance of slopes 25' or greater (percent)       | 9                        |
| Disturbance of slopes 25' or greater (percent)       | 15,912                   |
| Percent of disturbed slopes 25' or greater (percent) | 6.8                      |
| Percent of disturbed slopes 25' or greater (percent) | 1.1                      |
| Percent of disturbed slopes 25' or greater (percent) | 24.7                     |

**SLOPE HATCH LEGEND**

|  |  |
|--|--|
|  | SLOPES 0% TO 9.9%<br>DISTURBED SLOPE AREA = 250,029 SF<br>TOTAL SLOPE AREA = 346,887 SF<br>PERCENTAGE OF DISTURBED SLOPE AREA = 81.46%                             |
|  | SLOPES 10% TO 14.9%<br>DISTURBED SLOPE AREA = 26,588 SF<br>TOTAL SLOPE AREA = 30,881 SF<br>PERCENTAGE OF DISTURBED SLOPE AREA = 86.09%                             |
|  | SLOPES 15% TO 24.9%<br>DISTURBED SLOPE AREA = 3,953 SF<br>TOTAL SLOPE AREA = 6,201 SF<br>PERCENTAGE OF DISTURBED SLOPE AREA = 63.14%                               |
|  | SLOPES 25% OR GREATER<br>DISTURBED SLOPE AREA = 10,937 SF<br>TOTAL SLOPE AREA = 11,474 SF<br>PERCENTAGE OF DISTURBED SLOPE AREA = 95.32%<br>(SEE TABLE THIS SHEET) |



|                 |                                 |
|-----------------|---------------------------------|
| Issue Date:     | 2021-12-10                      |
| 2022-03-21      | CONDITIONAL ZONING SUBMITTAL #2 |
| Date:           | 03/21/2022                      |
| Scale:          | 1" = 40'                        |
| Drawn By:       | JRR                             |
| Checked By:     | CMR                             |
| Project Number: | 21-0002-978                     |
| Sheet Number:   | 4 / 16                          |

**CODED NOTES**

- (A) CENTRAL GREEN AREA WITH TURF GRASS
- (B) HERITAGE TREE ON SMALL HILL
- (C) STONE FACADE RETAINING/SEAT WALL
- (D) MULCHED AREA WITH SHRUBS
- (E) BENCHES
- (F) GATHERING SPACE #1: CHILDREN'S PLAY STRUCTURE WITH PICNIC TABLES
- (G) GATHERING SPACE #2: FIRE PIT WITH CHAPEL HILL GRIT SURFACE
- (H) 4" BRICK WALKWAY
- (I) 30" STANDARD CURB AND GUTTER
- (J) 30" VALLEY CURB AND GUTTER
- (K) CURB TRANSITION BETWEEN STANDARD AND VALLEY
- (L) CONCRETE STEP (12-INCH TREAD, RISER PER SPOT GRADES)
- (M) HANDICAP RAMP IN SIDEWALK WITH DETECTABLE WARNING INDICATORS
- (N) ACCESSIBLE VAN PARKING SPACE
- (O) 20'-FT PUBLIC DRAINAGE EASEMENT
- (P) 20'-FT PRIVATE DRAINAGE EASEMENT
- (Q) PUBLIC SIDEWALK EASEMENT
- (R) MAIL KIOSK
- (S) BIKE RACK
- (T) ENTRY FEATURE
- (U) RETAINING WALL WITH FENCE
- (V) -
- (W) TREE SAVE AREA
- (X) END CURB AND GUTTER
- (Y) WOODEN FENCE ON TOP OF WALL
- (Z) LIGHT POLE
- (AA) CURB & GUTTER REMOVAL
- (AB) PAVEMENT STRIPING TO DELINEATE TEMPORARY STORAGE OF REFUSE AND RECYCLING CONTAINERS DURING SERVICE DAY FOR LOTS 15-19

**EXISTING IMPERVIOUS SURFACES**

|           |             |
|-----------|-------------|
| BUILDINGS | = 6,447 SF  |
| DRIVEWAYS | = 11,660 SF |
| TOTAL     | = 18,107 SF |

**PROPOSED IMPERVIOUS SURFACES (ON-SITE)**

|                            |              |
|----------------------------|--------------|
| ROADWAY                    | = 43,981 SF  |
| DRIVEWAYS                  | = 14,475 SF  |
| PARKING LOT                | = 2,914 SF   |
| BUILDINGS                  | = 59,505 SF  |
| SIDEWALK                   | = 11,339 SF  |
| MISC (WALLS, HVAC, PATIOS) | = 6,997 SF   |
| POND PERMANENT POOL AREA   | = 10,610 SF  |
| EUTRIE ALLOWANCE           | = 20,178 SF  |
| TOTAL                      | = 170,000 SF |

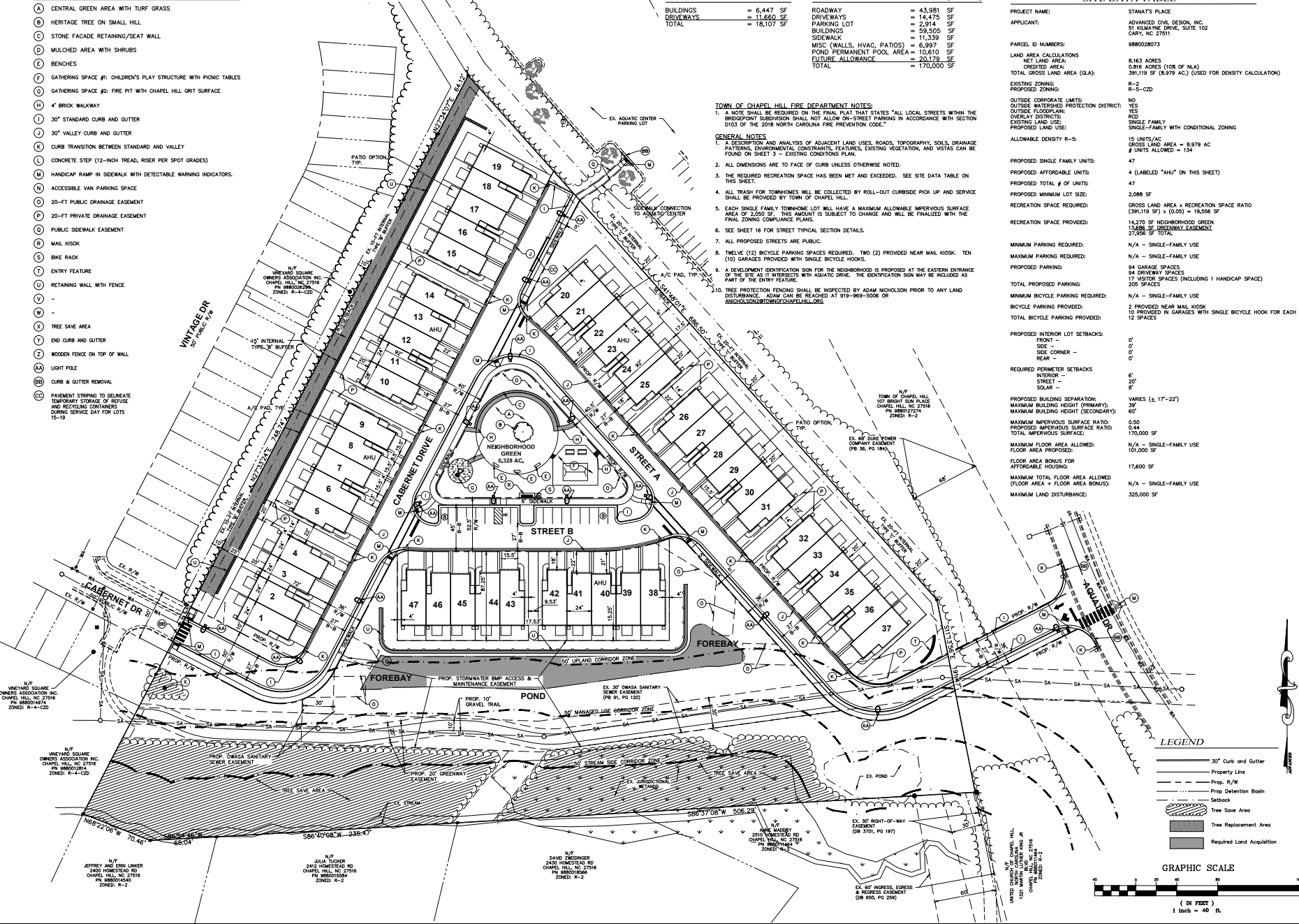
**SITE DATA TABLE**

|   |  |
|---|--|
| PROJECT NAME:   | STANAT'S PLACE   |
| APPLICANT:  | ADVANCED CIVIL DESIGN, INC.<br>51 KALMINE DRIVE, SUITE 102<br>CARY, NC 27511                           |
| PARCEL ID NUMBERS:  | 988002873  |
| LAND AREA CALCULATIONS:   | 8.163 ACRES  |
| NET LAND AREA:  | 8.816 ACRES (10% OF NLA)   |
| CREATED AREA:   | 391,119 SF (8,979 AC.) (USED FOR DENSITY CALCULATION)  |
| TOTAL GROSS LAND AREA (GLA):                                      | R-2  |
| EXISTING ZONING:  | R-5-CZD  |
| PROPOSED ZONING:  | NO   |
| OUTSIDE WATERSHED PROTECTION DISTRICT:                            | YES  |
| OUTSIDE FLOODPLAIN:   | NO   |
| OVERLAY DISTRICTS:  | SINGLE-FAMILY  |
| EXISTING LAND USE:  | SINGLE-FAMILY WITH CONDITIONAL ZONING  |
| PROPOSED LAND USE:  | 15 UNITS/AC  |
| ALLOWABLE DENSITY R-5:  | GROSS LAND AREA = 8,979 AC<br># UNITS ALLOWED = 134  |
| PROPOSED SINGLE FAMILY UNITS:                                     | 47   |
| PROPOSED AFFORDABLE UNITS:  | 4 (LABELLED "AHU" ON THIS SHEET)   |
| PROPOSED TOTAL # OF UNITS:  | 47   |
| PROPOSED MINIMUM LOT SIZE:  | 2,088 SF   |
| RECREATION SPACE REQUIRED:  | GROSS LAND AREA x RECREATION SPACE RATIO<br>(391,119 SF) x (0.05) = 19,556 SF                          |
| RECREATION SPACE PROVIDED:  | 14,270 SF NEIGHBORHOOD GREEN<br>15,686 SF GREENWAY EASEMENT<br>27,956 SF TOTAL                         |
| MINIMUM PARKING REQUIRED:   | N/A - SINGLE-FAMILY USE  |
| MAXIMUM PARKING REQUIRED:   | N/A - SINGLE-FAMILY USE  |
| PROPOSED PARKING:   | 94 GARAGE SPACES<br>94 DRIVEWAY SPACES<br>17 VISITOR SPACES (INCLUDING 1 HANDICAP SPACE)<br>320 SPACES |
| TOTAL PROPOSED PARKING:   | N/A - SINGLE-FAMILY USE  |
| MINIMUM BIKE PARKING PROVIDED:                                    | 3 PROVIDED NEAR MAIL KIOSK<br>TO PROVIDED IN GARAGES WITH SINGLE BIKE CYCLE HOOK FOR EACH<br>12 SPACES |
| TOTAL BIKE PARKING PROVIDED:                                      |  |
| PROPOSED INTERIOR LOT SETBACKS:                                   |  |
| FRONT -   | 0'   |
| SIDE -  | 0'   |
| SIDE CORNER -   | 0'   |
| REAR -  | 0'   |
| REQUIRED PERIMETER SETBACKS:                                      |  |
| INTERIOR -  | 5'   |
| STREET -  | 6'   |
| SOLAR -   | 6'   |
| PROPOSED BUILDING SEPARATION:                                     |  |
| MAXIMUM BUILDING HEIGHT (PRIMARY):                                | VARIABLES (L-17-22)  |
| MAXIMUM BUILDING HEIGHT (SECONDARY):                              | 38'  |
| MAXIMUM IMPERVIOUS SURFACE RATIO:                                 | 0.50   |
| PROPOSED IMPERVIOUS SURFACE RATIO:                                | 0.44   |
| TOTAL IMPERVIOUS SURFACE:   | 170,000 SF   |
| MAXIMUM FLOOR AREA ALLOWED:                                       | N/A - SINGLE-FAMILY USE  |
| FLOOR AREA PROVIDED:  | 100,000 SF   |
| FLOOR AREA BONUS FOR AFFORDABLE HOUSING:                          | 17,600 SF  |
| MAXIMUM TOTAL FLOOR AREA ALLOWED (FLOOR AREA + FLOOR AREA BONUS): | N/A - SINGLE-FAMILY USE  |
| MAXIMUM LAND DISTURBANCE:   | 325,000 SF   |

**TOWN OF CHAPEL HILL FIRE DEPARTMENT NOTES:**  
1. A NOTE SHALL BE REQUIRED ON THE FINAL PLAN THAT STATES "ALL LOCAL STREETS WITHIN THE DEVELOPMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 0103 OF THE 2018 NORTH CAROLINA FIRE PREVENTION CODE."

**GENERAL NOTES**

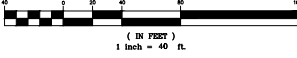
1. A DESCRIPTION AND ANALYSIS OF ADJACENT LAND USES, ROADS, TOPOGRAPHY, SOILS, DRAINAGE PATTERNS, ENVIRONMENTAL CONSTRAINTS, FEATURES, EXISTING VEGETATION, AND VISTAS CAN BE FOUND ON SHEET 3 - EXISTING CONDITIONS PLAN.
2. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
3. THE REQUIRED RECREATION SPACE HAS BEEN MET AND EXCEEDED. SEE SITE DATA TABLE ON THIS SHEET.
4. ALL TRASH FOR TOWNHOMES WILL BE COLLECTED BY ROLL-OUT CURBSIDE PICK UP AND SERVICE SHALL BE PROVIDED BY TOWN OF CHAPEL HILL.
5. EACH SINGLE-FAMILY TOWNHOME LOT WILL HAVE A MAXIMUM ALLOWABLE IMPERVIOUS SURFACE AREA OF 2,050 SF. THIS AMOUNT IS SUBJECT TO CHANGE AND WILL BE FINALIZED WITH THE FINAL ZONING COMPLIANCE PLANS.
6. SEE SHEET 16 FOR STREET TYPICAL SECTION DETAILS.
7. ALL PROPOSED STREETS ARE PUBLIC.
8. TWELVE (12) BIKEWAY SPACES REQUIRED. TWO (2) PROVIDED NEAR MAIL KIOSK. TEN (10) GARAGES PROVIDED WITH SINGLE BIKE CYCLE HOOKS.
9. A DEVELOPMENT IDENTIFICATION SIGN FOR THE NEIGHBORHOOD IS PROPOSED AT THE EASTERN ENTRANCE OF THE SITE AS IT INTERSECTS WITH AQUATIC DRIVE. THE IDENTIFICATION SIGN MAY BE INCLUDED AS PART OF THE ENTRY FEATURE.
10. TREE PROTECTION FENCING SHALL BE INSPECTED BY ADAM NICHOLSON PRIOR TO ANY LAND DISTURBANCE. ADAM CAN BE REACHED AT 919-969-5006 OR ANICOLSON2@NCDOT.CHAPELHILL.ORG



**LEGEND**

- 30" Curb and Gutter
- Property Line
- Prop. R/W
- Prop. Detention Basin
- Setback
- Tree Save Area
- Tree Replacement Area
- Required Land Acquisition

