

BEECHWOOD HOMES

SOUTH CREEK

MIXED USE DEVELOPMENT

S COLUMBIA ST, CHAPEL HILL, NC 27514

CONDITIONAL ZONING SET

JULY 22, 2022

WOOLPERT
ARCHITECTURE | ENGINEERING | GEOSPATIAL
11301 Carmel Commons Blvd, Suite 300
Charlotte, NC 28226
704.525.6284

CIVIL PERMIT PLAN SET

PROJECT TEAM



11301 Carmel Commons Blvd
Suite 300
Charlotte, NC 28226
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DEVELOPER
BEECHWOOD OBEY CREEK LLC
7621 LITTLE AVENUE
SUITE 111
CHARLOTTE, NC 28226
TEL: (704)582-3989

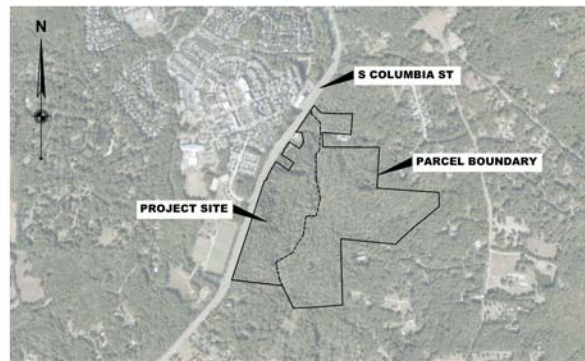
POTABLE WATER & SANITARY SEWER
ORANGE COUNTY WATER AND SEWER AUTHORITY (OWASA)
TEL: (919)560-4325

POWER
DUKE ENERGY CAROLINAS/PROGRESS
4412 HILLSBOROUGH RD
DURHAM, NC 27705
TEL: (800)777-9898

GAS
DOMINION GAS
66 N CHATHAM PKWY
CHAPEL HILL, NC 27517
TEL: (877)776-2427

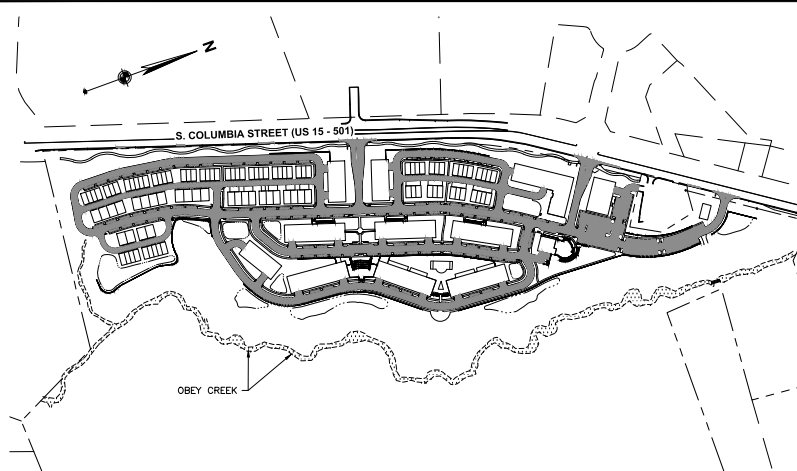
VICINITY MAP

SCALE: 1" = 1000'



SITE PLAN

SCALE: 1" = 250'



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TOWN OF CHAPEL HILL
CONSTRUCTION PLAN APPROVAL

ALL CONSTRUCTION METHODS AND MATERIALS SHALL BE IN ACCORDANCE WITH THE TOWN OF CHAPEL HILL, ORANGE WATER AND SEWER AUTHORITY (OWASA) AND NC DOT STANDARDS AND SPECIFICATIONS. IN THE EVENT OF A CONFLICT BETWEEN STANDARDS, THE MORE STRINGENT SHALL GOVERN UNLESS A WAIVER IS ISSUED BY THE TOWN ENGINEER AND/OR AUTHORITY HAVING JURISDICTION (AHJ). UTILITY INSTALLATIONS AND OTHER PUBLIC FACILITIES, INCLUDING STREETS, DRIVEWAYS, STORMWATER AND HANDICAP RAMPS, HAVE BEEN APPROVED BY THE TOWN OF CHAPEL HILL AND SHALL BE SO INSTALLED UNLESS A CHANGE IS AUTHORIZED BY PRIOR WRITTEN APPROVAL. PUBLIC WATER/SANITARY SEWER, STORMWATER AND UTILITY EASEMENTS SHALL BE RECORDED PRIOR TO FINAL ACCEPTANCE AND/OR ISSUANCE OF A CERTIFICATE OF OCCUPANCY BY THE TOWN.

THE TOWN OF CHAPEL HILL MAY REQUIRE REDESIGN AND/OR RECONSTRUCTION OF WORK SHOWN ON THE APPROVED PLANS, SUBSEQUENT TO SUCH APPROVAL IF IT BECOMES EVIDENT THAT THE DESIGN IS INADEQUATE TO MEET THE ACTUAL FIELD CONDITIONS AND/OR IS BASED ON INCOMPLETE, INSUFFICIENT, INACCURATE OR MISLEADING DATA PORTRAYED ON THE APPROVED PLANS. THE TOWN OF CHAPEL HILL ACCEPTS NO RESPONSIBILITY FOR COSTS INVOLVED IN SUCH REDESIGN AND/OR RECONSTRUCTION.

ENGINEERING SIGNATURE: _____
DATE: _____

NOTE: THE FOLLOWING IS A LIST OF JURISDICTIONAL AGENCIES KNOWN TO HAVE PERMIT AUTHORITY OVER THE SUBJECT PROPERTY. APPROVALS SHOULD BE OBTAINED PRIOR TO COMMENCEMENT OF CONSTRUCTION.

ENTITY	PERMIT NO.	APPROVAL DATE	EXPIRATION DATE

BEECHWOOD HOMES
SOUTH CREEK
MIXED USE DEVELOPMENT
S COLUMBIA ST.
CHAPEL HILL, NC 27514

PROJECT NO: 082447
DATE ISSUED: 7/8/22
DESIGNED BY: RMN
DRAWN BY: VCS
CHECKED BY: RMN

SHEET NAME:
COVER SHEET

SHEET NO:

C-001



PROPERTY ADDRESS: US 15/501
TOWN OF CHAPEL HILL, NC

GROSS TRACT AREA: 120.88 ACRES (ACROSS 6 PARCELS)

EXISTING SITE DATA

	LOT 1	LOT 2	LOT 3	LOT 4	LOT 5	LOT 6	TOTAL
PROPERTY OWNER:	BEECHWOOD OBEY CREEK VENTURES, LLC	BEECHWOOD OBEY CREEK	BEECHWOOD OBEY CREEK	BEECHWOOD OBEY CREEK	BEECHWOOD OBEY CREEK	TOWN OF CHAPEL HILL	
PROPERTY ADDRESS:	4511 S COLUMBIA ST	-	4210 S COLUMBIA ST	-	-	-	-
PIN NUMBER:	9787130667	9787238844	9787144852	9787244637	9787141770	9787241209	-
DEED BOOK:	4387, PG. 61	4387, PG. 61	4812, PG. 499	4812, PG. 499	6061, PG. 498	1573, PG. 193	-
PLAT BOOK:	114, PG. 7	114, PG. 7	114, PG. 6	114, PG. 6	104, PG. 113	78, PG. 31	-
ZONING:	DA-1 ¹	R-LD1	DA-1 ¹	R-LD1	DA-1 ¹	DA-1 ¹ /R-LD1	-
USE:	VACANT	UNDEVELOPED	VACANT SINGLE FAMILY RES	UNDEVELOPED	GRAVEL DRIVEWAY	UNDEVELOPED	-
LOT AREA (SF/AC):	1,306,915/30.05	2,603,489/59.77	476,024/10.93	734,216/16.86	37,090/0.85	105,675/2.43	5,265,409/120.88

¹ PER EXISTING DEVELOPER AGREEMENT DATED _____

VEHICULAR PARKING ANALYSIS

RESIDENTIAL PARKING							VEHICULAR PARKING REQUIRED BY CODE			PROVIDED PARKING SUBTOTAL		PROVIDED PARKING OFF-ON-STREET		BREAKDOWN OFF-ON-STREET	
STRUCTURE	UNIT TYPE	STUDIO	1 BED	2 BED	3 BED	4 BED	SUBTOTAL	MIN.	MAX.	SUBTOTAL	INTERIOR	STREET	STREET	ADA	
BUILDING 1	CONDO	4	16	14	5	0	39	49	61	56	46	0	8	2	
BUILDING 2	CONDO	4	16	14	5	0	39	49	61	51	46	0	2	2	
BUILDING 3	CONDO	5	32	6	0	0	68	86	107	92	78	0	12	2	
BUILDING 4	CONDO	5	25	32	6	0	68	86	107	90	78	0	10	2	
BUILDING 5	CONDO	0	26	2	0	0	28	45	50	45	38	0	0	0	
BUILDING 6	CONDO	4	16	14	5	0	39	49	61	51	49	0	0	2	
BUILDING 7	CONDO	0	45	22	2	0	69	85	100	84	78	0	0	0	
BUILDING 8	CONDO	0	44	20	2	0	66	76	95	84	78	0	4	2	
BUILDING 9	CONDO	5	24	30	6	0	65	82	103	84	78	0	4	2	
CONDO SUBTOTALS		27	258	204	39	0	526	642	802	682	609	0	55	18	
BUILDING 11	APARTMENT	3	27	27	3	0	60	74	92	79	72	0	5	2	
APARTMENT SUBTOTALS		3	27	27	3	0	60	74	92	79	72	0	5	2	
TYPE 1A	TOWNHOME	0	0	21	0	0	21	31	38	38	21	0	17	0	
TYPE 1B	TOWNHOME	0	0	24	0	0	24	34	42	66	48	0	18	0	
TYPE 2A	TOWNHOME	0	0	14	0	0	14	23	33	33	17	0	17	0	
TYPE 2B	TOWNHOME	0	0	0	16	0	16	28	36	40	32	0	8	0	
TYPE 3	TOWNHOME	0	0	0	0	11	11	22	28	25	22	0	17	0	
TYPE 4	TOWNHOME	0	0	0	0	32	32	40	40	47	32	0	15	0	
TOWNHOME SUBTOTALS		0	0	45	30	27	102	172	217	257	169	0	88	0	
RESIDENTIAL TOTALS		30	283	276	72	27	688	888	1111	1018	870	0	148	20	
NON-RESIDENTIAL PARKING							VEHICULAR PARKING REQUIRED BY CODE			PROVIDED PARKING SUBTOTAL		PROVIDED PARKING OFF-ON-STREET		BREAKDOWN OFF-ON-STREET	
STRUCTURE	UNIT TYPE	QTY.	UNIT	MIN.	MAX.	SUBTOTAL	INTERIOR	STREET	STREET	ADA					
BUILDING 7	OUTDOOR BAR	2700	SF	9	14	14	0	4	10	0					
N/A	AMPHITHEATER	150	PERSONS	38	60	60	0	50	10	0					
BUILDING 8	INDOOR BAR	2700	SF	9	14	14	0	4	10	0					
N/A	OUTDOOR POOL	50	PERSONS	13	20	20	0	10	10	0					
BUILDING 10	RESTAURANT	4000	SF	37	54	54	0	44	6	4					
BUILDING 11	COMMERCIAL	5500	SF	19	28	28	23	0	5	2					
BUILDING 12	OFFICE	10000	SF	29	40	40	17	21	0	8					
NON-RESIDENTIAL TOTALS							154	230	230	42	139	49	8		
TOTAL							1042	1341	1248	912	139	197	28		

BICYCLE PARKING ANALYSIS

RESIDENTIAL PARKING			UNIT	BICYCLE PARKING
STRUCTURE	UNIT TYPE	COUNT	REQ'D BY CODE	PROVIDED
BUILDING 1	CONDO	39	10	10*
BUILDING 2	CONDO	39	10	10*
BUILDING 3	CONDO	68	17	17*
BUILDING 4	CONDO	68	17	17*
BUILDING 5	CONDO	39	10	10*
BUILDING 6	CONDO	39	10	10*
BUILDING 7	CONDO	69	18	18*
BUILDING 8	CONDO	66	17	17*
BUILDING 9	CONDO	65	17	17*
CONDO SUBTOTALS		526	135	135
BUILDING 11 APARTMENT		60	15	15*
APARTMENT SUBTOTALS		60	15	15*
TYPE 1A	TOWNHOME	21	6	21*
TYPE 1B	TOWNHOME	24	6	24*
TYPE 2A	TOWNHOME	16	4	16*
TYPE 2B	TOWNHOME	14	4	14*
TYPE 3	TOWNHOME	11	3	11*
TYPE 4	TOWNHOME	4	4	16*
TOWNHOME SUBTOTALS		102	27	102
RESIDENTIAL TOTALS		688	177	252
NON-RESIDENTIAL PARKING				
STRUCTURE	UNIT TYPE	UNIT COUNT	BICYCLE PARKING	
		SQ. UNIT	REQ'D BY CODE	PROVIDED
BUILDING 7	OUTDOOR BAR	2700 SF	10	10
N/A	AMPHITHEATER	150 PERSONS	8	10
BUILDING 8	INDOOR BAR	2700 SF	10	8
N/A	OUTDOOR POOL	50 PERSONS	8	8
BUILDING 10	RESTAURANT	4000 SF	12	10
BUILDING 11	COMMERCIAL	5500 SF	10	10
BUILDING 12	OFFICE	10000 SF	12	10
NON-RESIDENTIAL TOTALS			70	72
TOTAL			247	247

