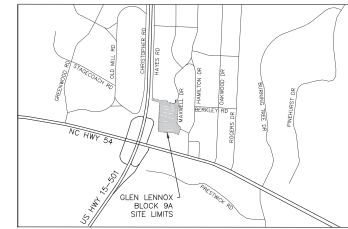


# DEVELOPMENT AGREEMENT COMPLIANCE PERMIT (DACP) DRAWINGS

FOR

## LINK APARTMENTS CALYX GLEN LENNOX - BLOCK 9A - PHASE 1

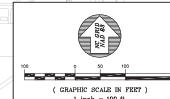
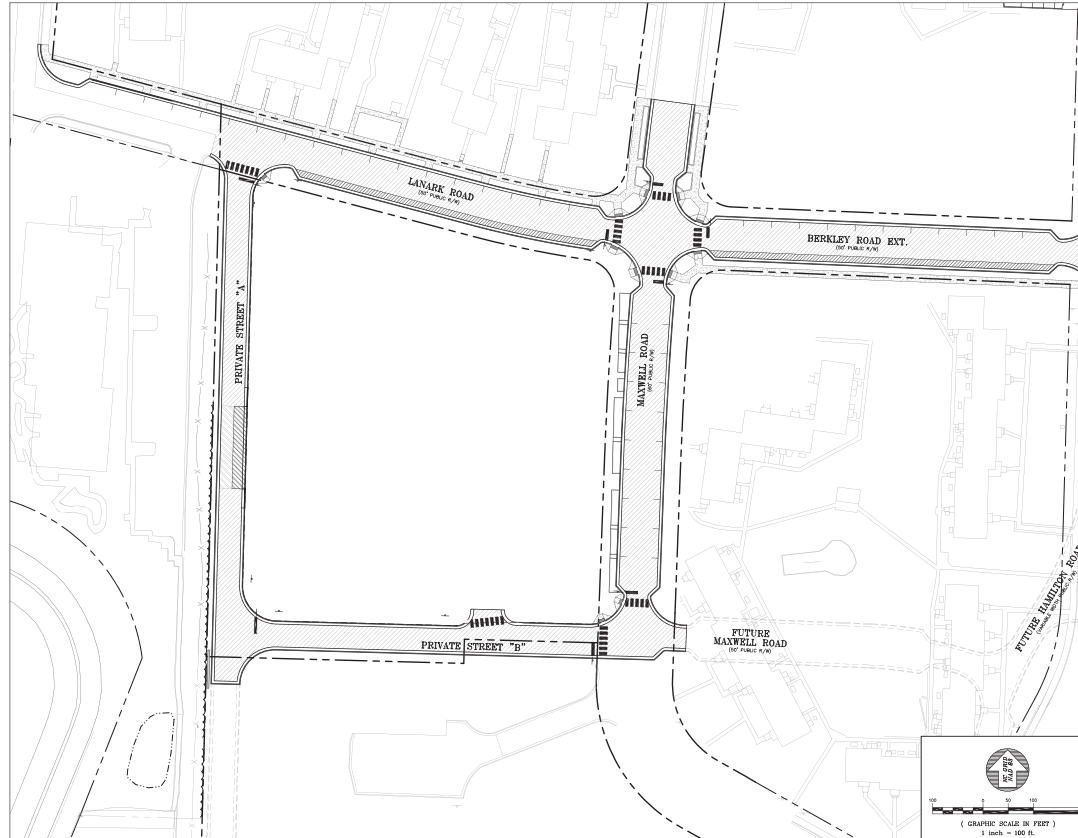
CHAPEL HILL, NORTH CAROLINA