**GRAPHIC SCALE**



G:\31-0002-2786\31\0002-2786\Production Drawings\Development\Zoning\21-0002-978 SITE PLAN - OPTION A.dwg SITE PLAN - OPTION A Mar 21, 2022 - 5:14:29pm .ppl



**KB HOME CAROLINAS**  
4600 SOUTH HAWK BLVD, SUITE 100A  
DURHAM, NC 27703  
PHONE: 919.687.9800

**STANAT'S PLACE**  
CONDITIONAL ZONING PLANS  
KB HOME CAROLINAS  
SITE PLAN - OPTION A



Issue Date: 2021-12-10  
2022-03-21  
Date: 03/21/2022  
Scale: 1" = 40'

Drawn By: JRR  
Checked By: CMR  
Project Number: 21-0002-978  
Sheet Number: 5A/16

**CODED NOTES**

- (A) CENTRAL GREEN AREA WITH TURF GRASS
- (B) HERITAGE TREE ON SMALL HILL
- (C) STONE FACADE RETAINING/SEAT WALL
- (D) MULCHED AREA WITH SHRUBS
- (E) BENCHES
- (F) GATHERING SPACE #1: CHILDREN'S PLAY STRUCTURE WITH PICNIC TABLES
- (G) GATHERING SPACE #2: FIRE PIT WITH CHAPEL HILL GRIT SURFACE
- (H) 4' BRICK WALKWAY
- (I) 30" STANDARD CURB AND GUTTER
- (J) 30" VALLEY CURB AND GUTTER
- (K) CURB TRANSITION BETWEEN STANDARD AND VALLEY
- (L) CONCRETE STEP (12-INCH TREAD, RISER PER SPOT GRADES)
- (M) HANDICAP RAMP IN SIDEWALK WITH DETECTABLE WARNING INDICATORS
- (N) ACCESSIBLE VAN PARKING SPACE
- (O) 20'-FT PUBLIC DRAINAGE EASEMENT
- (P) 20'-FT PRIVATE DRAINAGE EASEMENT
- (Q) PUBLIC SIDEWALK EASEMENT
- (R) MAIL KIOSK
- (S) BIKE RACK
- (T) ENTRY FEATURE
- (U) RETAINING WALL WITH FENCE
- (V) TRASH COLLECTION TURNAROUND
- (W) COLLAPSIBLE BOLLARDS
- (X) TREE SAVE AREA
- (Y) END CURB AND GUTTER
- (Z) WOODEN FENCE ON TOP OF WALL
- (AA) LIGHT POLE
- (BB) CURB & GUTTER REMOVAL
- (CC) PAVEMENT STRIPING TO DELINEATE TEMPORARY STORAGE OF REFUSE AND RECYCLING CONTAINERS DURING SERVICE DAY FOR LOTS 15-19

**EXISTING IMPERVIOUS SURFACES**

|           |             |
|-----------|-------------|
| BUILDINGS | = 6,447 SF  |
| DRIVEWAYS | = 11,660 SF |
| TOTAL     | = 18,107 SF |

**PROPOSED IMPERVIOUS SURFACES (ON-SITE)**

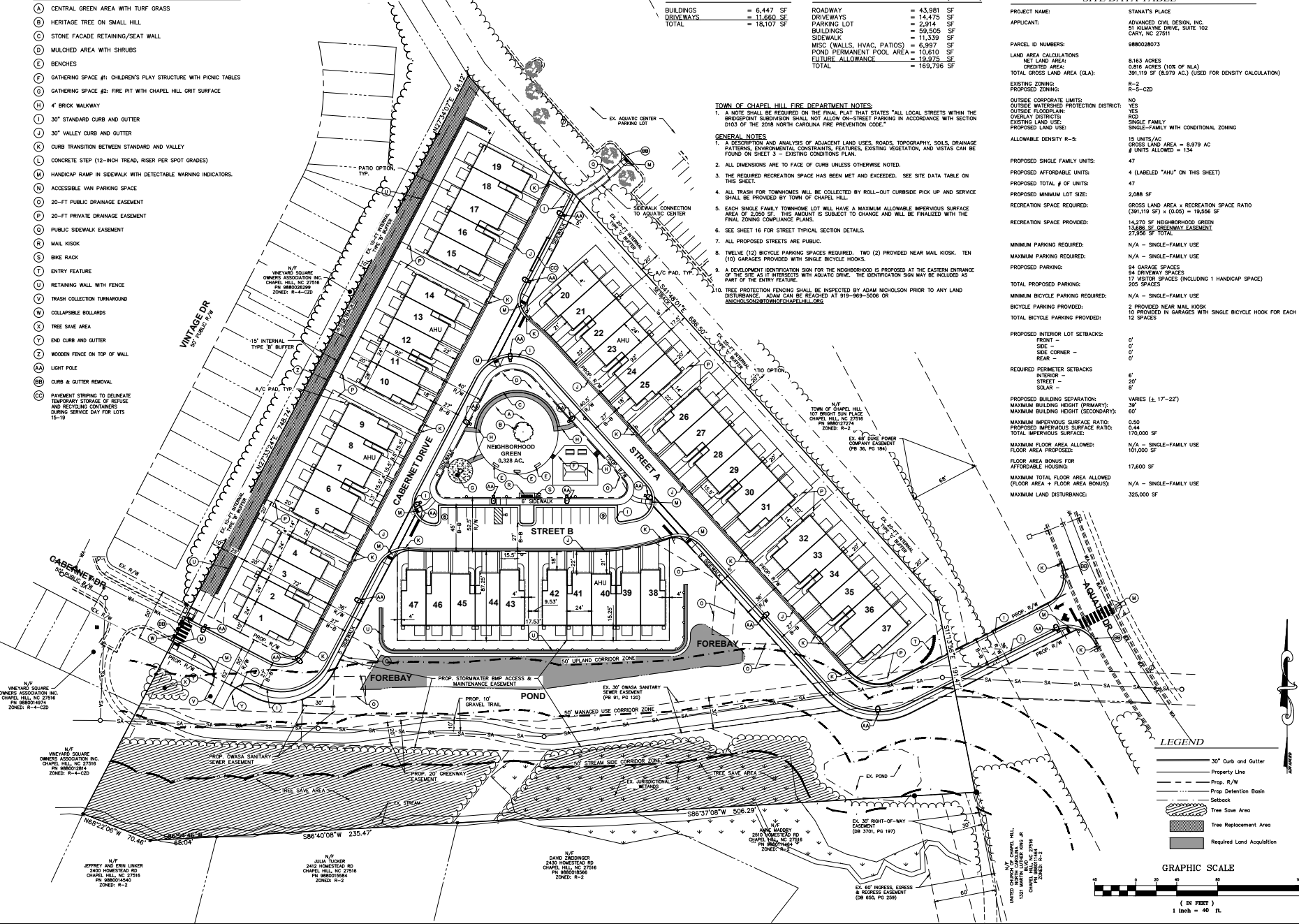
|                            |              |
|----------------------------|--------------|
| ROADWAY                    | = 43,981 SF  |
| DRIVEWAYS                  | = 14,475 SF  |
| PARKING LOT                | = 2,914 SF   |
| BUILDINGS                  | = 59,505 SF  |
| SIDEWALK                   | = 11,339 SF  |
| MISC (WALLS, HVAC, PATIOS) | = 6,997 SF   |
| POND PERMANENT POOL AREA   | = 10,610 SF  |
| EUTRIE ALLOWANCE           | = 19,375 SF  |
| TOTAL                      | = 169,796 SF |

**SITE DATA TABLE**

|   |  |
|---|--|
| PROJECT NAME:   | STANAT'S PLACE   |
| APPLICANT:  | ADVANCED CIVIL DESIGN, INC.<br>51 KALMINE DRIVE, SUITE 102<br>CARY, NC 27511                           |
| PARCEL ID NUMBERS:  | 9880028073   |
| LAND AREA CALCULATIONS  | 8.163 ACRES  |
| NET LAND AREA   | 8.816 ACRES (10% OF NLA)   |
| CREATED AREA:   | 391,119 SF (8,979 AC.) (USED FOR DENSITY CALCULATION)  |
| TOTAL GROSS LAND AREA (GLA):                                      | R-2  |
| EXISTING ZONING:  | R-5-CZD  |
| PROPOSED ZONING:  | NO   |
| OUTSIDE WATERSHED PROTECTION DISTRICT:                            | YES  |
| OUTSIDE FLOODPLAIN:   | NO   |
| OVERLAY DISTRICTS:  | SINGLE FAMILY  |
| EXISTING LAND USE:  | SINGLE-FAMILY WITH CONDITIONAL ZONING  |
| PROPOSED LAND USE:  | 15 UNITS/AC<br>GROSS LAND AREA = 8,979 AC<br># UNITS ALLOWED = 134                                     |
| ALLOWABLE DENSITY R-5:  | 47   |
| PROPOSED SINGLE FAMILY UNITS:                                     | 4 (LABELLED 'AHU' ON THIS SHEET)   |
| PROPOSED AFFORDABLE UNITS:  | 47   |
| PROPOSED TOTAL # OF UNITS:  | 51   |
| PROPOSED MINIMUM LOT SIZE:  | 2,088 SF   |
| RECREATION SPACE REQUIRED:  | GROSS LAND AREA x RECREATION SPACE RATIO<br>(391,119 SF) x (0.05) = 19,556 SF                          |
| RECREATION SPACE PROVIDED:  | 14,270 SF NEIGHBORHOOD GREEN<br>13,686 SF GREENWAY EASEMENT<br>27,956 SF TOTAL                         |
| MINIMUM PARKING REQUIRED:   | N/A - SINGLE-FAMILY USE  |
| MAXIMUM PARKING REQUIRED:   | N/A - SINGLE-FAMILY USE  |
| PROPOSED PARKING:   | 94 GARAGE SPACES<br>34 DRIVEWAY SPACES<br>17 VISITOR SPACES (INCLUDING 1 HANDICAP SPACE)<br>205 SPACES |
| TOTAL PROPOSED PARKING:   | N/A - SINGLE-FAMILY USE  |
| MINIMUM BICYCLE PARKING PROVIDED:                                 | 3 PROVIDED NEAR MAIL KIOSK<br>10 PROVIDED IN GARAGES WITH SINGLE BICYCLE HOOK FOR EACH 12 SPACES       |
| TOTAL BICYCLE PARKING PROVIDED:                                   |  |
| PROPOSED INTERIOR LOT SETBACKS:                                   |  |
| FRONT -   | 0'   |
| SIDE -  | 0'   |
| SIDE CORNER -   | 0'   |
| REAR -  | 0'   |
| REQUIRED PERIMETER SETBACKS:                                      |  |
| INTERIOR -  | 5'   |
| STREET -  | 6'   |
| SOLAR -   | 8'   |
| PROPOSED BUILDING SEPARATION:                                     |  |
| MAXIMUM BUILDING HEIGHT (PRIMARY):                                | VARIES (2-17'-22')   |
| MAXIMUM BUILDING HEIGHT (SECONDARY):                              | 38'  |
| MAXIMUM BUILDING HEIGHT (TERTIARY):                               | 60'  |
| MAXIMUM IMPERVIOUS SURFACE RATIO:                                 | 0.50   |
| PROPOSED IMPERVIOUS SURFACE RATIO:                                | 0.44   |
| TOTAL IMPERVIOUS SURFACE:   | 170,000 SF   |
| MAXIMUM FLOOR AREA ALLOWED:                                       | N/A - SINGLE-FAMILY USE  |
| FLOOR AREA PROVIDED:  | 100,000 SF   |
| FLOOR AREA BONUS FOR AFFORDABLE HOUSING:                          | 17,600 SF  |
| MAXIMUM TOTAL FLOOR AREA ALLOWED (FLOOR AREA + FLOOR AREA BONUS): | N/A - SINGLE-FAMILY USE  |
| MAXIMUM LAND DISTURBANCE:   | 325,000 SF   |

**TOWN OF CHAPEL HILL FIRE DEPARTMENT NOTES:**  
1. A NOTE SHALL BE REQUIRED ON THE FINAL PLAN THAT STATES "ALL LOCAL STREETS WITHIN THE DEVELOPMENT SUBSEQUENT SHALL NOT ALLOW ON-STREET PARKING IN ACCORDANCE WITH SECTION D103 OF THE 2016 NORTH CAROLINA FIRE PREVENTION CODE."

**GENERAL NOTES:**  
1. A DESCRIPTION AND ANALYSIS OF ADJACENT LAND USES, ROADS, TOPOGRAPHY, SOILS, DRAINAGE PATTERNS, ENVIRONMENTAL CONSTRAINTS, FEATURES, EXISTING VEGETATION, AND VISTAS CAN BE FOUND ON SHEET 3 - EXISTING CONDITIONS PLAN.  
2. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.  
3. THE REQUIRED RECREATION SPACE HAS BEEN MET AND EXCEEDED. SEE SITE DATA TABLE ON THIS SHEET.  
4. ALL TRASH FOR TOWNHOMES WILL BE COLLECTED BY ROLL-OUT CURBSIDE PICK UP AND SERVICE SHALL BE PROVIDED BY TOWN OF CHAPEL HILL.  
5. EACH SINGLE FAMILY TOWNHOME LOT WILL HAVE A MAXIMUM ALLOWABLE IMPERVIOUS SURFACE AREA OF 2,050 SF. THIS AMOUNT IS SUBJECT TO CHANGE AND WILL BE FINALIZED WITH THE FINAL ZONING COMPLIANCE PLANS.  
6. SEE SHEET 16 FOR STREET TYPICAL SECTION DETAILS.  
7. ALL PROPOSED STREETS ARE PUBLIC.  
8. TWELVE (12) BICYCLE PARKING SPACES REQUIRED. TWO (2) PROVIDED NEAR MAIL KIOSK. TEN (10) GARAGES PROVIDED WITH SINGLE BICYCLE HOOKS.  
9. A DEVELOPMENT IDENTIFICATION SIGN FOR THE NEIGHBORHOOD IS PROPOSED AT THE EASTERN ENTRANCE OF THE SITE AS IT INTERSECTS WITH AQUATIC DRIVE. THE IDENTIFICATION SIGN MAY BE INCLUDED AS PART OF THE ENTRY FEATURE.  
10. TREE PROTECTION FENCING SHALL BE INSPECTED BY ADAM NICHOLSON PRIOR TO ANY LAND DISTURBANCE. ADAM CAN BE REACHED AT 919-969-5008 OR ANICHOLOSON@TOWNOFCHAPELHILL.ORG



**KB HOME CAROLINAS**  
4600 SOUTH HAWK BLVD, SUITE 100A  
DURHAM, NC 27703  
PHONE: 919.687.9800

**STANAT'S PLACE**  
CONDITIONAL ZONING PLANS  
KB HOME CAROLINAS  
SITE PLAN - OPTION B



Issue Date: 03/21/2022  
Scale: 1" = 40'  
Drawn By: JRR  
Checked By: CMR

Project Number: 21-0002-978  
Sheet Number: 5B/16

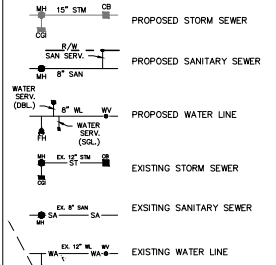
G:\31-0002-978\31-0002-978\Production Drawings\Development\Zoning Plans\0002-978 SITE PLAN - OPTION B.dwg SITE PLAN - OPTION B Mar 21, 2022 - 5:05:10pm Pjppj



**CODED NOTES**

- (A) 20-FT PUBLIC DRAINAGE EASEMENT
- (B) 20-FT PRIVATE DRAINAGE EASEMENT
- (C) PUBLIC SIDEWALK EASEMENT
- (D) 30-FT OWASA SANITARY SEWER EASEMENT
- (E) 20-FT GREENWAY EASEMENT