*Bicycle parking provided on interior of buildings

PROPOSED SITE DATA

	LOT 1	LOT 2	TOTAL
PROPERTY OWNER:	OBEY CREEK VENTURES, LLC	OBEY CREEK VENTURES, LLC	
ZONING:	DA-1 ²	DA-1 ²	
USE:	RIGHT-OF-WAY	MIXED-USE	
LOT AREA (SF/AC):	439,000/10.078	4,826,409/110.799	5,265,409/120.88

² PER REVISED DEVELOPER AGREEMENT DATED _____



11301 Carmel Commons Blvd, Suite 300
Charlotte, NC 28226
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**CIVIL
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PLAN SET**

ISSUANCE SCHEDULE		
NUMBER	DATE	DESCRIPTION
0	7/12/22	Conditional Zoning Submittal

BEECHWOOD HOMES
SOUTH CREEK
MIXED USE DEVELOPMENT

S COLUMBIA ST.
CHAPEL HILL, NC 27514

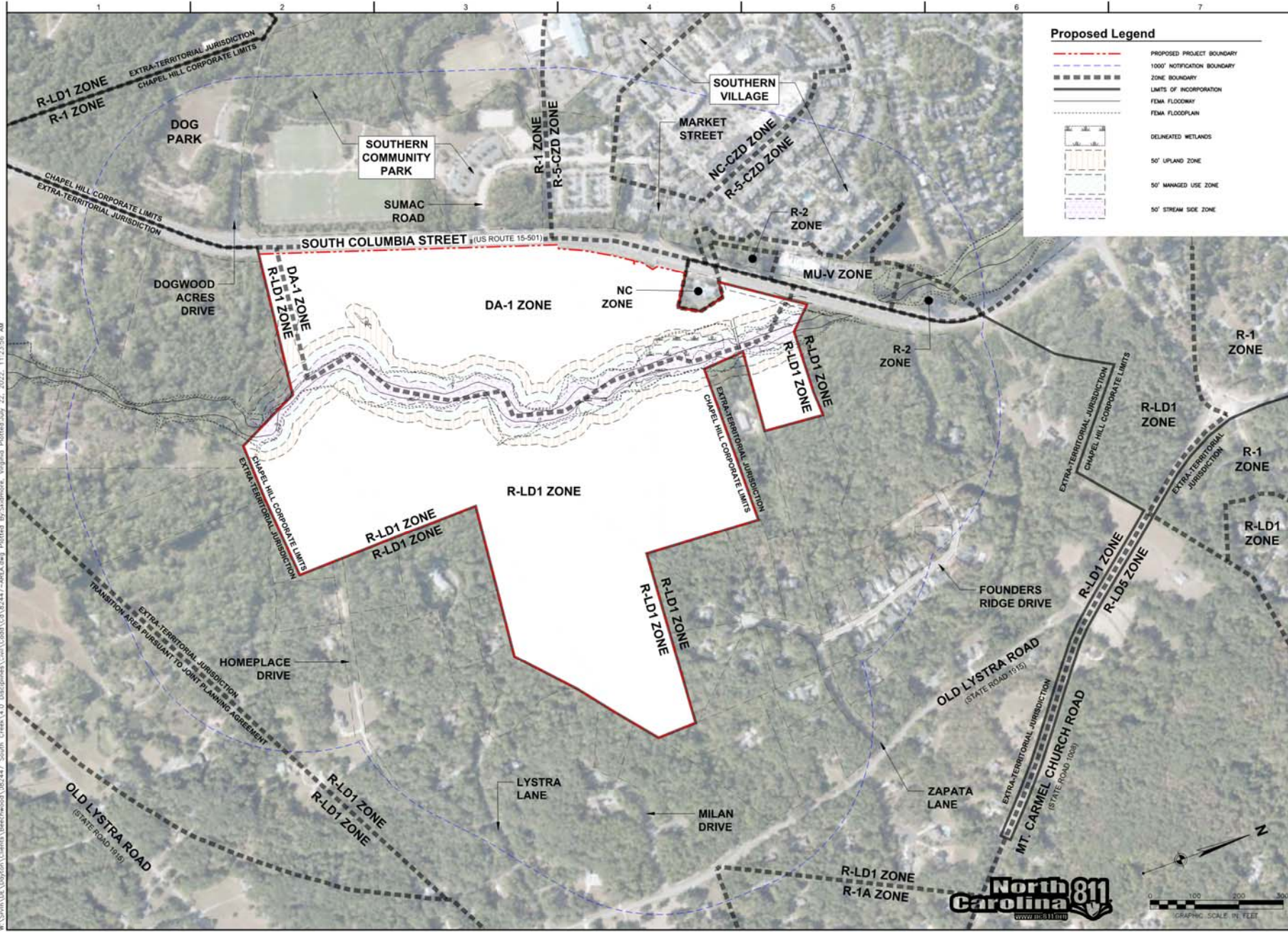
PROJECT NO:	082447
DATE ISSUED:	7/22/22
DESIGNED BY:	RMN
DRAWN BY:	VCS
CHECKED BY:	RMN

SHEET NAME:
SITE DATA

SHEET NO:

C-002

Layout: Tab Name: C-100 AREA PLAN
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Proposed Legend

	PROPOSED PROJECT BOUNDARY
	1000' NOTIFICATION BOUNDARY
	ZONE BOUNDARY
	LIMITS OF INCORPORATION
	FEMA FLOODWAY
	FEMA FLOODPLAIN
	DELMARKED WETLANDS
	50' UPLAND ZONE
	50' MANAGED USE ZONE
	50' STREAM SIDE ZONE

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CIVIL PERMIT PLAN SET

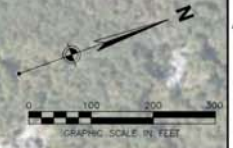
ISSUANCE SCHEDULE		
NUMBER	DATE	DESCRIPTION
1	7/12/2022	Final Plan Set

**BEECHWOOD HOMES
SOUTH CREEK
MIXED USE DEVELOPMENT**
S COLUMBIA ST.
CHAPEL HILL, NC 27514

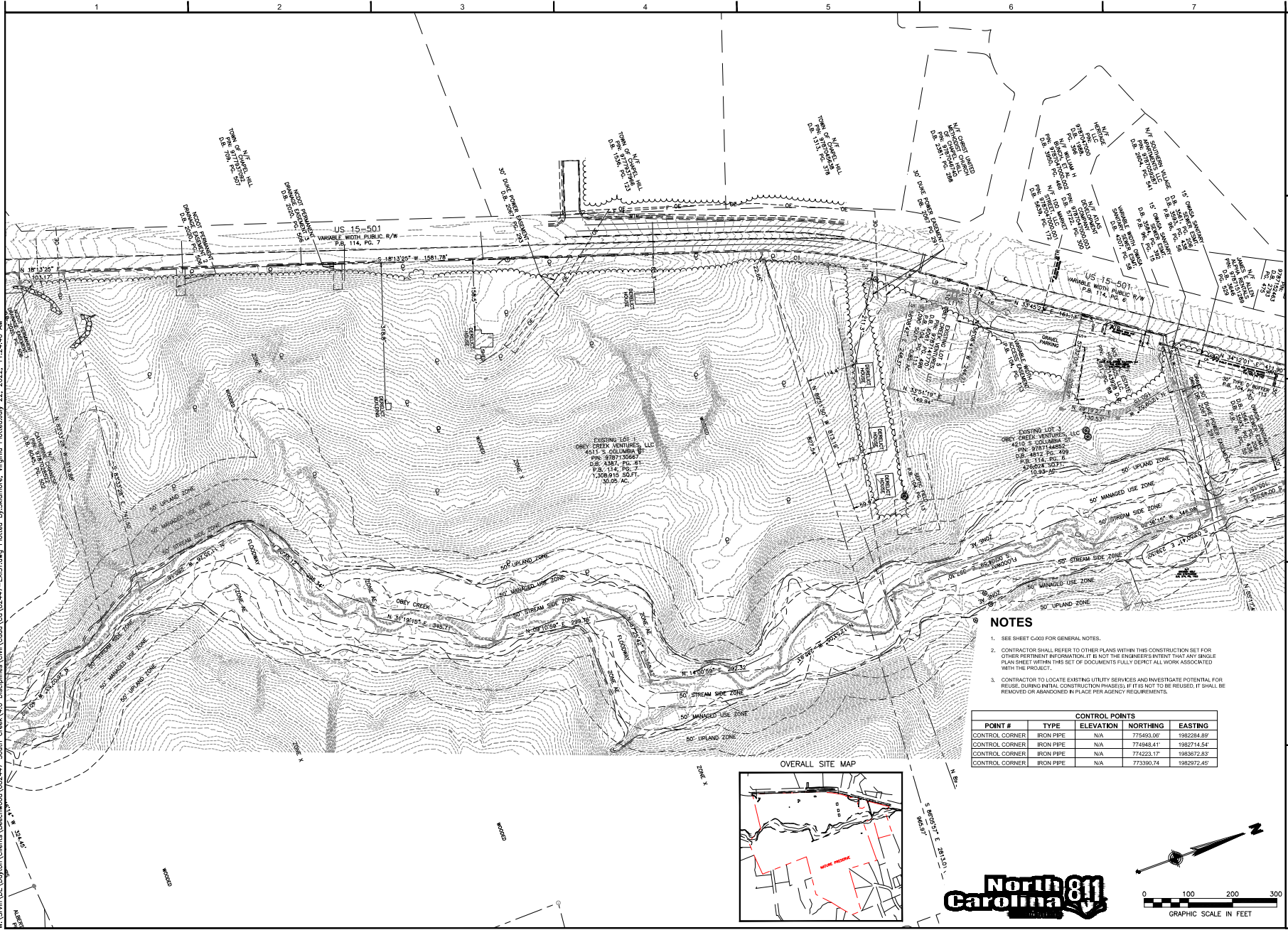
PROJECT NO:	082447
DATE ISSUED:	7/22/22
DESIGNED BY:	RMN
DRAWN BY:	VCS
CHECKED BY:	RMN

SHEET NAME:
AREA PLAN

SHEET NO:
C-100



Layout Tab Name: C-101 OVERALL EXISTING CONDITIONS
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NOTES

1. SEE SHEET C-003 FOR GENERAL NOTES.
2. CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION. IT IS NOT THE ENGINEER'S INTENT THAT ANY SINGLE PLAN SHEET WITHIN THIS SET OF DOCUMENTS FULLY DEPICT ALL WORK ASSOCIATED WITH THE PROJECT.
3. CONTRACTOR TO LOCATE EXISTING UTILITY SERVICES AND INVESTIGATE POTENTIAL FOR REUSE, DURING INITIAL CONSTRUCTION PHASES, IF IT IS NOT TO BE REUSED, IT SHALL BE REMOVED OR ABANDONED IN PLACE PER AGENCY REQUIREMENTS.