**VICINITY MAP**  
SCALE: 1"=1,000'

**SITE DATA TABLE**

PROJECT NAME:	LINK APARTMENTS CALYX (GLEN LENNOX BLOCK 9A)
PROPERTY PIN NUMBER:	973926154
PROPERTY LOCATION:	TOWN OF CHAPEL HILL
CURRENT LAND OWNER:	6336 LINK APARTMENTS, LLC 4401 PARK ROAD, SUITE 450 CHARLOTTE, NC 28209
PROPERTY ZONING:	R-3 WITH NEIGHBORHOOD CONSERVATION DISTRICT (GLEN LENNOX)
SETBACKS:	LANARK = 18' (FROM BACK OF CURB) MAXWELL = 18' (FROM BACK OF CURB) PRIVATE = 36' (FROM PROPERTY LINE)
EXISTING USE:	RESIDENTIAL
PROPOSED USE:	RESIDENTIAL
PROPOSED LOT SIZE (A/C):	156,772 S.F. (3.43 AC.)
EXISTING IMPERVIOUS SURFACE AREA (SQ. FT.):	108,892 S.F.
PROPOSED IMPERVIOUS SURFACE AREA (SQ. FT.):	18,000 S.F. (PHASE 1) *INCLUDES IMPERVIOUS ALLOWANCE
PROPOSED IMPERVIOUS SURFACE AREA (SQ. FT.):	43,941 S.F.
TOTAL IMPERVIOUS SURFACE AREA (INCREASE):	+41,951 S.F.
VEHICULAR PARKING SUMMARY:	REQUIRED: 0 (SEE PHASE 2) PROVIDED: 0 (SEE PHASE 2)
ACCESSIBLE PARKING SUMMARY:	REQUIRED: 0 (SEE PHASE 2) PROVIDED: 0 (SEE PHASE 2)
BICYCLE PARKING SUMMARY:	REQUIRED: 0 (SEE PHASE 2) PROVIDED: 0 (SEE PHASE 2)



**DRAWING LIST**

SHEET	DRAWING TITLE	LATEST ISSUE DATE
G0001	COVER SHEET - PHASE 1	29 SEP 21
C0001	AREA MAP - PHASE 1	29 SEP 21
C0101	EXISTING CONDITIONS PLAN - PHASE 1	29 SEP 21
C0102	GLEN LENNOX TREE SURVEY OVERVIEW	29 SEP 21
C0103	ENLARGED GLEN LENNOX TREE SURVEY - NORTH	29 SEP 21
C0104	ENLARGED GLEN LENNOX TREE SURVEY - SOUTH	29 SEP 21
C0105	OVERALL GLEN LENNOX TREE LIST	29 SEP 21
C0201	DEMOLITION & LANDSCAPE PROTECTION PLAN - PHASE 1	29 SEP 21
C1001	SITE PLAN - PHASE 1	29 SEP 21
C1101	UTILITY PLAN - PHASE 1	29 SEP 21
C1201	GRADING & DRAINAGE PLAN - PHASE 1	29 SEP 21
C1210	STORM DRAINAGE PROFILES - PHASE 1	29 SEP 21
C1301	EROSION CONTROL & CONSTRUCTION MANAGEMENT PLAN - PHASE 1	29 SEP 21
C1302	SEDIMENT BASIN ENLARGEMENT - PHASE 1	29 SEP 21
C1303	NG01 REQUIREMENTS - PHASE 1	29 SEP 21
C1401	STAGE 1 TRAFFIC & PEDESTRIAN CONTROL PLAN - PHASE 1	29 SEP 21
C1402	STAGE 2 TRAFFIC & PEDESTRIAN CONTROL PLAN - PHASE 1	29 SEP 21
C3101	LANARK ROAD PLAN & PROFILE - PHASE 1	29 SEP 21
C3102	MAXWELL ROAD PLAN & PROFILE - PHASE 1	29 SEP 21
C3103	PRIVATE ROAD A PLAN & PROFILE - PHASE 1	29 SEP 21
C3104	PRIVATE ROAD B PLAN & PROFILE - PHASE 1	29 SEP 21
C3105	BERKLEY ROAD EXTENSION PLAN & PROFILE - PHASE 1	29 SEP 21
C3201	TYPICAL ROAD SECTIONS - PHASE 1	29 SEP 21
C3202	TYPICAL ROAD SECTIONS - PHASE 1	29 SEP 21
C3203	TYPICAL ROAD SECTIONS - PHASE 1	29 SEP 21
C4201	SCM #1 ENLARGEMENT AND SECTIONS - PHASE 1	29 SEP 21
C5001	SITE DETAILS - PHASE 1	29 SEP 21
C5002	SITE DETAILS - PHASE 1	29 SEP 21
C5101	UTILITY DETAILS - PHASE 1	29 SEP 21
C5102	UTILITY DETAILS - PHASE 1	29 SEP 21
C5201	STORM DRAINAGE DETAILS - PHASE 1	29 SEP 21
C5301	EROSION CONTROL DETAILS - PHASE 1	29 SEP 21
C5302	EROSION CONTROL DETAILS - PHASE 1	29 SEP 21
C5401	TRAFFIC CONTROL DETAILS - PHASE 1	29 SEP 21

Zoning Approved Plans -  
Modification to Phase 1 DACP  
10/25/2021  
34 Pages  
Anya Grahn, Planning Dept.