**LEGEND**



**MINIMUM REQUIRED FIRE FLOW**

|                            |               |
|----------------------------|---------------|
| SINGLE FAMILY (≤ 3,600 SF) | 1,200 GAL/MIN |
|----------------------------|---------------|

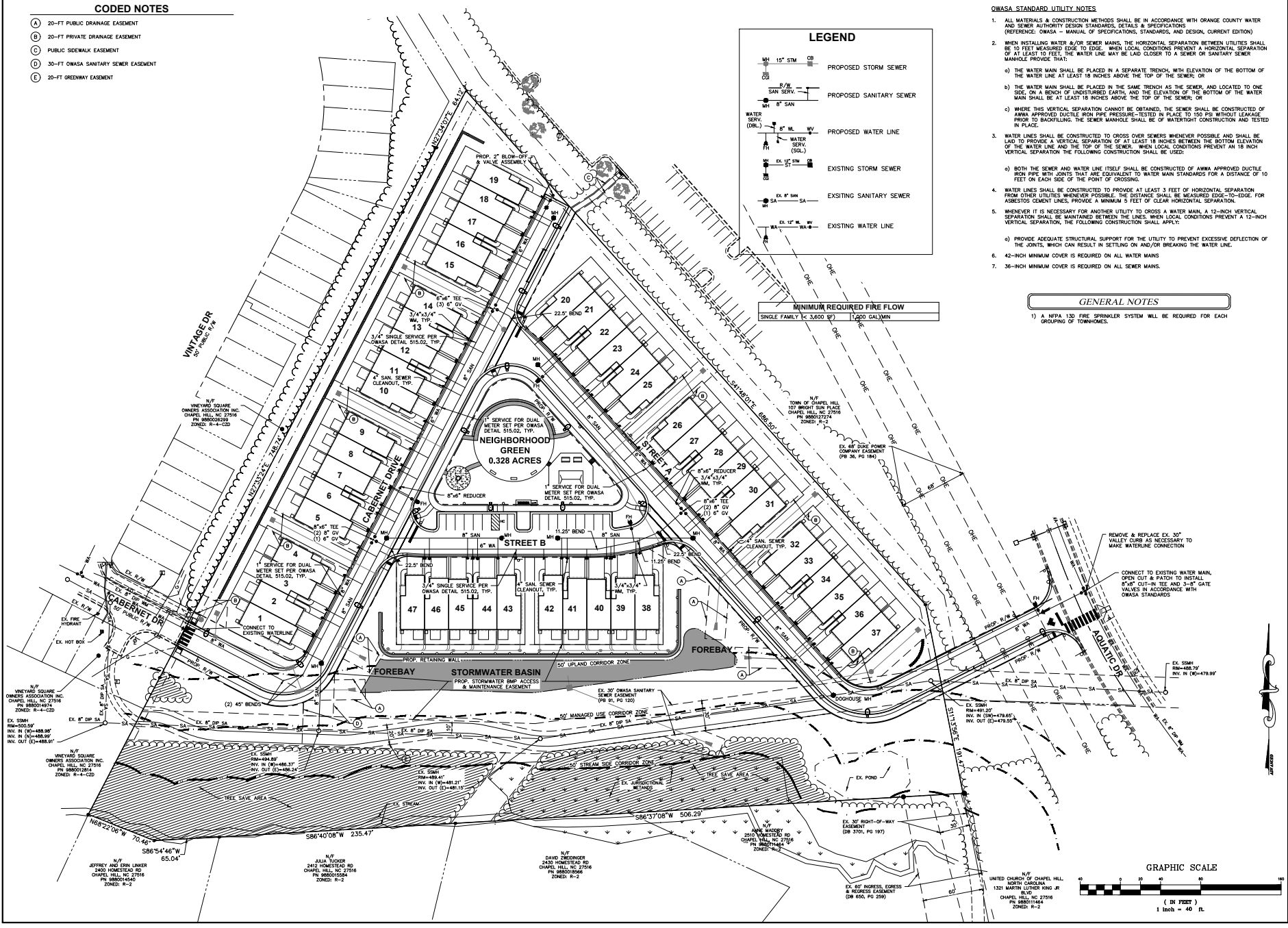
**GENERAL NOTES**

- 1) A NFPA 130 FIRE SPRINKLER SYSTEM WILL BE REQUIRED FOR EACH GROUPING OF TOWNHOMES.

**OWASA STANDARD UTILITY NOTES**

1. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH ORANGE COUNTY WATER AND SEWER AUTHORITY DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: OWASA - MANUAL OF SPECIFICATIONS, STANDARDS, AND DESIGN, CURRENT EDITION)
2. WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 15 FEET MEASURED EDGE TO EDGE. WHEN LOCAL CONDITIONS PREVENT A HORIZONTAL SEPARATION OF AT LEAST 15 FEET, THE WATER LINE MAY BE LAG CLOSER TO A SEWER OR SANITARY SEWER MANHOLE PROVIDED THAT:
  - a) THE WATER MAIN SHALL BE PLACED IN A SEPARATE TRENCH, WITH ELEVATION OF THE BOTTOM OF THE WATER LINE AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER, OR
  - b) THE WATER MAIN SHALL BE PLACED IN THE SAME TRENCH AS THE SEWER AND LOCATED TO ONE SIDE, ON A BENCH OF UNDISTURBED EARTH, AND THE ELEVATION OF THE BOTTOM OF THE WATER MAIN SHALL BE AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER, OR
  - c) WHERE THIS VERTICAL SEPARATION CANNOT BE OBTAINED, THE SEWER SHALL BE CONSTRUCTED OF ANNA APPROVED DUCTILE IRON PIPE PRESSURE-TESTED IN PLACE TO 150 PSI WITHOUT LEAKAGE PRIOR TO BACKFILLING. THE SEWER MANHOLE SHALL BE OF WATERPROOF CONSTRUCTION AND TESTED IN PLACE.
3. WATER LINES SHALL BE CONSTRUCTED TO CROSS OVER SEWERS WHENEVER POSSIBLE AND SHALL BE LAID TO PROVIDE A VERTICAL SEPARATION OF AT LEAST 18 INCHES BETWEEN THE BOTTOM ELEVATION OF THE WATER LINE AND THE TOP OF THE SEWER. WHEN LOCAL CONDITIONS PREVENT AN 18 INCH VERTICAL SEPARATION THE FOLLOWING CONSTRUCTION SHALL BE USED:
  - a) BOTH THE SEWER AND WATER LINE ITSELF SHALL BE CONSTRUCTED OF ANNA APPROVED DUCTILE IRON PIPE WITH JOINTS THAT ARE EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING.
  - b) WATER LINES SHALL BE CONSTRUCTED TO PROVIDE AT LEAST 3 FEET OF HORIZONTAL SEPARATION FROM OTHER UTILITIES WHENEVER POSSIBLE. THE DISTANCE SHALL BE MEASURED EDGE-TO-EDGE. FOR ASBESTOS CEMENT LINES, PROVIDE A MINIMUM 5 FEET OF CLEAR HORIZONTAL SEPARATION.
5. WHENEVER IT IS NECESSARY FOR ANOTHER UTILITY TO CROSS A WATER MAIN, A 12-INCH VERTICAL SEPARATION SHALL BE MAINTAINED BETWEEN THE LINES. WHEN LOCAL CONDITIONS PREVENT A 12-INCH VERTICAL SEPARATION, THE FOLLOWING CONSTRUCTION SHALL APPLY:
  - a) PROVIDE ADEQUATE STRUCTURAL SUPPORT FOR THE UTILITY TO PREVENT EXCESSIVE DEFLECTION OF THE JOINTS, WHICH CAN RESULT IN SETTLING ON AND/OR BREAKING THE WATER LINE.
6. 42-INCH MINIMUM COVER IS REQUIRED ON ALL WATER MAINS
7. 36-INCH MINIMUM COVER IS REQUIRED ON ALL SEWER MAINS.

G:\31-0002-0786\DWG\Production Drawings\Development\Zoning\21-0002-978 UTILITY PLAN.dwg    3/21/2022    5:05:33pm    jpyol



**KB HOME CAROLINAS**  
 4608 SOUTH MIAMI BLVD, SUITE 100A  
 DURHAM, NC 27703  
 PHONE: 919.983.7960

PLANNING BOARD  
 STANATT'S PLACE  
 CONDITIONAL ZONING PLANS  
 KB HOME CAROLINAS  
 UTILITY PLAN



Date: 03/21/2022  
 Scale: 1" = 40'  
 Drawn By: JRR    Checked By: CMR  
 Project Number: 21-0002-978  
 Sheet Number: 7 / 16



**CODED NOTES**

- (A) 20-FT PUBLIC DRAINAGE EASEMENT
- (B) 20-FT PRIVATE DRAINAGE EASEMENT
- (C) PUBLIC SIDEWALK EASEMENT
- (D) 30-FT OHASA SANITARY SEWER EASEMENT
- (E) 20-FT GREENWAY EASEMENT
- (F) ROOF DRAIN LEADER
- (G) RETAINING WALL WITH FENCE
- (H) WOODEN FENCE ON TOP OF WALL

| NO. | DESCRIPTION                                | AREA (SQ. FT.) | PERCENT OF TOTAL DISTURBANCE |
|-----|--|----------------|------------------------------|
| 1   | Proposed 20' Private Drainage Easement     | 14,470         | 11.9%                        |
| 2   | Proposed 20' Public Drainage Easement      | 15,900         | 12.9%                        |
| 3   | Proposed 30' OHASA Sanitary Sewer Easement | 1,480          | 1.2%                         |
| 4   | Proposed 20' Greenway Easement             | 9              | 0.0%                         |
| 5   | Proposed Retaining Wall with Fence         | 1,112          | 0.9%                         |
| 6   | Proposed Wooden Fence on Top of Wall       | 44             | 0.0%                         |
| 7   | Proposed Stream Use Corridor Zone          | 2,980          | 2.4%                         |
| 8   | Proposed Tree Save Area                    | 22             | 0.0%                         |
| 9   | Proposed Limits of Disturbance             | 1,112          | 0.9%                         |
| 10  | Proposed Limits of Disturbance             | 44             | 0.0%                         |
| 11  | Proposed Limits of Disturbance             | 22             | 0.0%                         |
| 12  | Proposed Limits of Disturbance             | 22             | 0.0%                         |

| NO. | DESCRIPTION                                | AREA (SQ. FT.) | PERCENT OF TOTAL DISTURBANCE |
|-----|--|----------------|------------------------------|
| 13  | Proposed 20' Private Drainage Easement     | 14,470         | 11.9%                        |
| 14  | Proposed 20' Public Drainage Easement      | 15,900         | 12.9%                        |
| 15  | Proposed 30' OHASA Sanitary Sewer Easement | 1,480          | 1.2%                         |
| 16  | Proposed 20' Greenway Easement             | 9              | 0.0%                         |
| 17  | Proposed Retaining Wall with Fence         | 1,112          | 0.9%                         |
| 18  | Proposed Wooden Fence on Top of Wall       | 44             | 0.0%                         |
| 19  | Proposed Stream Use Corridor Zone          | 2,980          | 2.4%                         |
| 20  | Proposed Tree Save Area                    | 22             | 0.0%                         |
| 21  | Proposed Limits of Disturbance             | 1,112          | 0.9%                         |
| 22  | Proposed Limits of Disturbance             | 44             | 0.0%                         |
| 23  | Proposed Limits of Disturbance             | 22             | 0.0%                         |
| 24  | Proposed Limits of Disturbance             | 22             | 0.0%                         |

**SECTION E: GROUND STABILIZATION**

| Site Area Description  | Stabilize within this time period (days after ceasing land disturbance) | Timeframe variations   |
|--|---|--|
| (1) Perimeter ditches, swales, ditches, and perimeter slopes | 7   | None   |
| (2) High Quality Water (HQW) Zones                           | 7   | None   |
| (3) Slopes steeper than 3:1                                  | 7   | If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed.   |
| (4) Slopes 1 to 4:1  | 14  | 17 days for slopes greater than 50' in length and with slopes steeper than 4:1. 7 days for perimeter ditches, swales, ditches, perimeter slopes and HQW Zones. 10 days for Falls Lake Watershed. 10 days for Falls Lake Watershed. |
| (5) Areas with slopes steeper than 4:1                       | 14  | 17 days for perimeter ditches, swales, ditches, perimeter slopes and HQW Zones. 10 days for Falls Lake Watershed unless there is zero slope.   |

After the permanent cessation of construction activities, any areas with temporary ground stabilization shall be converted to permanent ground stabilization as soon as practicable but in no case longer than 90 calendar days after the last disturbance. Temporary ground stabilization shall be maintained in a manner to render the site stable until permanent ground stabilization is achieved.

**GENERAL NOTES:**

TO MINIMIZE DAMAGE TO EXISTING TREES NEAR THE EXTERIOR EDGE OF THE SITE ADJACENT TO TREE CONSERVATION AREAS, THE CONTRACTOR SHALL CUT MINIMUM 2' TRENCHES ALONG THE LIMITS OF DISTURBANCE, 50 AS TO CUT RATHER THAN TEAR ROOTS.

THE TREE PROTECTION FENCE SHALL BE MAINTAINED ON THE SITE UNTIL ALL SITE WORK IS COMPLETED AND THE FINAL SITE INSPECTION PRIOR TO THE CERTIFICATE OF OCCUPANCY (CO) IS SCHEDULED. THE FENCING SHALL BE REMOVED PRIOR TO FINAL SITE INSPECTION FOR THE CO.

PERMANENT GROUND COVER WILL BE ESTABLISHED IN 7 TO 14 WORKING DAYS PER NEPES REQUIREMENTS. REFER TO APPROVED SEDIMENT AND EROSION CONTROL PLANS.

OUT/FILL SLOPES SHALL BE STABILIZED WITHIN 14 DAYS OF ANY PHASE OF GRADING.

