

# Rosemary/Columbia Hotel

110 West Rosemary Street

ZONING COMPLIANCE PERMIT  
CHAPEL HILL, NORTH CAROLINA

## CONTRACT PURCHASER / CLIENT:

SMART OLYMPIA CAROLINA LLC  
20600 CHAGRIN BOULEVARD, SUITE 705  
SHAKER HEIGHTS, OH 44122  
216-653-9050  
CONTACT: ED SMALL

## APPLICANT / CONSULTANT:

LANDSCAPE ARCHITECT / LAND PLANNER:  
CJT, PA  
111 WEST MAIN STREET  
DURHAM, NC 27701  
919-682-0368  
CONTACT: WENDI RAMSDEN

CIVIL ENGINEER:  
CJT, PA  
111 WEST MAIN STREET  
DURHAM, NC 27701  
919-682-0368  
CONTACT: CHUCK HILL

## RESOURCE CONSERVATION NOTES

STREAM BUFFERS:  
THERE ARE NO MAPPED STREAMS ON SITE.

FLOODPLAIN PROTECTION:  
THE SITE IS NOT IN AN AREA AFFECTED BY A MAPPED FLOODPLAIN  
ACCORDING TO FRM MAP 371097800K EFFECTIVE 11-1-17.

STEEP SLOPE PROTECTION:  
THERE ARE 2,173 SF OF STEEP SLOPES ON SITE. ALL ARE CONSTRUCTED (NOT  
NATURAL) SLOPES.

WETLANDS:  
THERE ARE NO MAPPED WETLANDS ONSITE.

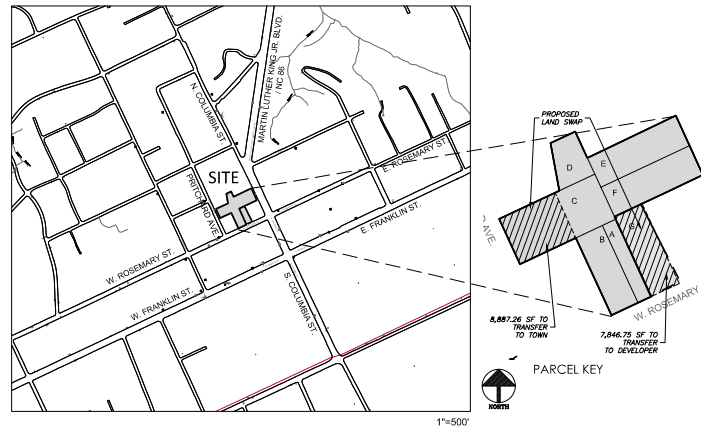
## PROJECT NOTES

BOUNDARY AND TOPOGRAPHIC SURVEY PROVIDED BY BALLANTINE ASSOCIATES, PA  
DATED AUGUST 26, 2019

SURROUNDING SITE AND PROPERTY INFORMATION PER CHAPEL HILL GIS

## TOWN OF CHAPEL HILL NOTES

- P.E. CERTIFICATION: PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR ANY PHASE, THE APPLICANT SHALL PROVIDE A CERTIFICATION, SIGNED AND SEALED BY A NORTH CAROLINA LICENSED PROFESSIONAL ENGINEER, THAT ANY REQUIRED STORMWATER MANAGEMENT FACILITY IS CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS.
- AS-BUILT PLANS: PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY, THE APPLICANT SHALL PROVIDE CERTIFIED AS-BUILT PLANS FOR BUILDING FOOTPRINTS, PARKING LOTS, STREET IMPROVEMENTS, STORM DRAINAGE SYSTEMS AND ANY STORMWATER MANAGEMENT STRUCTURES, AND ALL OTHER IMPERVIOUS SURFACES, AND A TALLY OF THE CONSTRUCTED IMPERVIOUS AREA. THE AS-BUILT PLANS SHOULD BE IN DWT BINARY FORMAT USING STATE PLANE COORDINATES AND NAVD 88.



## PROJECT DATA:

PARCEL A: ADDRESS PIN OWNER ACREAGE ZONING	108 WEST ROSEMARY STREET 9788-37-0680 KW RC PROPERTIES LLC 3,624.8 SF TC-2-CZD
PARCEL B: ADDRESS PIN OWNER ACREAGE ZONING	114 WEST ROSEMARY STREET 9788-37-0649 KW RC PROPERTIES LLC 7,249.8 SF TC-2-CZD
PARCEL C: ADDRESS PIN OWNER ACREAGE PROPOSED ACREAGE ZONING	208 Pritchard Avenue 9788-27-9667 KW RC PROPERTIES LLC 15,202.5 SF 8,887.26 SF / 0.204 AC TC-2-CZD and R-3
PARCEL D: ADDRESS PIN OWNER ACREAGE ZONING	N/A (NO STREET FRONTAGE) 9788-27-9700 KW RC PROPERTIES LLC 4,527.3 SF TC-2-CZD
PARCEL E: ADDRESS PIN OWNER ACREAGE ZONING	205 NORTH COLUMBIA STREET 9788-27-0721 KW RC PROPERTIES LLC 9,320.0 SF TC-2-CZD
PARCEL F: ADDRESS PIN OWNER ACREAGE ZONING	205 NORTH COLUMBIA STREET 9788-27-0647 KW RC PROPERTIES LLC 9,166.9 SF TC-2-CZD
PARCEL G: ADDRESS PIN OWNER ACREAGE ZONING	110 WEST ROSEMARY STREET 9788-37-0535 TOWN OF CHAPEL HILL 7,846.75 SF TC-2-CZD
TOTAL SURVEYED AREA:	56,997.96 SF / 1.31 AC
PARCELS A THRU F UNDER CONTRACT TO DEVELOPER:	49,151.20
PROPOSED POST DEVELOPMENT LAND OWNED BY PROJECT DEVELOPER:	48,110.70 SF / 1.10 AC
LAND USE: EXISTING PROPOSED	VACANT COMMERCIAL, CONVERTED RESIDENCES, ONE SINGLE FAMILY RESIDENTIAL HOTEL
ZONING:	TC-2-CZD
ALLOWABLE FAR FOR PROPOSED ZONE:	1.97 MAX.
EXISTING BUILDINGS:	- 1,250 SF ONE STORY BRICK BUILDING TO BE REMOVED - 1,689 SF TWO STORY WOOD FRAME HOUSE TO BE REMOVED 2,939 SF TOTAL SQUARE FOOTAGE TO BE REMOVED 1,800 SF BUILDING TO REMAIN, TO BE DEEDED TO TOWN (LOCATED ON PARCEL C)
PROPOSED BUILDINGS:	HOTEL 88,862 SF TOTAL 132 ROOMS
BUILDING HEIGHT:	5 STORES PLUS PARTIAL LOWER LEVEL ACCESSED FROM NORTH DRIVEWAY
VEHICULAR PARKING:	REQUIRED N/A (TOWN CENTER DISTRICT) MAXIMUM 119 (0.9 PER LODGING UNIT = 132 X 0.9) PROPOSED 39 SPACES ON-SITE + 1 ADA SPACE AT HISTORIC TOWN HALL
BICYCLE PARKING:	REQUIRED 9 (1 PER 15 LODGING UNITS 132 / 15) PROPOSED 9 SPACES (5 LOOPS) 4 LOOPS IN PROTECTED PARKING DECK, 1 LOOP ON ROSEMARY FRONTAGE + SPACE ALLOCATED IN PARK FOR FUTURE BIKE SHARE STATION
PROJECT AREA:	74,134 SF / 1.70 AC INCLUDES TOWN LAND TO BE DEVELOPED
LOCATION	TOTAL AREA DISTURBANCE NET AREA
PROJECT AREA	74,149 SF 63,275 SF 51,570 SF 51,694 SF

## LIST OF SHEETS:

- C-0.0 COVER SHEET
- C-0.1 AREA MAP
- C-1.0 EXISTING CONDITIONS PLAN
- C-1.1 CONSTRUCTION CONDITIONS
- C-1.2 CONSTRUCTION MANAGEMENT PLAN
- C-1.3 LANDSCAPE PROTECTION PLAN
- C-2.0 SITE PLAN
- C-3.0 GRADING & STORMWATER PLAN
- C-4.0 EROSION CONTROL PLAN
- C-5.0 UTILITY PLAN
- C-6.0 LIGHTING PLAN
- C-7.0 LANDSCAPE PLAN
- C-8.0 SITE DETAILS
- C-8.1 SITE DETAILS
- C-8.2 SITE DETAILS
- C-8.3 SITE DETAILS
- C-8.4 SITE DETAILS
- C-8.5 SITE DETAILS



111 West Main Street  
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LIC # 0-1289

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LANDSCAPE ARCHITECTS  
LIC # C-104

## Project:

Rosemary/  
Columbia  
Hotel

110 W. Rosemary St.  
Orange County,  
North Carolina

PIN:  
9788-37-0680  
9788-37-0549  
9788-27-9667  
9788-27-9700  
9788-37-0721  
9788-37-0647



PRELIMINARY - DO NOT  
USE FOR CONSTRUCTION

Job Number: 1903

Drawn: WJR, WJC  
Checked: WJR, WJC  
Date: 5-2-2022  
Revisions:

Zoning Compliance Permit

Sheet Title:

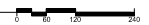
COVER  
SHEET

Sheet Number

C-0.0



1 AREA MAP  
C-0.1 1" = 120'-0"



**LEGEND**

FIRE HYDRANT	
ZONING BOUNDARY	
EXISTING ZONING	
NCD BOUNDARY	
NORTHSIDE NEIGHBORHOOD	
LAND USE	

111 West Main Street  
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9788-37-0647



PRELIMINARY DO NOT  
USE FOR CONSTRUCTION

Job Number: 1963

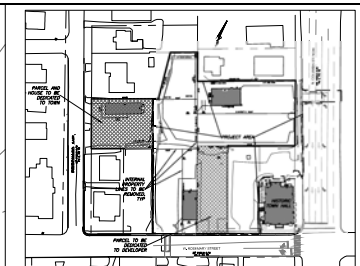
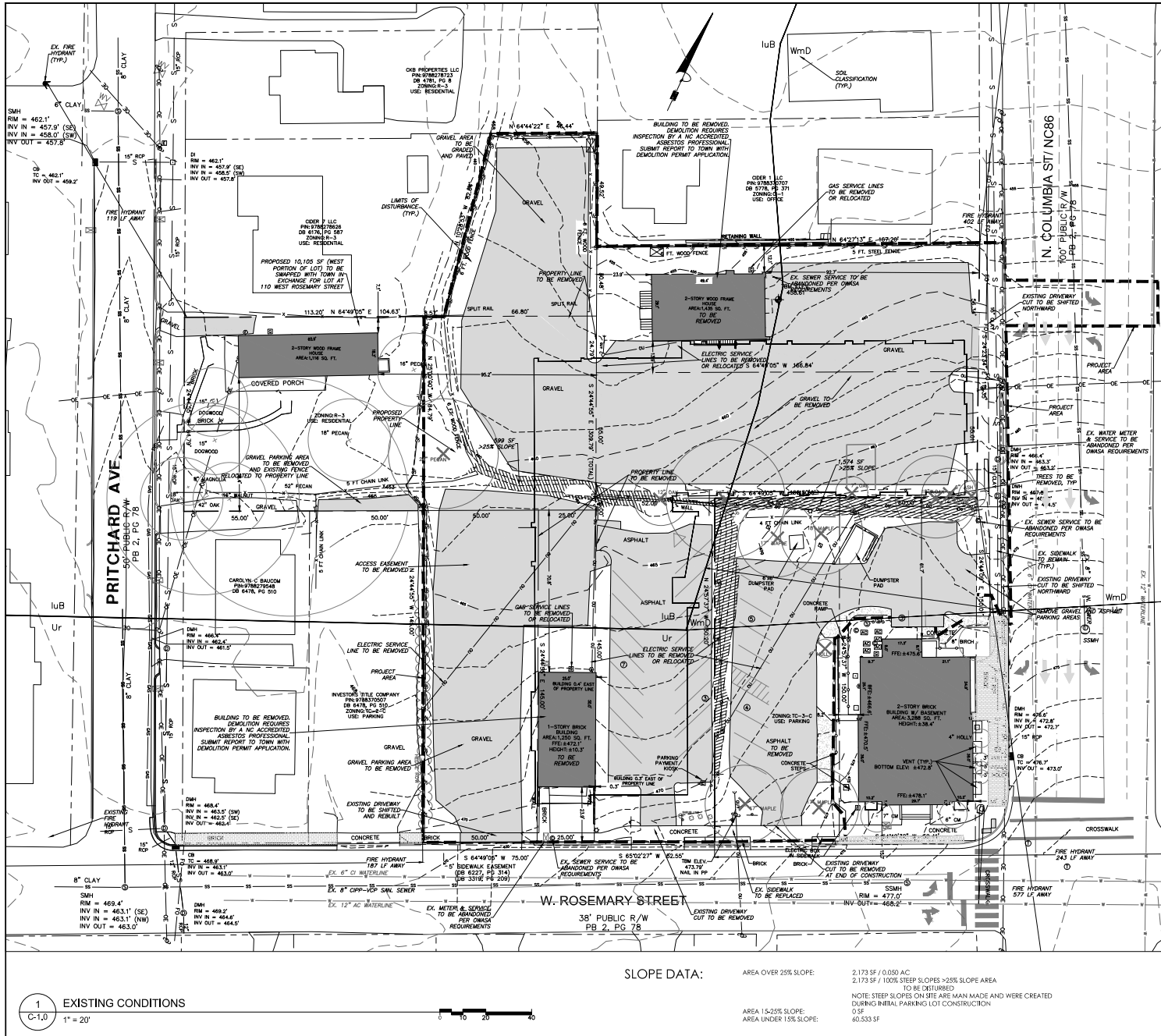
Drawn	WJR, WJC
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Zoning Compliance Permit

Sheet Title:

**AREA MAP**

Sheet Number  
**C-0.1**



2 PROJECT AREA  
C-1.0 1" = 100'

- ENSURE ALL EROSION CONTROL MEASURES ARE IN PLACE AND IN WORKING ORDER PRIOR TO THE START OF ANY DEMOLITION AND CONSTRUCTION.
- SEE SITE PLAN SHEET C-1.0 FOR LAYOUT DIMENSIONS OF EXISTING DEMOLISHED AREAS. PAVED AREAS NOT INDICATED TO BE DEMOLISHED, ARE TO REMAIN. ALL CONCRETE SAW CUTS ARE TO BE CLEAN, STRAIGHT AND NEAT.
- UTILITIES: SEE UTILITY PLAN C-5.0. CONTRACTOR TO COORDINATE WITH UTILITY COMPANIES FOR LOCATION, REMOVAL AND RELOCATION OF ANY UTILITIES. CONTRACTOR RESPONSIBLE FOR DETERMINING EXISTENT AND LOCATION OF UTILITIES. THIS MAY INCLUDE CONTRACTING "NO-CUTS" TO HELP LOCATE SOME UTILITIES.
- CONTRACTOR TO ADJUST ALL MANHOLES, VALVES, JUNCTION BOXES, CATCH BASINS, CLEAN-OUTS, ETC., AS NECESSARY TO ACCOMMODATE NEW LAYOUT AND GRADES.
- CONTRACTOR RESPONSIBLE FOR OBTAINING ANY PERMITS FOR WORK IN THE NOOD AND TOWN OF CHAPEL HILL RIGHTS OF WAY. ANY DAMAGED INFRASTRUCTURE IN THE RIGHT OF WAY CAUSED BY CONSTRUCTION ACTIVITIES MUST BE REPAIRED TO TOWN OF CHAPEL HILL STANDARDS. THIS INCLUDES, BUT IS NOT LIMITED TO UTILITIES, SIDEWALKS, CURB AND GUTTER, ASPHALT.
- CONTRACTOR RESPONSIBLE FOR REMOVING EVERYTHING WITHIN THE CLEARING LIMITS AND OFF-SITE WORK ZONE INCLUDING TREES, STUMPS, TRASH, FENCING, OR BUILDING MATERIALS.
- CONTRACTOR TO USE CAUTION REMOVING ARBORS AND NEAR EXISTING STORM, WATER AND SEWER. CONTRACTOR RESPONSIBLE FOR DAMAGE TO EXISTING UTILITIES.
- ABANDONMENT OF WATER SERVICES SHALL INCLUDE EXCAVATING DOWN TO CORPORATION, TURNING IT OFF AND CUTTING SERVICE LINE FREE FROM CORPORATION, THE METER, IF PRESENT, SHALL BE REMOVED TO OWASA.
- ABANDONMENT OF SANITARY SEWER SERVICE LINES SHALL CONSIST OF PLUGGING THE LATERAL AT THE RIGHT-OF-WAY LINE.
- ALL PAVEMENT PATCHING SHALL BE PERFORMED PER TOWN SPECIFICATIONS AND STANDARDS.
- A DECONSTRUCTION ASSESSMENT MUST BE CONDUCTED BY OGSW STAFF PRIOR TO THE APPROVAL OF THE DEMOLITION PERMIT FOR THE EXISTING STRUCTURES. CONTACT OGSW ENFORCEMENT STAFF AT 919-968-2788 TO REQUEST THE ASSESSMENT. BUILDINGS TO BE DEMOLISHED MUST BE INSPECTED BY A NC ACCREDITED ASBESTOS PROFESSIONAL. SUBMIT REPORT WITH DEMOLITION PERMIT APPLICATION.
- A SEPARATE DEMOLITION PERMIT IS REQUIRED FOR EACH BUILDING.
- BY ORANGE COUNTY ORDINANCE CLEAN WASTE, SCRAP METAL AND CORRUGATED CARBOIDES ALL PRELIMINARY CONSTRUCTION WASTE MUST BE RECYCLED, AND ALL HAULERS OF CONSTRUCTION WASTE MUST BE PROPERLY LICENSED.
- PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE THE APPLICANT WILL HOLD A PRE-DEMOLITION/CONSTRUCTION CONFERENCE WITH THE COUNTY'S SOLID WASTE STAFF. THIS MAY BE THE SAME MEETING HELD WITH OTHER DEVELOPMENT OFFICIALS.
- THE PRESENCE OF ANY ASBESTOS CONTAINING MATERIAL (ACM) OR OTHER HAZARDOUS MATERIALS IN CONSTRUCTION AND DEMOLITION WASTE SHALL BE HANDLED IN ACCORDANCE WITH ANY AND ALL LOCAL, STATE, AND FEDERAL REGULATIONS AND GUIDELINES.
- ANY INVASIVE EXOTIC PLANT MATERIAL WILL BE REMOVED. A SURVEY OF EXISTING LANDSCAPE BUFFERS TO REMAIN WILL BE CONDUCTED FOLLOWING INITIAL CLEANING, AND ANY INVASIVE OR EXOTIC SPECIES FOUND WILL BE REMOVED.
- DEMOLITION PERMIT REQUIRED TO REMOVE 5,200 SF STORE.
- ASBESTOS ABATEMENT REPORT REQUIRED BEFORE DEMOLITION PERMIT MAY BE ISSUED.
- A PERMIT FROM THE CHAPEL HILL FIRE MARSHAL'S OFFICE IS REQUIRED TO REMOVE ANY FLAMMABLE / COMBUSTIBLE LIQUIDS FROM UNDERGROUND OR ABOVE-GROUND TANKS OTHER THAN BY THE ON-SITE PUMPS. 2018 NC FIRE CODE SECTION 105.6.17 #5.
- A PERMIT FROM THE CHAPEL HILL FIRE MARSHAL'S OFFICE IS REQUIRED TO REMOVE ANY UNDERGROUND OR ABOVE-GROUND TANKS THAT CONTAINED FLAMMABLE / COMBUSTIBLE LIQUIDS. 2018 NC FIRE CODE SECTION 105.6.17 #7.
- TREE PROTECTION SEMINAR TO BE COMPLETED BY CONTRACTOR PRIOR TO TREE PROTECTION FENCE INSTALLATION. PLEASE CALL ADAM INGHOLSON AT 919-969-5004.