DEVELOPER:

4601 PARK ROAD,  
CHARLOTTE, NC 28209  
(704) 971-4822

ARCHITECT:

1401 WEST MONROE STREET,  
CHARLOTTE, NC 28209  
(704) 334-1776

ENGINEERING:

221 PROVENCE ROAD, CHAPEL HILL, NC 27514  
(919) 489-6481

LANDSCAPE ARCHITECTURE:

43 HAZARD STREET, SUITE 110,  
DURHAM, NC 27701  
(919) 416-2000

**BALLENTINE ASSOCIATES, P.A.**  
221 PROVENCE ROAD, CHAPEL HILL, NC 27514  
(919) 489-6481

**LINK APARTMENTS CALYX  
GLEN LENNOX - BLOCK 9A  
CHAPEL HILL, NC  
DACP DRAWINGS**

**SHEET G0001**

REVIEW DRAWING  
NOT FOR CONSTRUCTION



DATE	REVISIONS
16 APR 21	1. PER DACP PLATE COMMENTS
19 JUN 21	2. PER DACP PLATE COMMENTS
19 JUN 21	3. PER DACP PLATE COMMENTS
28 JUN 21	4. PER DACP PLATE COMMENTS
28 JUN 21	5. PER DACP PLATE COMMENTS
28 JUN 21	6. PER DACP PLATE COMMENTS
28 JUN 21	7. PER DACP PLATE COMMENTS
28 JUN 21	8. PER DACP PLATE COMMENTS
28 JUN 21	9. PER DACP PLATE COMMENTS
28 JUN 21	10. PER DACP PLATE COMMENTS
28 JUN 21	11. PER DACP PLATE COMMENTS
28 JUN 21	12. PER DACP PLATE COMMENTS
28 JUN 21	13. PER DACP PLATE COMMENTS
28 JUN 21	14. PER DACP PLATE COMMENTS
28 JUN 21	15. PER DACP PLATE COMMENTS
28 JUN 21	16. PER DACP PLATE COMMENTS
28 JUN 21	17. PER DACP PLATE COMMENTS
28 JUN 21	18. PER DACP PLATE COMMENTS
28 JUN 21	19. PER DACP PLATE COMMENTS
28 JUN 21	20. PER DACP PLATE COMMENTS
28 JUN 21	21. PER DACP PLATE COMMENTS
28 JUN 21	22. PER DACP PLATE COMMENTS
28 JUN 21	23. PER DACP PLATE COMMENTS
28 JUN 21	24. PER DACP PLATE COMMENTS
28 JUN 21	25. PER DACP PLATE COMMENTS
28 JUN 21	26. PER DACP PLATE COMMENTS
28 JUN 21	27. PER DACP PLATE COMMENTS
28 JUN 21	28. PER DACP PLATE COMMENTS
28 JUN 21	29. PER DACP PLATE COMMENTS
28 JUN 21	30. PER DACP PLATE COMMENTS
28 JUN 21	31. PER DACP PLATE COMMENTS
28 JUN 21	32. PER DACP PLATE COMMENTS
28 JUN 21	33. PER DACP PLATE COMMENTS
28 JUN 21	34. PER DACP PLATE COMMENTS
28 JUN 21	35. PER DACP PLATE COMMENTS
28 JUN 21	36. PER DACP PLATE COMMENTS
28 JUN 21	37. PER DACP PLATE COMMENTS
28 JUN 21	38. PER DACP PLATE COMMENTS
28 JUN 21	39. PER DACP PLATE COMMENTS
28 JUN 21	40. PER DACP PLATE COMMENTS
28 JUN 21	41. PER DACP PLATE COMMENTS
28 JUN 21	42. PER DACP PLATE COMMENTS
28 JUN 21	43. PER DACP PLATE COMMENTS
28 JUN 21	44. PER DACP PLATE COMMENTS
28 JUN 21	45. PER DACP PLATE COMMENTS
28 JUN 21	46. PER DACP PLATE COMMENTS
28 JUN 21	47. PER DACP PLATE COMMENTS
28 JUN 21	48. PER DACP PLATE COMMENTS
28 JUN 21	49. PER DACP PLATE COMMENTS
28 JUN 21	50. PER DACP PLATE COMMENTS

**LINK APARTMENTS CALYX  
 GLEN LENNOX - BLOCK 9A**  
 CHARLES HILL, NC  
 DACP DRAWINGS

JOB #: 10703.01  
 DATE: 12 FEB 21  
 SCALE: AS NOTED  
 DRAWN BY: D.S.B.  
 REVIEWED BY: D.S.B.