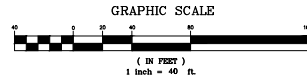
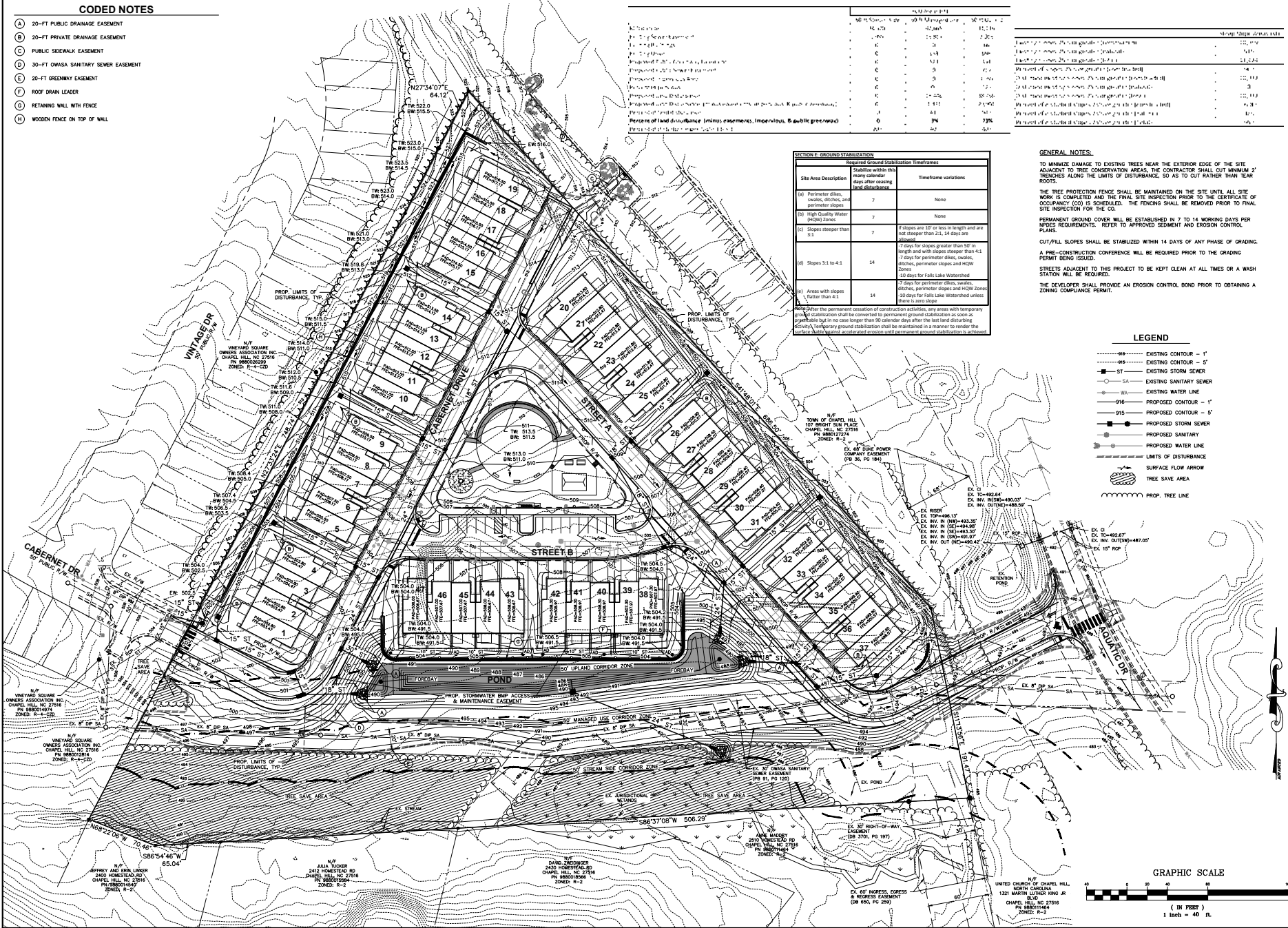
A PRE-CONSTRUCTION CONFERENCE WILL BE REQUIRED PRIOR TO THE GRADING PERMIT BEING ISSUED.

STREETS ADJACENT TO THIS PROJECT TO BE KEPT CLEAN AT ALL TIMES OR A WASH STATION WILL BE REQUIRED.

THE DEVELOPER SHALL PROVIDE AN EROSION CONTROL BOND PRIOR TO OBTAINING A ZONING COMPLIANCE PERMIT.

**LEGEND**

- EXISTING CONTOUR - 1'
- EXISTING CONTOUR - 5'
- ST EXISTING STORM SEWER
- SA EXISTING SANITARY SEWER
- WA EXISTING WATER LINE
- 916 PROPOSED CONTOUR - 1'
- 915 PROPOSED CONTOUR - 5'
- PROPOSED STORM SEWER
- PROPOSED SANITARY
- PROPOSED WATER LINE
- LIMITS OF DISTURBANCE
- SURFACE FLOW ARROW
- TREE SAVE AREA
- PROP. TREE LINE



G:\31-0002-2786\31-0002-2786\Production Drawings\Development\Zoning\Zoning Plans\2022-03-21\21-0002-978 Grading and Drainage Plan.dwg

PLAN PREPARED BY:

**ADVANCED CIVIL DESIGN**

4500 South Main Blvd, Suite 100A  
Durham, NC 27703  
Phone: 919.486.7960

PLAN PREPARED FOR:

**KB HOME CAROLINAS**

4600 SOUTH MAIN BLVD, SUITE 100A  
DURHAM, NC 27703  
PHONE: 919.486.7960

PROJECT NAME: STANATT'S PLACE

PROJECT ADDRESS: HOMESTEAD ROAD, CHAPEL HILL, NC - ORANGE COUNTY

**CONDITIONAL ZONING PLANS**

**KB HOME CAROLINAS**

**GRADING & DRAINAGE PLAN**

**PRELIMINARY**

DATE: 3/21/2022

Issue Dates:

2021-12-10: CONDITIONAL ZONING SUBMITTAL #1

2022-03-21: CONDITIONAL ZONING SUBMITTAL #2

Date: 03/21/2022

Scale: 1" = 40'

Drawn By: JRR

Checked By: CMR

Project Number: 21-0002-978

Sheet Number: 8 / 16

**CONSTRUCTION SEQUENCE**

- SCHEDULE A PRECONSTRUCTION CONFERENCE WITH ORANGE COUNTY EROSION CONTROL DIVISION, OBTAIN A LAND-DESTRUCTING PERMIT.
- INSTALL LEVEL CONSTRUCTION ENTRANCE PADS AND CONCRETE WASH OUTS. CLEAR ONLY AS NECESSARY.
- INSTALL TREE PROTECTION FENCE AND OBTAIN TOWN APPROVAL. CLEAR ONLY AS NECESSARY.
- INSTALL SILT FENCE AND SILT FENCE OUTLET PROTECTION. CLEAR ONLY AS NECESSARY.
- AFTER PERMITS, EROSION CONTROL MEASURES ARE INSTALLED, A PRE-CONSTRUCTION MEETING SHALL BE HELD WITH THE TOWN STORMWATER MANAGEMENT ENGINEER. THE MEETING SHOULD BE REQUESTED TO OBTAIN IN ADVANCE AND THE CONTACT INFORMATION IS 386-869-7346 OR STORMWATER@OWC.FL.GOV.
- OUTLET STRUCTURE, FLARED END SECTION, AND PIPE TO BE DELIVERED TO SITE.
- INSTALL OUTLET STRUCTURE, FLARED END SECTION, AND PIPE INCLUDING CONCRETE COLLAR.
- BEGIN GRADING POND.
- ONCE GRADING IS COMPLETED, THE POND MUST BE STABILIZED WITH VEGETATION, PAVING, OTION LINDING, ETC. PER EROSION CONTROL MEASURES. EROSION CONTROL MATTING AS SHOWN ON THIS SHEET IMMEDIATELY UPON ESTABLISHING GRADES.
- CALL ORANGE COUNTY EROSION CONTROL DIVISION AT 386-245-2586 FOR AN ON-SITE INSPECTION BY THE WATEREDGES MANAGER TO OBTAIN A CERTIFICATE OF COMPLIANCE.
- BEGIN CLEARING AND GRUBBING. MAINTAIN DEVICES AS REQUIRED. ROUGH GRADE SITE.
- INSTALL STORM SEWER, IF SHOWN, AND PROTECT ALLEYS WITH BLOCK AND GRAVEL RAIL DIVERTING SEDIMENT TRAILS OR OTHER APPROVED MEASURES AS SHOWN ON THE PLAN. BEGIN CONSTRUCTION, BUILDING, ETC.
- ONCE TOWN HOME PAD GRADING HAS BEEN ESTABLISHED, INSTALL SILT FENCE AROUND PAD AREAS AS SHOWN ON THIS PLAN.
- STABILIZE SITE AS AREAS ARE BROUGHT UP TO FINISH GRADE WITH VEGETATION, PAVING, OTION LINDING, ETC. SEED AND MULCH COVERED AREAS PER GRAD STABILIZATION TIME FRAME.
- WHEN CONSTRUCTION IS COMPLETE AND ALL AREAS ARE STABILIZED COMPLETELY, CALL ORANGE COUNTY EROSION CONTROL DIVISION FOR AN INSPECTION BY THE WATEREDGES MANAGER.
- IF SITE IS APPROVED, REMOVE TEMPORARY DIVERSIONS, SILT FENCE, SEDIMENT BASINS, ETC., AND REEVALUATE OR STABILIZE ANY REMAINING BARE AREAS. ALL REMAINING PERMANENT EROSION CONTROL DEVICES, SUCH AS VELOCITY DISSIPATORS, SHOULD NOW BE INSTALLED.
- WHEN VEGETATION HAS BECOME ESTABLISHED, CALL FOR A FINAL SITE INSPECTION BY THE WATEREDGES MANAGER. OBTAIN A CERTIFICATE OF COMPLETION.

**CODED NOTES**

- (A) 20'-FT PUBLIC DRAINAGE EASEMENT
- (B) 20'-FT PRIVATE DRAINAGE EASEMENT
- (C) PUBLIC SIDEWALK EASEMENT
- (D) 30'-FT OWASA SANITARY SEWER EASEMENT
- (E) 20'-FT GREENWAY EASEMENT
- (F) ROOF DRAIN LEADER
- (G) RETAINING WALL WITH FENCE
- (H) WOODEN FENCE ON TOP OF WALL

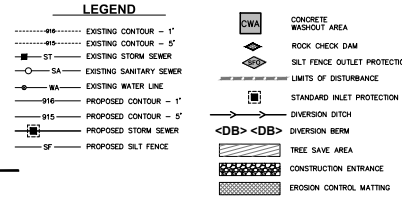
**EXISTING IMPERVIOUS SURFACES**

|             |             |
|-------------|-------------|
| BUILDINGS   | = 6,447 SF  |
| DRIVEWAYS   | = 14,678 SF |
| PARKING LOT | = 18,107 SF |
| TOTAL       | = 39,232 SF |

**PROPOSED IMPERVIOUS SURFACES (ON-SITE)**

|                            |              |
|----------------------------|--------------|
| ROADWAY                    | = 43,981 SF  |
| DRIVEWAYS                  | = 14,478 SF  |
| PARKING LOT                | = 2,914 SF   |
| BUILDINGS                  | = 59,205 SF  |
| SIDEWALK                   | = 11,339 SF  |
| MISC (WALLS, HVAC, PATIOS) | = 6,997 SF   |
| POND PERMANENT POOL AREA   | = 10,610 SF  |
| FUTURE ALLOWANCE           | = 20,179 SF  |
| TOTAL                      | = 170,000 SF |

**TOTAL DISTURBED AREA = 7.46 AC.**  
**TOTAL = 325,000 SF**



- SEDIMENT & EROSION CONTROL NOTES**
- ALL STORMWATER PIPES THAT DO NOT EMPTY INTO A BASIN SHALL NOT BE INSTALLED UNTIL SITE IS STABILIZED AROUND THESE AREAS.
  - BAFFLES ARE REQUIRED ON ALL BASINS THAT HAVE A DRAINAGE AREA GREATER THAN 5 ACRES.
  - SILT FENCE OUTLET PROTECTION SHALL BE PLACED AT ALL LOW POINTS ALONG SILT FENCE TO KEEP WATER FILTER AND PASS THROUGH.
  - STORMWATER BASINS TO ACT AS SEDIMENT BASINS. SEE CALCULATIONS ON THIS SHEET FOR SIZES.
  - SILT FENCE SHALL BE PLACED AT THE LIMITS OF DISTURBANCE LINE. SILT FENCE SHOW OFFSET FROM LIMITS OF DISTURBANCE LINE FOR CLUMBY PURPOSES ONLY.

**SECTION 6 - GRAD STABILIZATION**

Revised Ground Stabilization Timetables

| Site Area Description  | Stabilize within many calendar days after clearing and disturbance | Timetables variations   |
|--|--|---|
| (a) Perimeter ditches, swales, ditches, and perimeter slopes | 7  | None  |
| (b) High-sloped water (H2O) zones                            | 7  | None  |
| (c) Slopes steeper than 3:1                                  | 7  | If slopes are 2:1 or less in length and are not steeper than 3:1, 24 days after clearing.   |
| (d) Slopes 3:1 to 4:1  | 14   | 7 days for slopes greater than 5:1 in length and with slopes steeper than 4:1. 7 days for perimeter ditches, swales, ditches, perimeter slopes and H2O zones. 10 days for Fair Lake Watershed unless 10 days is not possible. |
| (e) Areas with slopes flatter than 4:1                       | 14   | 7 days for perimeter ditches, swales, ditches, perimeter slopes and H2O zones. 10 days for Fair Lake Watershed unless 10 days is not possible.  |

NOTE: After the permanent cessation of construction activities, any areas with temporary ground stabilization shall be converted to permanent ground stabilization as soon as practicable but in no case longer than 90 calendar days after project completion. Temporary ground stabilization shall be performed in accordance with the following:

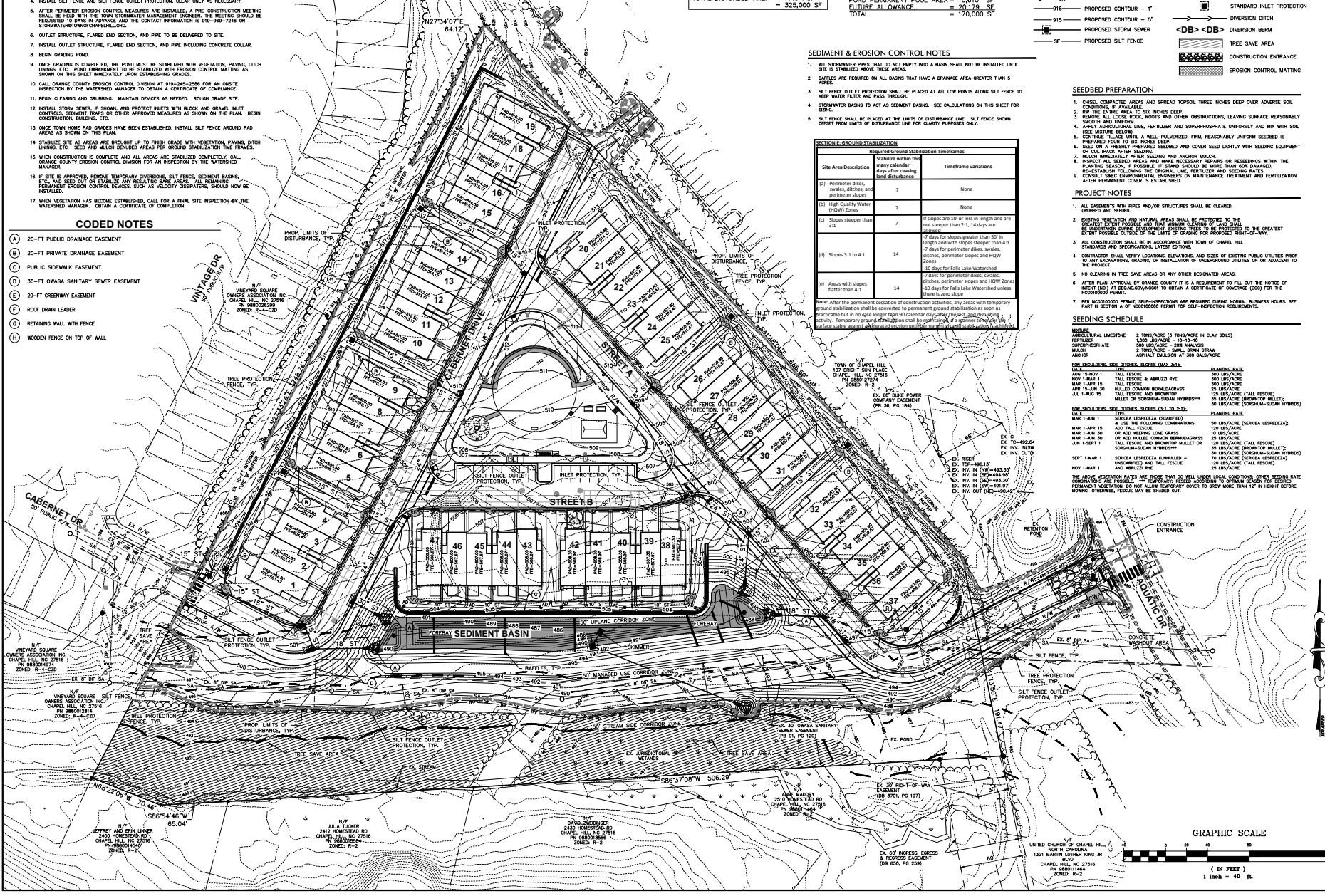
- SEEDING PREPARATION**
- CHISEL COMPACTED AREAS AND SPREAD TOPSOIL THREE INCHES DEEP OVER ADVERSE SOIL CONDITIONS IF AVAILABLE.
  - SPREAD THE EXISTING AREA TO 2 INCHES DEEP.
  - REMOVE ALL LOGS, ROCKS, ROOTS AND OTHER OBSTRUCTIONS, LEAVING SURFACE REASONABLY SMOOTH AND UNIFORM.
  - APPLY APPLICABLE FERTILIZER AND SUPERPHOSPHATE UNIFORMLY AND MIX WITH SOIL USING A CULTURE BECOMING.
  - SEED ON A FRESHLY PREPARED SEEDING AND COVER SEED LIGHTLY WITH SEEDING EQUIPMENT OR OUTLAYS AFTER SEEDING.
  - MULCH IMMEDIATELY AFTER SEEDING AND ANCHOR MULCH.
  - REPAIR ALL SEEDING AREAS AND MAKE NECESSARY REPAIRS OR RESEEDING WITHIN THE PLANTING SEASON. IF POSSIBLE, A STAKE SHOULD BE MOVED FROM THE SEEDING AREA.
  - CONSULT STATE ENVIRONMENTAL ENGINEERS ON MAINTENANCE TREATMENT AND FERTILIZATION AFTER PERMANENT COVER IS ESTABLISHED.