POINT #	TYPE	CONTROL POINTS		
		ELEVATION	NORTHING	EASTING
CONTROL CORNER	IRON PIPE	N/A	775493.09'	1982284.89'
CONTROL CORNER	IRON PIPE	N/A	774948.41'	1982714.54'
CONTROL CORNER	IRON PIPE	N/A	774223.17'	1983672.83'
CONTROL CORNER	IRON PIPE	N/A	773390.74'	1982972.45'



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CIVIL PERMIT PLAN SET

ISSUANCE SCHEDULE		DESCRIPTION
NUMBER	DATE	ISSUED
1	7/22/2022	Construction Document

BEECHWOOD HOMES SOUTH CREEK MIXED USE DEVELOPMENT

S COLUMBIA ST.
CHAPEL HILL, NC 27514

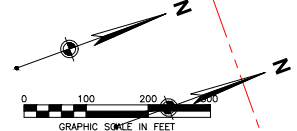
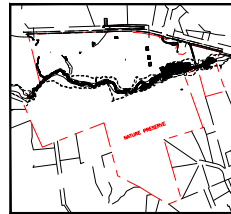
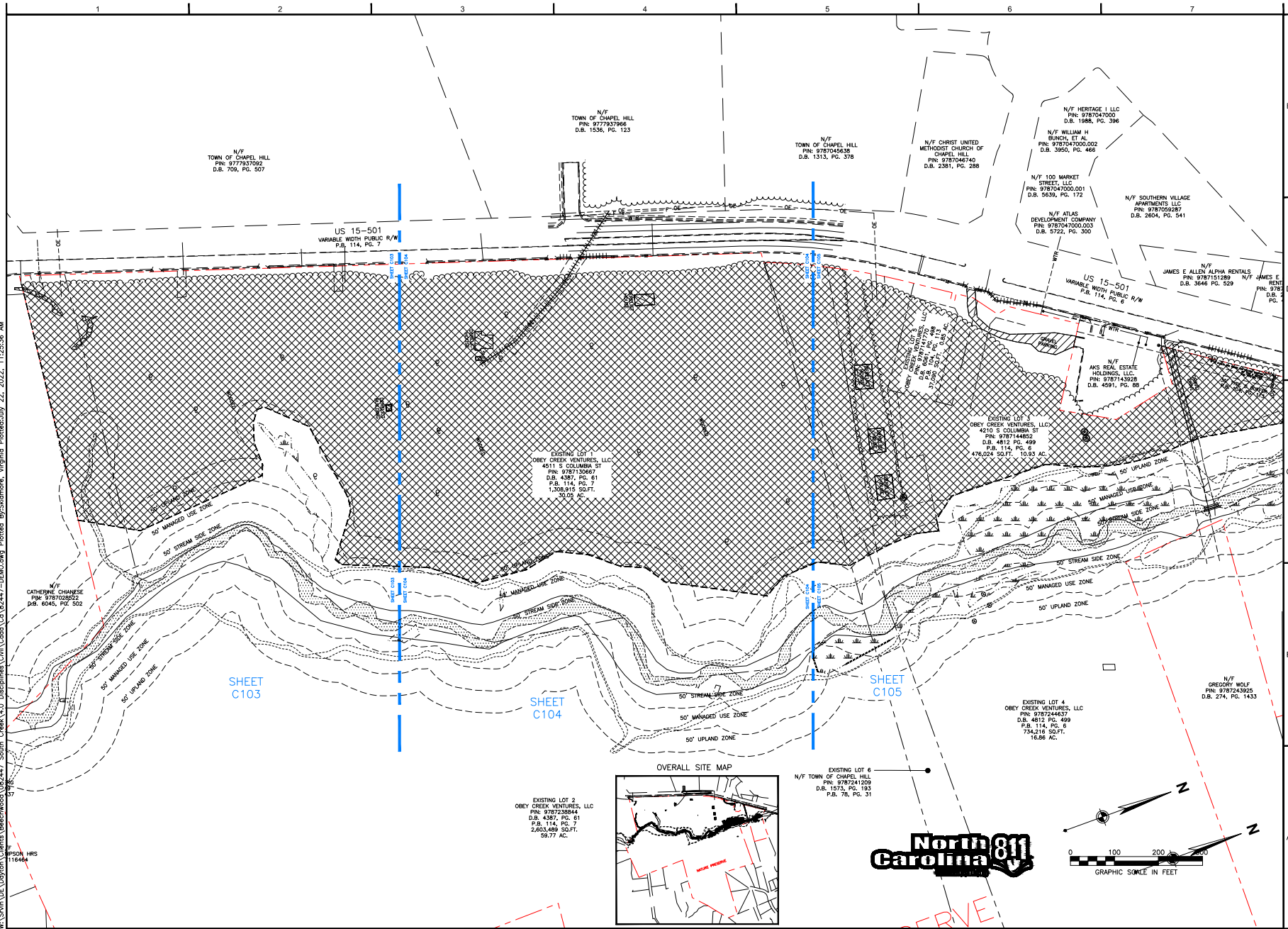
PROJECT NO: 082447
DATE ISSUED: 7/22/22
DESIGNED BY: RMN
DRAWN BY: VCS
CHECKED BY: RMN

SHEET NAME:
EXISTING CONDITIONS

SHEET NO:

C-101

Layout Tab Name: C-102 OVERALL DEMOLITION PLAN
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ARCHITECTURE | ENGINEERING | SURVEYING
11301 Carmel Commons Blvd, Suite 300
Charlotte, NC 28226
704.525.6284

**CIVIL
PERMIT
PLAN SET**

NUMBER	DATE	DESCRIPTION
1	7/21/2022	Issuance Schedule

**BEECHWOOD HOMES
SOUTH CREEK
MIXED USE DEVELOPMENT**
S COLUMBIA ST.
CHAPEL HILL, NC 27514

PROJECT NO:	082447
DATE ISSUED:	7/22/22
DESIGNED BY:	RMN
DRAWN BY:	VCS
CHECKED BY:	RMN

SHEET NAME:
**OVERALL DEMOLITION
PLAN**

SHEET NO:
C-102

AMBER	DATE	ISSUANCE SCHEDULE	
			DESCRIPTION

BEECHWOOD HOMES
SOUTH CREEK
MIXED USE DEVELOPMENT

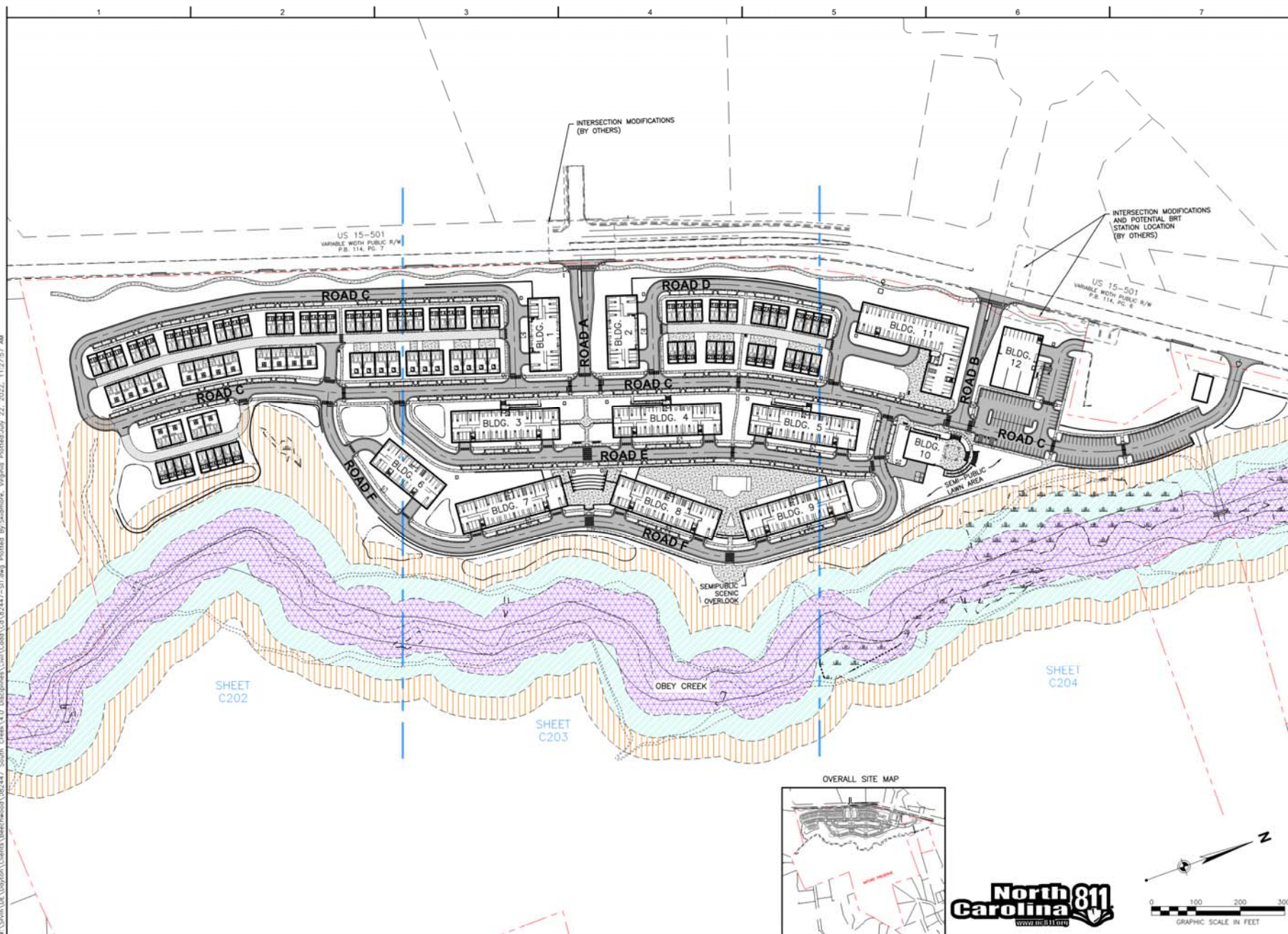
S COLUMBIA ST.
CHAPEL HILL, NC 27514

PROJECT NO:	082447
DATE ISSUED:	7/22/22
DESIGNED BY:	RMN
DRAWN BY:	VCS
CHECKED BY:	RMN

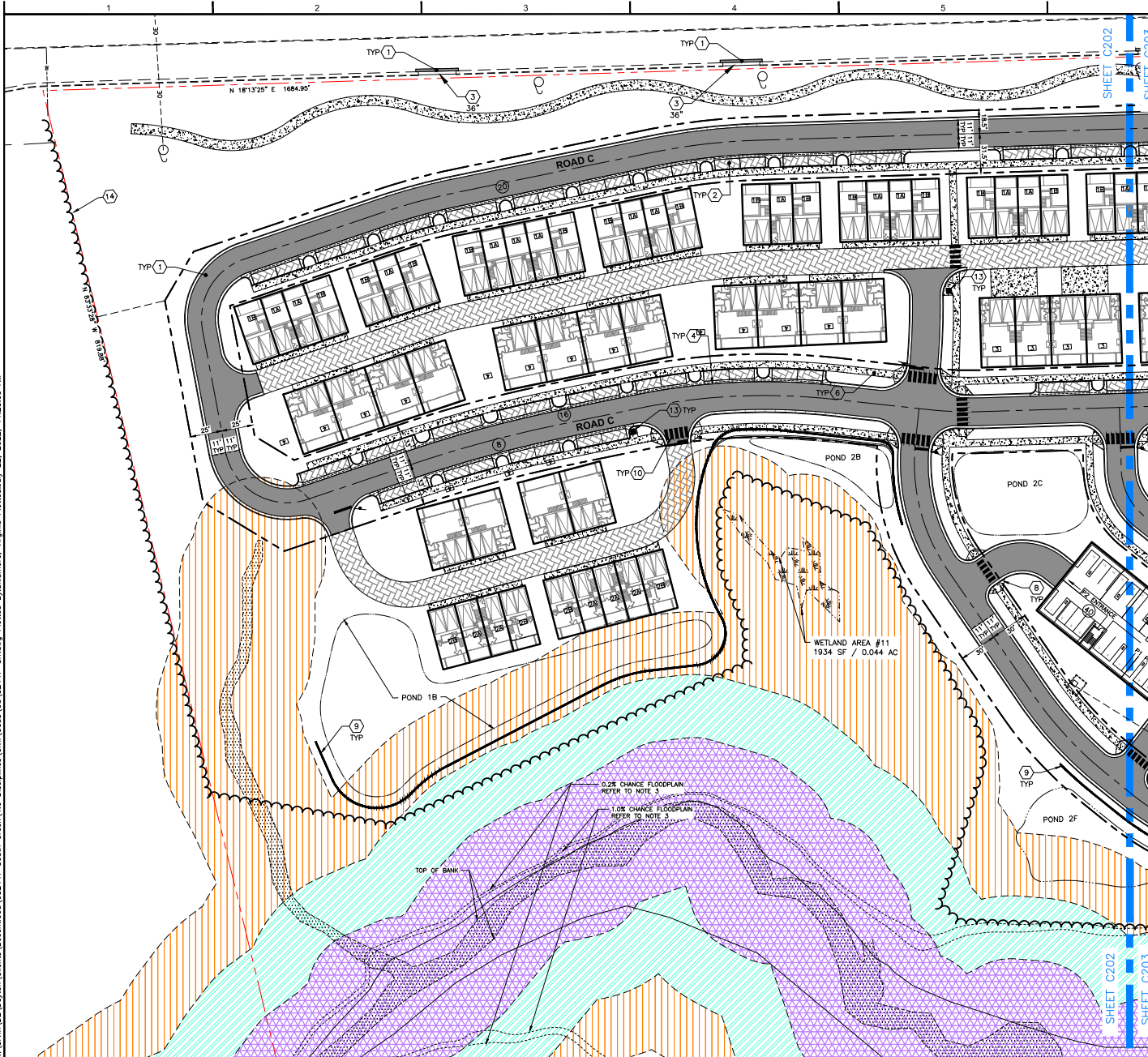
SHEET NAME:
OVERALL SITE PLAN

SHEET NO.

C-201



Layout Tab Name: C-202 SITE PLAN
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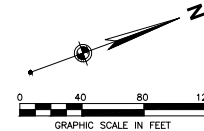
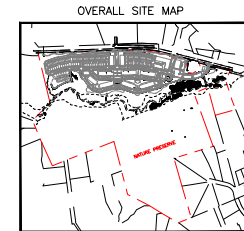


NOTES

1. SEE SHEET C-203 FOR GENERAL NOTES.
2. EXISTING SITE INFORMATION/TOPOGRAPHIC SURVEY WAS PREPARED BY WOOLPERT, INC., DATED DECEMBER 27, 2018.
3. FLOODPLAIN AND FLOODWAY INFORMATION TAKEN FROM FEMA NATIONAL FLOOD INSURANCE PROGRAM (NFIP) FLOOD INSURANCE RATE MAP (FIRM) MAP No. 3710978700K, REVISED NOVEMBER 17, 2017.
4. CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION. IT IS NOT THE ENGINEER'S INTENT THAT ANY SINGLE PLAN SHEET WITHIN THIS SET OF DOCUMENTS FULLY DEPICT ALL WORK ASSOCIATED WITH THE PROJECT.
5. BUILDINGS 1-9 AND 11 HAVE UPPER (P1) AND LOWER PARKING (P2) LEVELS; DEPICTED PARKING IS AS LABELED.