**SHEET  
 C0001**

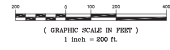
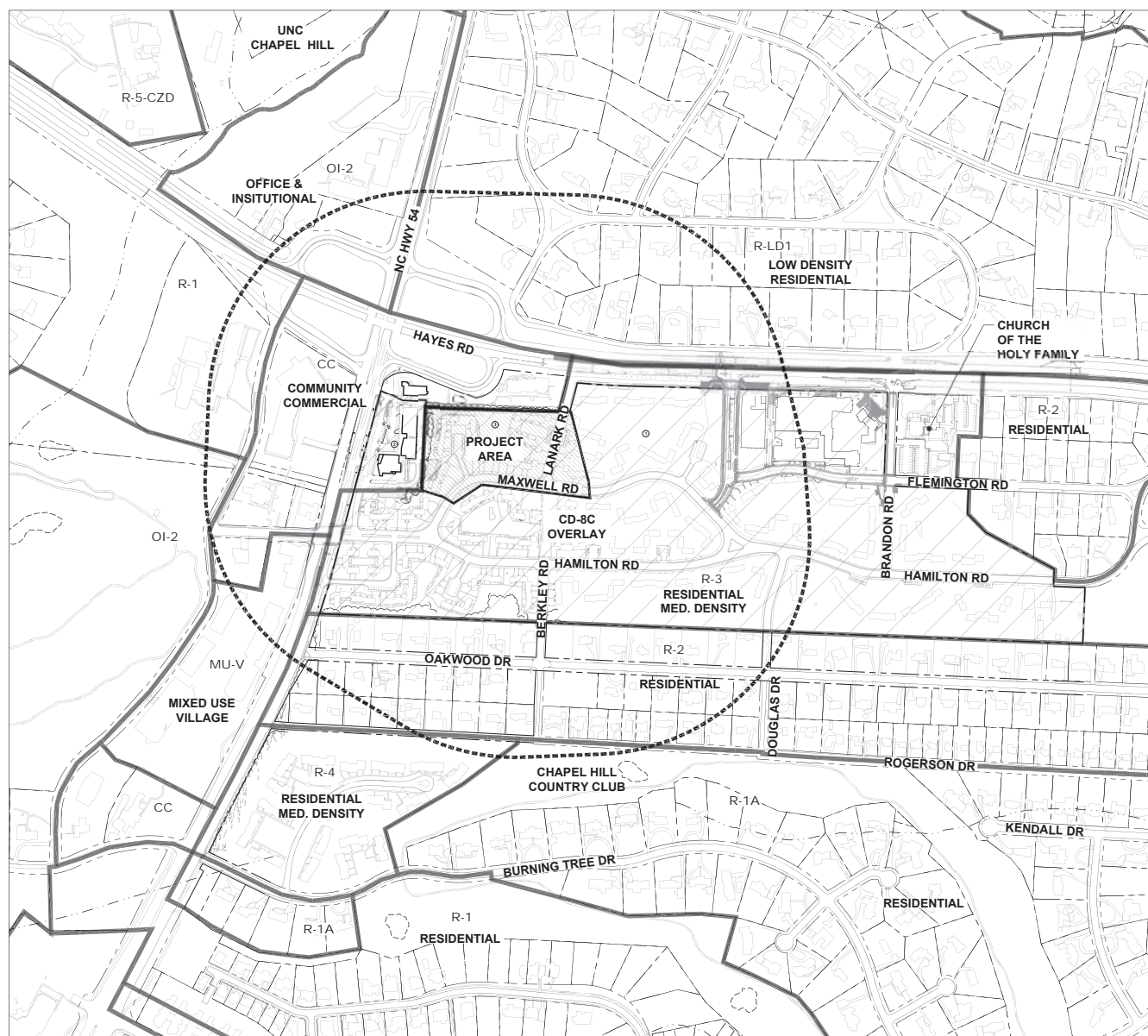
**GLEN LENNOX PROPERTY SUMMARY**