3 DEMOLITION NOTES  
C-1.0

LEGEND	
Existing Building	(Symbol)
Existing Foundation	(Symbol)
Existing Footing	(Symbol)
Existing Wall	(Symbol)
Existing Slab	(Symbol)
Existing Floor	(Symbol)
Existing Ceiling	(Symbol)
Existing Roof	(Symbol)
Existing Window	(Symbol)
Existing Door	(Symbol)
Existing Stair	(Symbol)
Existing Elevation	(Symbol)
Existing Section	(Symbol)
Existing Detail	(Symbol)
Existing Note	(Symbol)
Existing Schedule	(Symbol)
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PROJECT LIMITATIONS PER CONDITIONAL ZONING APPROVAL

MAXIMUM FLOOR AREA: 92,500 SF
MAXIMUM # GUEST ROOMS: 135
MAXIMUM IMPERVIOUS SURFACE: 53,727 SF
MAXIMUM LAND DISTURBANCE: 63,200 SF
MAXIMUM BUILDING HEIGHT AT STREET - COLUMBIA FRONTAGE: 42'
MAXIMUM BUILDING HEIGHT AT STREET - ROSEMARY FRONTAGE: 53'
MAXIMUM SECONDARY BUILDING HEIGHT: 65'
ZCP FILING DATE: NO LATER THAN NOVEMBER 17, 2023

SPECIAL CONDITIONS OF CONDITIONAL ZONING APPROVAL

- 1. BIKESHARE: AS LONG AS A BIKESHARE HUB NETWORK OPERATES IN THE DOWNTOWN AREA...
2. WATER LINE: THE DEVELOPER SHALL RUN A WATERLINE TO THE HISTORIC TOWN HALL BUILDING...
3. RECOMBINATION: PRIOR TO ISSUANCE OF A ZONING COMPLIANCE PERMIT...
4. LAND SWAP: PRIOR TO ISSUANCE OF A ZONING COMPLIANCE PERMIT...
5. EMPLOYING LOCAL RESIDENTS: THE DEVELOPER WILL CONTINUE TO MEET WITH LOCAL AGENCIES...
6. OFF-SITE CONSTRUCTION EASEMENTS: PRIOR TO ANY DEVELOPMENT ASSOCIATED LAND DISTURBANCE...
7. PHASING PLAN: IF PHASING OF THE PROJECT IS PROPOSED...
8. NORTH CAROLINA DEPARTMENT OF TRANSPORTATION: PRIOR TO ISSUANCE OF A ZONING COMPLIANCE PERMIT...
9. NEW STREET NAMES AND NUMBERS: THE NAME OF THE DEVELOPMENT AND ITS STREETS AND HOUSE/BUILDING NUMBERS SHALL BE APPROVED BY THE TOWN MANAGER...

SOLID WASTE STIPULATIONS

- 1. CONSTRUCTION WASTE: CLEAN WOOD WASTE, SCRAP METAL, AND CORRUGATED CARDBOARD...
2. DECONSTRUCTION ASSESSMENT: FOR ANY EXISTING STRUCTURE 500 SQUARE FEET OR LARGER...
3. CONSTRUCTION WASTE: CLEAN WOOD WASTE, SCRAP METAL, AND CORRUGATED CARDBOARD...
4. DECONSTRUCTION ASSESSMENT: FOR ANY EXISTING STRUCTURE 500 SQUARE FEET OR LARGER...
5. CONSTRUCTION WASTE: CLEAN WOOD WASTE, SCRAP METAL, AND CORRUGATED CARDBOARD...
6. DECONSTRUCTION ASSESSMENT: FOR ANY EXISTING STRUCTURE 500 SQUARE FEET OR LARGER...

CONDITIONS PRIOR TO ANY LAND DISTURBING ACTIVITIES

- 1. AT LEAST ONE PERSON FROM THE CONTRACTOR'S FIRM WILL BE REQUIRED TO ATTEND THE TOWN'S TREE PROTECTION SEMINAR AND INSPECTION REVIEW...
2. TREE PROTECTION FENCING: TREE PROTECTION FENCING WILL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES...
3. DEMOLITION PLAN: PRIOR TO BEGINNING ANY PROPOSED DEMOLITION ACTIVITY...
4. EROSION CONTROL BOND: IF ONE ACRE OR MORE IS TO BE UNCOVERED BY LAND-DISTURBING ACTIVITIES FOR THE PROJECT...

REQUIREMENTS RELATED TO EROSION CONTROL MEASURES

- 1. AN EROSION CONTROL PERMIT APPROVAL FROM NORTH CAROLINA DEPARTMENT OF ENVIRONMENTAL QUALITY IS REQUIRED PRIOR TO LAND DISTURBING ACTIVITIES...
2. SEDIMENT CONTROL: THE DEVELOPER SHALL TAKE APPROPRIATE MEASURES TO PREVENT AND REMOVE THE DEPOSIT OF WET OR DRY SEDIMENTS ON ADJACENT ROADWAYS...
3. EROSION CONTROL INSPECTIONS: IN ADDITION TO THE REQUIREMENT DURING CONSTRUCTION FOR INSPECTION AFTER EVERY RAINFALL...
4. EROSION CONTROL: THE DEVELOPER SHALL PROVIDE A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PERMIT FROM ORANGE COUNTY EROSION CONTROL DIVISION...
5. THE PROPOSED STORMWATER CONTROL MEASURES FOR THE SITE SHALL BE DESIGNED TO MEET THE CURRENT NORTH CAROLINA DIVISION OF ENVIRONMENTAL QUALITY DESIGN MANUAL...
6. OFFEN BURNING OF TREES, LIMBS, STUMPS, AND CONSTRUCTION DEBRIS ASSOCIATED WITH THIS DEVELOPMENT IS PROHIBITED...
7. PRIOR TO ANY LANE CLOSURES, IT WILL BE NECESSARY TO CONTACT THE CHAPEL HILL ENGINEERING DIVISION...
8. EXISTING IMPROVEMENTS NOT DESIGNATED FOR DEMOLITION (SIDEWALKS, CURB & GUTTER, PAVEMENTS, TREES, PROPERTY CORNERS, ETC) WILL BE PROTECTED DURING CONSTRUCTION...
9. FIRE DEPARTMENT CONNECTIONS AND STANDPIPES: WHEN THE BUILDING BEING CONSTRUCTED REQUIRES TEMPORARY FIRE DEPARTMENT CONNECTION WILL BE CONSTRUCTED WITH READY FIRE DEPARTMENT ACCESS WHEN THE BUILDING IS NOT MORE THAN 40 FEET IN HEIGHT...
10. DURING CONSTRUCTION AND DEMOLITION WHERE HOT WORK, MATERIALS SUBJECT TO SPONTANEOUS COMBUSTION, OR OTHER HAZARDOUS CONSTRUCTION OR DEMOLITION IS OCCURRING, THE OWNER OR THEIR DESIGNEE SHALL BE RESPONSIBLE FOR MAINTAINING A FIRE WATCH...
11. HYDRANTS ACTIVE: THE DEVELOPER WILL PROVIDE ACTIVE FIRE HYDRANT COVERAGE, ACCEPTABLE TO THE FIRE DEPARTMENT...
12. DECONSTRUCTION ASSESSMENT: FOR ANY EXISTING STRUCTURE 500 SQUARE FEET OR LARGER...
13. CONSTRUCTION WASTE: CLEAN WOOD WASTE, SCRAP METAL, AND CORRUGATED CARDBOARD...
14. DECONSTRUCTION ASSESSMENT: FOR ANY EXISTING STRUCTURE 500 SQUARE FEET OR LARGER...
15. CONSTRUCTION WASTE: CLEAN WOOD WASTE, SCRAP METAL, AND CORRUGATED CARDBOARD...
16. DECONSTRUCTION ASSESSMENT: FOR ANY EXISTING STRUCTURE 500 SQUARE FEET OR LARGER...

CONDITIONS DURING CONSTRUCTION

- 1. OPEN BURNING OF TREES, LIMBS, STUMPS, AND CONSTRUCTION DEBRIS ASSOCIATED WITH THIS DEVELOPMENT IS PROHIBITED...
2. PRIOR TO ANY LANE CLOSURES, IT WILL BE NECESSARY TO CONTACT THE CHAPEL HILL ENGINEERING DIVISION...
3. EXISTING IMPROVEMENTS NOT DESIGNATED FOR DEMOLITION (SIDEWALKS, CURB & GUTTER, PAVEMENTS, TREES, PROPERTY CORNERS, ETC) WILL BE PROTECTED DURING CONSTRUCTION...
4. FIRE DEPARTMENT CONNECTIONS AND STANDPIPES: WHEN THE BUILDING BEING CONSTRUCTED REQUIRES TEMPORARY FIRE DEPARTMENT CONNECTION WILL BE CONSTRUCTED WITH READY FIRE DEPARTMENT ACCESS WHEN THE BUILDING IS NOT MORE THAN 40 FEET IN HEIGHT...
5. DURING CONSTRUCTION AND DEMOLITION WHERE HOT WORK, MATERIALS SUBJECT TO SPONTANEOUS COMBUSTION, OR OTHER HAZARDOUS CONSTRUCTION OR DEMOLITION IS OCCURRING, THE OWNER OR THEIR DESIGNEE SHALL BE RESPONSIBLE FOR MAINTAINING A FIRE WATCH...
6. AUTOMATIC FIRE SPRINKLER SYSTEM REQUIRED: AN AUTOMATIC FIRE SPRINKLER SYSTEM MEETING THE REQUIREMENTS OF NFPA STANDARD #13 AND TOWN CODE 7-56 IS REQUIRED TO BE INSTALLED IN NON-RESIDENTIAL CONSTRUCTION...
7. FIRE DEPARTMENT CONNECTIONS, LOCATIONS: ANY REQUIRED FDOS FOR ANY BUILDINGS SHALL MEET THE DESIGN AND INSTALLATION REQUIREMENTS FOR CURRENT, APPROVED EDITION OF NFPA 13, 130, 136, OR 14 OF THE NC-FPC 2018 AND TOWN CODE 7-38 FOR LOCALATION...
8. FIRE DEPARTMENT CONNECTIONS, INSTALLATION: A WORKING SPACE OF NOT LESS THAN 36" IN WIDTH AND DEPTH AND A WORKING SPACE OF 78" IN HEIGHT SHALL BE PROVIDED ON ALL SIDES WITH THE EXCEPTION OF WALL MOUNTED FDOS...
9. RETAINING WALLS OVER 5' HIGH SHALL BE PERMITTED SEPARATELY FROM THE BUILDING AND MUST BE SIGNED BY A DESIGN PROFESSIONAL...
10. FIRE DEPARTMENT CONNECTIONS, INSTALLATION: A WORKING SPACE OF NOT LESS THAN 36" IN WIDTH AND DEPTH AND A WORKING SPACE OF 78" IN HEIGHT SHALL BE PROVIDED ON ALL SIDES WITH THE EXCEPTION OF WALL MOUNTED FDOS...
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16. FIRE DEPARTMENT CONNECTIONS, INSTALLATION: A WORKING SPACE OF NOT LESS THAN 36" IN WIDTH AND DEPTH AND A WORKING SPACE OF 78" IN HEIGHT SHALL BE PROVIDED ON ALL SIDES WITH THE EXCEPTION OF WALL MOUNTED FDOS...

REQUIREMENTS PRIOR TO WORK IN A PUBLIC RIGHT OF WAY

- 1. DRIVEWAY PERMIT: THE DEVELOPER MUST OBTAIN AN APPROVED DRIVEWAY PERMIT AND/OR ENCROACHMENT AGREEMENTS PRIOR TO BEGINNING ANY PROPOSED WORK WITHIN THE NCOT RIGHT-OF-WAY...
2. PAVEMENT MARKINGS: ANY PAVEMENT MARKINGS PROPOSED WITHIN THE PUBLIC STREET RIGHTS-OF-WAY SHALL BE LONG LIFE THERMOPLASTIC...
3. DRIVEWAY PERMIT: THE DEVELOPER MUST OBTAIN AN APPROVED DRIVEWAY PERMIT AND/OR ENCROACHMENT AGREEMENTS PRIOR TO BEGINNING ANY PROPOSED WORK WITHIN THE NCOT RIGHT-OF-WAY...
4. PAVEMENT MARKINGS: ANY PAVEMENT MARKINGS PROPOSED WITHIN THE PUBLIC STREET RIGHTS-OF-WAY SHALL BE LONG LIFE THERMOPLASTIC...

CONDITIONS RELATED TO FIRE CODE

- 1. GATES AND BARRICADES: WHERE REQUIRED OR AUTHORIZED BY THE FIRE CODE OFFICIAL AND PERMANENT OR TEMPORARY CONSTRUCTION...
2. GRADE AND APPROACH: FIRE APPARATUS ACCESS ROADS SHALL NOT EXCEED 10 PERCENT IN GRADE UNLESS APPROVED BY THE FIRE CHIEF...
3. FIRE COMMAND CENTER: WHERE REQUIRED IN THE NORTH CAROLINA FIRE PROTECTION CODE AND IN ALL HIGH RISE BUILDINGS...
4. EMERGENCY RESPONDER RADIO COVERAGE IN NEW BUILDINGS: ALL NEW BUILDINGS SHALL HAVE APPROVED RADIO COVERAGE FOR EMERGENCY RESPONDERS WITHIN THE BUILDING BASED UPON THE EXISTING COVERAGE LEVELS...
5. FIRE WATCH: DURING CONSTRUCTION AND DEMOLITION WHERE HOT WORK, MATERIALS SUBJECT TO SPONTANEOUS COMBUSTION, OR OTHER HAZARDOUS CONSTRUCTION OR DEMOLITION IS OCCURRING...
6. AERIALS: WHERE A BUILDING EXCEEDS 30 FEET IN HEIGHT OR 3 STORES ABOVE THE LOWEST LEVEL OF FIRE DEPARTMENT ACCESS...
7. FIRE APPARATUS ACCESS ROADS: ANY FIRE APPARATUS ACCESS ROADS (ANY PUBLIC/PRIVATE STREET, PARKING LOT ACCESS, FIRE LANES, AND ACCESS ROADWAYS) USED FOR FIRE DEPARTMENT ACCESS SHALL BE ALL-WEATHER AND DESIGNED TO CARRY THE IMPOSED LOAD...
8. BUILDING HEIGHT: BUILDINGS EXCEEDING 30 FEET OR THREE STORES IN HEIGHT MUST HAVE AT LEAST TWO MEANS OF FIRE APPARATUS ACCESS SEPARATED BY AT LEAST ON HALF OF THE DIAGONAL DISTANCE OF THE BUILDING...
9. AUTOMATIC FIRE SPRINKLER SYSTEM REQUIRED: AN AUTOMATIC FIRE SPRINKLER SYSTEM MEETING THE REQUIREMENTS OF NFPA STANDARD #13 AND TOWN CODE 7-56 IS REQUIRED TO BE INSTALLED IN NON-RESIDENTIAL CONSTRUCTION...
10. FIRE DEPARTMENT CONNECTIONS, LOCATIONS: ANY REQUIRED FDOS FOR ANY BUILDINGS SHALL MEET THE DESIGN AND INSTALLATION REQUIREMENTS FOR CURRENT, APPROVED EDITION OF NFPA 13, 130, 136, OR 14 OF THE NC-FPC 2018 AND TOWN CODE 7-38 FOR LOCALATION...
11. FIRE DEPARTMENT CONNECTIONS, INSTALLATION: A WORKING SPACE OF NOT LESS THAN 36" IN WIDTH AND DEPTH AND A WORKING SPACE OF 78" IN HEIGHT SHALL BE PROVIDED ON ALL SIDES WITH THE EXCEPTION OF WALL MOUNTED FDOS...