KEYNOTES (X)

1. ASPHALT PAVEMENT SECTION
2. PERVIOUS PAVERS
3. CONCRETE CURB AND GUTTER (WIDTH AS LABELED)
4. 30" WIDE CONCRETE GUTTER
5. CURB AND GUTTER TRANSITION
6. 5" THICK CONCRETE SIDEWALK
7. VEHICULAR DROP OFF
8. ADA PEDESTRIAN RAMP
9. RETAINING WALL
10. CROSSWALK
11. CONCRETE DUMPSTER PAD & ENCLOSURE
12. BIKE RACK
13. MAIL KIOSK
14. PROPOSED TREELINE
15. GRAVEL DRIVEWAY
16. PROPOSED PROPERTY LINE, TYP.
17. TRANSFORMER PAD
18. EXISTING UTILITIES (NOT SHOWN)



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CIVIL PERMIT PLAN SET

ISSUANCE SCHEDULE	
NUMBER	DATE
1	7/22/2022

C

BEECHWOOD HOMES SOUTH CREEK MIXED USE DEVELOPMENT

S COLUMBIA ST.
CHAPEL HILL, NC 27514

PROJECT NO: 082447
DATE ISSUED: 7/22/22
DESIGNED BY: RMN
DRAWN BY: VCS
CHECKED BY: RMN

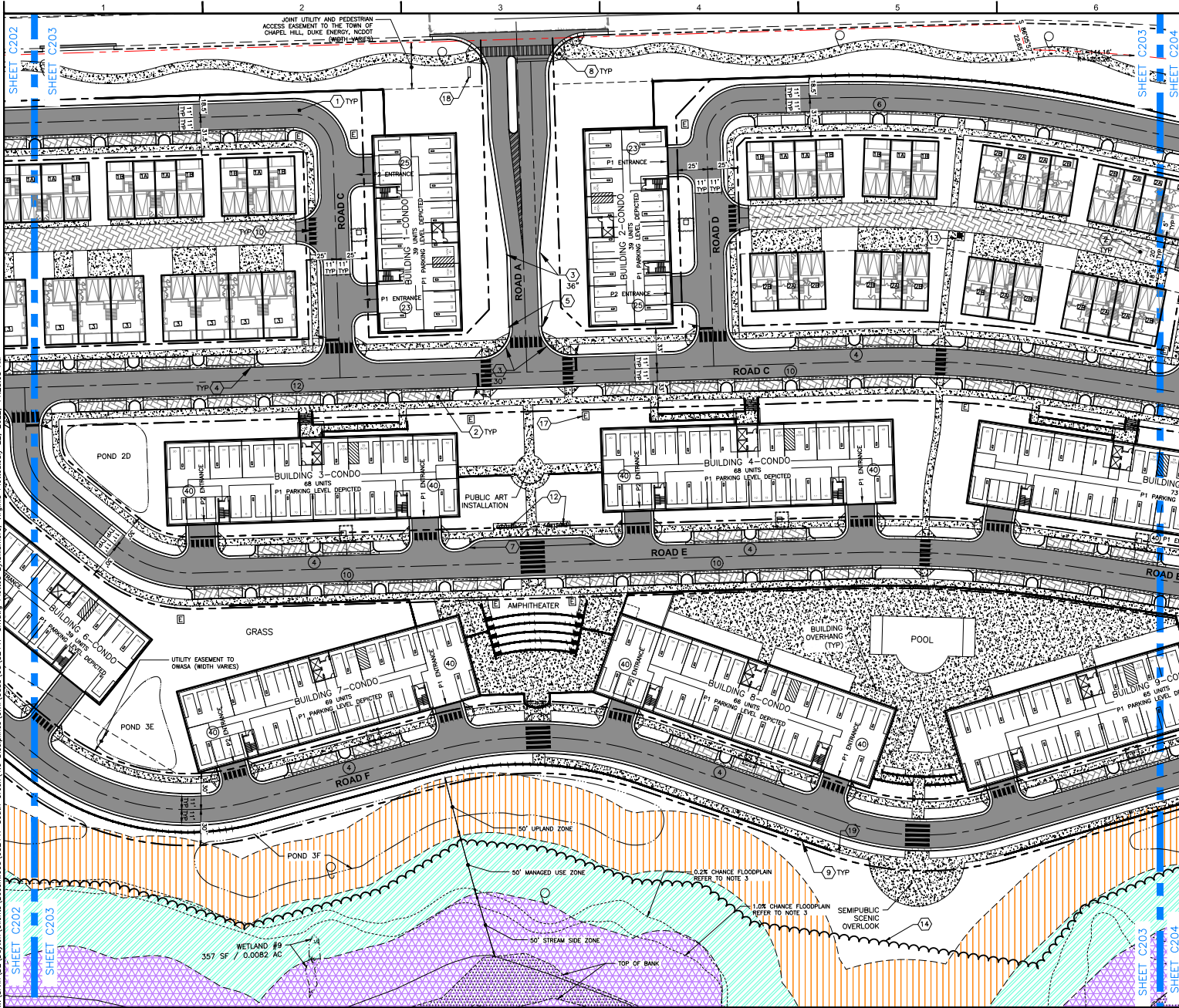
SHEET NAME:
SITE PLAN

SHEET NO:

C-202

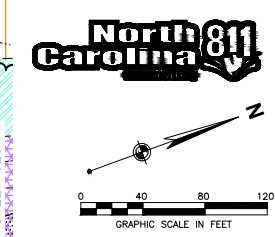
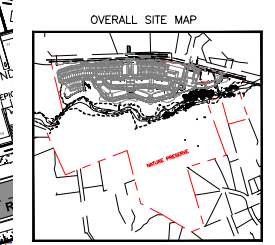
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South Creek 4.0 Discipline\Civil\Road\082447-ST.dwg Plotted By: Sidmore, Virginia Plotted: July 22, 2022 11:28:08 AM



- ### NOTES
- SEE SHEET C-003 FOR GENERAL NOTES.
 - EXISTING SITE INFORMATION/TOPOGRAPHIC SURVEY WAS PREPARED BY WOOLPERT, INC., DATED DECEMBER 27, 2018.
 - FLOODPLAIN AND FLOODWAY INFORMATION TAKEN FROM FEMA NATIONAL FLOOD INSURANCE PROGRAM (NFIP) FLOOD INSURANCE RATE MAP (FIRM) MAP No. 371097878004, REVISED NOVEMBER 17, 2017.
 - CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION. IT IS NOT THE ENGINEER'S INTENT THAT ANY SINGLE PLAN SHEET WITHIN THIS SET OF DOCUMENTS FULLY DEPICT ALL WORK ASSOCIATED WITH THE PROJECT.
 - BUILDINGS 1-9 AND 11 HAVE UPPER (P1) AND LOWER PARKING (P2) LEVELS; DEPICTED PARKING IS AS LABELED.

- ### KEYNOTES
- ASPHALT PAVEMENT SECTION
 - PERVIOUS PAVERS
 - CONCRETE CURB AND GUTTER (WIDTH AS LABELED)
 - 30" WIDE CONCRETE GUTTER
 - CURB AND GUTTER TRANSITION
 - 5" THICK CONCRETE SIDEWALK
 - VEHICULAR DROP OFF
 - ADA PEDESTRIAN RAMP
 - RETAINING WALL
 - CROSSWALK
 - CONCRETE DUMPSTER PAD & ENCLOSURE
 - BIKE RACK
 - MAIL KIOSK
 - PROPOSED TREELINE
 - GRAVEL DRIVEWAY
 - PROPOSED PROPERTY LINE, TYP.
 - TRANSFORMER PAD
 - ENTRY MONUMENT SIGN
 - TRAIL CONNECTION LOCATION



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CIVIL PERMIT PLAN SET

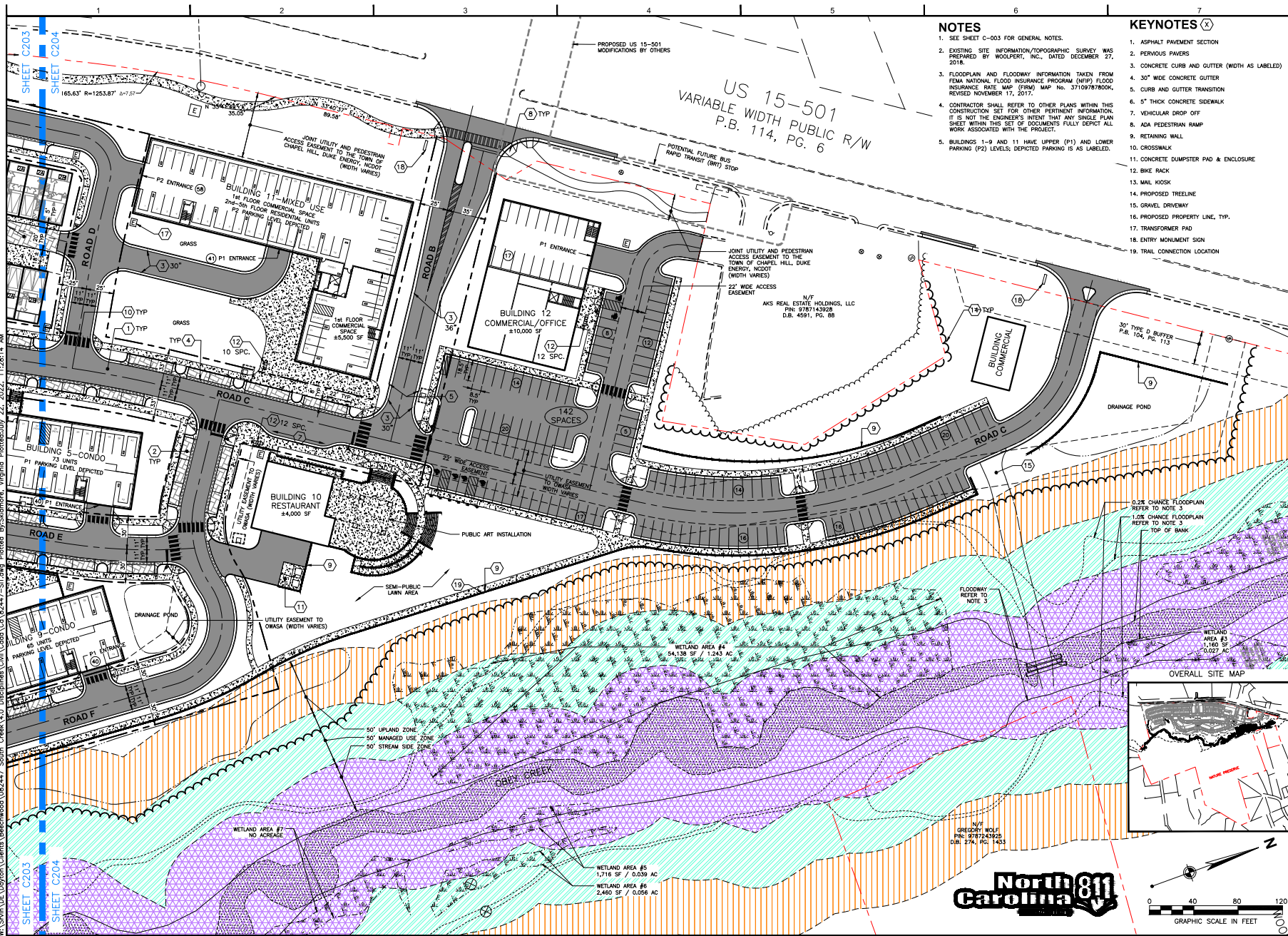
ISSUANCE SCHEDULE	
NUMBER	DATE
1	7/22/2022

BEECHWOOD HOMES
SOUTH CREEK
MIXED USE DEVELOPMENT
S COLUMBIA ST.
CHAPEL HILL, NC 27514

PROJECT NO: 082447
DATE ISSUED: 7/22/22
DESIGNED BY: RMN
DRAWN BY: VCS
CHECKED BY: RMN

SHEET NAME:
SITE PLAN

SHEET NO:
C-203



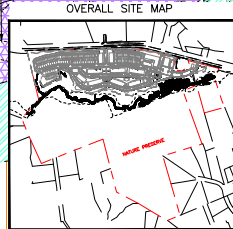
NOTES

1. SEE SHEET C-003 FOR GENERAL NOTES.
2. EXISTING SITE INFORMATION/TOPOGRAPHIC SURVEY WAS PREPARED BY WOOLPERT, INC., DATED DECEMBER 27, 2018.
3. FLOODPLAIN AND FLOODWAY INFORMATION TAKEN FROM FEMA NATIONAL FLOOD INSURANCE PROGRAM (NFIP) FLOOD INSURANCE RATE MAP (FIRM) MAP No. 37109787800H, REVISED NOVEMBER 17, 2017.
4. CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION. IT IS NOT THE ENGINEER'S INTENT THAT ANY SINGLE PLAN SHEET WITHIN THIS SET OF DOCUMENTS FULLY DEPICT ALL WORK ASSOCIATED WITH THE PROJECT.
5. BUILDINGS 1-9 AND 11 HAVE UPPER (P1) AND LOWER PARKING (P2) LEVELS; DEPICTED PARKING IS AS LABELED.