LABEL #	PAR #S	OWNER	ZONING	PARCEL ACREAGE	CURRENT LAND USE
1	979826547	GLEN LENNOX APARTMENTS, LLC	R-3 W/CD-BC OVERLAY	66.27 AC	RESIDENTIAL
2	9798255743	GLEN LENNOX SHOPPING CENTER OWNER, LLC	CC W/CD-BC OVERLAY	2.58 AC	COMMERCIAL
3	9798265134	GLEN LENNOX APARTMENTS, LLC	R-3 W/CD-BC OVERLAY	2.43 AC	RESIDENTIAL

ZONING DISTRICT	DESCRIPTION
R-LD1	RESIDENTIAL LOW DENSITY, 1 UNIT/ACRE
R-1A	RESIDENTIAL 1A, 2 UNITS/ACRE
R-1	RESIDENTIAL 1, 3 UNITS/ACRE
R-2	RESIDENTIAL 2, 4 UNITS/ACRE
R-3	MEDIUM DENSITY RESIDENTIAL, 7 UNITS/ACRE
R-4	MEDIUM DENSITY RESIDENTIAL, 10 UNITS/ACRE
OI-2	OFFICE & INSTITUTIONAL 2
CC	COMMUNITY COMMERCIAL
MU-V	MIXED USE/VILLAGE
CD-BC	NEIGHBORHOOD CONSERVATION OVERLAY

**DRAWING LEGEND**

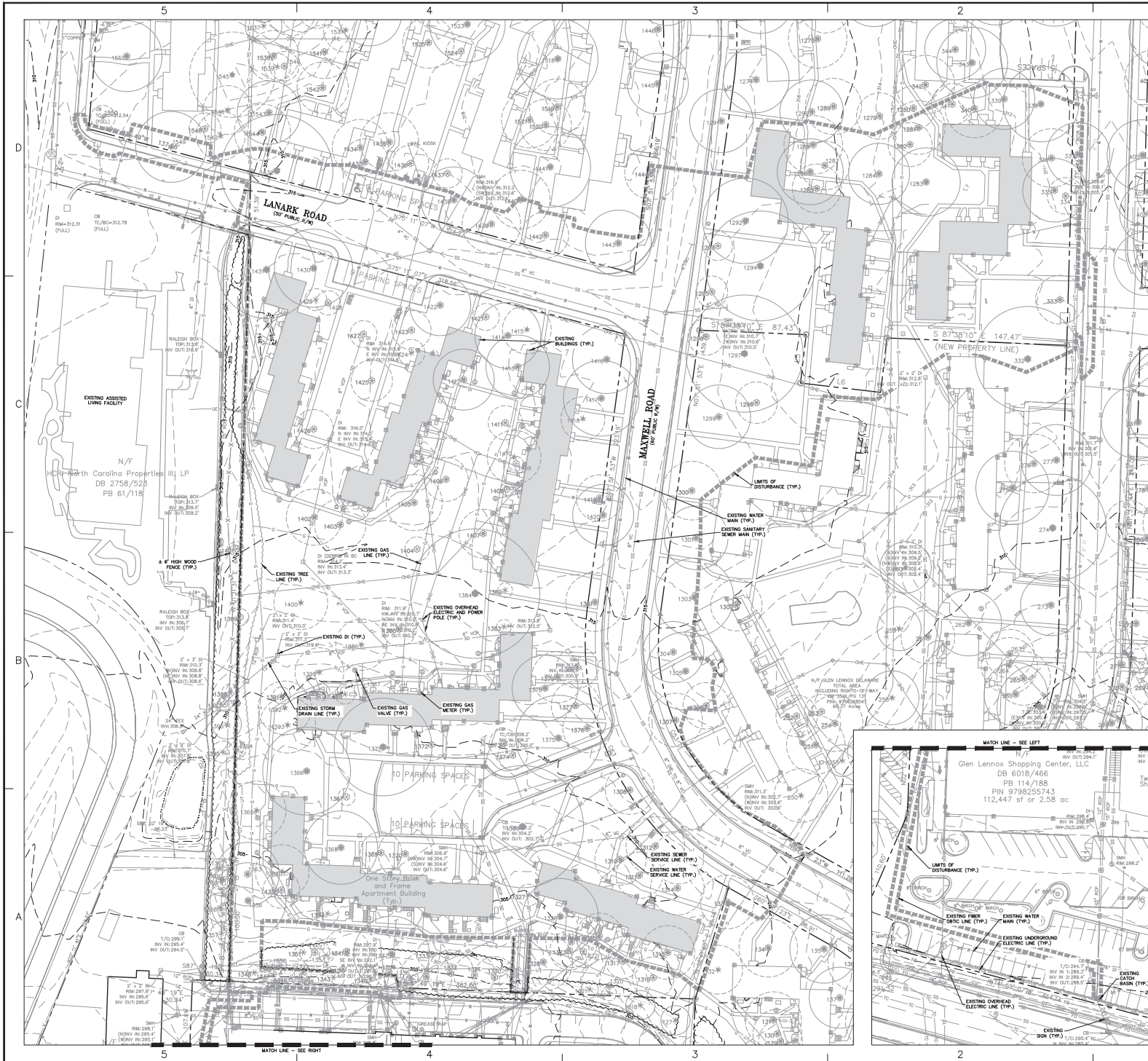
SYMBOL	DESCRIPTION
-----	1000' NOTIFICATION LINE
-----	ZONING BOUNDARY
-----	JURISDICTIONAL STREAM
-----	ZONING CLASSIFICATION
○	PROJECT SITE
■	CD-BC ZONING OVERLAY