CONDITIONS PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY

- 1. ACCESSIBILITY REQUIREMENTS: PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY, THE DEVELOPER SHALL PROVIDE THE MINIMUM REQUIRED HANDICAPPED INFRASTRUCTURE...
2. REPAIR/REPLACEMENT OF DAMAGED STORMWATER INFRASTRUCTURE: EXISTING STORMWATER INFRASTRUCTURE THAT IS DAMAGED AS A RESULT OF THE PROJECT DEMOLITION OR CONSTRUCTION...
3. IRRIGATION: IF PERMANENT IRRIGATION IS PROPOSED TO SUPPORT LANDSCAPING, AN IRRIGATION PLAN SHALL BE SUBMITTED WHICH INCLUDES THE USE OF SMART TECHNOLOGIES...
4. REPAIRS IN PUBLIC RIGHTS-OF-WAY: PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY, THE DEVELOPER SHALL REPAIR ALL DAMAGE FOR WORK IN THE PUBLIC RIGHT OF WAY...
5. NO CERTIFICATES OF OCCUPANCY SHALL BE ISSUED UNTIL ALL REQUIRED PUBLIC IMPROVEMENTS ARE COMPLETE...
6. AS-BUILT PLANS: PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY, THE DEVELOPER SHALL PROVIDE TO THE TOWN CERTIFIED AS-BUILT PLANS FOR BUILDING FOOTPRINTS, PARKING LOTS, STREET IMPROVEMENTS...
7. TRAFFIC SIGNS: THE DEVELOPER SHALL BE RESPONSIBLE FOR PLACEMENT AND MAINTENANCE OF TEMPORARY REGULATORY SIGNS BEFORE ISSUANCE OF ANY CERTIFICATES OF OCCUPANCY...
8. FIRE SPRINKLERS: THE DEVELOPER SHALL INSTALL SPRINKLERS UNDER THE NORTH CAROLINA FIRE PROTECTION CODE (NC FPC) PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY...
9. FIRE ACCESS: PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY, FIRE ACCESS SHALL BE REVIEWED AND APPROVED BY THE TOWN OF CHAPEL HILL...
10. KEY BOX: WHERE REQUIRED BY THE FIRE CODE OFFICIAL, A SECURE KEY BOX MOUNTED ON THE ADDRESS SIDE OF THE BUILDING...
11. PREMISE IDENTIFICATION: APPROVED BUILDING ADDRESS NUMBERS SHALL BE PLACED IN A POSITION ACCEPTABLE TO THE FIRE CODE OFFICIAL...
12. FIRE APPARATUS ACCESS FOR CHAPEL HILL FIRE DEPARTMENT: ALL FIRE DEPARTMENT ACCESS DETERMINATIONS SHALL BE BASED UPON CHAPEL HILL FIRE DEPARTMENT APPARATUS SPECIFICATIONS...
13. FIRE LANE: PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY, ANY FIRE LANE SHALL BE MARKED AND SIGNED IN ACCORDANCE WITH TOWN STANDARDS...
14. THE PROJECT IS REQUIRED TO HAVE ELECTRIC VEHICLE (EV) CHARGING STATIONS SERVING 3% OF ALL PARKING SPACES...
15. UTILITY EASEMENTS: PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY, THE DEVELOPER WILL RECORD ALL PROPOSED PUBLIC WATER AND SANITARY SEWER EASEMENTS LOCATED AS SHOWN IN THIS SET OF PLANS...

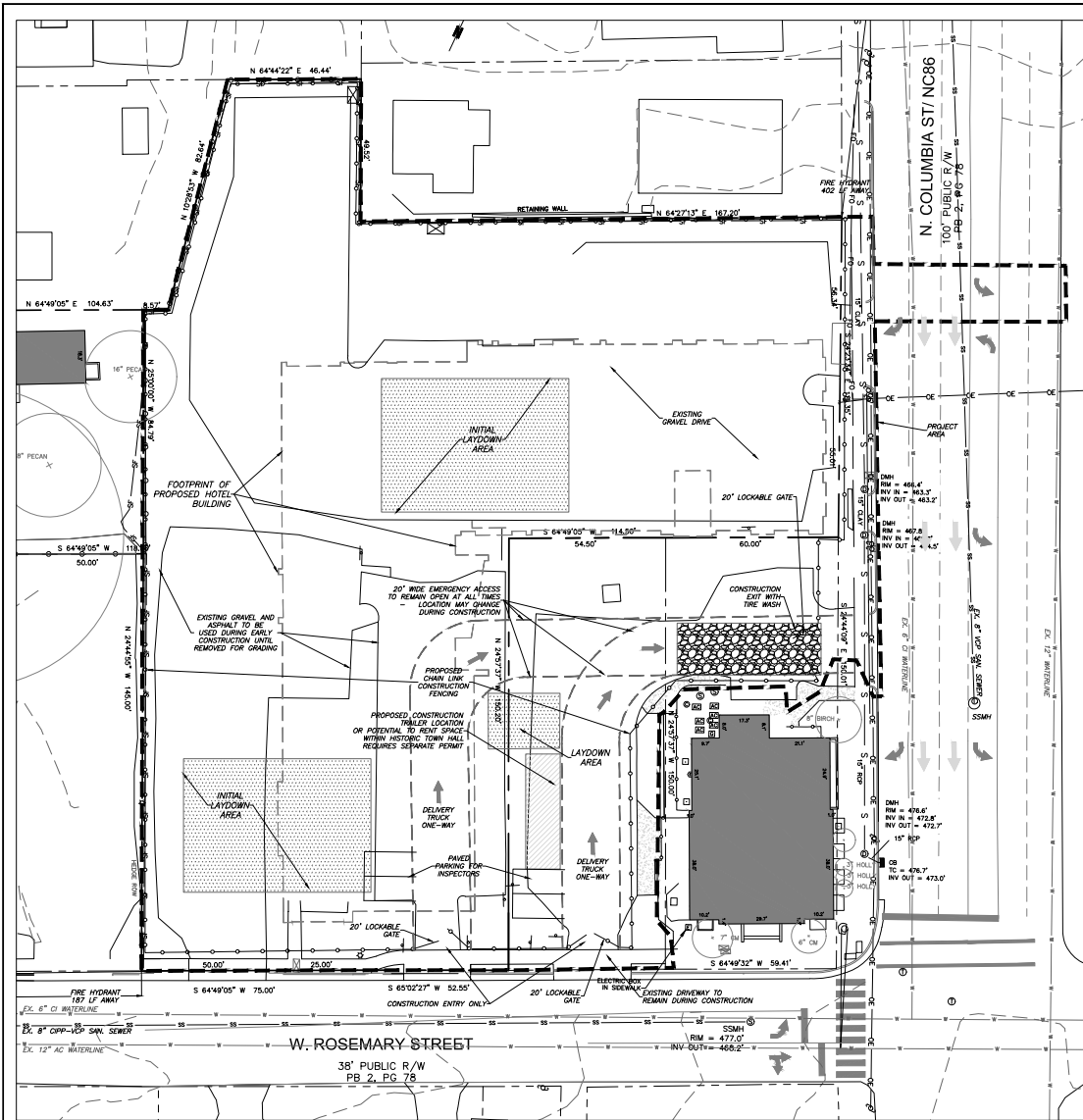
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Project:
Rosemary/
Columbia
Hotel
110 W. Rosemary St.
Orange County,
North Carolina
PIN:
9788-37-0680
9788-37-0549
9788-27-9667
9788-27-0700
9788-37-0721
9788-37-0647



PRELIMINARY DO NOT USE FOR CONSTRUCTION
Job Number: 1903
Drawn: WLR/WFC
Checked: WLR/WH
Date: 5-2-2023
Revisions:
Zoning Compliance Permit
Sheet Title:

CONSTRUCTION CONDITIONS
Sheet Number
C-1.1



**CONSTRUCTION STAGING NOTES**

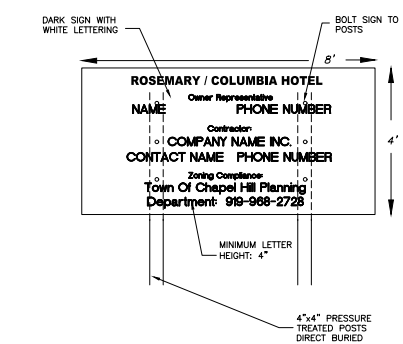
- EXISTING GRAVEL PARKING IS TO BE LEFT INTACT FOR CONSTRUCTION WORKERS UNTIL WORK IS DONE IN EACH AREA AND GRAVEL NEEDS TO BE REMOVED.
- NO CONSTRUCTION PARKING WILL BE ALLOWED ON ADJACENT RESIDENTIAL STREETS.
- HOURS OF CONSTRUCTION ARE MONDAY TO FRIDAY 7 AM TO 6 PM, AND SATURDAY AS NEEDED BETWEEN 8 AM AND 6 PM. THERE WILL BE NO CONSTRUCTION ON SUNDAYS. THE TOWN OF CHAPEL HILL NOISE ORDINANCE MUST BE COMPLIED WITH. THE TOWN ORDINANCE SPECIFIES CONSTRUCTION OPERATIONS ARE LIMITED TO 7 AM TO 9 PM WEEKDAYS, AND 8 AM TO 9 PM WEEKENDS. ANY ROCK REMOVAL WORK NEEDS TO BE COORDINATED WITH TOWN ADMINISTRATION, AND NEIGHBORS NOTIFIED IN ADVANCE.
- PROVIDE ON-SITE PARKING FOR INSPECTORS AT EACH BUILDING FOR THE DURATION OF THE CONSTRUCTION PROJECT.

**FIRE PROTECTION NOTES**

- CONTRACTOR SHALL MAINTAIN A FIRE WATCH DURING THE CONSTRUCTION OR DEMOLITION OF "HOT WORK" THAT MAY SUBJECT MATERIALS TO SPONTANEOUS COMBUSTION. THE FIRE WATCH SHALL CONSIST OF AT LEAST ONE PERSON WITH A MEANS OF COMMUNICATING AN ALARM TO 911, SHALL HAVE A WRITTEN ADDRESS POSTED IN A CONSPICUOUS LOCATION, AND SHALL MAINTAIN CONSTANT PATROLS.
- ALL CONSTRUCTION AND DEMOLITION SHALL COMPLY WITH THE CURRENT EDITION OF CHAPTER 14 OF THE NC FPC (FIRE CODE).
- ANY PERMANENT OR TEMPORARY GATES ACROSS FIRE ACCESS DRIVES SHALL BE A MINIMUM WIDTH OF 20', EITHER SWINGING OR SLIDING TYPE. HAVE AN EMERGENCY MEANS OF OPERATION, AND SHALL BE OPERABLE BY EITHER FORCIBLE ENTRY OR KEYS, CAPABLE OF BEING OPERATED BY ONE PERSON, AND SHALL BE INSTALLED AND MAINTAINED ACCORDING TO UL 325 AND ASTM F 2200 NC FPC 2012.

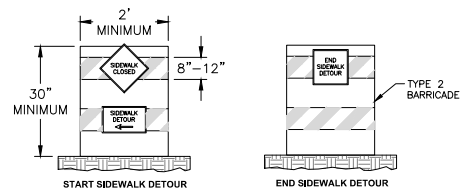
**TRAFFIC/PEDESTRIAN CONTROL NOTES**

- SIGNS SHOWN ON THIS PLAN ARE REQUIRED DURING THE CONSTRUCTION OF THIS PROJECT.
- CONSTRUCTION WILL REQUIRE TEMPORARY LANE CLOSURES ON PUBLIC STREETS. TEMPORARY LANE CLOSURES ARE ONLY ALLOWED DURING DAYLIGHT HOURS.
- ALL WORK ZONE SIGNAGE SHALL COMPLY WITH APPLICABLE M.U.T.C.D. STANDARDS AND DETAILS.
- PRIOR TO ANY TRAFFIC LANE CLOSURES, IT WILL BE NECESSARY TO CONTACT ERNIE ROGERS AT 919-968-2833, OF THE CHAPEL HILL ENGINEERING DIVISION, AT LEAST 5 WORKING DAYS BEFORE THE PROPOSED WORK TO APPLY FOR A LANE CLOSURE PERMIT.
- SIGNS AND TEMPORARY BARRICADES AS SHOWN BELOW WILL BE PLACED TO DIRECT PEDESTRIANS WHEN SIDEWALKS ARE IN THE CONSTRUCTION AREAS.



2 CONSTRUCTION SIGN  
C-1.2 NOT TO SCALE

- NOTES:
- AT A MINIMUM, THE SIGN IS TO INCLUDE THE FOLLOWING INFORMATION: PROJECT NAME, OWNER CONTACT, CONTRACTOR CONTACT, ZONING COMPLIANCE CONTACT.
  - SIGN IS TO BE A MAXIMUM OF 4' X 8'.
  - SIGN IS TO BE REMOVED AT PROJECT COMPLETION.
  - THE SIGN WILL NEED A SEPARATE PERMIT THROUGH TOWN OF CHAPEL HILL PLANNING DEPARTMENT.



3 SIDEWALK CLOSURE SIGNAGE  
C-1.2 NOT TO SCALE

1 CONSTRUCTION MANAGEMENT PLAN  
C-1.2 1" = 20'

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NC BOARD OF EXAMINERS FOR ENGINEERS AND SURVEYORS  
LIC # C-1289  
NC BOARD OF LANDSCAPE ARCHITECTS  
LIC # C-104

Project:  
**Rosemary/  
Columbia  
Hotel**  
110 W. Rosemary St.  
Orange County,  
North Carolina  
PIN: 9788-37-0680  
9788-37-0649  
9788-27-9667  
9788-27-9700  
9788-37-0721  
9788-37-0647



PRELIMINARY DO NOT USE FOR CONSTRUCTION  
Job Number: 1963  
Drawn: WJR, WJC  
Checked: WJR, WJC  
Date: 5-2-2022  
Revisions:

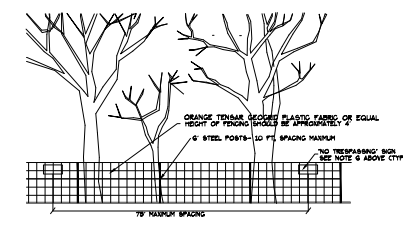
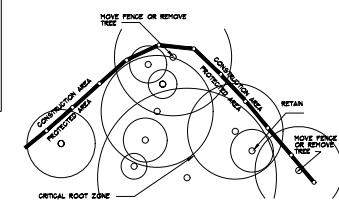
Zoning Compliance Permit  
Sheet Title:

**CONSTRUCTION  
MANAGEMENT  
PLAN**  
Sheet Number  
**C-1.2**



**LEGEND**

Water Valve	⊕
Tard Meter	⊙
Curb Inlet/Catch Basin	⊞
Mail Box	⊞
Traffic Signal Box	⊞
Electric Transformer	⊞
Electric Junction Box	⊞
Gas Meter	⊞
Sanitary Sewer Manhole	⊞
Storm Sewer Manhole	⊞
Telephone Manhole	⊞
Electric Manhole	⊞
Sign	⊞
Telephone pedestal	⊞
Fire Hydrant	⊞
Fire Department Connection	⊞
Post Indicator Valve	⊞
Water Manhole	⊞
Water Meter	⊞
Hot Box	⊞
Utility Pole	⊞
Guy Wire	⊞
Light Pole	⊞
Sewer Cleanout	⊞
Fired End Section	⊞
Gas Valve	⊞
Existing Iron Pipe (3/4" unless noted)	⊞
1/2" Meter	⊞
1/2" Iron Pipe Set	⊞
Existing PK Nail	⊞
PK Nail Set	⊞
Concrete Point	⊞
Concrete Monument	⊞
Tree Line	⊞
Fence	⊞
Underground Electric	⊞
Underground Telephone	⊞
Gas Line	⊞
Overhead Utilities	⊞
Sanitary Sewer	⊞
Gasod Rail	⊞



**NOTES:**

1. MOVE FENCE OR REMOVE TREE IF MORE THAN 20% OF A TREE'S CRITICAL ROOT AREA IS UNPROTECTED.
2. TREES TO BE REMOVED WITHIN THE TREE PROTECTION AREA (BECAUSE >20% OF ROOT ZONE IS DISTURBED) WILL BE FELLED TOWARD THE CLEARED CONSTRUCTION AREA.
3. ROOT PRUNE TREES TO REMAIN, WHERE CONSTRUCTION ACTIVITIES WILL SEVER ROOTS.
4. ANY TREE ROOTS EXPOSED BY CONSTRUCTION SHALL BE SEVERED CLEANLY WITH A PRUNING TOOL.
5. THE SOIL WITHIN THE CRITICAL ROOT ZONES OF EXISTING TREES WILL NOT BE DRIVEN ON OR OTHERWISE DISTURBED DURING THE INSTALLATION OF LANDSCAPING.
6. DO NOT DISPOSE OF ANY CHEMICALS OR REMOVE SOIL OUTSIDE THE LIMITS OF WORK.
7. WHEN INSTALLING NEW LANDSCAPE PLANTS, DO NOT DRIVE EQUIPMENT UPON OR DISTURB THE SOIL WITHIN THE CRITICAL ROOT ZONE OF EXISTING TREES.
8. SIGNAGE MUST BE PLACED ON TREE PROTECTION FENCING WITH A MAXIMUM SPACING OF 75' ON CENTER, TO READ "TREE PROTECTION AREAS - NO TRESPASSING WITHIN FENCE".

**2** TREE PROTECTION FENCING  
C-1.3 NTS

**3** TREE COVERAGE CALCULATION  
C-1.3 NTS

**1** EXISTING CONDITIONS - LANDSCAPE PROTECTION PLAN  
C-1.3 1" = 20'

1. ALL SPECIMEN AND RARE TREES WERE SURVEYED AND ARE SHOWN.
2. THERE ARE NO SIGNIFICANT TREE STANDS IN THE PROJECT AREA.
3. TREES ARE DRAWN TO SIZE REPRESENTING THE CRITICAL ROOT ZONE.
4. A PRE-CONSTRUCTION MEETING WITH THE TOWN'S URBAN FORESTER IS REQUIRED PRIOR TO STARTING ANY WORK ON SITE.
5. THE DEVELOPER SHALL DESIGNATE A LANDSCAPE PROTECTION SUPERVISOR WHO HAS COMPLETED INSTRUCTION IN LANDSCAPE PROTECTION PROCEDURES WITH THE TOWN.
6. IT SHALL BE THE DUTY OF THE LANDSCAPE PROTECTION SUPERVISOR TO ENSURE THE PROTECTION OF NEW OR EXISTING LANDSCAPE ELEMENTS, AS DEFINED IN THE LANDSCAPE PROTECTION PLAN. AT LEAST ONE IDENTIFIED LANDSCAPE PROTECTION SUPERVISOR SHALL BE PRESENT ON THE DEVELOPMENT SITE AT ALL TIMES WHEN ACTIVITY THAT COULD DAMAGE OR DISTURB SOIL AND ADJACENT LANDSCAPE ELEMENTS OCCURS, INCLUDING BUT NOT LIMITED TO: DURING CLEARING AND GRUBBING, DURING ANY EXCAVATION, CRADING, TRENCHING OR MOVING OF SOIL, DURING REMOVAL, INSTALLATION OR MAINTENANCE OF LANDSCAPE ELEMENTS AND TREE PROTECTION FENCING, OR DURING DELIVERY, TRANSPORTING AND PLACEMENT OF CONSTRUCTION MATERIALS AND EQUIPMENT ON SITE.