- PROJECT NOTES**
- ALL EASEMENTS AND PIPES AND/OR STRUCTURES SHALL BE CLEARED, GRUBBED AND SEEDING.
  - EXISTING VEGETATION AND NATURAL AREAS SHALL BE PROTECTED TO THE GREATEST EXTENT POSSIBLE AND THAT MINIMAL CLEARING OF LAND SHALL BE PERMITTED TO THE GREATEST EXTENT POSSIBLE OUTSIDE OF THE LIMITS OF GRADING FOR PROPOSED RIGHT-OF-WAY.
  - ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH TOWN OF CHAPPEL HILL STANDARDS AND SPECIFICATIONS, LATEST EDITIONS.
  - CONTRACTOR SHALL VERIFY LOCATIONS, ELEVATIONS, AND SIZES OF EXISTING PUBLIC UTILITIES PRIOR TO ANY EXCAVATION, GRADING, OR INSTALLATION OF UNDERGROUND UTILITIES OR ON ADJACENT TO THE PROJECT.
  - NO CLEARING IN TREE SAVE AREAS OR ANY OTHER DESIGNATED AREAS.
  - IF TOWN APPROVAL BY ORANGE COUNTY IS A REQUIREMENT TO FILL OUT THE NOTICE OF INTENT (NOI) AT OCEAN.GOV/NOI TO OBTAIN A CERTIFICATE OF COVERAGE (COO) FOR THE NOTIFICATION PERMIT.
  - PER NOI000020 PERMIT, SILT-INSPECTORS ARE REQUIRED DURING NORMAL BUSINESS HOURS. SEE PART II SECTION 6 OF NOI000020 PERMIT FOR SILT-INSPECTOR REQUIREMENTS.

**SEEDING SCHEDULE**

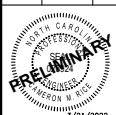
| DATE           | SEEDING RATE                            | PLANTING RATE                    |
|----------------|---|----------------------------------|
| APR 15 - MAY 1 | 2 TONS/ACRE (3 TONS/ACRE IN CLAY SOILS) | 300 LB/ACRE                      |
| MAY 1 - JUN 1  | 2 TONS/ACRE - SITE ANALYSIS             | 300 LB/ACRE - SMALL SHAW GRASS   |
| JUN 1 - AUG 1  | 2 TONS/ACRE - SMALL SHAW GRASS          | ASPHALT EMULSION AT 300 GAL/ACRE |

G:\31-0002-2786\31-0002-2786\Production\Drawings\2022\2786 SOIL & EROSION CONTROL PLAN.dwg, Mar 21, 2022 - 5:06:10pm Jpyal



**KB HOME CAROLINAS**  
4600 SOUTH MAIN BLVD, SUITE 100A  
DURHAM, NC 27703  
PHONE: 919.683.7960

HOMESTEAD ROAD, CHAPEL HILL, NC - ORANGE COUNTY  
**STANATT'S PLACE**  
CONDITIONAL ZONING PLANS  
KB HOME CAROLINAS  
SOIL & EROSION CONTROL PLAN



Date: 03/21/2022  
Scale: 1" = 40'  
Drawn By: JRR  
Checked By: CMR  
Project Number: 21-0002-978  
Sheet Number: 9 / 16



**TREE CANOPY COVERAGE CALCULATIONS**

NET CANOPY COVERAGE REQUIRED: 30%

NET LAND AREA: 8,163 AC

AREAS NOT COUNTING TOWARD TREE CANOPY CALCULATIONS:

- RECREATION AREAS: 0.328 AC
- EX. EASEMENTS (EXCLUDING PAVEMENT): 0.529 AC
- PROP. EASEMENTS (EXCLUDING PAVEMENT): 0.882 AC
- EXISTING POND: 0.084 AC
- RIGHT-OF-WAY: 1,456 AC

TOTAL LAND AREA NOT COUNTED: 3,229 AC

APPLICABLE LAND AREA: 4,934 AC X 30% = 1,480 AC

TREE CANOPY REQUIRED: 4,934 AC X 30% = 1,480 AC

EXISTING TREE CANOPY TO REMAIN: 1,106 AC

ADDITIONAL TREE CANOPY REQUIRED: 0.374 AC

REQUIRED REPLACEMENT TREES (1 PER 500 SF): 33 TREES = 0.379 AC

PROPOSED TREES IN WESTERN BUFFER: 14 TREES

PROPOSED STREET TREES: 28 TREES

OTHER SITE TREES: 9 TREES

TOTAL TREES: 51 TREES

**CODED NOTES**

- (A) 20'-FT PUBLIC DRAINAGE EASEMENT
- (B) 20'-FT PRIVATE DRAINAGE EASEMENT
- (C) PUBLIC SIDEWALK EASEMENT
- (D) 30'-FT OWASA SANITARY SEWER EASEMENT
- (E) 20'-FT OREWAY EASEMENT
- (F) WOODEN FENCE ON TOP OF WALL
- (G) RETAINING WALL WITH FENCE

**PLANTING SCHEDULE**

| TYPE                      | SYMBOL | QUANTITY | BOTANICAL NAME                  | COMMON NAME     | CALIBER | HEIGHT | SPREAD | ROOTS | OTHER          |
|---------------------------|--------|----------|---------------------------------|-----------------|---------|--------|--------|-------|----------------|
| SHADE DECIDUOUS TREE      | DA     | 12       | QUERCUS ALBA                    | WHITE OAK       | 2-1/2"  | 12-14' | 8'     | BAW   | MATCHED        |
|                           | DN     | 13       | QUERCUS NUTTALLII               | NUTTALL OAK     | 2-1/2"  | 12-14' | 8'     | BAW   | MATCHED        |
|                           | UP     | 18       | ULMUS PARVIFOLIUS FLAKEI 'B'    | ALICE OLM       | 2-1/2"  | 12-14' | 8'     | BAW   | MATCHED        |
| CANOPY EVERGREEN TREE     | PT     | 8        | PRUNUS TAXUS                    | LOBLOLLY PINE   | 2-1/2"  | 12-14' | 8'     | BAW   | FALL TO GROUND |
|                           | CC     | 11       | CEDRUS ZARAFENSIS               | EASTERN REDWOOD | 2"      | 8'     | 6'     | BAW   | MULTI-STEM     |
| UNDERSTORY DECIDUOUS TREE | CC     | 11       | CORNUS FLORIDA                  | FLORIDA DOGWOOD | 2"      | 6'     | 6'     | BAW   | MULTI-STEM     |
|                           | CV     | 12       | CORNUS VIRGINICA                | FRINGE TREE     | 2"      | 6'     | 6'     | BAW   | MULTI-STEM     |
|                           | IC     | 21       | ILEX CORNUTA 'CARSE'            | CARLEA HOLLY    | NA      | 35'    | 30'    | COCK  | FALL TO GROUND |
| EVERGREEN SHRUBS          | PL     | 34       | PRUNUS LAUROCERASUS 'OTTO LYNN' | OTTO LYNN       | NA      | 35'    | 30'    | COCK  | FALL TO GROUND |
|                           |        |          |                                 |                 |         |        |        |       |                |

**WESTERN BUFFER**

EX. ADJACENT USE: SINGLE FAMILY TOWNHOMES  
 EX. ADJACENT USE ZONING: R-4-CDD  
 EX. ADJACENT USE GROUP: A

PROP. PRINCIPAL USE: SINGLE FAMILY TOWNHOMES  
 PROP. PRINCIPAL ZONING: R-5-CDD  
 PROP. USE GROUP: A

BUFFER LENGTH = 813 LF  
 LESS 33 LF OF SNOW EASEMENTS  
 APPLICABLE LENGTH = 780 LF

TABLE 5.6.6-1 TITLED "SCHEDULE OF REQUIRED BUFFERS" DOES NOT REQUIRE A BUFFER WHEN THE ADJACENT EXISTING PRINCIPAL USE IS DWELLINGS, SINGLE FAMILY AND THE PROPOSED PRINCIPAL USE IS MAJOR SUBDIVISION CREATING LOTS FOR SINGLE FAMILY DWELLINGS.

EXISTING 10'-FT TYPE 'B' BUFFER LOCATED ON ADJACENT LAND USE.

ACCORDING TO LUMO SECTION 5.6.5(4) STATES "WHERE A BUFFER MEETING THE REQUIREMENTS OF THIS SECTION IS PROVIDED ON AN ADJACENT ZONING LOT, THE SCREENING AND/OR LAND WITHIN THAT BUFFER MAY BE COUNTED AS CONTRIBUTING TO THE TOTAL BUFFER REQUIRED BETWEEN THE ADJACENT EXISTING LAND USE AND THE PROPOSED LAND USE."

PRINCIPAL USE PROPOSES AN ADDITIONAL 10'-FT WIDE PLANTING AREA INCLUDING THE PLANTS BELOW PER 100 LINEAR FEET:

- 1 - 5 GAL EVERGREEN TREE
- 1 - 5 GAL DECIDUOUS TREE
- 4 - 3 GAL UNDERSTORY TREE
- 6 - 2 GAL EVERGREEN SHRUBS

**EASTERN BUFFER - MODIFIED**

EX. ADJACENT USE: PUBLIC USE FACILITY  
 EX. ADJACENT USE ZONING: R-2  
 EX. ADJACENT USE GROUP: B

PROP. PRINCIPAL USE: SINGLE FAMILY TOWNHOMES  
 PROP. PRINCIPAL ZONING: R-5-CDD  
 PROP. USE GROUP: A

TABLE 5.6.6-1 TITLED "SCHEDULE OF REQUIRED BUFFERS" REQUIRES A TYPE 'C' BUFFER WHEN THE ADJACENT EXISTING PRINCIPAL USE IS "ANY USE IN USE GROUP 'B' AND THE PROPOSED PRINCIPAL USE IS MAJOR SUBDIVISION CREATING LOTS FOR SINGLE FAMILY DWELLINGS."

LUMO SECTION 5.6.5(4) STATES "WHERE A BUFFER MEETING THE REQUIREMENTS OF THIS SECTION IS PROVIDED ON AN ADJACENT ZONING LOT, THE SCREENING AND/OR LAND WITHIN THAT BUFFER MAY BE COUNTED AS CONTRIBUTING TO THE TOTAL BUFFER REQUIRED BETWEEN THE ADJACENT EXISTING LAND USE AND THE PROPOSED LAND USE."

ACCORDING TO LUMO SECTION 5.6.5(4) STATES "WHERE A BUFFER MEETING THE REQUIREMENTS OF THIS SECTION IS PROVIDED ON AN ADJACENT ZONING LOT, THE SCREENING AND/OR LAND WITHIN THAT BUFFER MAY BE COUNTED AS CONTRIBUTING TO THE TOTAL BUFFER REQUIRED BETWEEN THE ADJACENT EXISTING LAND USE AND THE PROPOSED LAND USE."

**SOUTHERN BUFFER - MODIFIED**

EX. ADJACENT USE: SINGLE FAMILY & VACANT  
 EX. ADJACENT USE ZONING: R-2  
 EX. ADJACENT USE GROUP: A

PROP. PRINCIPAL USE: SINGLE FAMILY TOWNHOMES  
 PROP. PRINCIPAL ZONING: R-5-CDD  
 PROP. USE GROUP: A

TABLE 5.6.6-1 TITLED "SCHEDULE OF REQUIRED BUFFERS" DOES NOT REQUIRE A BUFFER WHEN THE ADJACENT EXISTING PRINCIPAL USE IS DWELLINGS, SINGLE FAMILY AND THE PROPOSED PRINCIPAL USE IS MAJOR SUBDIVISION CREATING LOTS FOR SINGLE FAMILY DWELLINGS.