(GRAPHIC SCALE IN FEET)  
 1 inch = 200 ft.

**REVIEW DRAWING  
 NOT FOR CONSTRUCTION**

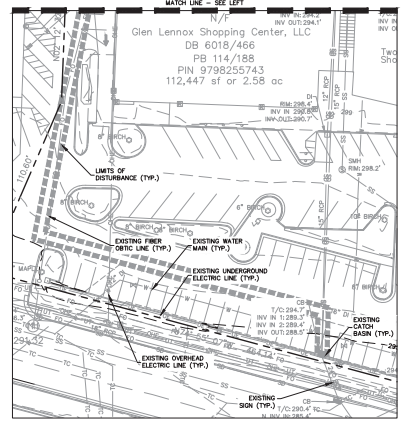




- NOTES**
- EXISTING CONDITIONS SHOWN ARE BASED UPON SITE SURVEY PERFORMED BY BALLENTINE ASSOCIATES AND GIS INFORMATION FROM THE TOWN OF CHAPEL HILL.
  - THE PROPERTY DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FLOOD INSURANCE RATE MAP 210878004C.
  - CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (1-800-455-4248) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL VERIFY THE DEPTH AND LOCATION OF ALL EXISTING UTILITIES AND NOTIFY THE BUREAU OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
  - THIS PLAN IS DIAGRAMATIC AND REPRESENTS THE APPROXIMATE LOCATION OF UTILITIES UNLESS SPECIFICALLY DIMENSIONED. THE CONTRACTOR SHALL CORROBORATE THE ACTUAL LOCATION OF UTILITIES TO AVOID CONFLICTS AND MEET MINIMUM SIZE, SLOPE, AND CODE REQUIREMENTS.

- TREE LEGEND:**
- RARE DECIDUOUS TREE SHOWING CRITICAL ROOT ZONE
  - SPINDLY DECIDUOUS TREE SHOWING CRITICAL ROOT ZONE
  - RARE CONIFEROUS TREE SHOWING CRITICAL ROOT ZONE
  - SPINDLY CONIFEROUS TREE SHOWING CRITICAL ROOT ZONE

- DRAWING LEGEND**  
SYMBOL / ABB REVISION DESCRIPTION
- PROPERTY LINE
  - - - RIGHT-OF-WAY LINE
  - - - ADJOINER PROPERTY LINE
  - - - EASEMENT LINE
  - - - FENCE LINE
  - - - X STORM DRAIN LINE
  - - - WATER LINE
  - - - SS SANITARY SEWER LINE
  - - - W UNDERGROUND ELECTRIC LINE
  - - - OHE OVERHEAD ELECTRIC LINE
  - - - G GAS LINE
  - - - T TELEPHONE LINE
  - - - FIBER OPTIC LINE
  - - - TREE LINE
  - - - MAJOR CONTOUR
  - - - MINOR CONTOUR
  - - - EXISTING IRON PIPE
  - - - IRON PIPE SET
  - - - CALCULATED POINT
  - - - SIGN
  - - - CATCH BASIN
  - - - DROP INLET
  - - - JUNCTION BOX
  - - - WATER METER
  - - - WATER VALVE
  - - - FIRE HYDRANT
  - - - BACKFLOW PREVENTER
  - - - SANITARY SEWER MANHOLE
  - - - SANITARY SEWER CLEANOUT
  - - - GAS VALVE
  - - - POWER POLE
  - - - ELECTRIC TRANSFORMER
  - - - GAS METER