CANOPY COVERAGE WITHIN PROJECT AREA: 10,492 SF  
CANOPY AREA TO BE REMOVED: 10,087 SF

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**Project:**  
**Rosemary/Columbia Hotel**  
110 W. Rosemary St.  
Orange County,  
North Carolina

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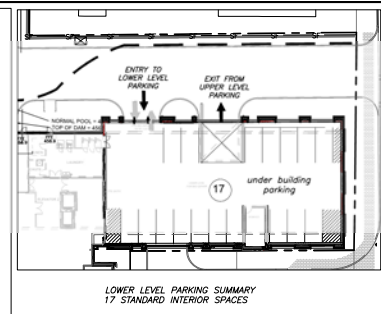
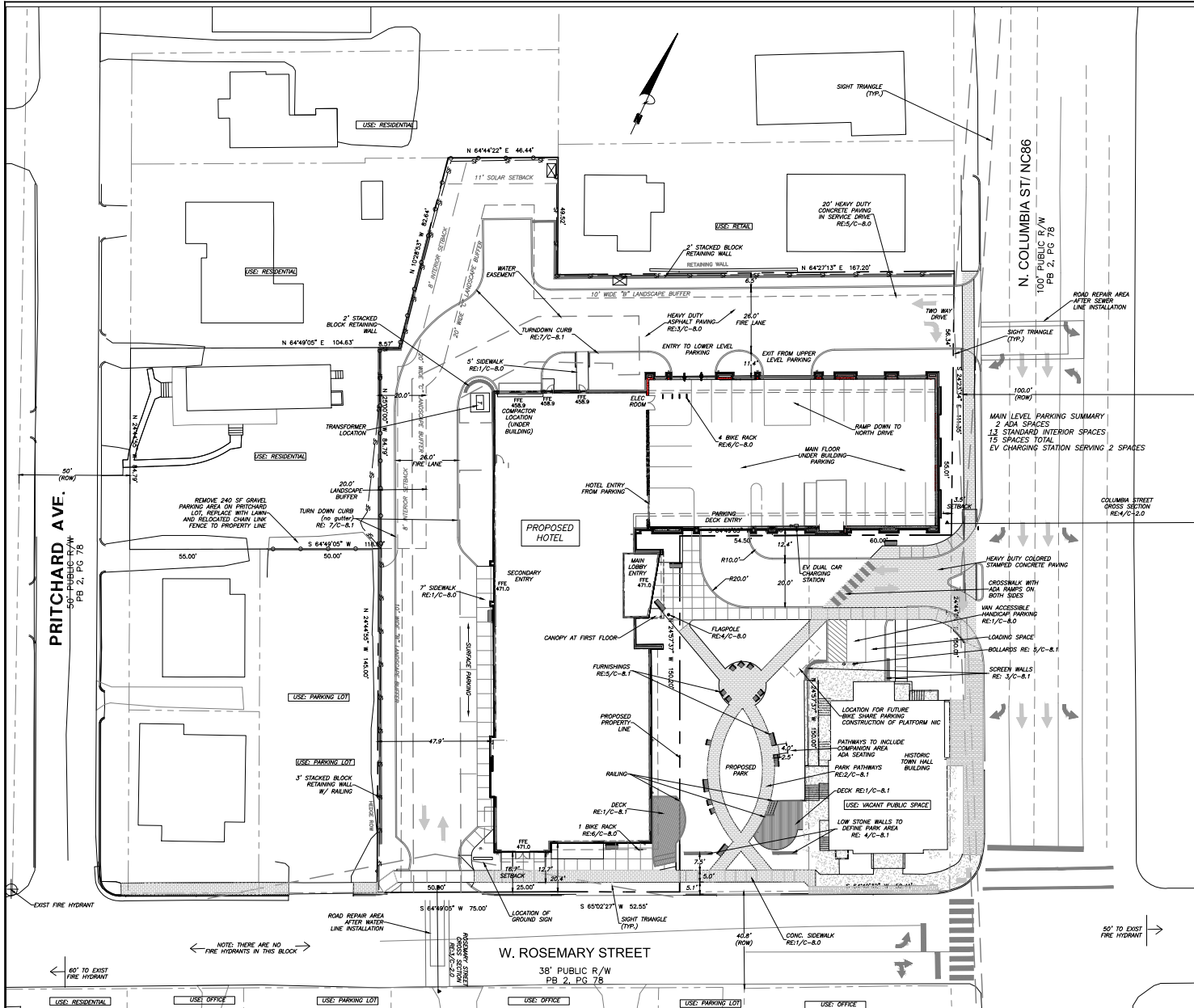
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**LANDSCAPE PROTECTION PLAN**

Sheet Number  
**C-1.3**



2 LOWER LEVEL UNDERGROUND PARKING LAYOUT  
C-2.0 1" = 30'

- ALL ANGLES ARE 90 DEGREES UNLESS OTHERWISE NOTED.
- DIMENSIONS TO BUILDING WALL ARE TO FACE OF WALL AT FINISH GRADE. DIMENSIONS TO CURB ARE TO FACE OF CURB.
- LAY OUT IMPROVEMENTS FOR THE CIVIL ENGINEER'S OR LANDSCAPE ARCHITECT'S REVIEW PRIOR TO BEGINNING CONSTRUCTION.
- REFERENCE ARCHITECTURAL DRAWINGS FOR BUILDING LAYOUT INFORMATION.
- ADA PARKING SPACES SHALL BE SIGNED WITH TYPE R7-8 OR R7-8A RESERVED PARKING SIGN AND R7-80 MAXIMUM FINE SIGN PER GS 20-37.6 OF THE NORTH CAROLINA HANDBOOK CODE. ADA RAMP SHALL HAVE RAMP SURFACES COVERED WITH DETECTABLE WARNING PATTERNS PER ADA STANDARDS.
- REFERENCE EXISTING CONDITION SHEET ZCP-1.0 FOR EXTENT OF DEMOLITION AND REMOVAL OF CURB AND GUTTER, DRIVEWAYS, PAVEMENT, BOLLARDS, MAILBOXES, UTILITIES, AND VEGETATION.
- BY ORANGE COUNTY ORDINANCE, CLEAN WOOD WASTE, SCRAP METAL AND CORRUGATED CARDBOARD, ALL PRESENT IN CONSTRUCTION WASTE, MUST BE RECYCLED.
- BY ORANGE COUNTY ORDINANCE, ALL HAULERS OF CONSTRUCTION WASTE MUST BE PROPERLY LICENSED.
- PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE THE APPLICANT WILL HOLD A PRE-DEMOLITION/PRE-CONSTRUCTION CONFERENCE WITH THE COUNTY'S SOLID WASTE STAFF. THIS MAY BE THE SAME MEETING HELD WITH OTHER DEVELOPMENT OFFICIALS.
- THE PRESENCE OF ANY ASBESTOS CONTAINING MATERIAL (ACM) OR OTHER HAZARDOUS MATERIALS IN CONSTRUCTION AND DEMOLITION WASTE SHALL BE HANDLED IN ACCORDANCE WITH ANY AND ALL LOCAL, STATE, AND FEDERAL REGULATIONS AND GUIDELINES.
- MASONRY WALLS WILL NOT BE REPAIRED BY THE TOWN RESULTING FROM MAINTENANCE ON TOWN OF CHAPEL HILL AND OMSA MAINTAINED UTILITIES.
- KEY BOXES FOR FIRST RESPONDERS WILL BE REQUIRED NEAR THE FRONT DOOR AND SPRINKLER RISER ROOM AREAS. 2012 NC FIRE CODE, SECTION 506.
- MECHANICAL EQUIPMENT MUST BE PLACED AT OR ABOVE BASE FLOOD ELEVATION + 2 FEET.
- PRIOR TO PERFORMING WORK IN THE NCCOT R/W, THE APPLICANT WILL NEED TO OBTAIN THE FOLLOWING:
  - APPROVED NCCOT DRIVEWAY PERMITS FOR PROPOSED ACCESSES TO NC 86.
  - APPROVED NCCOT THREE-PARTY ENCROACHMENT AGREEMENT WITH TOCH FOR PROPOSED / STIPULATED SIDEWALK AND APPURTENANCES.
  - APPROVED NCCOT THREE-PARTY ENCROACHMENT AGREEMENT WITH OMSA FOR PROPOSED WATER AND SEWER CONNECTIONS.
- PRIOR TO ISSUANCE OF THE DRIVEWAY PERMITS AND ENCROACHMENT AGREEMENTS, THE APPLICANT WILL NEED TO PROVIDE COMPLETE AND DETAILED DESIGN PLANS PER NCCOT, TOCH, AND OMSA REQUIREMENTS FOR REVIEW AND APPROVAL.

3 SITE LAYOUT NOTES  
C-2.0

- FOR ALL SIDEWALKS THE FOLLOWING APPLIES:
- SIDEWALK SLOPES TO BE A MAXIMUM 4.8%.
  - SIDEWALK CROSS SLOPES TO BE A MAXIMUM 1.8%.
  - MINIMUM 1' SHOULDER AT MAXIMUM 2% SLOPE ADJACENT TO ADA PAVED ROUTES UNLESS A HANDRAIL IS CALLED OUT.
  - ADA PARKING TO BE A MAXIMUM 1.8% SLOPE IN ANY DIRECTION FOR ENTIRE AREA - PARKING SPACES AND AISLES.
  - ALL DOORS EXITING THE BUILDING REQUIRE AN ADA ACCESSIBLE COMPLIANT ROUTE TO A PUBLIC WAY.
  - PARKING - NUMBER OF SPACES TO COMPLY WITH NCBC 2012 SECTION 1106.1, 1 PER 6 COMPLIANT SPACES OR PORTION THEREOF MUST BE VAN ACCESSIBLE. NO SLOPE TO EXCEED 2% IN ANY DIRECTION. SIGNAGE PER NC REQUIREMENTS, MUT-CO AND ICC A 117.1.
  - CURB CUTS AND ACCESSIBLE ROUTES PER ICC A117.1 2009 ED. CROSS SLOPE LIMITED TO 2%. CALL FOR INSPECTION BEFORE PLACEMENT OF CONCRETE.
  - SLOPE GREATER THAN 5% REQUIRES CONSTRUCTION AS A RAMP.

4 ADA NOTES  
C-2.0

1 SITE PLAN  
C-2.0 1" = 20'



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PROFESSIONAL ENGINEER - NOT FOR CONSTRUCTION

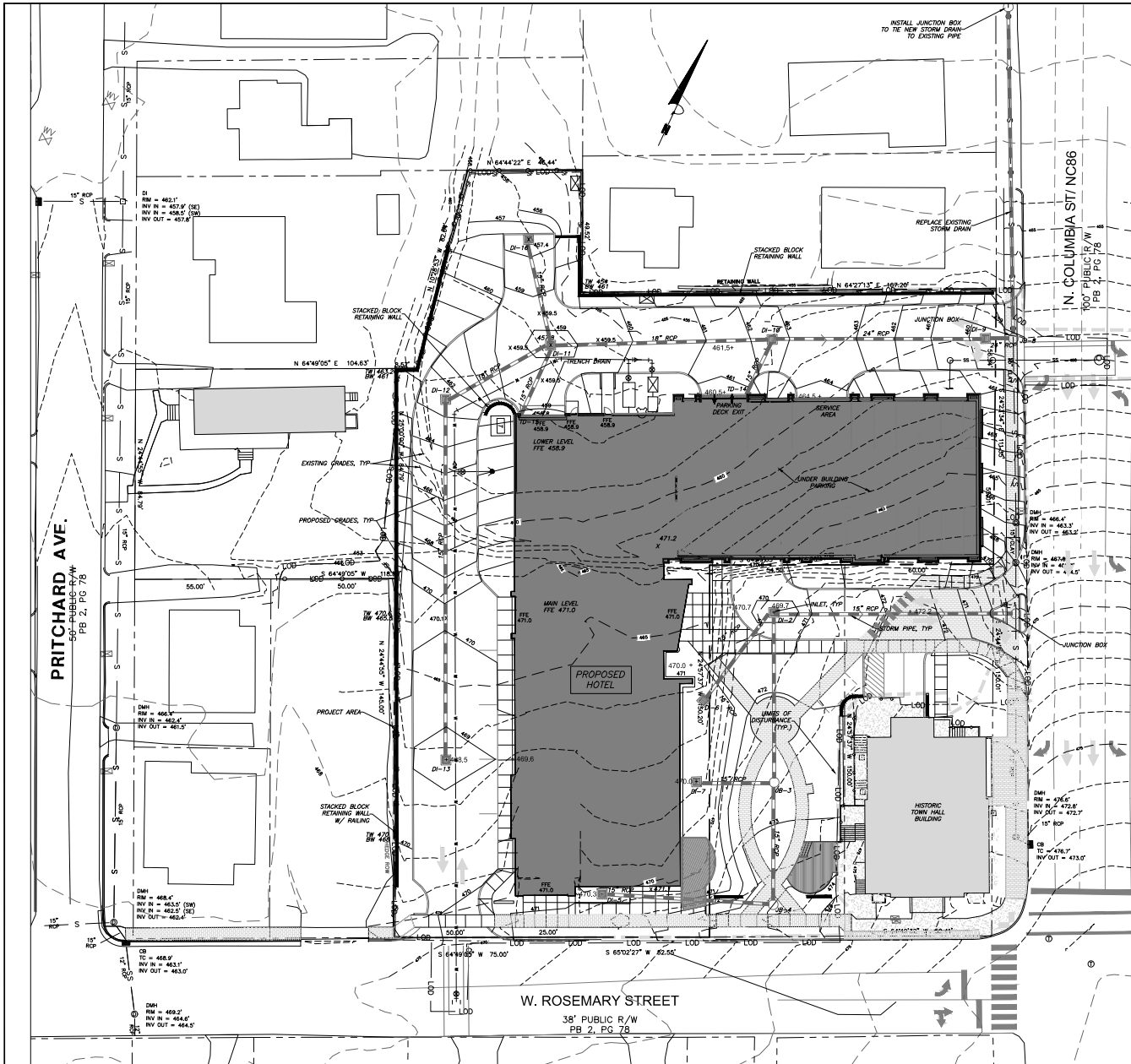
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**SITE PLAN**

Sheet Number

**C-2.0**



**GRADING NOTES**

1. ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH TOWN OF CHAPEL HILL AND NCDOT STANDARDS AND SPECIFICATIONS.
3. CONTRACTOR SHALL NOTIFY "NORTH CAROLINA ONE CALL" (1-800-632-4949) AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR TO CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NORTH CAROLINA ONE CALL".
4. CONSTRUCTION, MAINTENANCE AND REMOVAL OF ALL EROSION CONTROL DEVICES ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
5. EXISTING UTILITIES AND STRUCTURES SHOWN, BOTH UNDERGROUND AND ABOVE GROUND, ARE BASED ON A FIELD SURVEY AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY FIELD CONDITIONS PRIOR TO BEGINNING RELATED CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE IMMEDIATELY.
6. SOIL UNDER BUILDING PAD, PAVED AREAS AND WITHIN SLOPES GREATER THAN 3:1 (H:V) SHALL BE APPROVED, PLACED AND COMPACTED AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER. THESE SOILS SHALL BE COMPACTED AS SPECIFIED UNLESS OTHERWISE RECOMMENDED BY THE GEOTECHNICAL ENGINEER. ANY UNDERCUT OF SOILS IN THESE AREAS SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER & OWNER. THE UNDERCUT SOILS SHALL ALSO QUANTIFIED BY THE GEOTECHNICAL ENGINEER.
7. ALL GRADING MUST PRODUCE SURFACE DRAINAGE ADEQUATE TO PREVENT STANDING WATER OR WET LAWN AREAS, AND TO ENSURE THAT ALL STORM WATER FLOWS TO INLETS OR OTHER POINTS OF DISCHARGE.
8. ALL SIDEWALKS SHALL BE CONSTRUCTED WITH A MAXIMUM 1.8% CROSS SLOPE IN THE DIRECTION SHOWN ON THE PLAN.
9. CONNECT ALL ROOF LEADERS AND DOWNSPOUTS TO STORM DRAINAGE SYSTEM WITH PVC PIPE. SEE ARCHITECTURAL PLANS FOR LOCATIONS.
10. CURB INLETS: PROVIDE PRE-CAST CURB INLET HOODS AND COVERS STATING, "DUMP NO WASTE! DRAINS TO JORDAN LAKE". IN ACCORDANCE WITH THE SPECIFICATIONS OF THE TOWN STANDARD DETAIL SD-5A. FOR ALL NEW CURB INLETS FOR PRIVATE, TOWN AND STATE RIGHTS-OF-WAY.
11. BW (BOTTOM OF WALL) ELEVATION IS FINISH GRADE, NOT THE FOOTING. REFERENCE RETAINING WALL PLANS/DETAILS FOR DEPTH OF FOOTING.
12. ANY DISTURBANCE WITHIN THE FORESTED "NO LAND DISTURBANCE AREA" WILL REQUIRE AN UPDATE TO THE JORDAN ACCOUNTING TOOL.

**STORMWATER NOTES**

1. ALL STORM DRAINAGE PIPES SHOWN ARE TO BE CLASS III REINFORCED CONCRETE (RCP) UNLESS NOTED OTHERWISE.
2. ALL STORM DRAINAGE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF CHAPEL HILL AND NCDOT STANDARDS.
3. ALL CONCRETE SHALL MEET A MINIMUM 3000 PSI COMPRESSIVE STRENGTH.
4. ALL PIPE IN STORM DRAIN STRUCTURES SHALL BE STRUCK EVEN WITH INSIDE WALL.
5. ALL PIPE JOINTS SHALL BE MADE WITH PREFORMED JOINT SEALERS, WHICH CONFORMS TO AASHTO SPECIFICATION M-198 FOR TYPE B FLEXIBLE PLASTIC GASKETS UNLESS OTHERWISE NOTED.
6. THE INTERIOR SURFACES OF ALL STORM DRAINAGE STRUCTURES SHALL BE POINTED AND SMOOTHED TO AN ACCEPTABLE STANDARD USING MORTAR MIXED TO MANUFACTURER'S SPECIFICATIONS.
7. ALL BACKFILL SHALL BE NON-PLASTIC IN NATURE, FREE FROM ROOTS, VEGETATION MATTER, WASTE CONSTRUCTION MATERIAL OR OTHER OBJECTIONABLE MATERIAL. SAID MATERIAL SHALL BE CAPABLE OF BEING COMPACTED BY MECHANICAL MEANS AND SHALL HAVE NO TENDENCY TO FLOW OR BEHAVE IN A PLASTIC MANNER UNDER THE TAMPING BLOWS OR PROOF ROLLING.
8. MATERIALS DEEMED BY THE OWNER'S REPRESENTATIVE AS UNSUITABLE FOR BACKFILL PURPOSES SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL.
9. BACKFILLING OF TRENCHES SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PIPE IS LAID. THE FILL AROUND THE PIPE SHALL BE THOROUGHLY COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY OBTAINABLE WITH THE STANDARD PROCTOR TEST. THE TOP EIGHT (8) INCHES SHALL BE COMPACTED TO 100% STANDARD PROCTOR.
10. UNDER NO CIRCUMSTANCES SHALL WATER BE ALLOWED TO RISE IN UNBACKFILLED TRENCHES AFTER PIPE HAS BEEN PLACED.
11. RISER STRUCTURES WITH MULTIPLE BARREL SECTIONS SHALL HAVE GASKETED JOINTS, AND EACH SECTION SHALL BE BOLTED TO ADJACENT SECTIONS WITH STAINLESS STEEL STRAPS.
- 12.