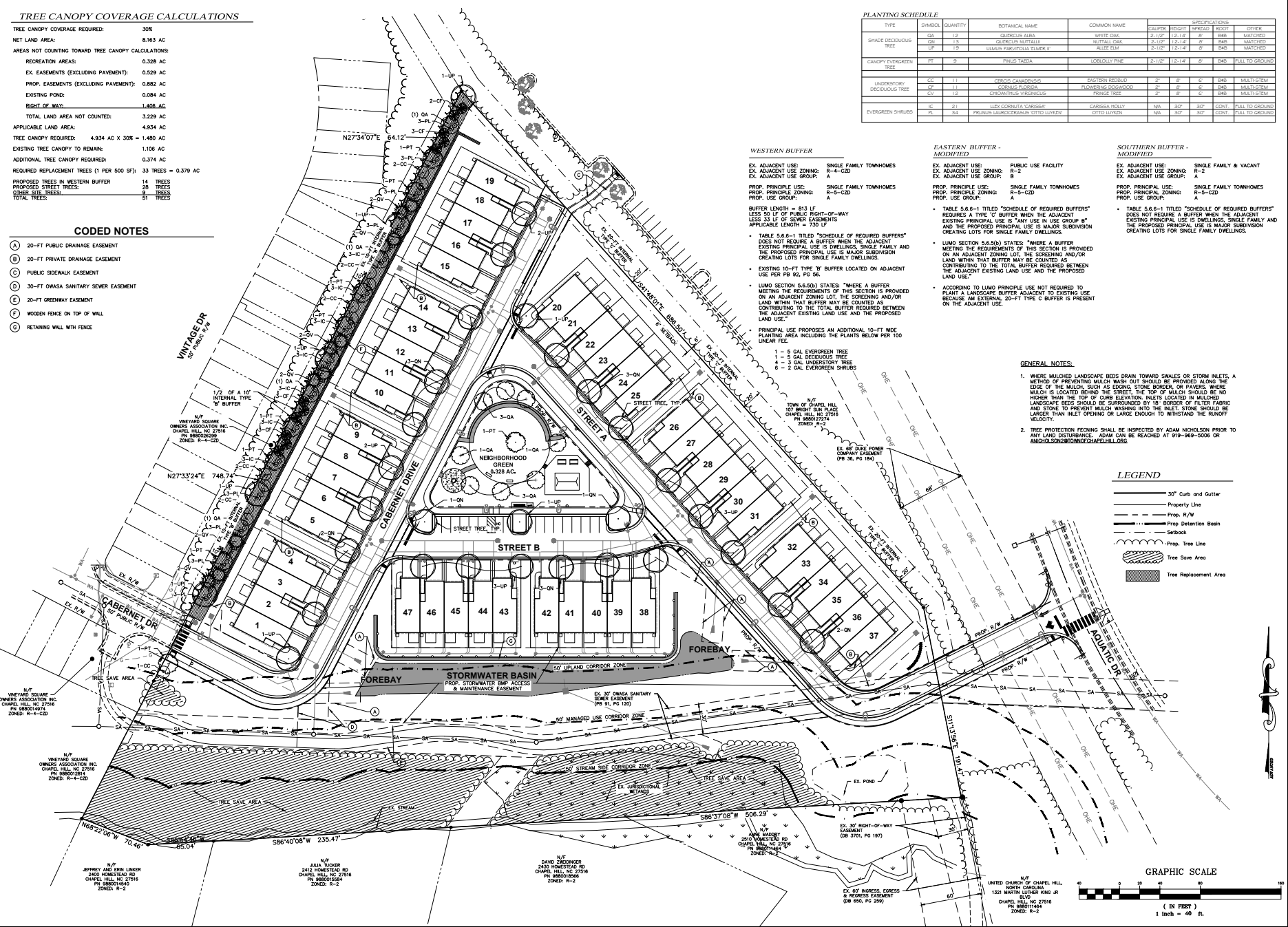
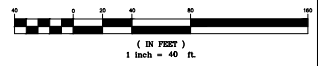
**GENERAL NOTES:**

- WHERE MULCHED LANDSCAPE BEDS DRAIN TOWARD SWALES OR STORM INLETS, A METHOD OF PREVENTING MULCH WASH OUT SHOULD BE PROVIDED ALONG THE EDGE OF THE MULCH. SUCH METHODS INCLUDE STONE BORDERS, OR FIELDS. WHERE MULCH IS LOCATED BEHIND THE STREET, THE TOP OF MULCH SHOULD BE NO HIGHER THAN THE TOP OF CURB ELEVATION. MULCH SHOULD BE MULCHED LANDSCAPE BEDS SHOULD BE SURROUNDED BY 18" BORDER OF FILTER FABRIC AND STONE TO PREVENT MULCH WASHING INTO THE INLET. STONE SHOULD BE LARGER THAN INLET OPENING OR LARGE ENOUGH TO WITHSTAND THE ROOFTOP VENTILATION.
- TREE PROTECTION FENCING SHALL BE INSPECTED BY ADAM NICHOLSON PRIOR TO ANY LAND DISTURBANCE. ADAM CAN BE REACHED AT 919-969-5006 OR AMNICH@SCHWABERWORKS.COM/PLANS.ORG

**LEGEND**

- 30" Curb and Gutter
- Property Line
- Prop. R/W
- Prop. Detention Basin
- Setback
- Prop. Tree Line
- Tree Save Area
- Tree Replacement Area

**GRAPHIC SCALE**



**KB HOME CAROLINAS**  
 4600 SOUTH MIAMI BLVD, SUITE 100A  
 DURHAM, NC 27703  
 PHONE: 919.683.9760

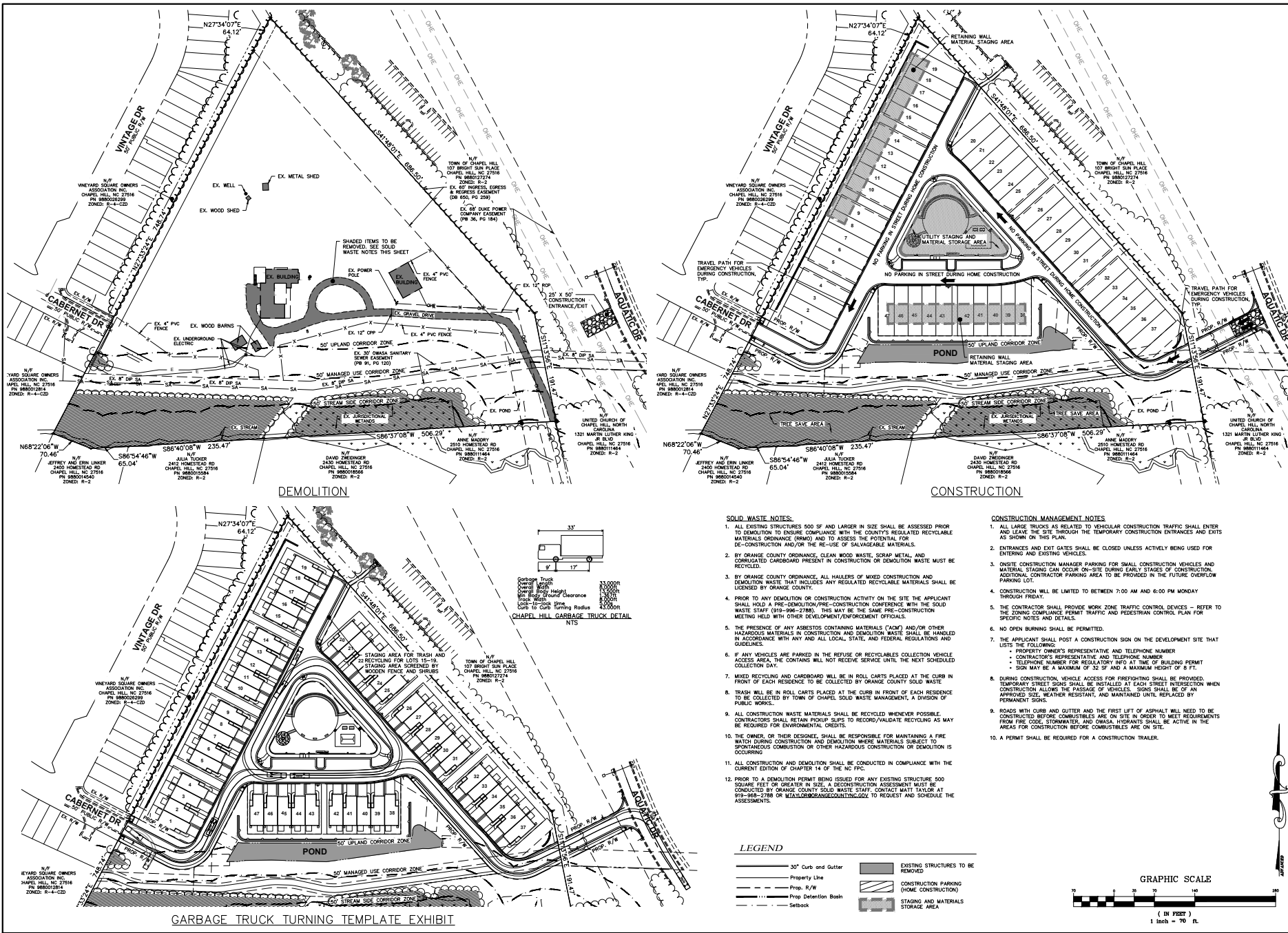
HOMESTEAD ROAD, CHAPEL HILL, NC - ORANGE COUNTY  
**STANNATT'S PLACE**  
 CONDONAL ZONING PLANS  
 KB HOME CAROLINAS  
 PLANTING PLAN



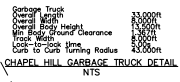
Date: 03/21/2022  
 Scale: 1" = 40'  
 Drawn By: JRR  
 Checked By: CMR  
 Project Number: 21-0002-978  
 Sheet Number: 11/16

G:\31-0002-978\NC\31\Production Drawings\DEVELOPMENT PLAN\CONDITIONAL ZONING PLANS\0002-978 PLANTING PLAN.dwg PLANTING PLAN Mar 21, 2022 - 5:06:33am 17.dwg

G:\31-0002-978\Production Drawings\Development Plans\Conditional Zoning Management Plan\DWG CONSTRUCTION MANAGEMENT PLAN.dwg CONSTRUCTION MANAGEMENT PLAN Mar 21, 2022 - 5:06:43pm Jrym

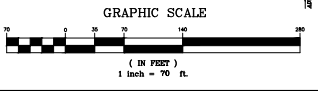
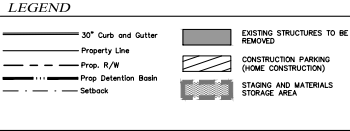


GARBAGE TRUCK TURNING TEMPLATE EXHIBIT



- SOLID WASTE NOTES:**
1. ALL EXISTING STRUCTURES 500 SF AND LARGER IN SIZE SHALL BE ASSESSED PRIOR TO DEMOLITION TO ENSURE COMPLIANCE WITH THE COUNTY'S REGULATED RECYCLABLE MATERIALS ORDINANCE (RMO) AND TO ASSESS THE POTENTIAL FOR SO-CONSTRUCTION AND/OR THE RE-USE OF SALVAGEABLE MATERIALS.
  2. BY ORANGE COUNTY ORDINANCE, CLEAN WOOD WASTE, SCRAP METAL, AND CORRUGATED CARDBOARD PRESENT IN CONSTRUCTION OR DEMOLITION WASTE MUST BE RECYCLED.
  3. BY ORANGE COUNTY ORDINANCE, ALL HAULERS OF MIXED CONSTRUCTION AND DEMOLITION WASTE THAT INCLUDES ANY REGULATED RECYCLABLE MATERIALS SHALL BE LICENSED BY ORANGE COUNTY.
  4. PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE THE APPLICANT SHALL HOLD A PRE-DEMOLITION/PRE-CONSTRUCTION CONFERENCE WITH THE SOLID WASTE STAFF (919-866-2788). THIS MAY BE THE SAME PRE-CONSTRUCTION MEETING HELD WITH OTHER DEVELOPMENT/ENFORCEMENT OFFICIALS.
  5. THE PRESENCE OF ANY ASBESTOS CONTAINING MATERIALS (ACM) AND/OR OTHER HAZARDOUS MATERIALS IN CONSTRUCTION AND DEMOLITION WASTE SHALL BE HANDLED IN ACCORDANCE WITH ANY AND ALL LOCAL, STATE, AND FEDERAL REGULATIONS AND GUIDELINES.
  6. IF ANY VEHICLES ARE PARKED IN THE REFUSE OR RECYCLABLES COLLECTION VEHICLE ACCESS AREA, THE CONTAINS WILL NOT RECEIVE SERVICE UNTIL THE NEXT SCHEDULED COLLECTION DAY.
  7. MIXED RECYCLING AND CARDBOARD WILL BE IN ROLL CARTS PLACED AT THE CURB IN FRONT OF EACH RESIDENCE TO BE COLLECTED BY ORANGE COUNTY SOLID WASTE.
  8. TRASH WILL BE IN ROLL CARTS PLACED AT THE CURB IN FRONT OF EACH RESIDENCE TO BE COLLECTED BY TOWN OF CHAPEL HILL SOLID WASTE MANAGEMENT, A DIVISION OF PUBLIC WORKS.
  9. ALL CONSTRUCTION WASTE MATERIALS SHALL BE RECYCLED WHENEVER POSSIBLE. CONTRACTORS SHALL RETAIN PRODUCE SLIPS TO RECORD/VALIDATE RECYCLING AS MAY BE REQUIRED FOR ENVIRONMENTAL CREDITS.
  10. THE OWNER, OR THEIR DESIGNER, SHALL BE RESPONSIBLE FOR MAINTAINING A FIRE WATCH DURING CONSTRUCTION AND DEMOLITION WHERE MATERIALS SUBJECT TO SPONTANEOUS COMBUSTION OR OTHER HAZARDOUS CONSTRUCTION OR DEMOLITION IS OCCURRING.
  11. ALL CONSTRUCTION AND DEMOLITION SHALL BE CONDUCTED IN COMPLIANCE WITH THE CURRENT EDITION OF CHAPTER 14 OF THE NC FPC.
  12. PRIOR TO A DEMOLITION PERMIT BEING ISSUED FOR ANY EXISTING STRUCTURE 500 SQUARE FEET OR GREATER IN SIZE, A RECONSTRUCTION ASSESSMENT MUST BE CONDUCTED BY ORANGE COUNTY SOLID WASTE STAFF. CONTACT MATT TAYLOR AT 919-866-2758 OR [MATTD@ORANGECOUNTYNC.GOV](mailto:MATTD@ORANGECOUNTYNC.GOV) TO REQUEST AND SCHEDULE THE ASSESSMENTS.

- CONSTRUCTION MANAGEMENT NOTES:**
1. ALL LARGE TRUCKS AS RELATED TO VEHICULAR CONSTRUCTION TRAFFIC SHALL ENTER AND LEAVE THE SITE THROUGH THE TEMPORARY CONSTRUCTION ENTRANCES AND EXITS AS SHOWN ON THIS PLAN.
  2. ENTRANCES AND EXIT GATES SHALL BE CLOSED UNLESS ACTIVELY BEING USED FOR ENTERING AND EXISTING VEHICLES.
  3. ON-SITE CONSTRUCTION MANAGER PARKING FOR SOLID WASTE COLLECTION VEHICLES AND MATERIAL STAGING CAN OCCUR ON-SITE DURING EARLY STAGES OF CONSTRUCTION. ADDITIONAL CONTRACTOR PARKING AREA TO BE PROVIDED IN THE FUTURE OVERFLOW PARKING LOT.
  4. CONSTRUCTION WILL BE LIMITED TO BETWEEN 7:00 AM AND 6:00 PM MONDAY THROUGH FRIDAY.
  5. THE CONTRACTOR SHALL PROVIDE WORK ZONE TRAFFIC CONTROL DEVICES - REFER TO THE ZONING COMPLIANCE PERMIT TRAFFIC AND PEDESTRIAN CONTROL PLAN FOR SPECIFIC NOTES AND DETAILS.
  6. NO OPEN BURNING SHALL BE PERMITTED.
  7. THE APPLICANT SHALL POST A CONSTRUCTION SIGN ON THE DEVELOPMENT SITE THAT LISTS THE FOLLOWING:
    - PROPERTY OWNER'S REPRESENTATIVE AND TELEPHONE NUMBER
    - CONTRACTOR'S REPRESENTATIVE AND TELEPHONE NUMBER
    - TELEPHONE NUMBER FOR REGULATOR (IN 1/2) OF BUILDING PERMIT SIGN MAY BE A MAXIMUM OF 32 SF AND A MAXIMUM HEIGHT OF 8 FT.
  8. DURING CONSTRUCTION, VEHICLE ACCESS FOR FRESHWATER SHALL BE PROVIDED. TEMPORARY STREET SIGNS SHALL BE INSTALLED AT EACH STREET INTERSECTION WHEN CONSTRUCTION ALLOWS THE PASSAGE OF VEHICLES. SIGNS SHALL BE OF AN APPROVED SIZE, WEATHER RESISTANT, AND MAINTAINED UNTIL REPLACED BY PERMANENT SIGNS.
  9. ROADS WITH CURB AND GUTTER AND THE FIRST LIFT OF ASPHALT WILL NEED TO BE CONSTRUCTED BEFORE COMBUSTIBLES ARE ON SITE IN ORDER TO MEET REQUIREMENTS FROM FIRE CODE, STORMWATER, AND OTHER HYDRAULICS SHALL BE ACTIVE IN THE AREAS FOR CONSTRUCTION BEFORE COMBUSTIBLES ARE ON SITE.
  10. A PERMIT SHALL BE REQUIRED FOR A CONSTRUCTION TRAILER.