**EXISTING CONDITIONS PLAN - PHASE 1**



**REVIEW DRAWING NOT FOR CONSTRUCTION**

**BALLENTINE ASSOCIATES, P.A.**  
CHAPEL HILL, N.C. 27614  
225 PROVINCIAL ROAD  
C737482 - 001



DATE	REVISION
18 APR 21	PER DACP PLAN COMMENTS
19 APR 21	PER DACP PLAN COMMENTS
19 JUN 21	PER DACP PLAN COMMENTS
28 JUN 21	PER DACP PLAN COMMENTS
28 SEP 21	PER DACP PLAN COMMENTS
28 SEP 21	PER DACP PLAN COMMENTS
28 SEP 21	PER DACP PLAN COMMENTS

**OWNER INFORMATION:**  
117 E. ENDORR SOUTH DRIVE  
SUITE 110  
CHAPEL HILL, NC 27611  
**OWNER REPRESENTATIVE:**  
JAC PTE  
FAX: 336-299-2274  
CELL: 336-299-2274  
EMAIL: jacob@ballentine.com

DATE	REVISION
12 FEB 21	PER DACP PLAN COMMENTS
15 MAR 21	PER DACP PLAN COMMENTS
19 MAR 21	PER DACP PLAN COMMENTS
11 JUN 21	PER DACP PLAN COMMENTS
11 JUN 21	PER DACP PLAN COMMENTS
18 AUG 21	PER DACP PLAN COMMENTS
29 SEP 21	PER DACP PLAN COMMENTS

**PROJECT INFORMATION:**  
LINK APARTMENTS CALVY  
GLEN LENNOX - BLOCK 9A  
CHAPEL HILL, NC

**PROJECT INFORMATION:**  
JOB #: 10703391  
DATE: 12 FEB 21  
SCALE: AS NOTED  
DRAWN BY: C.M.S.  
CHECKED BY: C.M.S.

**SHEET C0101**



5

4

3

2

1

NOTES

1. TREES SHOWN ARE BASED ON A TREE SURVEY UPDATE PREPARED BY BALLENTINE ASSOCIATES, DATED SEPTEMBER 20, 2018.

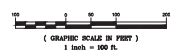


DRAWING LEGEND

SYMBOL/ABBREVIATION	PROPOSED	DESCRIPTION
		MAJOR CONTOUR
		MINOR CONTOUR
		PROPERTY LINE
		RIGHT-OF-WAY LINE
		RARE TREE
		SPECIMEN TREE



GLEN LENNOX TREE SURVEY OVERVIEW



REVIEW DRAWING NOT FOR CONSTRUCTION

**BALLENTINE ASSOCIATES, P.A.**  
 228 PROSPERITY ROAD, CHARLES HILL, N.C. 27944  
 252.325.0201

REGISTERED PROFESSIONAL ENGINEER  
 STATE OF NORTH CAROLINA  
 LICENSE NO. 40101



DATE	REVISIONS
18 APR 21	FOR DACP PERMITS COMMENTS
19 JAN 21	FOR DACP PERMITS COMMENTS
28 JUN 21	FOR DACP PERMITS COMMENTS
28 SEP 21	FOR DACP PERMITS COMMENTS & CLIENT REVISIONS

OWNER INFORMATION  
 117 EMBROIDER SOUTH DRIVE  
 SUITE 110  
 CHARLOTTE, NC 27211  
 OWNER REPRESENTATIVE:  
 ANDY WILSON  
 704.366.2224

DATE	REVISIONS
12 FEB 21	FOR DACP PERMITS COMMENTS
19 MAY 21	FOR DACP PERMITS COMMENTS
11 JUN 21	FOR DACP PERMITS COMMENTS
18 AUG 21	FOR DACP PERMITS COMMENTS
28 SEP 21	FOR DACP PERMITS COMMENTS

**LINK APARTMENTS CALYX  
 GLEN LENNOX - BLOCK 9A**  
 CHARLES HILL, NC  
 DACP EXHIBITS

JOB # 10703.91  
 DATE: 12 FEB 21  
 SCALE: AS NOTED  
 DRAWN BY: G.W.S.  
 REVIEWED BY: C.H.B.