**STORMWATER PIPE TABLE**

PIPE SEGMENT	UPSTREAM RIM	INVERT DOWN	INVERT UPSTREAM	LENGTH (FT)	DIA. (IN.)	SLOPE (%)	PIPE MATERIAL	O-RING/GASKET
1 TO 2	469.70	463.00	462.96	98	15	2.00%	CONC.	YES
2 TO 3	472.20	468.25	468.63	69	15	2.00%	CONC.	YES
3 TO 4	474.83	464.84	465.29	88	15	2.00%	CONC.	YES
4 TO 5	470.30	465.59	466.97	69	15	2.00%	CONC.	YES
2 TO 6	470.00	463.50	465.54	46	15	4.43%	CONC.	YES
3 TO 7	470.00	464.63	465.27	32	15	2.00%	CONC.	YES
8A TO 8	459.50	447.00	447.22	11	15	2.00%	CONC.	YES
8 TO 9	462.50	447.22	448.94	86	15	2.00%	CONC.	YES
9 TO 10	457.80	448.94	450.72	89	15	2.00%	CONC.	YES
10 TO 11	462.50	450.72	451.68	48	15	2.00%	CONC.	YES
11 TO 12	468.50	451.68	454.58	145	15	2.00%	CONC.	YES
9 TO 13	460.50	450.00	450.46	23	8	2.00%	PVC	YES
10 TO 14	458.80	452.00	452.58	29	8	2.00%	PVC	YES
10 TO 15	457.40	450.72	451.58	43	15	2.00%	CONC.	YES

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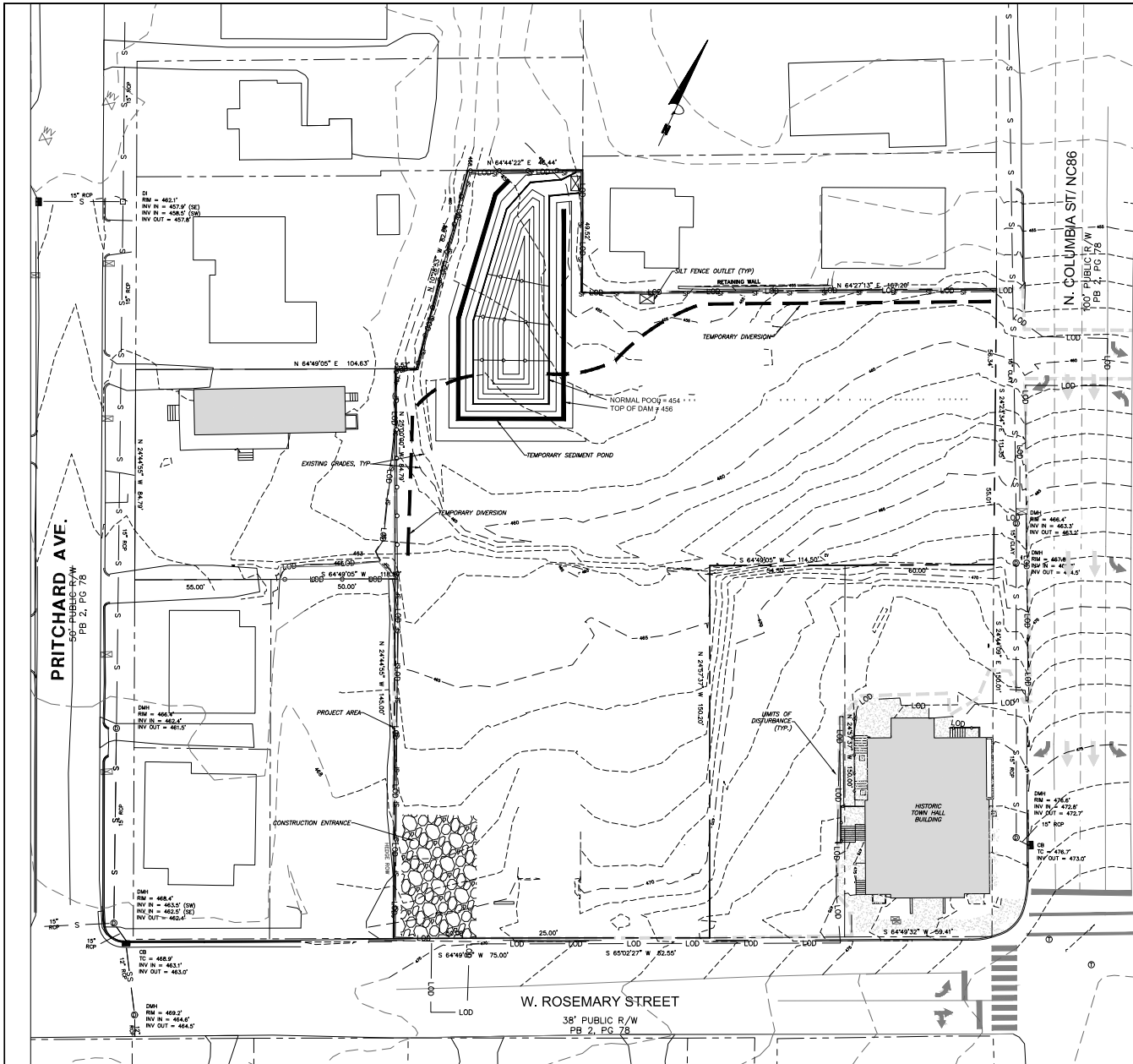
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**GRADING AND  
STORMWATER  
PLAN**

Sheet Number  
**ZCP-3.0**





1. EROSION CONTROL BOND: IF ONE (1) ACRE OR MORE IS UNCOVERED BY LAND-DISTURBING ACTIVITIES FOR THIS PROJECT, THEN A PERFORMANCE GUARANTEE IN ACCORDANCE WITH SECTION 5-97.1 BONDS OF THE TOWN CODE OF ORDINANCES SHALL BE REQUIRED PRIOR TO FINAL AUTHORIZATION TO BEGIN LAND-DISTURBING ACTIVITIES. THIS FINANCIAL GUARANTEE IS INTENDED TO COVER THE COSTS OF RESTORATION OF FAILED OR FAILING SOIL EROSION AND SEDIMENTATION CONTROLS, AND/OR TO REMEDY DAMAGES RESULTING FROM LAND-DISTURBING ACTIVITIES. SHOULD THE RESPONSIBLE PARTY OR PARTIES FAIL TO PROVIDE PROMPT AND EFFECTIVE REMEDIES ACCEPTABLE TO THE TOWN.
2. THE APPLICANT SHALL PROVIDE A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PERMIT FROM ORANGE COUNTY EROSION CONTROL DIVISION PRIOR TO RECEIVING A ZONING COMPLIANCE PERMIT. DURING THE CONSTRUCTION PHASE, ADDITIONAL EROSION AND SEDIMENT CONTROLS MAY BE REQUIRED IF THE PROPOSED MEASURES DO NOT CONTAIN THE SEDIMENT, SEDIMENT LEAVING THE PROPERTY IS A VIOLATION OF THE TOWN'S EROSION AND SEDIMENT CONTROL ORDINANCE.
3. THE CONTRACTOR SHALL TAKE THE APPROPRIATE MEASURES TO PREVENT AND REMOVE THE DEPOSIT OF WET OR DRY SILT ON ADJACENT PAVED ROADWAYS.
4. EROSION CONTROL INSPECTIONS: IN ADDITION TO THE REQUIREMENT DURING CONSTRUCTION FOR INSPECTION AFTER EVERY RAINFALL, THE APPLICANT SHALL INSPECT THE EROSION AND SEDIMENT CONTROL DEVICES WEEKLY, MAKE ANY NECESSARY REPAIRS OR ADJUSTMENTS TO THE DEVICES, AND MAINTAIN INSPECTION LOGS DOCUMENTING THE DAILY INSPECTIONS AND ANY NECESSARY REPAIRS.

2  
C-4.0 EROSION CONTROL NOTES  
N.T.S.



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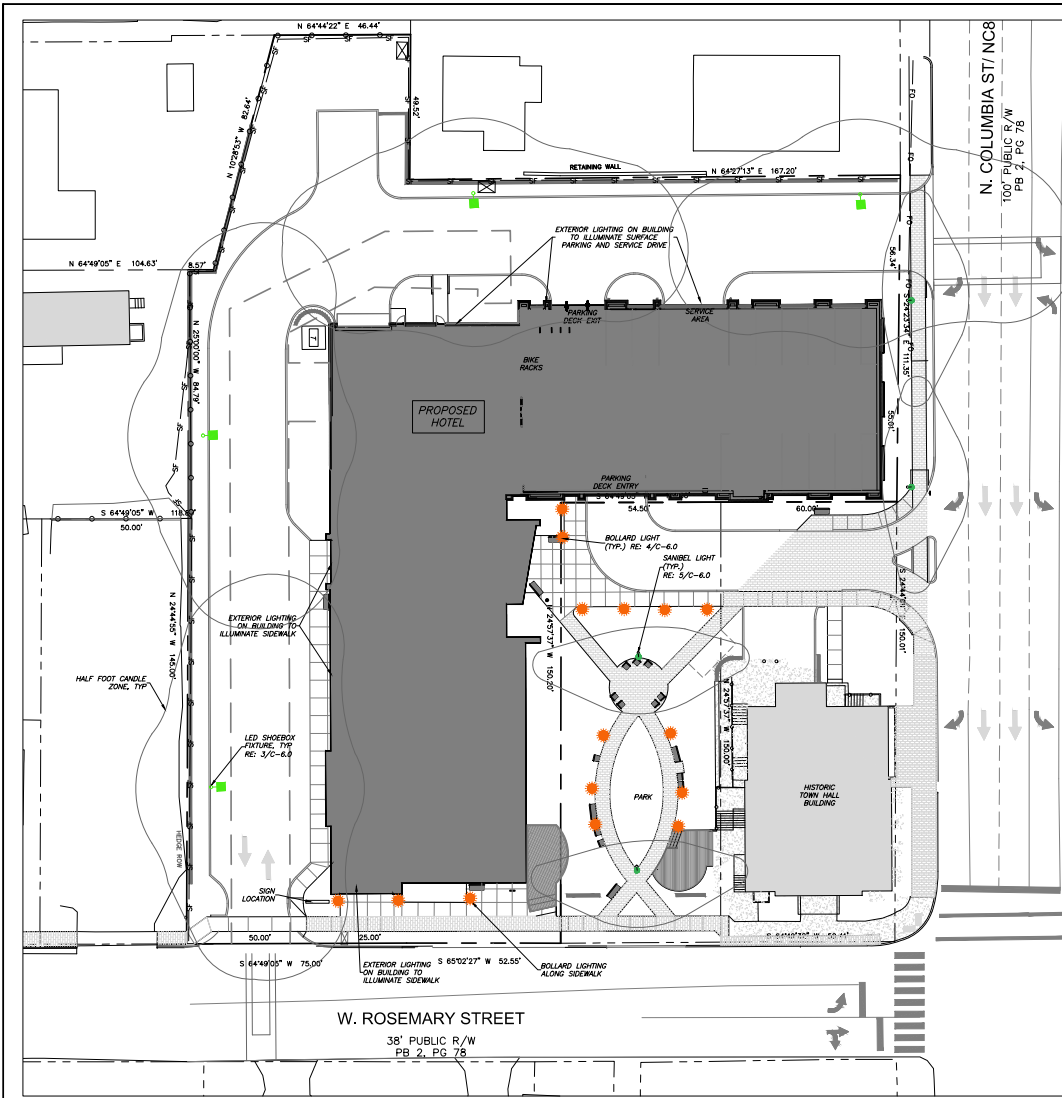
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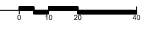
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C-4.0 EROSION CONTROL PLAN  
1" = 20'










1 LIGHTING PLAN  
C-6.0 1" = 20'



LEGEND

-  LED SHOEBOX FIXTURE  
RE: 3/C-6.0
-  LED BOLLARD LIGHT  
RE: 4/C-6.0
-  SANIBEL LIGHT  
RE: 5/C-6.0

LIGHTING CONDUIT

LIGHTING CONDUIT SHALL MEET THE FOLLOWING GUIDELINES.

1. CONDUIT DESIGN MUST BE APPROVED BY DUKE ENERGY PRIOR TO INSTALLATION. CHANGING THE CONDUIT LAYOUT CAN CAUSE CONDUCTOR LENGTH TO EXCEED ACCEPTABLE VOLTAGE LEVEL WHICH WILL AFFECT THE LIGHT'S ABILITY TO OPERATE.
2. ALL CONDUITS ARE TO BE 2" SCHEDULE 40 GRAY ELECTRICAL PVC.
3. ALL JOINTS ARE TO BE GLUED.
4. ALL ENDS ARE TO BE MARKED WITH SCRAP CONDUIT OR A BOARD (PAINTING THE GROUND WITH MARKING PAINT IS NOT ACCEPTABLE). IT IS STRONGLY SUGGESTED THAT THE ENDS SHOULD BE IDENTIFIED BY GPS COORDINATES.
5. ALL ENDS ARE TO BE CAPPED TO PREVENT ENTRY OF DEBRIS.
6. ALL CONDUITS MORE THAN 30' IN LENGTH SHALL HAVE A STRING INSTALLED.
7. TO COMPLY WITH NESI; ALL CONDUIT ARE TO BE INSTALLED AT A MINIMUM DEPTH OF 30" FROM FINISH GRADE TO TOP OF CONDUIT. CONDUITS THAT CAN NOT MEET THIS CRITERIA MUST BE ENCASED IN 3" MINIMUM CONCRETE ENVELOPE. (FLOWABLE FILL IS ACCEPTABLE IN PLACE OF CONCRETE).
8. IF CONCRETE ENCASED CONDUIT IS REQUIRED AT ANY POINT, IT MUST BE ENCASED IN CONCRETE UNTIL PIPE IS BACK DOWN TO REQUIRED DEPTH.
9. PEDESTAL AREAS WHERE MULTIPLE CONDUIT ENDS TERMINATE ARE TO HAVE THE CONDUIT ENDS WITHIN 12" OF EACH OTHER.
10. DIRECT BURIED LIGHT POLE AREAS ARE TO HAVE CONDUITS TERMINATE 36" APART AND 12" BACK OF POLE LOCATION.
11. CONDUITS SERVING LIGHTS ON CONCRETE REVEALS ARE TO BE CONTINUOUS FROM REVEAL TO REVEAL.

2 LIGHTING NOTES

C-6.0



LED SHOEBOX

- LEASED FROM DUKE ENERGY
- 25' POLE
- COLOR: BLACK
- PROVIDE 2" PVC CONDUIT UNDER PAVEMENT & UNDER HEAVILY LANDSCAPED AREAS

3 LED SHOEBOX FIXTURE

C-6.0



LED SANIBEL DROP FIXTURE

- LEASED FROM DUKE ENERGY
- COLOR: DARK GREEN
- 15' POLE TYPE 'C' ALUMINUM
- PROVIDE ON ROSEMARY STREET AT PARK AND IN FRONT OF COLUMBIA WING AT STREET

5 LED ROSEMARY STREET FIXTURE

C-6.0

LIGHTING NOTES

1. MEASURES SHALL BE PROVIDED TO PREVENT LIGHT SPILLOVER ONTO ADJACENT PROPERTIES AND GLARE TOWARD MOTOR VEHICLE OPERATORS. EXTERIOR LIGHTS SHALL BE SHIELDED SO THEY DO NOT CAST DIRECT LIGHT BEYOND THE PROPERTY LINE.
2. PROVIDE 2" PVC CONDUIT UNDER PAVEMENT, UNDER HEAVILY LANDSCAPED AREAS AS NECESSARY, AND AS DETERMINED BY DUKE ENERGY TO PROVIDE ACCESS TO ALL LIGHT FIXTURES. COORDINATE WITH DUKE ENERGY TO FINALIZE CONDUIT LOCATIONS AND LENGTHS.

SPECIAL COORDINATION NOTES

1. CONTRACTOR IS TO COORDINATE PARKING LOT LIGHT POLE AND CONDUIT LOCATIONS WITH DUKE ENERGY PRIOR TO INSTALLATION OF WALLS AND PAVING.
2. ABOVE GROUND PEDESTALS AND LIGHT POLES WILL BE PROVIDED AND INSTALLED BY DUKE ENERGY FOR THE 25' PARKING LOT LIGHTS.
3. CONTRACTOR IS TO REFER TO DUKE ENERGY SPECIFICATIONS FOR CONDUIT INSTALLATION.
4. CONDUIT IS TO BE FURNISHED AND INSTALLED BY CONTRACTOR.