KEYNOTES

1. ASPHALT PAVEMENT SECTION
2. PERVIOUS PAVERS
3. CONCRETE CURB AND GUTTER (WIDTH AS LABELED)
4. 30" WIDE CONCRETE GUTTER
5. CURB AND GUTTER TRANSITION
6. 5" THICK CONCRETE SIDEWALK
7. VEHICULAR DROP OFF
8. ADA PEDESTRIAN RAMP
9. RETAINING WALL
10. CROSSLAW
11. CONCRETE DUMPSTER PAD & ENCLOSURE
12. BIKE RACK
13. MAIL KIOSK
14. PROPOSED TREELINE
15. GRAVEL DRIVEWAY
16. PROPOSED PROPERTY LINE, TYP.
17. TRANSFORMER PAD
18. ENTRY MONUMENT SIGN
19. TRAIL CONNECTION LOCATION

US 15-501
VARIABLE WIDTH PUBLIC R/W
P.B. 114, PG. 6



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CIVIL PERMIT PLAN SET

NUMBER	DATE	DESCRIPTION
1	7/22/2022	ISSUANCE SCHEDULE
2	7/22/2022	PERMIT APPLICATION DOCUMENT

**BEECHWOOD HOMES
SOUTH CREEK
MIXED USE DEVELOPMENT**
S COLUMBIA ST.
CHAPEL HILL, NC 27514

PROJECT NO:	082447
DATE ISSUED:	7/22/2022
DESIGNED BY:	RMN
DRAWN BY:	VCS
CHECKED BY:	RMN

SHEET NAME:
SITE PLAN

1. ALL LARGE TRUCKS AS RELATED TO VEHICULAR CONSTRUCTION TRAFFIC SHALL ENTER/LEAVE THE SITE THROUGH THE TEMPORARY CONSTRUCTION ENTRANCE. THE TEMPORARY CONSTRUCTION LANE CLOSURES SHALL BE ESTABLISHED AS SHOWN ON THE PLAN AND THE PERSONNEL RESPONSIBLE FOR THE CONSTRUCTION SHALL MANAGE AND DIRECT VEHICULAR AND PEDESTRIAN TRAFFIC.
2. ENTRANCE AND EXIT GATES SHALL BE CLOSED UNLESS CONSTRUCTION OR DELIVERY VEHICLES ARE ENTERING OR EXITING THE CONSTRUCTION SITE.
3. THE CONTRACTOR SHALL PROVIDE WORK ZONE TRAFFIC CONTROL DEVICES IN ACCORDANCE WITH ALL APPLICABLE NCDOT STANDARDS. THE CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL PLAN FOR SPECIFIC NOTES AND DETAILS.
4. NO OPEN BURNING SHALL BE PERMITTED.
5. THE APPLICANT SHALL POST A CONSTRUCTION SIGN ON THE DEVELOPMENT SITE THAT LISTS THE FOLLOWING:
 - 5.1. PROJECT NAME AND ADDRESS
 - 5.2. TELEPHONE NUMBER FOR REGULATORY INFO AT TIME OF BUILDING
 - 5.3. SIGN MAY BE A MAXIMUM OF 32 SF AND MAXIMUM HEIGHT OF 8 FT.

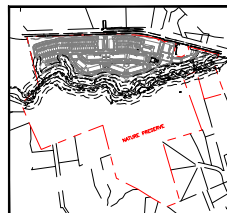
6. FENCING AROUND THE PROJECT SHALL INCLUDE ACCESS GATES WITH A 20'-FT. SWING OR SLIDE MOTION.
7. CONSTRUCTION PHASING SHALL BE MODIFIED AS REQUIRED DURING CONSTRUCTION PHASING FOR PEDESTRIAN CIRCULATION.
8. PRIOR TO ANY TRAFFIC LANE AND/OR SIDEWALK CLOSURES, THE APPLICANT SHALL CONTACT THE CHAPEL HILL TRAFFIC ENGINEERING OFFICE (919-969-5096 OR 919-969-5100) AT LEAST 5 WORKING DAYS BEFORE THE PROPOSED WORK TO APPLY FOR A LAND CLOSURE PERMIT.
9. ROAD CLOSURES ON PUBLIC STREETS MUST BE COORDINATED WITH AND APPROVED BY THE TOWN OF CHAPEL HILL.
10. TEMPORARY STREET ROAD SIGNS ARE REQUIRED AT EACH STREET INTERSECTION WHEN CONSTRUCTION OF NEW ROADS ALLOWS FOR THE PASSAGE OF VEHICLES. SIGN SHALL BE OF APPROVED SIZE, WEATHER RESISTANT AND BE MAINTAINED UNTIL REPLACED BY PERMANENT SIGN.

LANE CLOSURES AND TEMPORARY TRAFFIC PLAN TO BE FINALIZED WITH FUTURE INTERSECTION IMPROVEMENTS

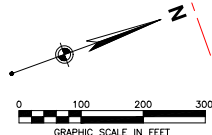
LANE CLOSURES AND TEMPORARY TRAFFIC PLAN TO BE FINALIZED WITH FUTURE INTERSECTION IMPROVEMENTS

US 15-501
VARIABLE WIDTH PUBLIC R/W

US 15-501
VARIABLE WIDTH PUBLIC
P.B. 114



OVERALL SITE MAP



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**CIVIL
PERMIT
PLAN SET**

ISSUANCE SCHEDULE	NUMBER	DATE	DESCRIPTION

BEECHWOOD HOMES
SOUTH CREEK
MIXED USE DEVELOPMENT

S COLUMBIA ST.
CHAPEL HILL, NC 27514

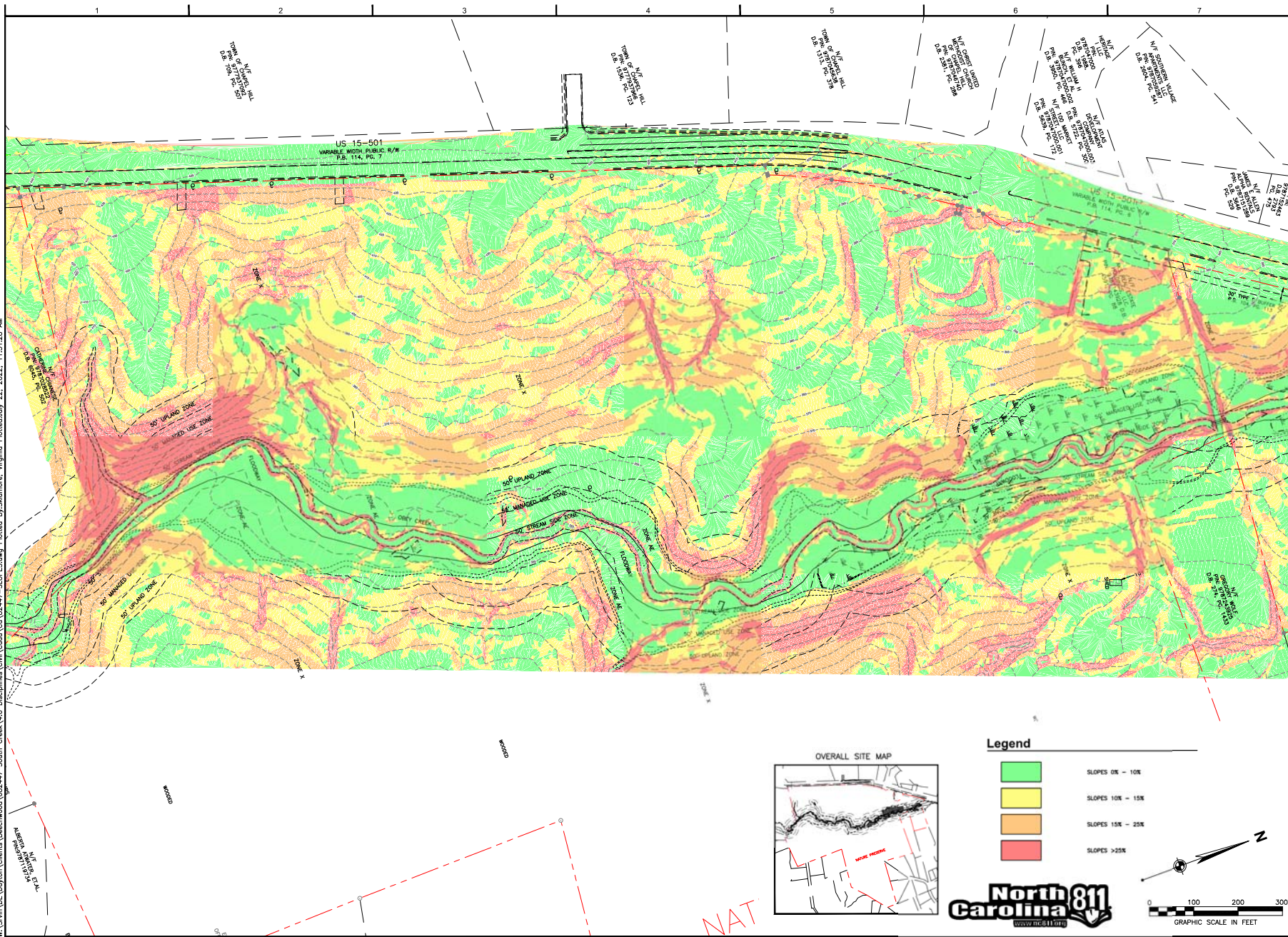
PROJECT NO:	082447
DATE ISSUED:	7/22/22
DESIGNED BY:	RMN
DRAWN BY:	VCS
CHECKED BY:	RMN

SHEET NAME:
CONSTRUCTION
MANAGEMENT PLAN

SHEET NO:

C-205

Layout Tab Name: C-206 STEEP SLOPES PLAN
Last Saved By: biskidmore, 7/21/2022 8:10:22 AM
W:\Srin DE\Borjan\Clients\Beechwood\082447 South Creek\4.0 Discipline\Civil\Coord\082447-SLOPES.dwg Plotted: biskidmore, Virginia Plotted: July 22, 2022, 11:31:28 AM



**CIVIL
PERMIT
PLAN SET**

NUMBER	DATE	DESCRIPTION
1	7/22/22	Issued for Permit

**BEECHWOOD HOMES
SOUTH CREEK
MIXED USE DEVELOPMENT**

S COLUMBIA ST.
CHAPEL HILL, NC 27514

PROJECT NO: 082447
DATE ISSUED: 7/22/22
DESIGNED BY: RMN
DRAWN BY: VCS
CHECKED BY: RMN

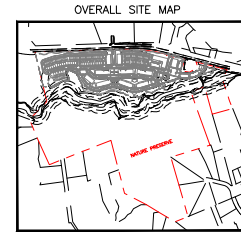
SHEET NAME:
A STEEP SLOPES PLAN

SHEET NO:

C-206

1. ALL EXISTING STRUCTURES 500 SQUARE FEET AND LARGER IN SIZE SHALL BE ASSESSED PRIOR TO DEMOLITION TO ENSURE COMPLIANCE WITH THE COUNTY'S REGULATED RECYCLABLES ORIGINANCE (RRMO) AND TO ASSESS THE POTENTIAL FOR DE-CONSTRUCTION AND/OR THE RE-USE OF SALVAGEABLE MATERIALS.
2. BY ORANGE COUNTY ORDINANCE, CLEAN WOOD WASTE, SCRAP METAL, AND CORRUGATED CARDBOARD PRESENT IN CONSTRUCTION OR DEMOLITION WASTE MUST BE RECYCLED.
3. BY ORANGE COUNTY ORDINANCE, ALL HAULERS OF MIXED CONSTRUCTION AND DEMOLITION WASTE THAT INCLUDES ANY REGULATED RECYCLABLE MATERIALS SHALL BE LICENSED BY ORANGE COUNTY.
4. PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE THE APPLICANT SHALL HOLD A PRE-DEMOLITION/PRE-CONSTRUCTION CONFERENCE WITH THE SOLID WASTE STAFF (919-988-2788). THIS MEETING SHALL BE THE SAME AS THE MEETING HELD WITH OTHER DEVELOPMENT/ENFORCEMENT OFFICIALS.
5. THE PRESENCE OF ANY ASBESTOS CONTAINING MATERIALS ('ACM') AND/OR OTHER HAZARDOUS MATERIALS IN CONSTRUCTION AND DEMOLITION WASTE SHALL BE HANDLED IN ACCORDANCE WITH ANY AND ALL LOCAL, STATE, AND FEDERAL REGULATIONS AND GUIDELINES.
6. IF ANY VEHICLES ARE PARKED IN THE REFUSE OR RECYCLABLES COLLECTION VEHICLE ACCESS AREA, THE CONTAINERS WILL NOT RECEIVE SERVICE UNTIL THE VEHICLES ARE MOVED TO THE COLLECTION DRIVE.
7. TRASH WILL BE PLACED IN SEPARATE DUMPSTERS AND COLLECTED BY A PRIVATE WASTE COLLECTION CONTRACTOR.
8. ALL CONSTRUCTION WASTE MATERIALS CONTAINING REGULATED RECYCLABLE MATERIALS (SEE NOTE 2 ABOVE) SHALL BE RECYCLED PURSUANT TO THE ORANGE COUNTY REGULATED RECYCLABLE MATERIALS ORIGINANCE (RRMO). CONTRACTORS SHALL RETAIN PICKUP SLIPS TO RECORD/DATE RECYCLING AS MAY BE REQUIRED FOR ENVIRONMENTAL CREDITS.