PLAN PREPARED BY: ADVANCED CIVIL DESIGN, L.L.C.

KB HOME CAROLINAS  
4609 SOUTH MIAMI BLVD., SUITE 100A  
DURHAM, NC 27703  
PHONE: 919.768.7960

PLAN PREPARED FOR: STANATT'S PLACE  
RETAINING WALL MATERIAL STAGING AREA  
CONSTRUCTION MANAGEMENT PLAN

HOMESTEAD ROAD, CHAPEL HILL, NC - ORANGE COUNTY

DATE: 03/21/2022

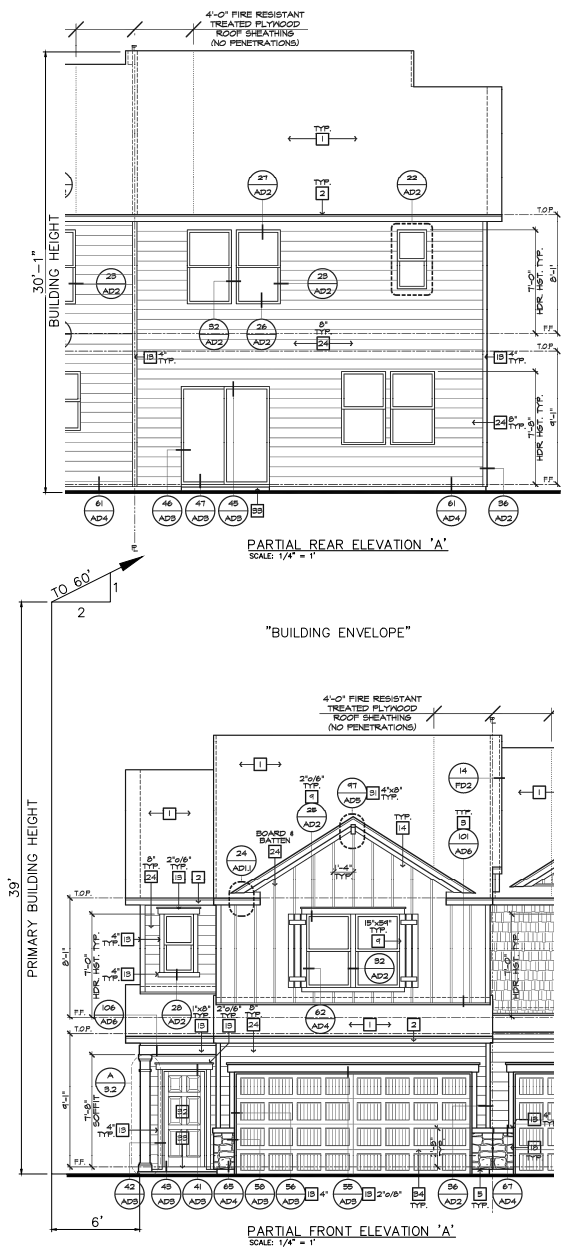
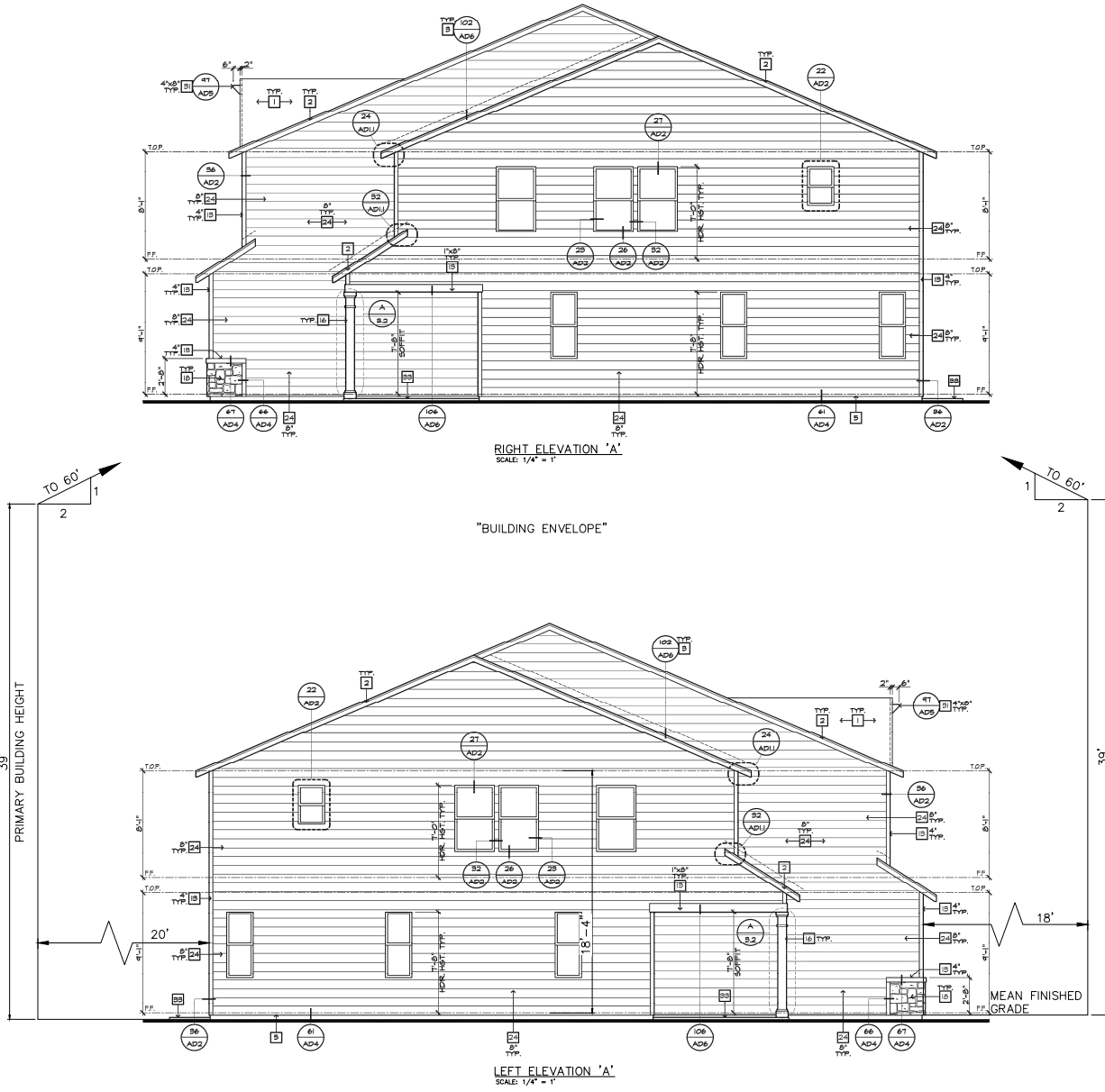
DRAWN BY: JRR


CHECKED BY: CMR

PROJECT NUMBER: 21-0002-978

SHEET NUMBER: 12/16

C:\31-0002-978\CD\Production Drawings\DEVELOPMENT PLAN\CONDITIONAL ZONING PLANS\0002-978 BUILDING ELEVATION EXHIBIT.dwg BUILDING ELEVATION EXHIBIT Mar 21, 2022 - 5:06:53pm Jpyl



PLAN PREPARED BY:  
  
**ADVANCED CIVIL DESIGN**  
 41 Wilmore Drive, Suite 102  
 Cary, North Carolina 27513  
 Tel: 919.336.9377  
 Fax: 919.336.9377

PLAN PREPARED FOR:  
**KB HOME CAROLINAS**  
 4608 SOUTH WALK BLVD, SUITE 100A  
 DURHAM, NC 27703  
 PHONE: 919.683.7800

HOMESTEAD ROAD, CHAPEL HILL, NC - ORANGE COUNTY  
**STANATT'S PLACE**  
 CONDITIONAL ZONING PLANS  
**KB HOME CAROLINAS**  
 BUILDING ELEVATION EXHIBIT

DATE: 03/21/2022  
 SCALE: 1/4" = 1'

Drawn By: JRR  
 Checked By: CMR

Project Number:  
**21-0002-978**

Sheet Number:  
**13 / 16**

3/21/2022

PRELIMINARY



G:\31-0002-2786\CD\Production Drawings\DEVELOPMENT PLAN\CONDITIONAL ZONING PLANS\0002-978 BUILDING FLOOR PLAN.dwg BUILDING FLOOR PLAN Mar 21, 2022 - 4:07:22pm Ryan



**INTERIOR KEY**

**SQUARE FOOTAGE**

|                     |             |                |
|---------------------|-------------|----------------|
| <b>PLAN 2241913</b> |             |                |
| FIRST FLOOR AREA    | 833         | 86 SQ. FT.     |
| SECOND FLOOR AREA   | 1111        | 80 SQ. FT.     |
| <b>TOTAL AREA</b>   | <b>1913</b> | <b>SQ. FT.</b> |

**GENERAL PLAN NOTES**

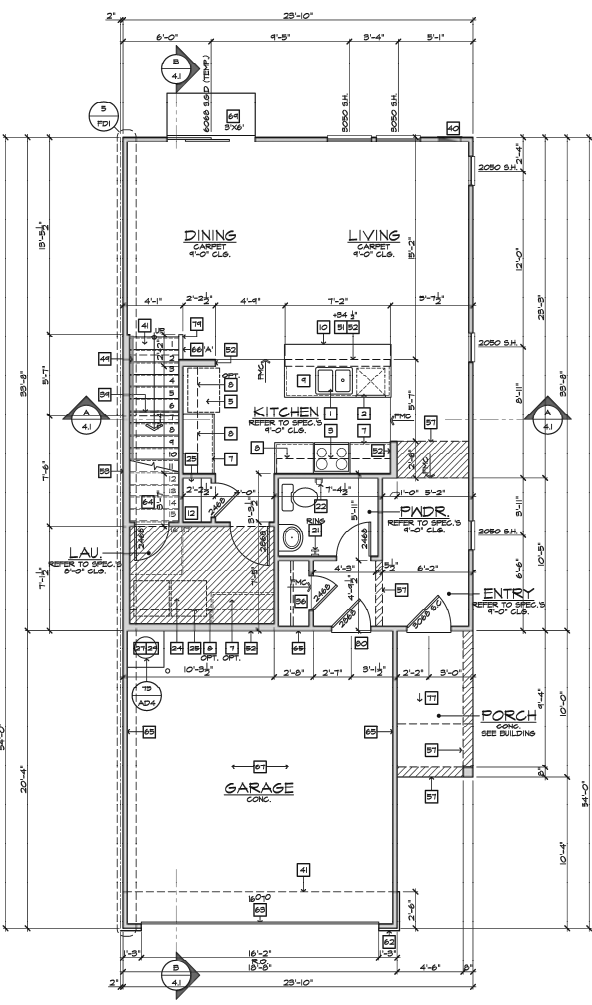
ALL CEILING HEIGHTS PER SECTION AND ELEVATION PLATE HEIGHTS UNO.  
 ALL INTERIOR DOORS TO BE HOLLOW CORE 1 5/8" THICK, UNO. (REFER TO PLAN FOR SIZE).  
 ALL EXTERIOR SERVICE DOORS TO BE HOLLOW CORE EXTERIOR GRADE (REFER TO PLAN FOR SIZE).  
 ALL HOUSE TO GARAGE DOORS TO BE 20-MINUTE FIRE-RATED (REFER TO PLAN FOR SIZE).  
 ALL ENTRY DOORS AND EXTERIOR FREIGHT DOORS TO BE SOLID CORE 1 3/4" THICK (REFER TO PLAN FOR SIZE).  
 ALL FLOOR MATERIAL CHANGES TO OCCUR AT CENTER OF DOOR JAMBES, UNO.

**PLATE NOTES**

- 0'-1" PLATE NOTES**
- WINDRA HEADER HEIGHT: 6'-0" UNO.
  - 2ND FLOOR WINDOW FOR HEIGHT: 7'-0" UNO.
  - ENTRY DOOR HEIGHT: 6'-8" UNO.
  - SLIDING GLASS DOOR HEIGHT: 6'-0" (TEMP).
  - INTERIOR DOOR HEIGHT: 6'-8" UNO.
- 0'-1 1/2" PLATE NOTES**
- WINDRA HEADER HEIGHT: 7'-0" UNO.
  - ADD WINDOW OVER TUB FOR HST: 8'-4" UNO.
  - SLIDING GLASS DOOR HEIGHT: 6'-0" (TEMP).
  - SLIDING GLASS DOOR HEIGHT: 6'-0" (TEMP).
  - TRAY CEILING: 7'-0" DROP UNO.
  - INTERIOR DOOR HEIGHT: 6'-8" UNO.

**STAIR DATA NOTES**

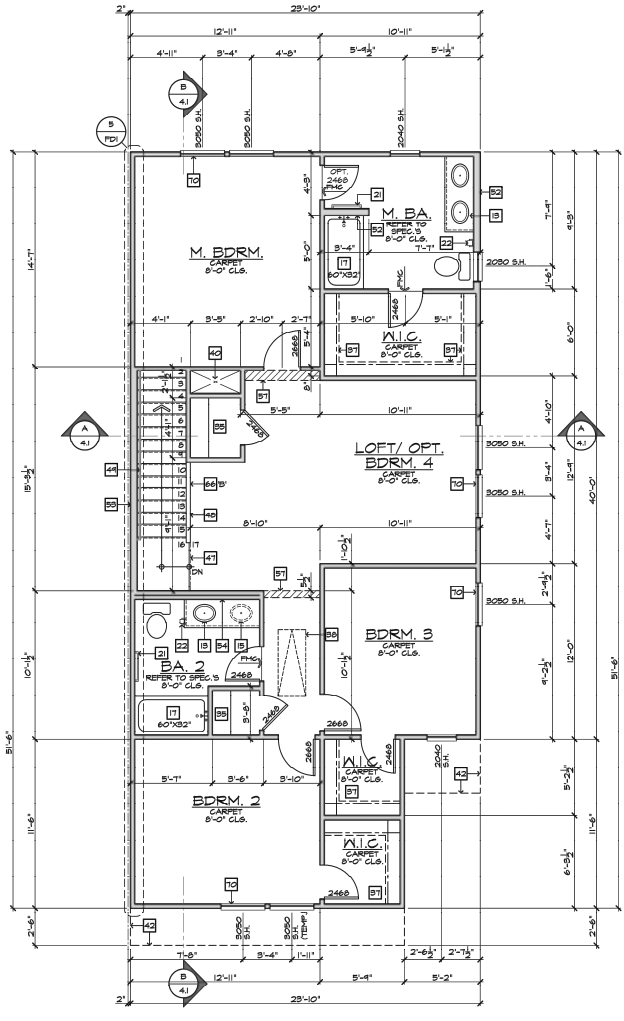
- FIRST FLOOR WITH 6" PLATE HEIGHT:**
- 14 DEGS +/- FLOOR JOISTS WITH 5/4" T&G DECKING.
  - 14 TREADS AT 10" EACH.
  - 18 RISERS AT 7-1/4" EACH.
- FIRST FLOOR WITH 8" PLATE HEIGHT:**
- 14 DEGS +/- FLOOR JOISTS WITH 5/4" T&G DECKING.
  - 15 TREADS AT 10" EACH.
  - 18 RISERS AT 7-1/4" EACH.