LED SQUARE BOLLARD

- MANUFACTURER: KIM
- MODEL: PAVILLION
- 42" HEIGHT
- LED
- COLOR: BLACK

4 LED SQUARE BOLLARD FIXTURE

C-6.0



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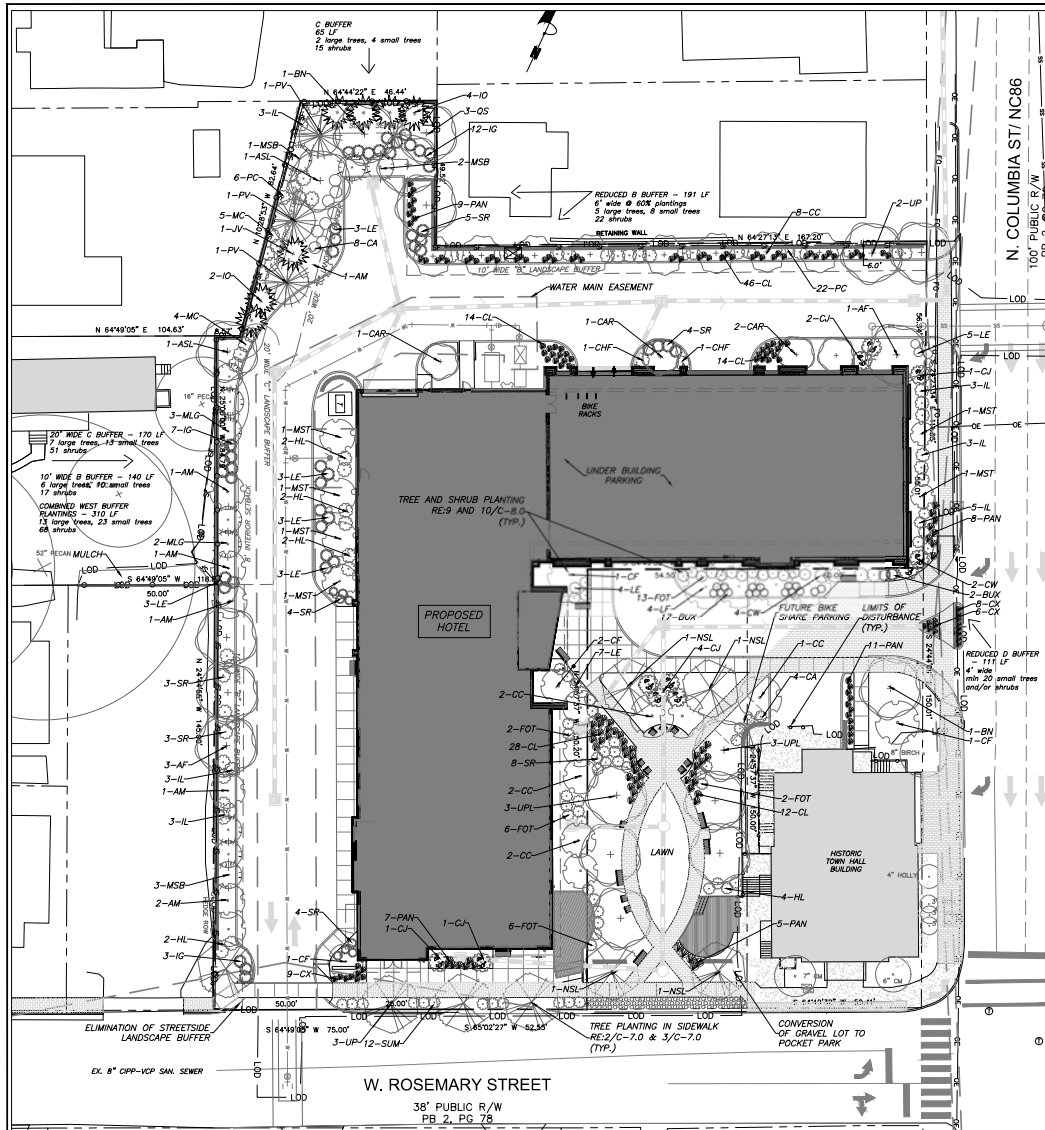
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LIGHTING  
PLAN

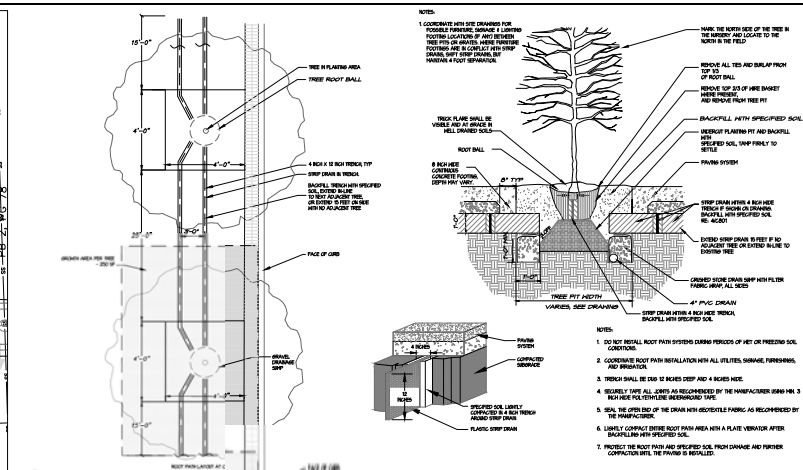
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1 LANDSCAPE PLAN  
C-7.0  
1" = 20'

TREE CANOPY CALCULATION

EXISTING TREE CANOPY: 10,492 SF  
 TREE CANOPY TO BE REMOVED: 10,087 SF  
 REQUIRED TREE CANOPY: NONE REQUIRED IN TC ZONE  
 PROPOSED TREE CANOPY: INSTALLATION OF A MINIMUM OF: 23 TALL MATURING TREES, AND 43 UNDERSTORY TREES



2 ROOT PATH STREET TF  
C-7.0

PLANTING NOTES

- LANDSCAPING MUST BE IN PLACE PRIOR TO 1 CERTIFICATE OF COMPLIANCE.
  - CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SLOPES PRIOR TO ORDERING MATERIALS IN AREAS OF GROUND COVER, MAINTAIN A 1:1 RATIO IMPROVEMENTS.
  - BED LINES SHALL CONFORM TO CONGRUITY MEET CURBS, WALKS, BUILDINGS, ETC. AT RIG CONTRACTOR SHALL VISIT THE SITE AND FIRM AND VERIFY EXISTING CONDITIONS IN THE DISCREPANCIES TO LANDSCAPE ARCHITECT. CONTRACTOR SHALL ACCEPT ACTUAL CONDITIONS SPECIFIED INCLUDING FINE GRADING AND RIG AREAS, WITHOUT ADDITIONAL COMPENSATION UNDER CONDITIONS SHOWN, WHETHER SURFACE OR 1 CONTRACT DOCUMENTS.
  - CONTRACTOR WILL OBTAIN WRITTEN APPROVAL SUBSTITUTIONS OF SPECIES, SIZE, OR TYPE. CONTRACTOR SHALL LOCATE ALL UNDERSTORY TREES SHALL BE RESPONSIBLE FOR THE PROTECTION AND SHALL PROMPTLY REPAIR AND RESTORE.
- OWNER IF DAMAGE OCCURS DURING INSTALLATION. CONTRACTOR SHALL BECOME THOROUGHLY FAMILIAR WITH THE FULL SET OF CONSTRUCTION DRAWINGS AND SPECIFICATIONS FOR UTILITIES, ARCHITECTURAL FEATURES, ROCKS, AND DEBRIS.
- MULCH IS TO BE A 3" LAYER OF THIRTEEN SHREDED HARDWOOD MULCH. MULCH IS TO BE KEPT AWAY FROM TREE TRUNKS.
  - ANY DAMAGE TO EXISTING CONDITIONS OUTSIDE THE CONTRACT LIMITS, INCLUDING CURBS, SIDEWALKS, TRAMP AREAS AND PARKING, SHALL BE RESTORED TO ORIGINAL CONDITION BY THE CONTRACTOR WITHOUT EXTRA COST TO THE OWNER.
  - IN CASE OF DISCREPANCY BETWEEN THE QUANTITY OF PLANTS ON THE PLANS COMPARED TO THE PLANT LIST, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY.
  - ALL UNFINISHED SURFACES ARE TO BE COVERED IN PLANTS, MULCH, OR GRASS.
  - LINE OF SIGHT NOTE: NO PROPOSED LANDSCAPING WITHIN THE LINE OF SIGHT EASEMENT SHALL EXCEED 24" AT MATURITY. ANY NEW TREES SHALL BE LABELED TO 7' ABOVE FINISHED GRADE.
  - ANY INVASIVE, EXOTIC PLANT MATERIAL WILL BE REMOVED. A SURVEY OF EXISTING LANDSCAPE BUFFERS TO REMAIN WILL BE CONDUCTED FOLLOWING INITIAL CLEARING, AND ANY INVASIVE OR EXOTIC SPECIES FOUND WILL BE REMOVED.
  - THE AREA WITHIN THE SIGHT TRIANGLE AREA SHALL BE THINNED OF ALL SHRUBS, UNDERSTORY TREES UNDER 1" IN CALIBER, VINES, AND DEAD PLANT MATERIAL. EXISTING TREES LARGER THAN 1" SHALL BE LABELED UP TO 7' ABOVE EXISTING GRADE TO IMPROVE VISIBILITY.

QTY	SYM	COMMON NAME	SIZE	SPACING	REMARKS		
4	N AF	Acer freemanii	2.5" CAL	AS SHOWN	SINGLE TRUNK & LEADER		
1	N ASL	Acer saccharum 'Legacy'	2.5" CAL	AS SHOWN	SINGLE TRUNK & LEADER		
2	N BN	Betula nigra	3" CAL	30' HT	MULTI-TRUNK, 3 STEM		
1	N CAR	Carpinus betulus fastigiata	2.5" CAL	AS SHOWN	SINGLE TRUNK & LEADER		
4	N NSL	Nyssa sylvatica	4" CAL	AS SHOWN	SINGLE TRUNK & LEADER		
3	N PV	Pinus virginiana	2" cal.	12' ht.	SINGLE TRUNK & LEADER		
3	N QS	Quercus shumardii	2.5" CAL	AS SHOWN	SINGLE TRUNK & LEADER		
5	N UP	Ulmus americana 'Princeton'	2.5" CAL	AS SHOWN	SINGLE TRUNK & LEADER		
6	N UPL	Ulmus americana 'Princeton'	4" CAL	AS SHOWN	SINGLE TRUNK & LEADER		
33							
<b>UNDERSTORY TREES</b>							
7	N AM	American arbutus	Serviceberry	1" cal.	8' ht.	AS SHOWN	MULTI-TRUNK
15	N CC	Cercis canadensis 'Hearts of Gold'	Hearts of Gold Redbud	1" cal.	8' ht.	AS SHOWN	SINGLE TRUNK & LEADER
5	N CF	Cornus florida	Dogwood	1" cal.	8' ht.	AS SHOWN	
6	N IO	Ilex opaca	American Holly	1" cal.	6' ht.	8' O.C.	SINGLE TRUNK & LEADER
1	N JW	Juniperus virginiana	Eastern Redcedar	8" ht.	AS SHOWN	FULL AND MATCHING	
9	N LE	Lagotisnaemia 'Four Townhouse'	Townhouse Crane Myrtle	8" ht.	AS SHOWN	MULTI-STEM MATCHING	
1	N MC	Myrica centifera	Eastern Wasmirey	8" ht.	AS SHOWN	FULL	
5	N MUG	Magnolia grandiflora 'Little Gem'	Little Gem Magnolia	1.5" cal.	8' ht.	30' O.C.	FULL AND MATCHING
6	N MSB	Magnolia virginiana	Sweetbay Magnolia	1.5" cal.	8' ht.	AS SHOWN	FULL
6	N MST	Magnolia stellata 'Royal Star'	Royal Star Magnolia	1.5" cal.	8' ht.	AS SHOWN	FULL
64							
<b>SHRUBS</b>							
19	N BXJ	Buxus microphylla koreana	Korean Boxwood	18" ht.	4" o.c.	FULL AND MATCHING	
12	N CA	Callisaya americana	American Beautyberry	24" ht.	5" o.c.	FULL AND MATCHING	
9	N CI	Camellia x 'Taylor's Perfection'	Taylor's Perfection Camellia	24" ht.	5" o.c.	FULL AND MATCHING	
6	N CW	Camellia 'Polaris'	Polaris Camellia	24" ht.	4" o.c.	FULL AND MATCHING	
2	N CHF	Cephalotaxus harringtonia 'Fastigiata'	Upright Yew	36" ht.	AS SHOWN	FULL AND MATCHING	
3	N FOT	Fothergilla major 'Mount Airy'	Mount Airy Fothergilla	18" ht.	4" o.c.	FULL AND MATCHING	
12	N HG	Hydrangea paniculata 'Jane'	Little Line Hardy Hydrangea	24" ht.	5" o.c.	FULL AND MATCHING	
22	N IG	Ilex glabra	Inkberry Holly	15" ht.	36" O.C.	FULL AND MATCHING	
20	N IL	Ilicium parviflorum	Anise	24" ht.	4" o.c.	FULL AND MATCHING	
3	N LE	Longepetalum chinense 'Emerald'	Emerald Longepetalum	18" ht.	36" O.C.	FULL AND MATCHING	
24	N PC	Phytolacca americana 'Dino Lynke'	Dino Lynke	18" ht.	4" o.c.	FULL AND MATCHING	
18	N SLJM	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac	12" ht.	4" o.c.	FULL AND MATCHING	
31	N SR	Sarcococca rustica	Sweetbox	18" ht.	36" O.C.	FULL AND MATCHING	
217							
<b>GROUNDCOVER</b>							
23	N CX	Carex	Carex	1 gal	2" o.c.	FULL AND MATCHING	
114	N CL	Chasmanthium latifolium	River Oats	1/2 gal	2" o.c.	FULL AND MATCHING	
32	N PAN	Panicum virgatum	Switchgrass	1 gal	2" o.c.	FULL AND MATCHING	

PLANT LIST



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NC BOARD OF  
 LANDSCAPE ARCHITECTS  
 LIC # C-104

Project:

Rosemary/  
 Columbia  
 Hotel

110 W. Rosemary St.  
 Orange County,  
 North Carolina

PHN: 9788-37-0680  
 9788-37-0549  
 9788-27-9667  
 9788-27-9700  
 9788-37-0721  
 9788-37-0647



PRELIMINARY DO NOT  
 USE FOR CONSTRUCTION

Job Number: 1903

Drawn: WJR, WTC  
 Checked: WJR, WTC  
 Date: 5-2-2022

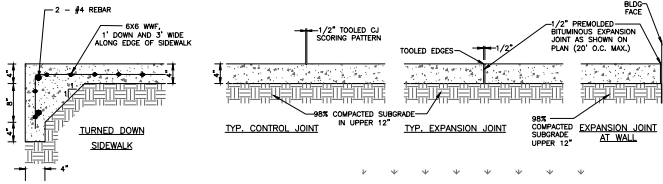
zoning compliance permit

Sheet Title:

LANDSCAPE  
 PLAN

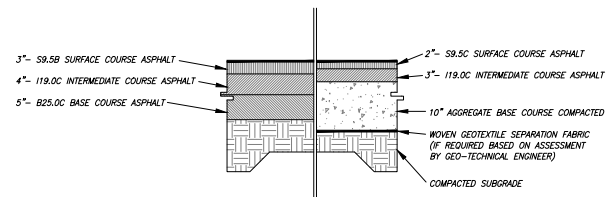
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C-7.0

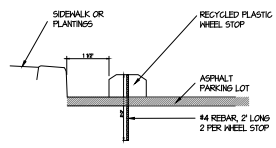


- NOTES:
- 4" THICK CONC., 3000 PSI MIN.
  - ALL SIDEWALK ARE TO HAVE MAXIMUM 1.8% CROSS SLOPE.
  - USE 1/2" BITUMINOUS EXPANSION JOINT AT MAX. OF 20' O.C. AND WHENEVER CONCRETE WALK MEETS FIXED OBJECTS (E.G. CURBS, BLDG. ETC.), EXPANSION JOINTS THAT ABUT BUILDING WALL SHALL BE SEALED WITH A FOAM BACKER ROD AND ELASTOMERIC SEALANT.
  - ALL CONSTRUCTION JOINTS AND EXPANSION JOINTS IN NCDOT RIGHT-OF-WAY SHALL BE SEALED PER NCDOT STANDARDS AND SPECIFICATION.
  - ALL SIDEWALKS SHALL BE CONSTRUCTED WITH TOOLED 1/4" EDGE RADIUS.