9. THE OWNER, OR THEIR DESIGNEE, SHALL BE RESPONSIBLE FOR MAINTAINING A FIRE WATCH DURING CONSTRUCTION AND DEMOLITION WHERE MATERIALS SUBJECT TO SPONTANEOUS COMBUSTION OR OTHER HAZARDOUS CONSTRUCTION OR DEMOLITION IS OCCURRING.
10. ALL CONSTRUCTION AND DEMOLITION SHALL BE CONDUCTED IN COMPLIANCE WITH THE CURRENT EDITION OF CHAPTER 14 OF THE NC FFC.
11. ANY GATE DESIGN SHALL INCLUDE GATE RETAINERS.
12. THERE WILL BE ROOM IN THE DUMPSTER ENCLOSURES OR ADJACENT TO COMPACTOR AREAS DESIGNATED FOR RECYCLING BINS AS APPROVED BY THE ORANGE COUNTY SOLID WASTE DEPARTMENT.
13. ITEMS TO BE RECYCLED WILL INCLUDE ALL MATERIALS ACCEPTED BY ORANGE COUNTY SOLID WASTE (INCLUTED BUT NOT LIMITED TO):
 - 13.1.1. GLASS (CLEAR, BROWN AND GREEN)
 - 13.1.2. PLASTIC
 - 13.1.3. NEWSPAPERS, MAGAZINES AND OTHER PAPER
 - 13.1.4. METAL CANS
 - 13.1.5. CARDBOARD
14. ADEQUATE SITE LIGHTING SHALL BE PROVIDED IN/AROUND THE SOLID WASTE STORAGE AREAS.
15. HEAVY DUTY ASPHALT AND CONCRETE SECTIONS ARE PROVIDED ON SHED CR-00. THESE SECTIONS APPLY UNLESS AN APPROVED GEOTECHNICAL ENGINEER HAS DESIGN SPECIFIC FOR THIS PROJECT



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**CIVIL
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PLAN SET**

ISSUANCE SCHEDULE	
NUMBER	DATE DESCRIPTION
0	7/12/22 Conditional Zoning Submittal

BEECHWOOD HOMES
SOUTH CREEK
MIXED USE DEVELOPMENT

S COLUMBIA ST.
CHAPEL HILL, NC 27514

PROJECT NO:	082447
DATE ISSUED:	7/22/22
DESIGNED BY:	RMN
DRAWN BY:	VCS
CHECKED BY:	RMN

SHEET NAME:
SOLID WASTE PLAN

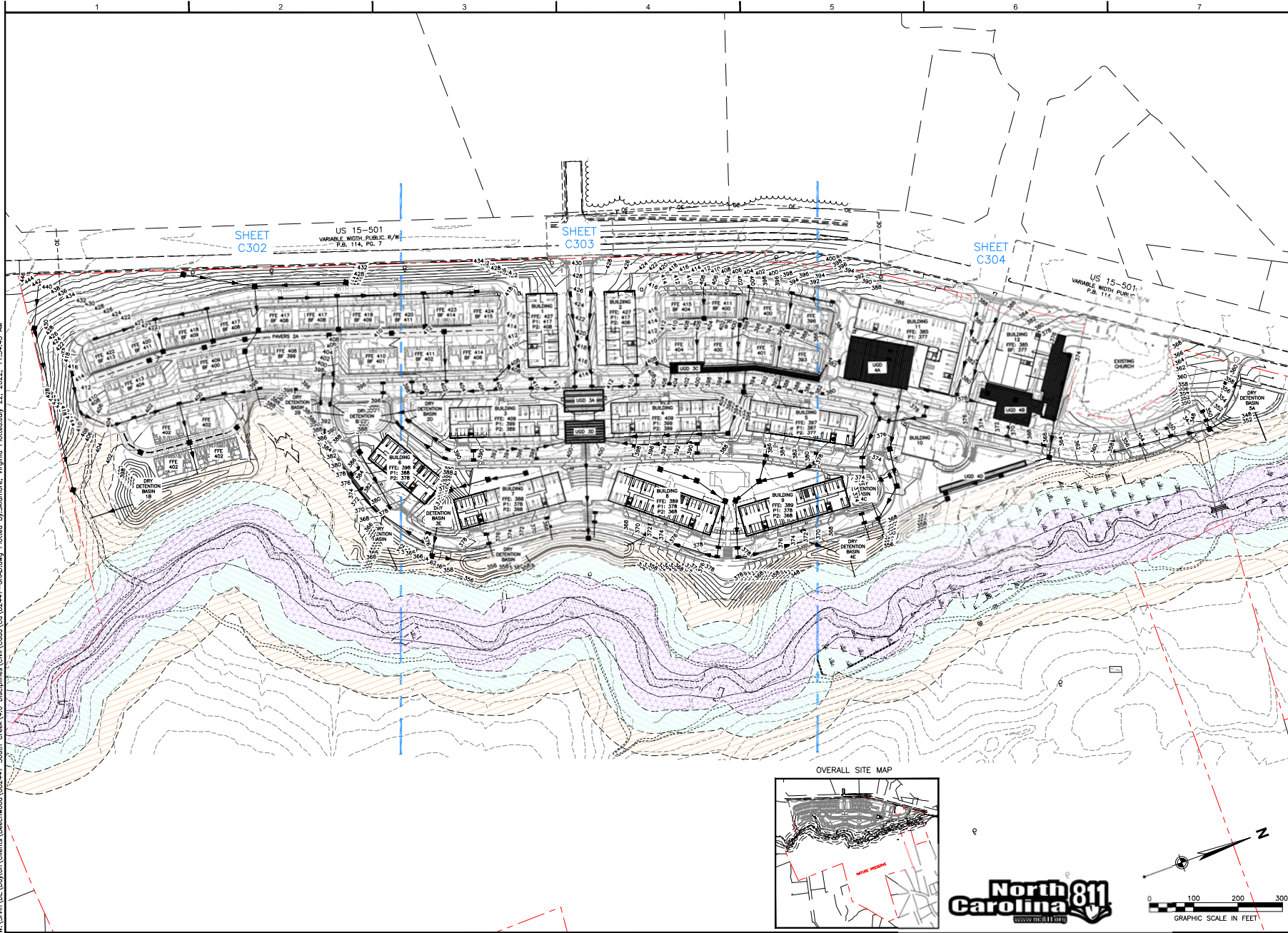
SHEET NO:

C-207

Layout Tab Name: C-301 OVERALL GRADING & DRAINAGE PLAN

Last Saved By: Skidmore, 7/21/2022 3:55:19 PM

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**CIVIL
PERMIT
PLAN SET**

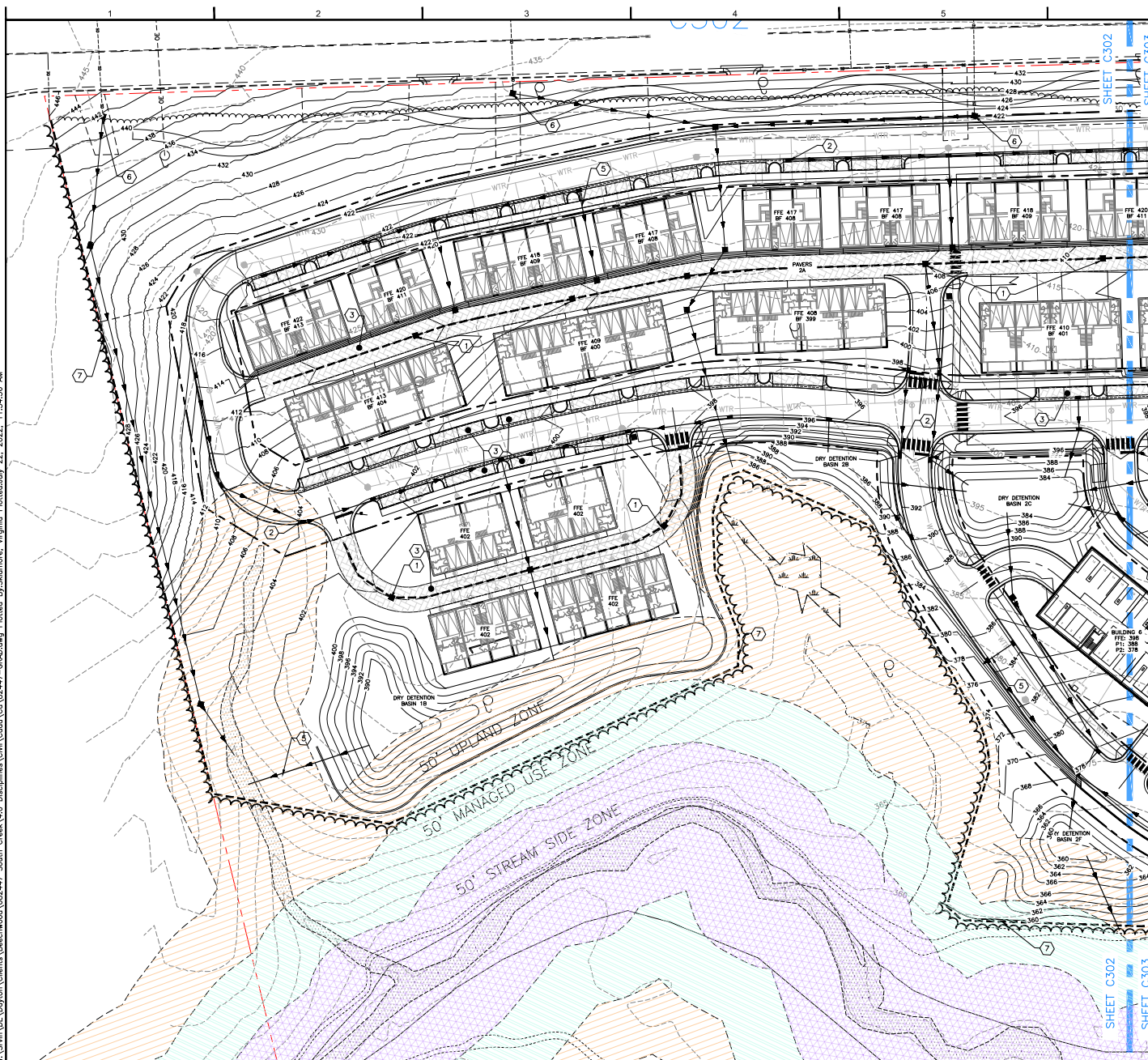
ISSUANCE SCHEDULE	DESCRIPTION
NUMBER	DATE
1	7/21/2022

**BEECHWOOD HOMES
SOUTH CREEK
MIXED USE DEVELOPMENT**
S COLUMBIA ST.
CHAPEL HILL, NC 27514

PROJECT NO:	082447
DATE ISSUED:	7/22/22
DESIGNED BY:	RMN
DRAWN BY:	VCS
CHECKED BY:	RMN

SHEET NAME:
**OVERALL GRADING &
DRAINAGE PLAN**

SHEET NO:
C-301



-----799	EXISTING 1" CONTOUR
-----800	EXISTING 5" CONTOUR
-----799	1" CONTOUR
-----800	5" CONTOUR
-----	STORM SEWER
-----	EXISTING STORM SEWER
-----	CONSTRUCTION LIMITS
■	CATCH BASIN
●	CURB INLET
□	STORM MANHOLE
□	STORM CLEANOUT
⑩	STORM STRUCTURE ID
□	EXISTING DRAINAGE STRUCTURE
SPOT ELEVATION	
ME	MATCH EXISTING

1. SEE SHEET C-003 FOR GENERAL NOTES.
2. CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION. IT IS NOT THE ENGINEER'S INTENT THAT ANY SINGLE PLAN SHEET WITHIN THIS SET OF DOCUMENTS FULLY DEPICT ALL WORK ASSOCIATED WITH THE PROJECT.
3. PROVIDE POSITIVE DRAINAGE AT ALL TIMES TO ENSURE NO STANDING WATER WITHIN PAVEMENT, BUILDING PAD OR GREEN AREAS.