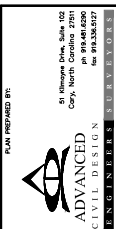
**FIRST FLOOR PLAN - 1913**  
 SCALE 1/4"=1'-0" (22'x36'4") - 1/8"=1'-0" (11'x17')

**FLOOR PLAN NOTES**

- NOTE: NOT ALL KEY NOTES APPLY.**
- SINK - GARBAGE DISPOSAL, OPTIONAL - VERIFY DIMENSIONS WITH MANUFACTURER'S SPECS
  - DISHWASHER - PROVIDE AIR GAP - VERIFY SPACING & DIMENSIONS PER MANUFACTURER'S SPECS
  - SLIDE-IN RANGE/OVEN COMBINATION W/ BUILT-IN VENTED HOOD W/ LIGHT & FAN, OR MICROHOOD COMBO - SEE SPECS
  - 80" COORTOP W/ BUILT-IN VENTED HOOD W/ LIGHT & FAN - VERIFY WITH MANUFACTURER'S SPECS
  - 3/4" CLEAR REFRIGERATOR SPACE W/ OPTIONAL CABINETS ABOVE - OPT. PLUMBING FOR GERAHER (RECESS IN WALL) COMBINATION DOUBLE OVEN OR OVEN/MICROWAVE OVEN OR LOWER VERIFY DIMENSIONS WITH MANUFACTURER'S SPECS
  - BASE CABINETS - REFER TO INTERIOR ELEVATIONS
  - UPPER CABINETS - REFER TO INTERIOR ELEVATIONS
  - ISLAND CABINET - REFER TO INTERIOR ELEVATIONS
  - MIN. 12" BAR TOP/BREAKFAST BAR
  - DESK AREA - REFER TO INTERIOR ELEVATIONS
  - BUILT-IN PANTRY (IF DEEP OR UNO.)
  - SINK CABINET(S) - REFER TO INTERIOR ELEVATIONS
  - SINK CABINET W/ EXTENDED VANITY & KNEE SPACE BELOW - REFER TO INTERIOR ELEVATIONS
  - OPT. SINK - REFER TO INTERIOR ELEVATIONS
  - KNEE SPACE - REFER TO INTERIOR ELEVATIONS
  - PRE-FAB. TUB/SHOWER COMBO W/ FIBERGLASS MAINSCOT TO 72" - VERIFY DIMENSIONS W/ MANUF'S SPECS
  - BASE CABINETS - REFER TO INTERIOR ELEVATIONS
  - PRE-FAB. SHOWER PAN W/ 30" MIN. CLR. INSIDE & MAINSCOT TO 72" - VERIFY DIMENSIONS W/ MANUF'S SPECS
  - SHATTERPROOF (TEMPERED) GLASS SHOWER ENCLOSURE.
  - TOWEL BAR - PROVIDE 2x SOLID BLK'S IN WALL
  - TOILET PAPER HOLDER - PROVIDE 2x SOLID BLK'S IN WALL
  - RESERVED
  - 12" SHELF PER SPECS
  - OPT. LAUNDRY SINK - REFER TO INTERIOR ELEV'S
  - WATER HEATER LOCATION - FOR GAS - LOCATE ON 18" HIGH PLATFORM - FOR INTERIOR ELEVATIONS - PROVIDE PAN & DRAIN. (REFER TO 'B'AD4)
  - RESERVED
  - MAIN LINE SHUT-OFF VALVE AND TEMP. & PRESSURE RELIEF VALVE
  - FAUL LOCATION (REFER TO DETAIL 'B'AD5)
  - ROUTE OF VENT TO OUTSIDE AIR
  - LISTED FACTORY-BUILT GAS FINED SEC. APPLIANCE (REF. 'B'AD4) - INSTALL PER MFR. SPEC.
  - HEARTH TO BE INSTALLED PER FACTORY-BUILT FINELINE LISTING
  - GAS APPLIANCE B' VENT FROM BELOW
  - LINEN PER SPECS (15" DEEP OR UNO.)
  - COAT CLOSET W/ SHELF & POLE (REFER TO DETAIL 'B'AD4)
  - HARDWARE W/ SHELF & POLE (REFER TO DETAIL 'B'AD4)
  - 22"x30" MIN. ATTIC ACCESS
  - 22"x30" MIN. ATTIC ACCESS
  - 22"x30" MIN. ATTIC ACCESS
  - LINE OF MALL BELOW
  - DUST CHASE
  - LINE OF FLOOR ABOVE
  - LINE OF FLOOR BELOW
  - LINE OF OPTIONAL TRAY CEILING (REFER TO DETAIL 'A2'AD3)
  - LINE OF HIF AT OPTIONAL VOLUME CEILING
  - LINE OF RIDGE AT OPTIONAL VOLUME CEILING
  - CEILING BREAK
  - STAIR TREADS & RISERS - MIN. 10" TREAD & MAX. 7 5/8" RISER - REFER TO DETAIL 'B'AD5/AD6
  - MIN. 36" HIGH GUARDRAIL (REFER TO DET. 'B'AD5 & 'B'AD6)
  - 54" TO 56" HIGH HANDRAIL (REFER TO DETAIL 'B'AD5)
  - AVG PAD LOCATION
  - LOW MALL - REFER TO PLAN FOR HEIGHT
  - 2x6 STUD MALL
  - 2x6 BALLGON FRAMED WALL PER STRUCTURAL
  - DBL. 2x4 MALL PER PLAN
  - INTERIOR SHELF-SEE PLAN FOR HT.
  - MEDIA NICHE
  - FLAT SOFFIT - SEE ELEV. FOR HST.
  - ARCHED SOFFIT - SEE ELEV. FOR HST.
  - WINDOW SEAT
  - OPT. DOOR/ WINDOW
  - PRE-MANUFACTURED DECORATIVE COLUMN (SIZE SEE ELEV.) P/YN OR 55x SURROUNDING STRUCTURAL POST.
  - BRICK / STONE VENEER - REFER TO ELEVATIONS
  - VENEER TO COMPLY WITH IBC-AG-4.
  - SECTIONAL GARAGE DOOR PER SPECS
  - MIN. 1/2" GYP. BD. ON CEILING & WALLS @ USABLE SPACE UNDER STAIR.
  - GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY 105 LBS. (MAX 1/2" GYP. BD.) @ GARAGE SIDE WALLS & 5/8" UNDER LIVING AREA UNO.
  - OPT. MIN. 36" HIGH GUARDRAIL (REFER TO DETAIL 'B'AD5)
  - 5/8" TYPE-X GYP. IN GARAGE BETWEEN CEILING & FLOOR ABV.
  - P.T. POST W/ WRAP
  - CONCRETE PAD PER PLAN
  - SLOPE 1/4" PER FT. MIN.
  - EXPOSED DIMENSION
  - PROVIDE ADDITIONAL RISERS AT OPTIONAL PLATE HT.
  - HDP TOP
  - PLUMBING DROP FROM ABOVE
  - ADJUST OPENING AT OPTION TO FIT THE DOOR SIZE SHOWN
  - WINDOW LEDGE HEIGHT & WIDTH OF OPENING TO EXTEND 6"
  - ADJUST PROFILES ON ALL 1/2" UNO.
  - SITE-BUILT COLUMN - SEE ELEVATION FOR TYPE
  - CONCRETE SLAB. SLOPE 1/4" PER FT. MIN. SEE PLAN FOR SIZE
  - RESERVED
  - SLOPING LOW MALL 36" ABOVE ADJACENT TREADS
  - 20' MIN. FIRE-RATED DOOR



**SECOND FLOOR PLAN - 1913**  
 SCALE 1/4"=1'-0" (22'x36'4") - 1/8"=1'-0" (11'x17')



**KB HOME CAROLINAS**  
 4608 SOUTH WAM BLVD, SUITE 100A  
 DURHAM, NC 27703  
 PHONE: 919.788.7960

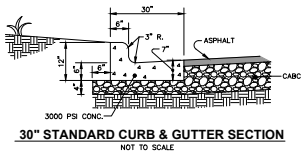
**STANATT'S PLACE**  
 CONDITIONAL ZONING PLANS  
 KB HOME CAROLINAS  
 BUILDING FLOOR PLAN



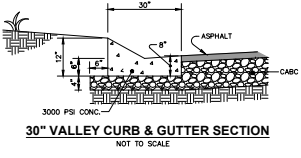
Date: 03/21/2022  
 Scale: 1/4" = 1'  
 Drawn By: JRR  
 Checked By: CMR

Project Number:  
**21-0002-978**  
 Sheet Number:  
**15 / 16**

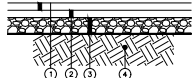




**30" STANDARD CURB & GUTTER SECTION**  
NOT TO SCALE

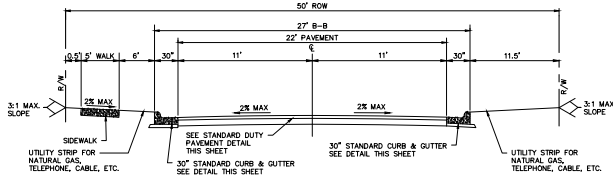


**30" VALLEY CURB & GUTTER SECTION**  
NOT TO SCALE

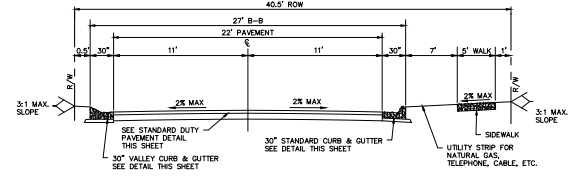


- ① SURFACE COURSE, 1" ASPHALT PAVEMENT
- ② BASE COURSE, 2" ASPHALT PAVEMENT
- ③ 8" COMPACTED AGGREGATE BASE COURSE
- ④ SUBGRADE COMPACTION

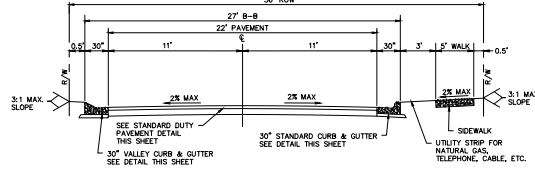
**STANDARD DUTY PAVEMENT SECTION**  
NOT TO SCALE



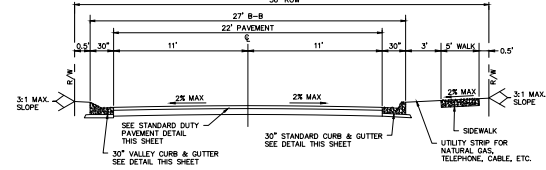
**CABERNET DRIVE - 27' B/B SECTION (50' R/W)**  
NOT TO SCALE



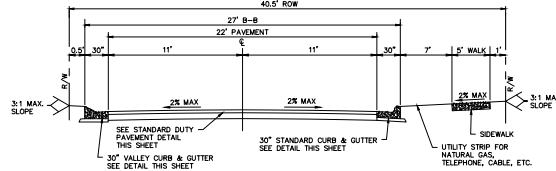
**STREET A - 27' B/B SECTION (40.5' R/W)**  
NOT TO SCALE



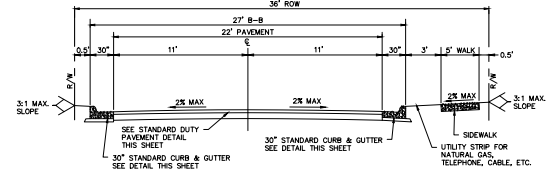
**CABERNET DRIVE - 27' B/B SECTION (36' R/W)**  
NOT TO SCALE



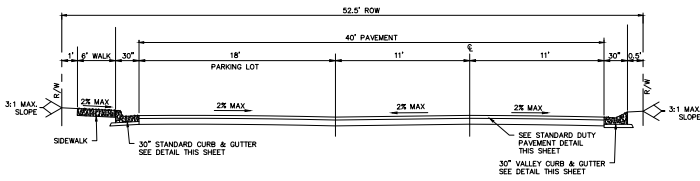
**STREET A - 27' B/B SECTION (36' R/W)**  
NOT TO SCALE



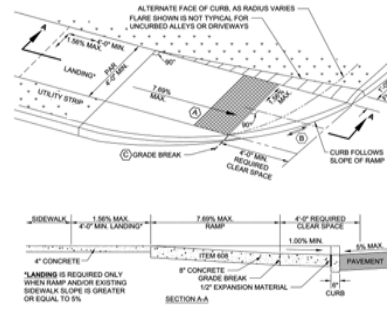
**CABERNET DRIVE - 27' B/B SECTION (40.5' R/W)**  
NOT TO SCALE



**STREET A - 27' B/B SECTION (36' R/W)**  
NOT TO SCALE

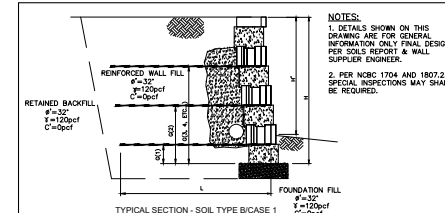


**STREET B - 45' B/B SECTION (52.5' R/W)**  
NOT TO SCALE



- CODED NOTES:**
- (A) DETECTABLE WARNING DOMES SHOULD BE 100% MINIMUM SLOPE
  - (B) PROVIDE POSITIVE DRAINAGE ALONG CURBLINE.
  - (C) WHERE THE DISTANCE FROM EITHER END OF THE BOTTOM OF THE GRADE BREAK TO THE BACK OF CURB IS GREATER THAN 5 FT, THE DETECTABLE WARNING SHALL BE PLACED AT THE BACK OF CURB

**CURB RAMP DETAIL**  
NOT TO SCALE



**SOIL TYPE B/CASE 1**

| TOTAL EXPOSED HEIGHT | NO. LAYERS | TYPE | DESIGN LEVEL - HIGHEST HEIGHT ABOVE LEAVING FIN |   |   |   |   |   |   |   |   |    |    |   |   |   |
|----------------------|------------|------|---|---|---|---|---|---|---|---|---|----|----|---|---|---|
|                      |            |      | 1   | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 |   |   |   |
| 2'-0"                | 0          | N/A  | -   | - | - | - | - | - | - | - | - | -  | -  | - | - | - |
| 2'-0"                | 0          | N/A  | -   | - | - | - | - | - | - | - | - | -  | -  | - | - | - |
| 4'-0"                | 1          | C-1  | -   | - | - | - | - | - | - | - | - | -  | -  | - | - | - |
| 7'-0"                | 3          | C-1  | -   | - | - | - | - | - | - | - | - | -  | -  | - | - | - |
| 10'-0"               | 4          | C-1  | -   | - | - | - | - | - | - | - | - | -  | -  | - | - | - |
| 11'-0"               | 5          | C-1  | -   | - | - | - | - | - | - | - | - | -  | -  | - | - | - |
| 13'-0"               | 7          | C-1  | -   | - | - | - | - | - | - | - | - | -  | -  | - | - | - |
| 15'-0"               | 8          | C-1  | -   | - | - | - | - | - | - | - | - | -  | -  | - | - | - |
| 17'-0"               | 9          | C-1  | -   | - | - | - | - | - | - | - | - | -  | -  | - | - | - |
| 19'-0"               | 9          | C-1  | -   | - | - | - | - | - | - | - | - | -  | -  | - | - | - |
| 21'-0"               | 10         | C-1  | -   | - | - | - | - | - | - | - | - | -  | -  | - | - | - |

**MODULAR RETAINING WALL**  
SCALE: NONE  
N:\Projects\Land Development\Retaining Wall\Modular Wall.dwg



3/21/2022

Issue Date: 2021-12-10 CONDITIONAL ZONING SUBMITTAL #1  
2022-03-21 CONDITIONAL ZONING SUBMITTAL #2

Date: 03/21/2022  
Scale: 1/8" = 1'-0"

Drawn By: JRR  
Checked By: CMR

Project Number: 21-0002-978

Sheet Number: 16/16