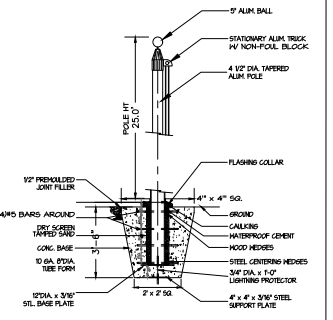
1 CONCRETE SIDEWALK  
C-8.0 no scale



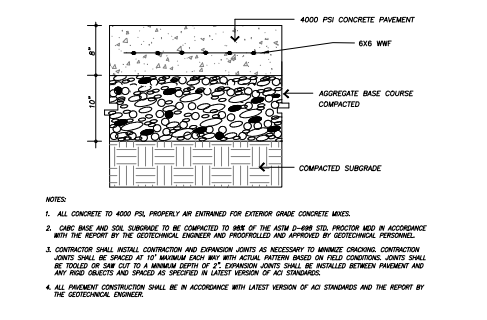
2 ASPHALT PAVING  
C-8.0 no scale



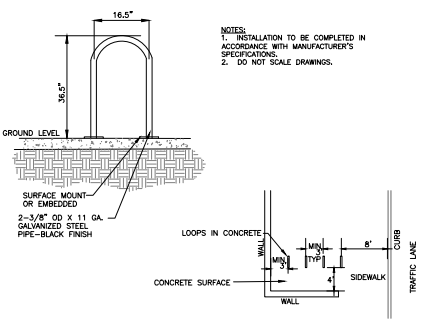
3 WHEEL STOP  
C-8.0 no scale



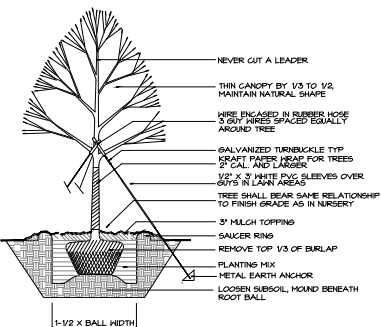
4 FLAGPOLE  
C-8.0 no scale



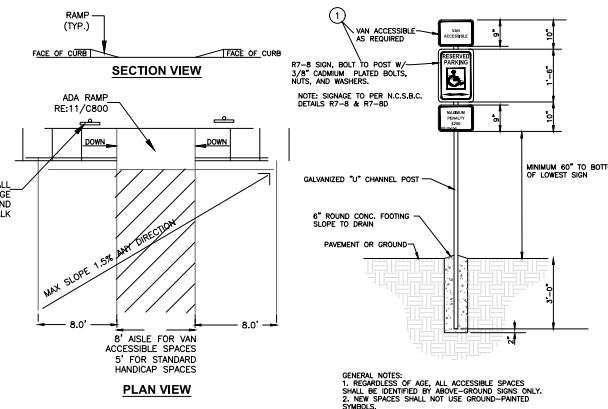
5 CONCRETE PAVING - SITE  
C-8.0 no scale



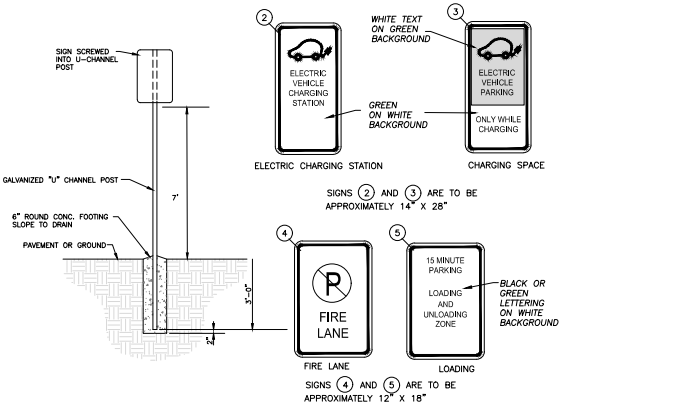
6 BICYCLE RACK  
C-8.0 no scale



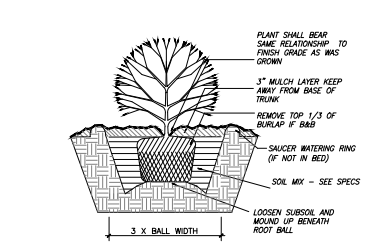
9 TREE PLANTING  
C-8.0 no scale



7 ADA PARKING  
C-8.0 no scale



8 PARKING AREA SIGNAGE  
C-8.0 no scale



10 SHRUB PLANTING  
C-8.0 no scale

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NC BOARD OF LANDSCAPE ARCHITECTS  
LIC # C-104

Project:

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Hotel

110 W. Rosemary St.  
Orange County,  
North Carolina

PIN:  
9788-37-0680  
9788-37-0549  
9788-27-9667  
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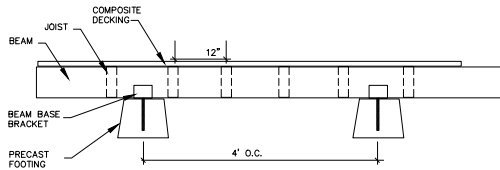
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Checked: WJR, WJC  
Date: 5-2-2022  
Revisions:

Zoning Compliance Permit

Sheet Title:

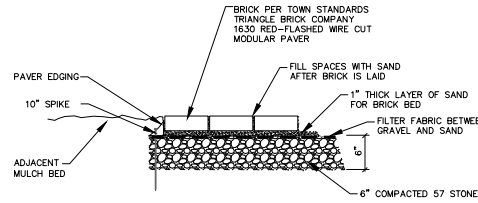
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Sheet Number  
**C-8.0**

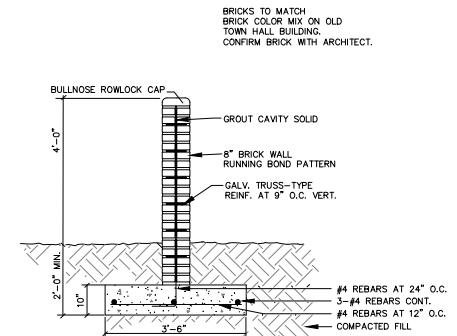


-CONCRETE PRECAST FOOTINGS  
-WOOD/PLASTIC COMPOSITE LUMBER  
FOR BEAMS, JOISTS, AND DECKING  
-INTEGRATED COLOR

1 DECKING  
C-8.1 no scale

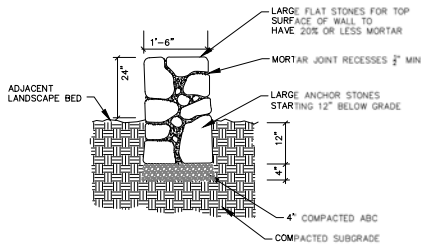


2 PARK PATHWAYS  
C-8.1 no scale

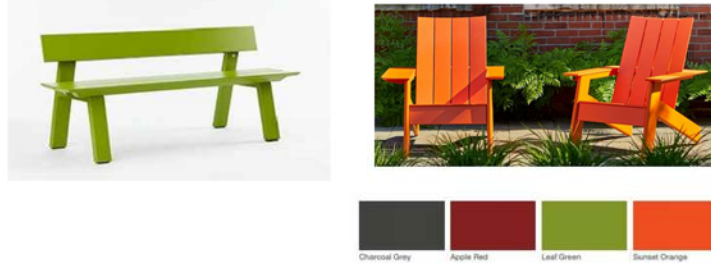


BRICKS TO MATCH  
BRICK COLOR MIX ON OLD  
TOWN HALL BUILDING.  
CONFIRM BRICK WITH ARCHITECT.

3 SCREEN WALL  
C-8.1 no scale



4 FREESTANDING STONE WALL  
C-8.1 no scale



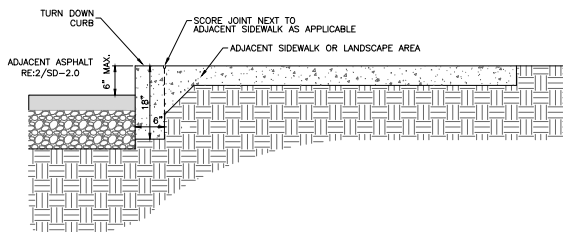
BASIS OF DESIGN:  
LANDSCAPE FORMS GLIDE ARMLESS BENCH 75" LENGTH  
LANDSCAPE FORMS AMERICANA CHAIR 37.5" DEEP x 33.5" WIDE  
COLOR TO BE CHOSEN BY OWNER FROM MANUFACTURER'S STANDARD COLORS

5 PARK FURNITURE  
C-8.1 no scale



BASIS OF DESIGN:  
DUMOR ARMLESS CHAIR MODEL 483  
DUMOR 30" DIAM TABLE MODEL 484  
COLOR TO BE CHOSEN BY OWNER FROM MANUFACTURER'S STANDARD COLORS

6 DECK FURNITURE  
C-8.1 no scale



7 TURN DOWN CURB  
C-8.1 no scale

8 NOT USED  
C-8.1 no scale

9 NOT USED  
C-8.1 no scale



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PRELIMINARY DO NOT  
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Revisions:

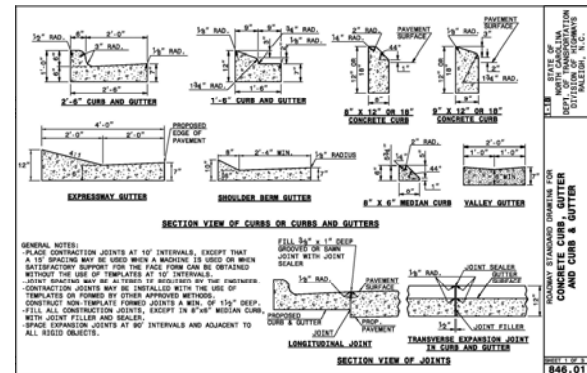
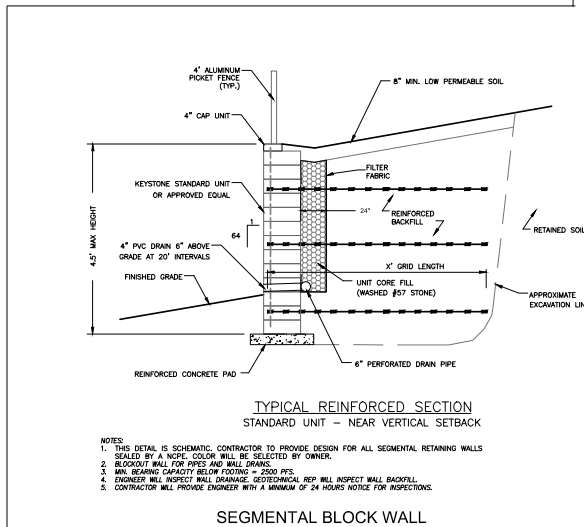
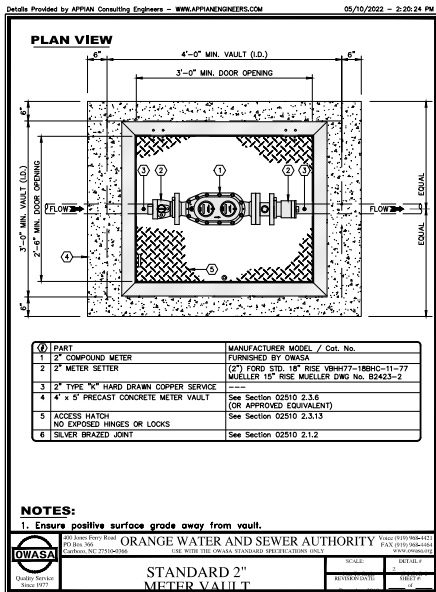
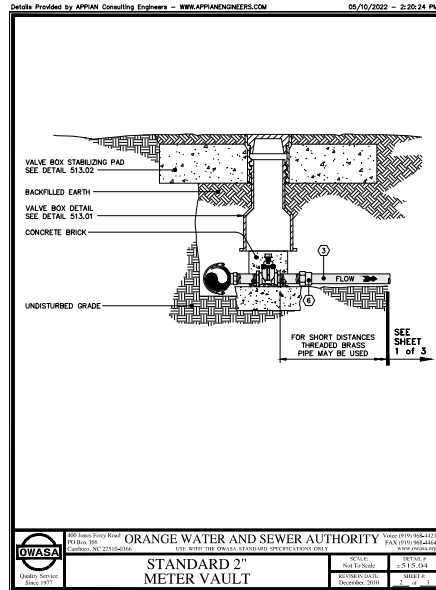
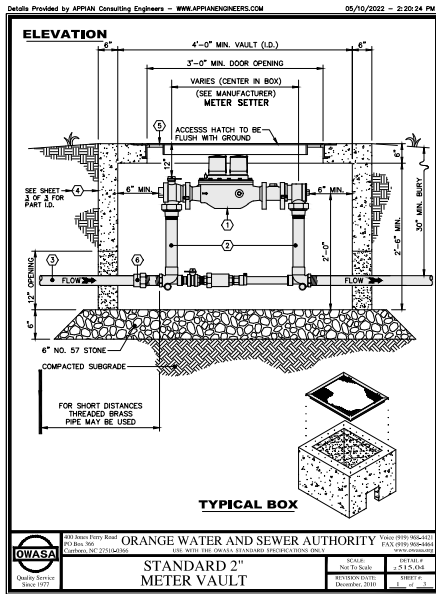
Zoning Compliance Permit

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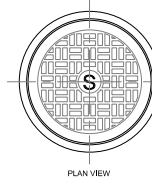
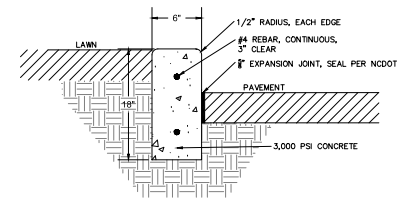
SITE DETAILS

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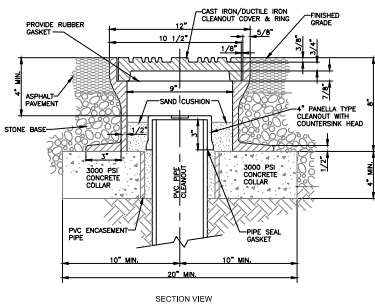
C-8.1



2 NCDOT CURB & GUTTER  
C-8.2 no scale



4 TRAFFIC BEARING CLEAN-OUT  
C-8.2 no scale



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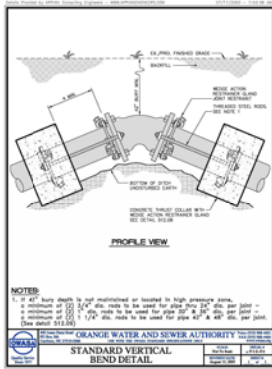
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Job Number: 1963

Drawn: WJR, WJE  
Checked: WJR, WJE  
Date: 5-2-2022  
Revisions:

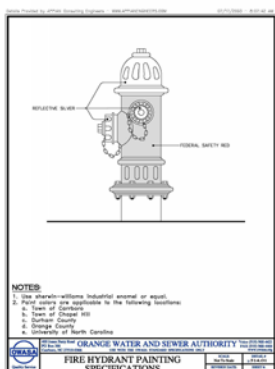
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**SITE DETAILS**

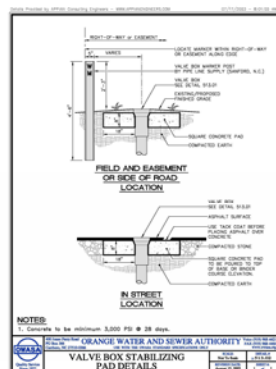
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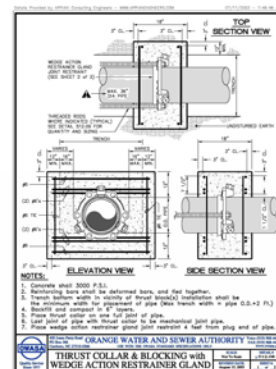
1 VERTICAL BENDS  
C-8.3 no scale



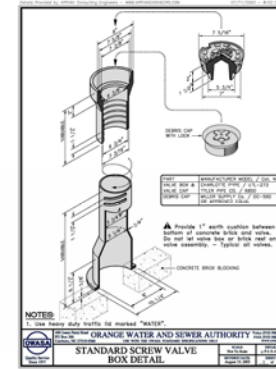
2 HYDRANT PAINTING  
C-8.3 no scale



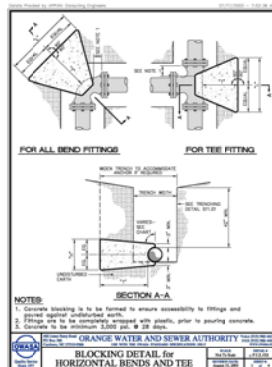
3 VALVE BOX PAD  
C-8.3 no scale



4 THRUST COLLAR  
C-8.3 no scale



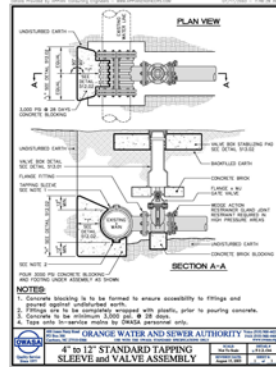
5 VALVE BOX  
C-8.3 no scale



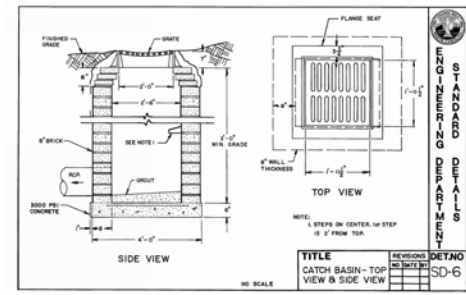
6 BLOCKING (1 OF 4)  
C-8.3 no scale

TEST PRESSURE - ISO P.S.I.			
SIZE	CONCRETE P.S.I.	TEST PRESSURE (P.S.I.)	MINIMUM WALL THICKNESS (IN.)
1/2"	1,500	1,500	0.04
3/4"	1,500	1,500	0.04
1"	1,500	1,500	0.04
1 1/4"	1,500	1,500	0.04
1 1/2"	1,500	1,500	0.04
1 3/4"	1,500	1,500	0.04
2"	1,500	1,500	0.04
2 1/2"	1,500	1,500	0.04
3"	1,500	1,500	0.04
3 1/2"	1,500	1,500	0.04
4"	1,500	1,500	0.04
4 1/2"	1,500	1,500	0.04
5"	1,500	1,500	0.04
5 1/2"	1,500	1,500	0.04
6"	1,500	1,500	0.04
6 1/2"	1,500	1,500	0.04
7"	1,500	1,500	0.04
7 1/2"	1,500	1,500	0.04
8"	1,500	1,500	0.04
8 1/2"	1,500	1,500	0.04
9"	1,500	1,500	0.04
9 1/2"	1,500	1,500	0.04
10"	1,500	1,500	0.04
10 1/2"	1,500	1,500	0.04
11"	1,500	1,500	0.04
11 1/2"	1,500	1,500	0.04
12"	1,500	1,500	0.04

7 BLOCKING (2 OF 4)  
C-8.3 no scale



8 TAPPING SLEEVE AND VALVE  
C-8.3 no scale



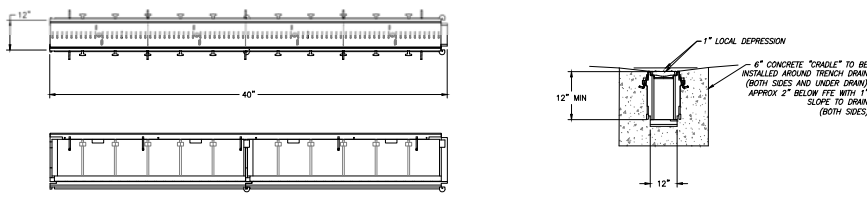
9 DROP INLET  
C-8.3 no scale

TEST PRESSURE - 200 P.S.I.			
SIZE	CONCRETE P.S.I.	TEST PRESSURE (P.S.I.)	MINIMUM WALL THICKNESS (IN.)
1/2"	1,500	1,500	0.04
3/4"	1,500	1,500	0.04
1"	1,500	1,500	0.04
1 1/4"	1,500	1,500	0.04
1 1/2"	1,500	1,500	0.04
1 3/4"	1,500	1,500	0.04
2"	1,500	1,500	0.04
2 1/2"	1,500	1,500	0.04
3"	1,500	1,500	0.04
3 1/2"	1,500	1,500	0.04
4"	1,500	1,500	0.04
4 1/2"	1,500	1,500	0.04
5"	1,500	1,500	0.04
5 1/2"	1,500	1,500	0.04
6"	1,500	1,500	0.04
6 1/2"	1,500	1,500	0.04
7"	1,500	1,500	0.04
7 1/2"	1,500	1,500	0.04
8"	1,500	1,500	0.04
8 1/2"	1,500	1,500	0.04
9"	1,500	1,500	0.04
9 1/2"	1,500	1,500	0.04
10"	1,500	1,500	0.04
10 1/2"	1,500	1,500	0.04
11"	1,500	1,500	0.04
11 1/2"	1,500	1,500	0.04
12"	1,500	1,500	0.04

10 BLOCKING (3 OF 4)  
C-8.3 no scale

TEST PRESSURE - 250 P.S.I.			
SIZE	CONCRETE P.S.I.	TEST PRESSURE (P.S.I.)	MINIMUM WALL THICKNESS (IN.)
1/2"	1,500	1,500	0.04
3/4"	1,500	1,500	0.04
1"	1,500	1,500	0.04
1 1/4"	1,500	1,500	0.04
1 1/2"	1,500	1,500	0.04
1 3/4"	1,500	1,500	0.04
2"	1,500	1,500	0.04
2 1/2"	1,500	1,500	0.04
3"	1,500	1,500	0.04
3 1/2"	1,500	1,500	0.04
4"	1,500	1,500	0.04
4 1/2"	1,500	1,500	0.04
5"	1,500	1,500	0.04
5 1/2"	1,500	1,500	0.04
6"	1,500	1,500	0.04
6 1/2"	1,500	1,500	0.04
7"	1,500	1,500	0.04
7 1/2"	1,500	1,500	0.04
8"	1,500	1,500	0.04
8 1/2"	1,500	1,500	0.04
9"	1,500	1,500	0.04
9 1/2"	1,500	1,500	0.04
10"	1,500	1,500	0.04
10 1/2"	1,500	1,500	0.04
11"	1,500	1,500	0.04
11 1/2"	1,500	1,500	0.04
12"	1,500	1,500	0.04

11 BLOCKING (4 OF 4)  
C-8.3 no scale



12 TRENCH DRAIN  
C-8.3 no scale

NOTE: TRENCH DRAIN IS ZURN Z882 OR APPROVED EQUAL (12" WIDE, DUCTILE IRON GRATES, 8" BOTTOM GUILTS). CONTRACTOR TO SUBMIT SHOP DRAWINGS OF TRENCH DRAIN, GRATE, AND ALL CONNECTIONS TO ENGINEER AND ARCHITECT FOR APPROVAL.