1. STORM CATCH BASIN

2. STORM CURB INLET

3. PERVIOUS PAVERS

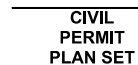
4. UNDERGROUND DETENTION SYSTEM

5. STORMWATER PIPING

6. NCDOT STORMWATER DISCHARGE TO BE RE-ROUTED TO OBEY CREEK

7. LIMITS OF DISTURBANCE

0 40 80 120
GRAPHIC SCALE IN FEET



NUMBER	DATE	DESCRIPTION
0	7/12/22	Conditional Zoning Submitted

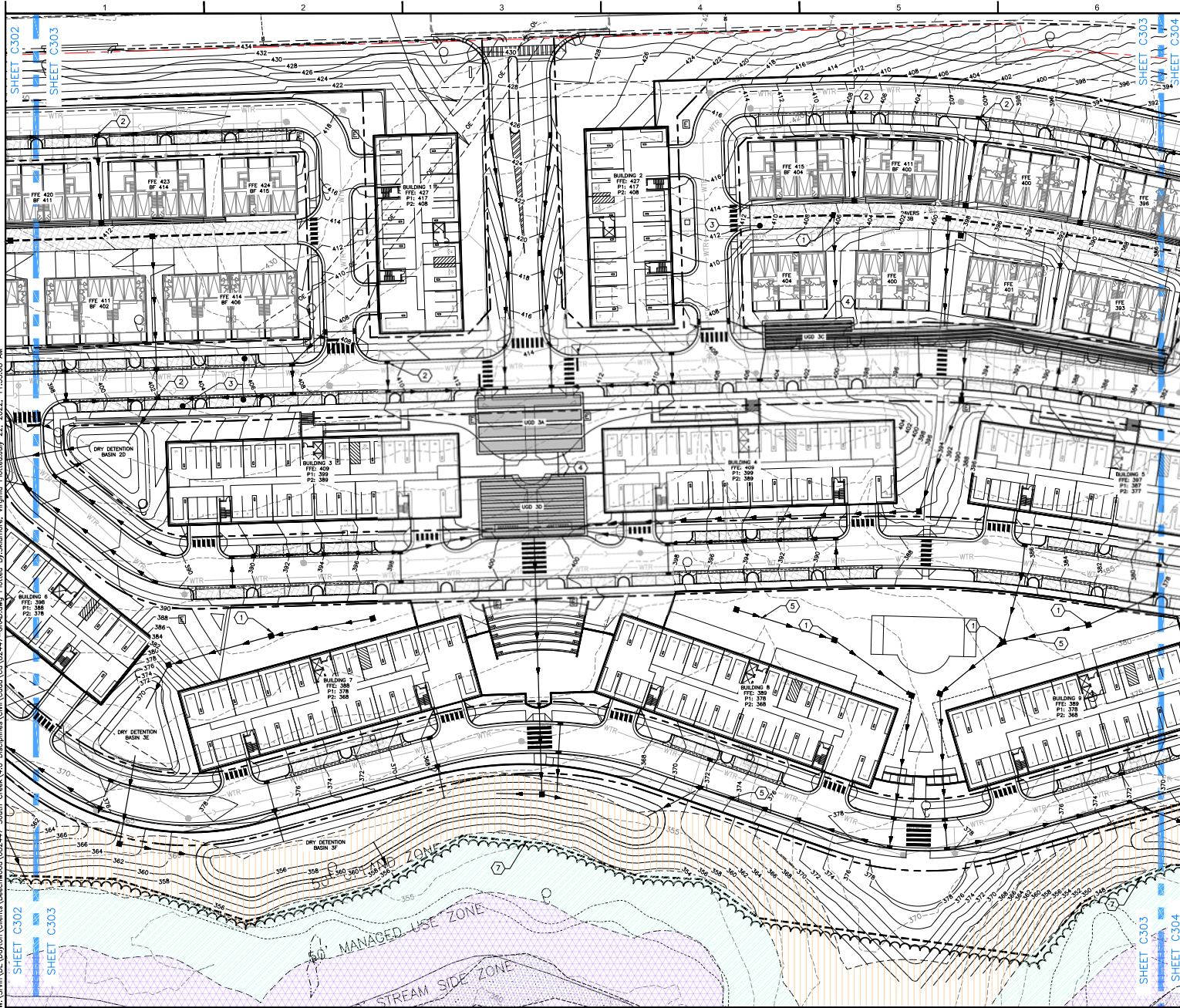
BEECHWOOD HOMES
SOUTH CREEK
MIXED USE DEVELOPMENT

PROJECT NO:	082447
DATE ISSUED:	7/22/22
DESIGNED BY:	RMN
DRAWN BY:	VCS
CHECKED BY:	RMN

SHEET NAME:
GRADING & DRAINAGE
PLAN

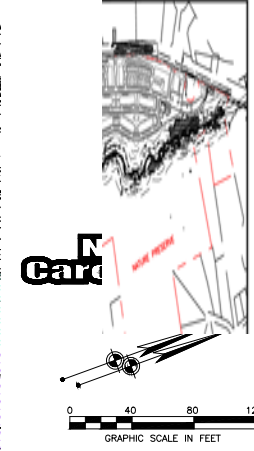
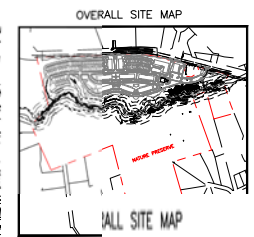
SHEET NO:

C-302



LEGEND	
---	EXISTING 1' CONTOUR
---	EXISTING 5' CONTOUR
---	1' CONTOUR
---	5' CONTOUR
---	STORM SEWER
---	EXISTING STORM SEWER
---	CONSTRUCTION LIMITS
---	CATCH BASIN
---	CURB INLET
---	STORM MANHOLE
---	STORM CLEANOUT
---	STORM STRUCTURE ID
---	EXISTING DRAINAGE STRUCTURE
---	SPOT ELEVATION
---	MATCH EXISTING

- NOTES**
- SEE SHEET C-003 FOR GENERAL NOTES.
 - CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION. IT IS NOT THE ENGINEER'S INTENT THAT ANY SINGLE PLAN SHEET WITHIN THIS SET OF DOCUMENTS FULLY DEPICT ALL WORK ASSOCIATED WITH THE PROJECT.
 - PROVIDE POSITIVE DRAINAGE AT ALL TIMES TO ENSURE NO STANDING WATER WITHIN PAVEMENT, BUILDING PAD OR GREEN AREAS.
- KEYNOTES**
- STORM CATCH BASIN
 - STORM CURB INLET
 - PERVIOUS PAVING
 - UNDERGROUND DETENTION SYSTEM
 - STORMWATER PIPING
 - NO/NOT STORMWATER DISCHARGE TO BE RE-ROUTED TO ONLY CHECK
 - LIMITS OF DISTURBANCE



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CIVIL PERMIT PLAN SET

NUMBER	DATE	DESCRIPTION
1	7/21/2022	Issued for Permit

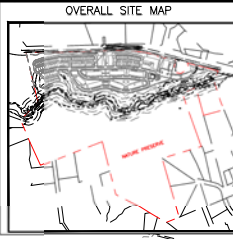
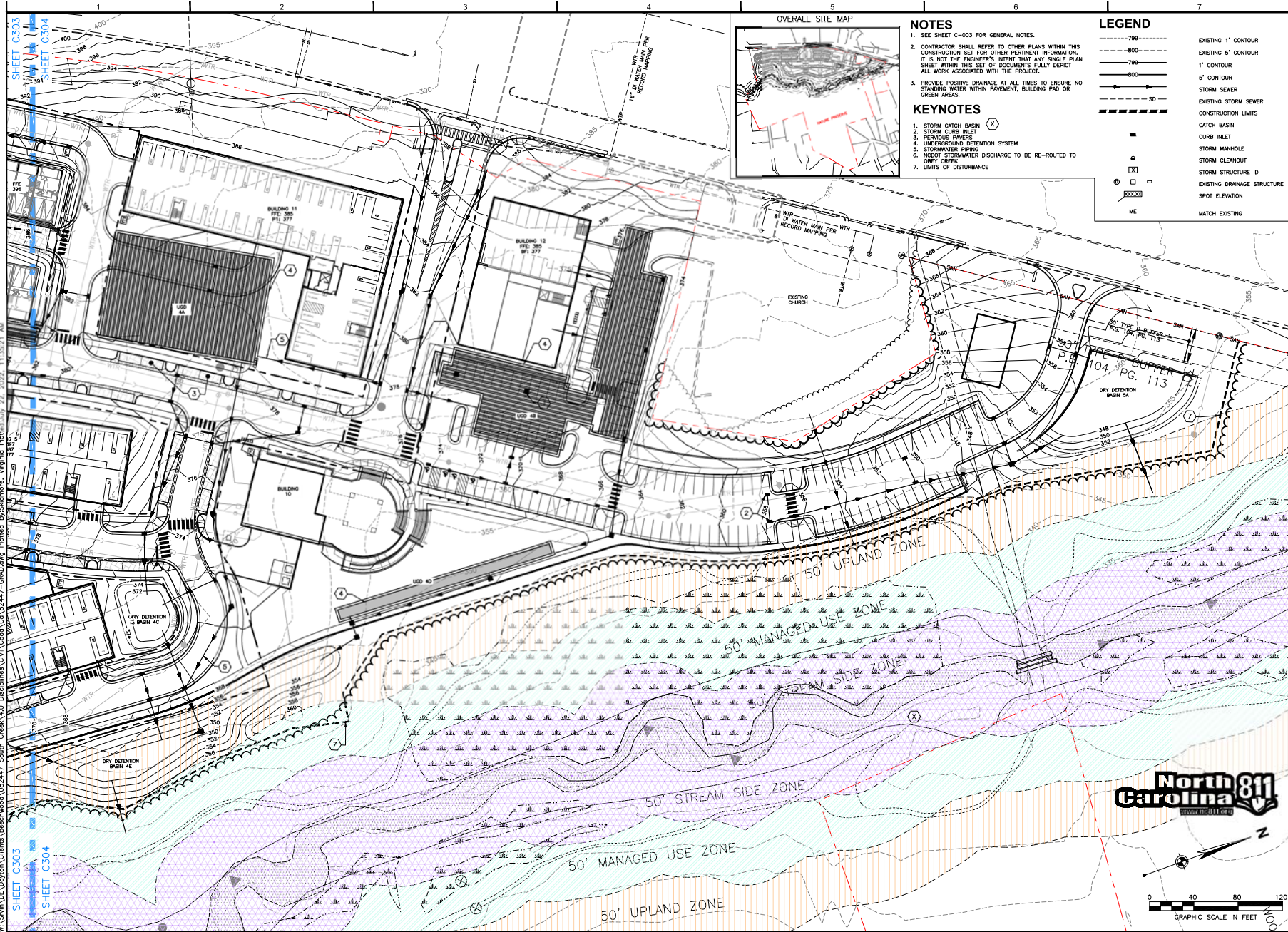
BEECHWOOD HOMES SOUTH CREEK MIXED USE DEVELOPMENT

PROJECT NO: 082447
DATE ISSUED: 7/22/22
DESIGNED BY: RMN
DRAWN BY: VCS
CHECKED BY: RMN

SHEET NAME: GRADING & DRAINAGE PLAN

SHEET NO: **C-303**

Layout Tab Name: C-304 GRADING & DRAINAGE PLAN
Last Saved By: Sldmore, 7/21/2022 2:55:19 PM
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- NOTES**
- SEE SHEET C-003 FOR GENERAL NOTES.
 - CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION. IT IS NOT THE ENGINEER'S INTENT THAT ANY SINGLE PLAN SHEET WITHIN THIS SET OF DOCUMENTS FULLY DEPICT ALL WORK ASSOCIATED WITH THE PROJECT.
 - PROVIDE POSITIVE DRAINAGE AT ALL TIMES TO ENSURE NO STANDING WATER WITHIN PAVEMENT, BUILDING PAD OR GREEN AREAS.
- KEYNOTES**
- STORM CATCH BASIN (X)
 - STORM CURB INLET
 - PERVIOUS PAVEMENT
 - UNDERGROUND DETENTION SYSTEM
 - STORMWATER PIPING
 - NCDOT STORMWATER DISCHARGE TO BE RE-ROUTED TO OBEY CREEK
 - LIMITS OF DISTURBANCE

- LEGEND**
- | | |
|-----|-----------------------------|
| --- | EXISTING 1" CONTOUR |
| --- | EXISTING 5' CONTOUR |
| --- | 1" CONTOUR |
| --- | 5' CONTOUR |
| --- | STORM SEWER |
| --- | EXISTING STORM SEWER |
| --- | CONSTRUCTION LIMITS |
| --- | CATCH BASIN |
| --- | CURB INLET |
| --- | STORM MANHOLE |
| --- | STORM CLEANOUT |
| --- | STORM STRUCTURE ID |
| --- | EXISTING DRAINAGE STRUCTURE |
| --- | SPOT ELEVATION |
| --- | MATCH EXISTING |

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**CIVIL
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PLAN SET**