111 West Main Street  
Durham, N.C. 27701  
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NC BOARD OF EXAMINERS FOR ENGINEERS AND SURVEYORS  
LIC # C-1209

NC BOARD OF LANDSCAPE ARCHITECTS  
LIC # C-104

Project:

Rosemary/  
Columbia  
Hotel

110 W. Rosemary St.  
Orange County,  
North Carolina

PIN:  
9788-37-0680  
9788-37-0549  
9788-27-9667  
9788-27-9700  
9788-37-0721  
9788-37-0647

PRELIMINARY-DO NOT USE FOR CONSTRUCTION

Job Number: 1963

Drawn: WJR, WJE  
Checked: WJR, WJE  
Date: 5-20-07  
Revisions:

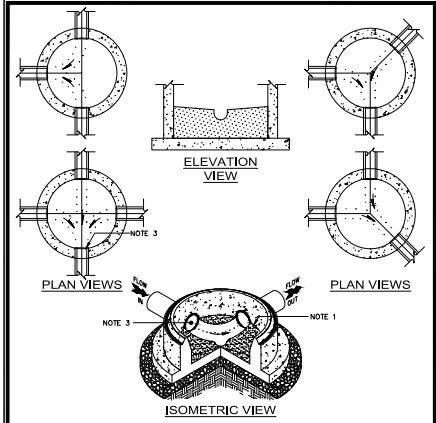
Zoning Compliance Permit

Sheet Title:

SITE DETAILS

Sheet Number  
C-8.3





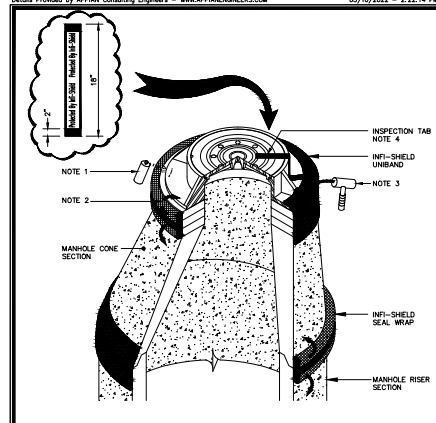
**NOTES:**  
 1. Benches shall be sloped at 1/2 inch per foot (4 percent). Inverts shall be 3/4 the height of crown for outlet pipe and uniformly shaped to match outlet pipe.  
 2. Precast inverts are not permitted.  
 3. Radius of invert must have enough room to be able to insert air plugs and TV equipment.

**ORANGE WATER AND SEWER AUTHORITY**  
 100 West Main Street, Durham, NC 27701  
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**STANDARD SEWER INVERT PLANS FOR MANHOLE**

Scale: Not To Scale  
 Date: April 11, 2007

1 MANHOLE INVERT  
 C-8.4 no scale



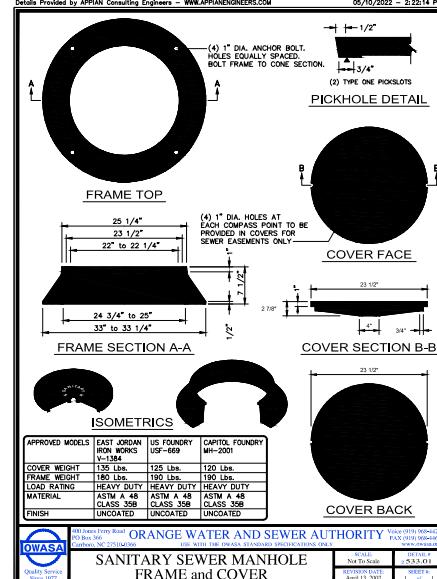
**INSTALLATION NOTES:**  
 1. Clean cutting frame, rear rings and cone section. Spray primer to areas where attaching non-hardening butyl mastic.  
 2. Install the INF-SHIELD External Seal on the outside surface of the adjustment ring area covering all grade rings. Remove protective tape and fold back on to the structure.  
 3. Using a rubber hammer, tap the sealing surface over.  
 4. Ensure lid and gasket is clean, attach inspection tab to manhole lid and backfill.  
 5. Contact Sealing Systems Inc. for additional installation instructions @ 800-478-2054.

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 100 West Main Street, Durham, NC 27701  
 (919) 682-2368

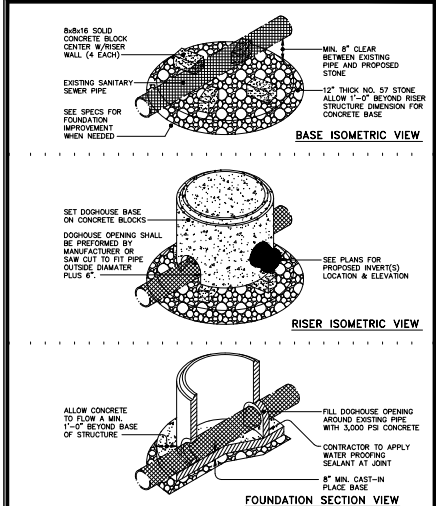
**INF-SHIELD EXTERNAL SEALING DETAIL**

Scale: Not To Scale  
 Date: April 11, 2007

2 MANHOLE SEAL  
 C-8.4 no scale



3 FRAME AND COVER  
 C-8.4 no scale

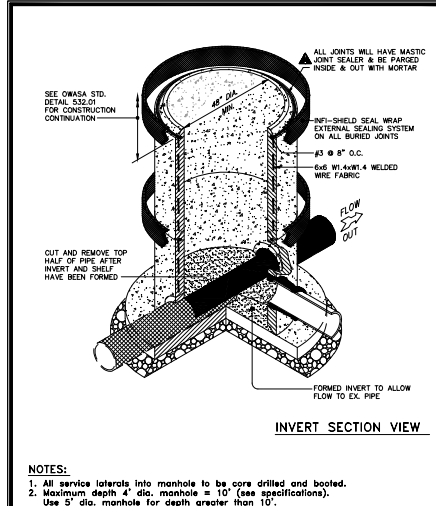


**ORANGE WATER AND SEWER AUTHORITY**  
 100 West Main Street, Durham, NC 27701  
 (919) 682-2368

**PRECAST CONCRETE DOGHOUSE MANHOLE**

Scale: Not To Scale  
 Date: April 11, 2007

4 DOGHOUSE MANHOLE  
 C-8.4 no scale

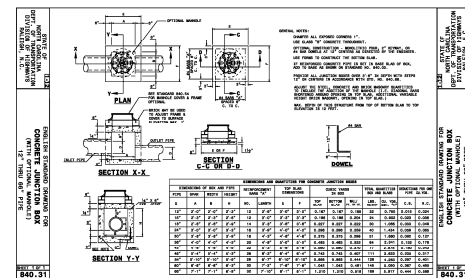


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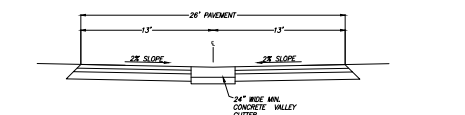
**PRECAST CONCRETE DOGHOUSE MANHOLE**

Scale: Not To Scale  
 Date: April 11, 2007

5 DRIVEWAY SECTION  
 C-8.4 no scale



5 STORM JUNCTION BOX  
 C-8.4 no scale



5 DRIVEWAY SECTION  
 C-8.4 no scale

**CJT RA**  
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NC BOARD OF EXAMINERS FOR ENGINEERS AND SURVEYORS  
 LIC # C-1209

NC BOARD OF LANDSCAPE ARCHITECTS  
 LIC # C-104

Project:  
**Rosemary/  
 Columbia  
 Hotel**

110 W. Rosemary St.  
 Orange County,  
 North Carolina

PIN:  
 9788-37-0680  
 9788-37-0549  
 9788-27-9667  
 9788-27-9700  
 9788-37-0721  
 9788-37-0647



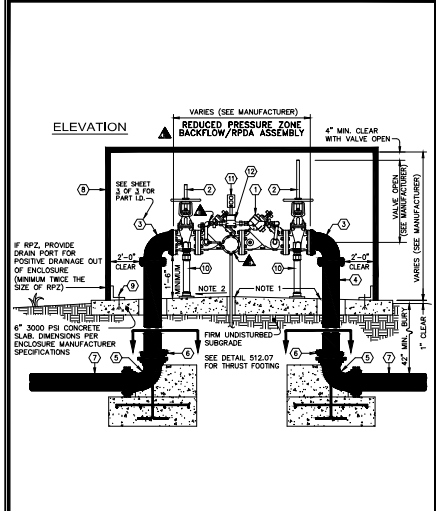
PRELIMINARY-DO NOT USE FOR CONSTRUCTION  
 Job Number: 1903

Drawn: WJR, WJC  
 Checked: WJR, WJC  
 Date: 5-2-2022  
 Revisions:

Zoning Compliance Permit  
 Sheet Title:

**SITE DETAILS**  
 Sheet Number  
**C-8.4**

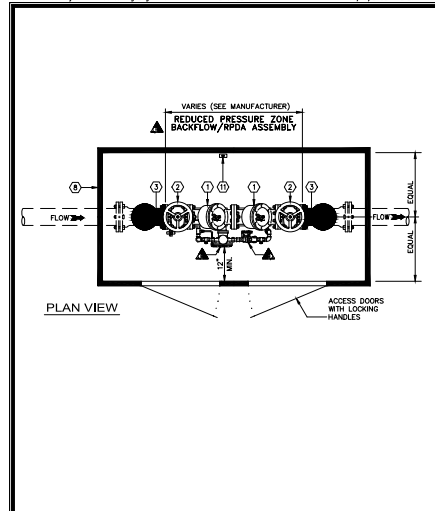
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**ORANGE WATER AND SEWER AUTHORITY**  
 2 1/2" to 10" RPZ, RPDA ASSEMBLY (ABOVE GROUND)  
 Scale: C-8.5  
 Date: 05/10/2022

1 RPDA  
 C-8.5  
 no scale

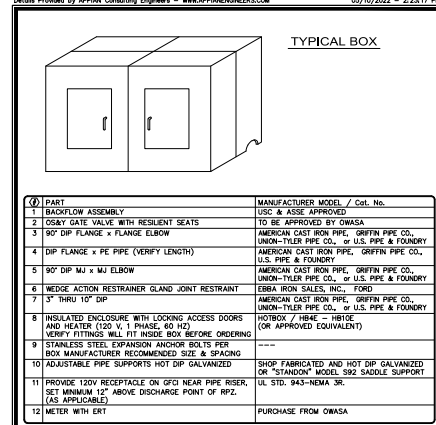
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**ORANGE WATER AND SEWER AUTHORITY**  
 2 1/2" to 10" RPZ, RPDA ASSEMBLY (ABOVE GROUND)  
 Scale: C-8.5  
 Date: 05/10/2022

2 RPDA  
 C-8.5  
 no scale

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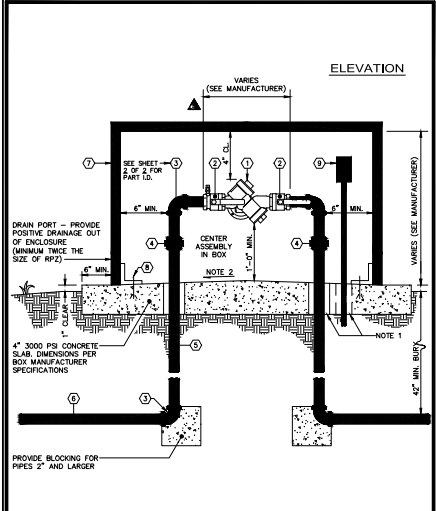


**NOTES:**  
 1. Provide minimum 3" annular clearance around all DIP risers and 1" around electrical conduit.  
 2. Slope floor to drain to ports at both ends. Ensure positive surface grade away from enclosure.  
 3. If metal enclosure issued, mount ERT on outside of box.

**ORANGE WATER AND SEWER AUTHORITY**  
 2 1/2" to 10" RPZ, RPDA ASSEMBLY (ABOVE GROUND)  
 Scale: C-8.5  
 Date: 05/10/2022

3 RPDA  
 C-8.5  
 no scale

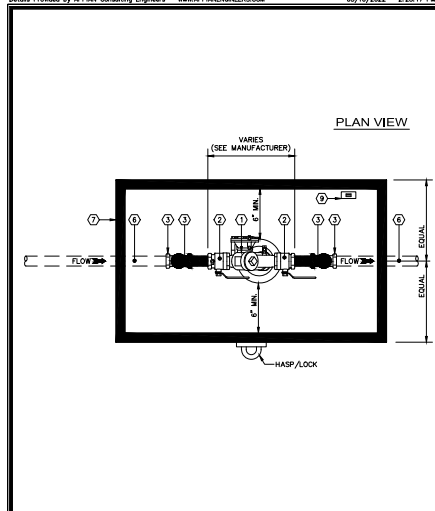
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**ORANGE WATER AND SEWER AUTHORITY**  
 3/4" to 2" RPZ ASSEMBLY (ABOVE GROUND)  
 Scale: C-8.5  
 Date: 05/10/2022

2 RPZ  
 C-8.5  
 no scale

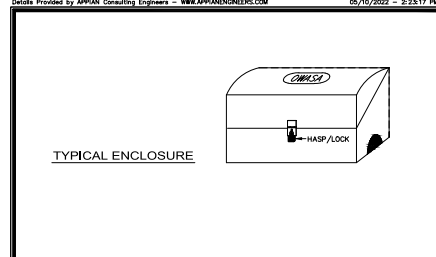
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**ORANGE WATER AND SEWER AUTHORITY**  
 3/4" to 2" RPZ ASSEMBLY (ABOVE GROUND)  
 Scale: C-8.5  
 Date: 05/10/2022

3 RPZ  
 C-8.5  
 no scale

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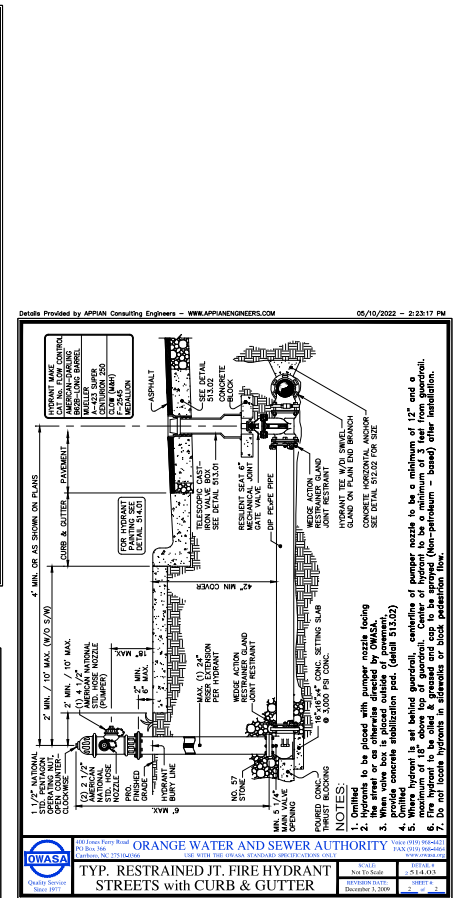


**NOTES:**  
 1. Provide minimum 1" annular clearance around all risers and electrical conduit.  
 2. Slope floor to drain to ports at both ends. Ensure positive surface grade away from enclosure.

**ORANGE WATER AND SEWER AUTHORITY**  
 3/4" to 2" RPZ ASSEMBLY (ABOVE GROUND)  
 Scale: C-8.5  
 Date: 05/10/2022

3 RPZ  
 C-8.5  
 no scale

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**ORANGE WATER AND SEWER AUTHORITY**  
 TYP. RESTRAINED JT. FIRE HYDRANT STREETS with CURB & GUTTER  
 Scale: C-8.5  
 Date: 05/10/2022

3 FIRE HYDRANT  
 C-8.5  
 no scale



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110 W. Rosemary St.  
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PRELIMINARY-DO NOT USE FOR CONSTRUCTION  
 Job Number: 1903

Drawn: WJR, WJE  
 Checked: WJR, WJE  
 Date: 5-23-22  
 Revisions:

zoning compliance permit  
 Sheet Title:

**SITE DETAILS**

Sheet Number  
**C-8.5**