NUMBER	DATE	ISSUANCE SCHEDULE	DESCRIPTION
1	7/21/2022	ISSUED	CONSTRUCTION DOCUMENT

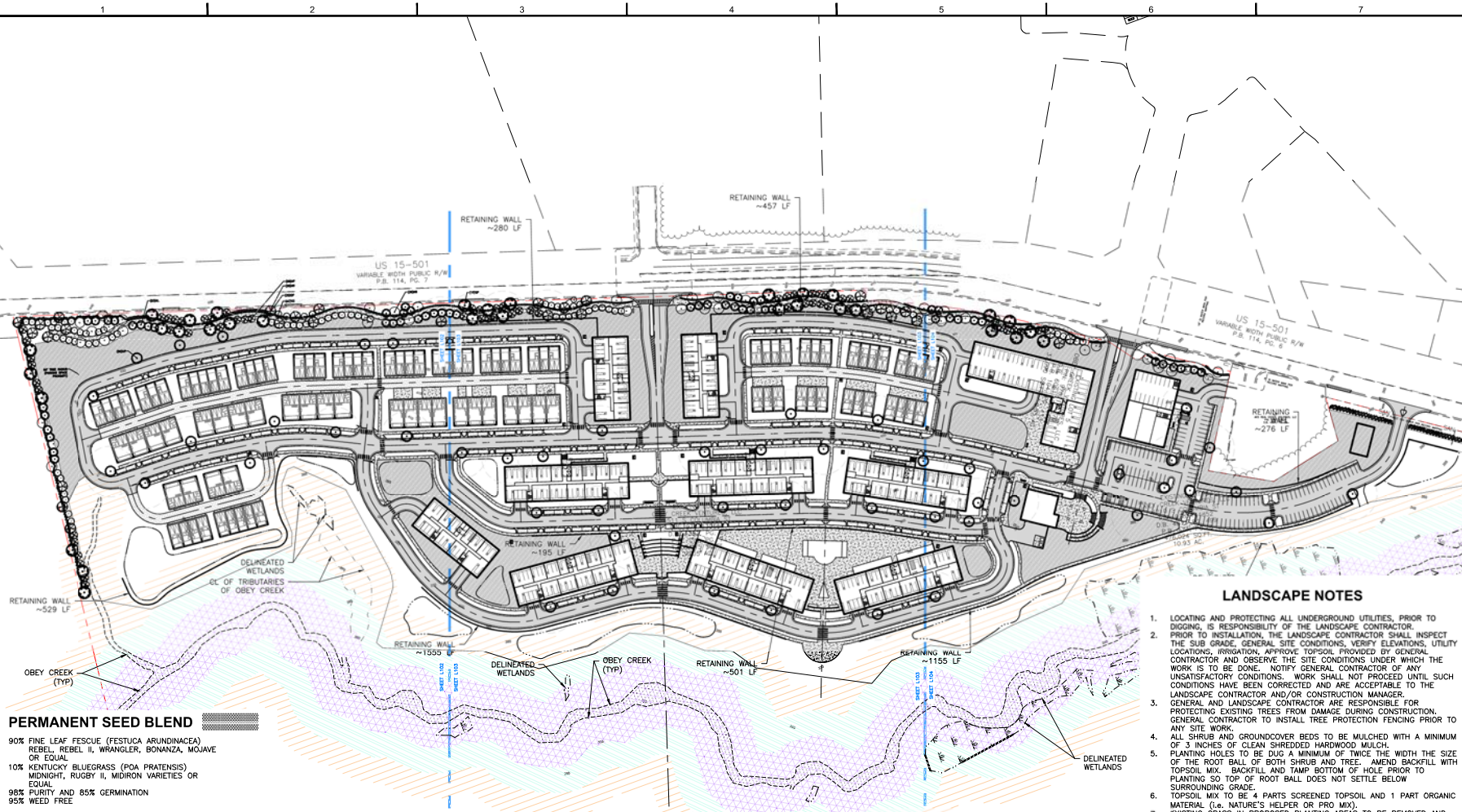
**BEECHWOOD HOMES
SOUTH CREEK
MIXED USE DEVELOPMENT**
S COLUMBIA ST.
CHAPEL HILL, NC 27514

PROJECT NO: 082447
DATE ISSUED: 7/22/22
DESIGNED BY: RMN
DRAWN BY: VCS
CHECKED BY: RMN

SHEET NAME:
**GRADING & DRAINAGE
PLAN**

SHEET NO:
C-304

Layout Tab Name: C-501
Last Saved By: Sidmore, W
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PERMANENT SEED BLEND

90% FINE LEAF FESCUE (*FESTUCA ARUNDINACEA*)
REBEL, REBEL II, WRANGLER, BONANZA, MOJAVE
OR EQUAL
10% KENTUCKY BLUEGRASS (*POA PRATENSIS*)
MIDNIGHT, RUGBY II, MIDIRON VARIETIES OR
EQUAL
98% PURITY AND 85% GERMINATION
95% WEED FREE

TAG	QTY	SCIENTIFIC NAME	COMMON NAME	COND.	SIZE	REMARKS
TREE						
AP	58	<i>Aesculus pavia</i>	Red Buckeye	B&B	1" cal. 6'ht. 4"wd.	Full, well shaped
CC	69	<i>Cercis canadensis</i>	Eastern Redbud	B&B	1" cal. 6'ht. 3"wd.	Full, well shaped
AL	53	<i>Amelanchier laevis</i>	Serviceberry	B&B	1" cal. 6'ht. 3"wd.	Full, well shaped
NS	39	<i>Nyssa sylvatica</i>	Black Gum	B&B	2" cal. 6'ht. 4"wd.	Full, well shaped
AR	28	<i>Acer rubrum</i>	Red Gum	B&B	2" cal. 6'ht. 3"wd.	Full, well shaped
QP	32	<i>Quercus pagodaefolia</i>	Cherrybark Oak	B&B	2" cal. 6'ht. 3"wd.	Full, well shaped
UP	50	<i>Ulmus parvifolia</i>	Locust Elm	B&B	2" cal. 6'ht. 3"wd.	Full, well shaped
EVERGREEN SHRUB						
IG	287	<i>Ilex glabra</i>	Inkberry Holly	#3 cont.	30"ht. x 24"wd.	Full, vigorous
LC	300	<i>Loropetalum chinense 'Rubrum'</i>	Chinese Fringe Flower	#3 cont.	30"ht. x 24"wd.	Full, vigorous
GJ	221	<i>Gardenia jasminoides 'Radicans'</i>	Dwarf Gardenia	#3 cont.	36"ht. x 24"wd.	Full, vigorous
DECIDUOUS SHRUB						
CA	277	<i>Clethra alnifolia</i>	Summersweet Clethra	#5 cont.	36"ht. x 24"wd.	Full, vigorous
GROUND COVER						
SEED	22	380,000 SF				

* QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR ALL QUANTITIES OF PLANTS ON LANDSCAPE PLAN.

PLANTING REQUIREMENTS

PERIMETER BUFFER

BUFFER TYPE C REQUIRED - 20' MIN. WIDTH

PLANTS REQUIRED PER 100 LF

TREES REQUIRED: 5
SMALL TREES: 10
SHRUBS: 36

TOTAL BUFFER LENGTH: 2,832 LF

LARGE TREES REQUIRED: 142
SMALL TREES REQUIRED: 284
SHRUBS REQUIRED: 1,019

LARGE TREES PROVIDED: 97
SMALL TREES PROVIDED: 180
SHRUBS PROVIDED: 1,085

PARKING LOT SHADE TREES

1 LARGE TREE PER 2,000 SF OF PARKING AREA REQUIRED; NO SPACE SHALL BE FARTHER THAN 50' FROM LARGE TREE; PLANTING ISLAND MIN. SF FOR LARGE TREE = 200 SF

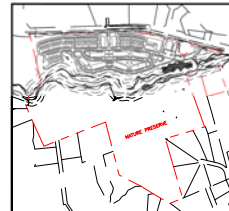
PARKING LOT AREA: +/- 90,423 SF

TREES REQUIRED: 46
TREES PROVIDED: 50

LOADING AREA SCREENING

MIN. 12' WIDTH SCREENING FROM ALL PUBLIC R/W AND ADJACENT PROPERTIES

OVERALL SITE MAP



LANDSCAPE NOTES

- LOCATING AND PROTECTING ALL UNDERGROUND UTILITIES, PRIOR TO DIGGING, IS RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR. PRIOR TO INSTALLATION, THE LANDSCAPE CONTRACTOR SHALL INSPECT THE SUB GRADE, GENERAL SITE CONDITIONS, VERIFY ELEVATIONS, UTILITY LOCATIONS, IRRIGATION, APPROVE TOPSOIL PROVIDED BY GENERAL CONTRACTOR AND OBSERVE THE SITE CONDITIONS UNDER WHICH THE WORK IS TO BE DONE. NOTIFY GENERAL CONTRACTOR OF ANY UNSATISFACTORY CONDITIONS. WORK SHALL NOT PROCEED UNTIL SUCH CONDITIONS HAVE BEEN CORRECTED AND ARE ACCEPTABLE TO THE LANDSCAPE CONTRACTOR AND/OR CONSTRUCTION MANAGER.
- GENERAL AND LANDSCAPE CONTRACTOR ARE RESPONSIBLE FOR PROTECTING EXISTING TREES FROM DAMAGE DURING CONSTRUCTION. GENERAL CONTRACTOR TO INSTALL TREE PROTECTION FENCING PRIOR TO ANY SITE WORK.
- ALL SHRUB AND GROUND COVER BEDS TO BE MULCHED WITH A MINIMUM OF 3 INCHES OF CLEAN SHREDDED HARDWOOD MULCH.
- PLANTING HOLES TO BE DUG A MINIMUM OF TWICE THE WIDTH THE SIZE OF THE ROOT BALL OF BOTH SHRUB AND TREE. AMEND BACKFILL WITH TOPSOIL MIX. BACKFILL AND TAMP BOTTOM OF HOLE PRIOR TO PLANTING. 50 TOP OF ROOT BALL DOES NOT SETTLE BELOW SURROUNDING GRADE.
- TOPSOIL MIX TO BE 4 PARTS SCREENED TOPSOIL AND 1 PART ORGANIC MATERIAL (E.G. NATURE'S HELPER OR PRO MIX).
- EXISTING GRASS IN PROPOSED PLANTING AREAS TO BE REMOVED AND AREA TO BE HAND RAKED TO REMOVE ALL ROCKS AND DEBRIS LARGER THAN 1 INCH IN DIAMETER PRIOR TO PLANTING SHRUBS.
- SOIL TO BE TESTED TO DETERMINE FERTILIZER AND LIME REQUIREMENTS. LIME AND FERTILIZER TO BE DISTRIBUTED PRIOR TO LAYING SOD. ALL DISTURBED AREAS (INCLUDING RIGHT-OF-WAYS) NOT RECEIVING PLANTINGS TO RECEIVE 4 INCHES OF TOPSOIL AND SODDED.
- SOD TO BE DELIVERED FRESH (CUT LESS THAN 24 HOURS PRIOR TO ARRIVING ON SITE), LAD IMMEDIATELY, ROLLED AND WATERED THOROUGHLY WITHIN ONE HOUR OF INSTALLATION.
- ALL CHANGES TO DESIGN AND/OR PLANT SUBSTITUTIONS TO BE AUTHORIZED BY LANDSCAPE ARCHITECT.
- ALL PARKING ISLANDS TO BE BERMED UP 6"-10" WITH CLEAN FRIABLE TOPSOIL PRIOR TO PLANTING.
- ALL LANDSCAPING SHALL BE INSTALLED IN CONFORMANCE WITH ANSI 260.1 THE AMERICAN STANDARD FOR NURSERY STOCK, AND THE ACCEPTED STANDARDS OF AMERICANHORT.
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANTS INSTALLED FOR ONE FULL YEAR FROM DATE OF ACCEPTANCE BY THE OWNER. ALL PLANTS SHALL BE ALIVE AND AT A VIGOROUS RATE OF GROWTH AT THE END OF THE GUARANTEE PERIOD. THE LANDSCAPE CONTRACTOR SHALL NOT BE RESPONSIBLE FOR ACTS OF GOD OR VANDALISM.
- ANY PLANT THAT IS DETERMINED DEAD, IN AN UNHEALTHY OR UNSIGHTLY CONDITION, LOST ITS SHAPE DUE TO DEAD BRANCHES OR OTHER SYMPTOMS OF POOR, NON-VIGOROUS GROWTH SHALL BE REPLACED BY THE LANDSCAPE CONTRACTOR WITH THE COST OF THE REPLACEMENT INCLUDED IN THE BID OR PROPOSAL PRICE.
- WATER THOROUGHLY TWICE IN THE FIRST 24 HOURS AND APPLY MULCH IMMEDIATELY.

CIVIL PERMIT PLAN SET

ISSUANCE SCHEDULE	DESCRIPTION
NUMBER	DATE
1	1/22/2022

BEECHWOOD HOMES SOUTH CREEK MIXED USE DEVELOPMENT

S COLUMBIA ST.
CHAPEL HILL, NC 27514

PROJECT NO: 082447
DATE ISSUED: 7/22/2022
DESIGNED BY: RNM
DRAWN BY: VCS
CHECKED BY: RNM

SHEET NAME:
LANDSCAPE PLAN

SHEET NO:

L-101