SHEET C0102

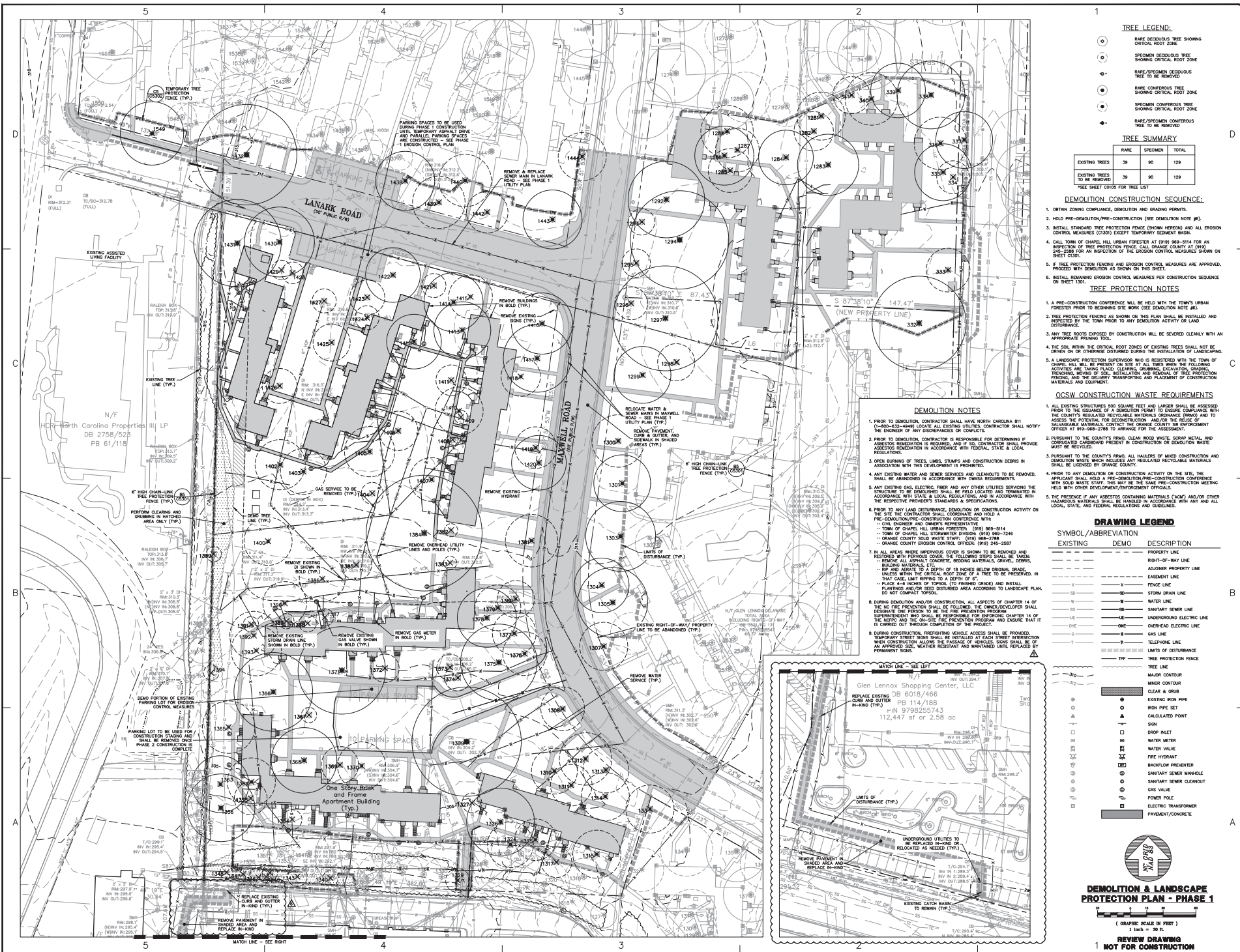
5

4

3

2





**TREE LEGEND:**

- RARE DECIDUOUS TREE SHOWING CRITICAL ROOT ZONE
- SPECIMEN DECIDUOUS TREE SHOWING CRITICAL ROOT ZONE
- RARE/SPECIMEN DECIDUOUS TREE TO BE REMOVED
- RARE CONIFEROUS TREE SHOWING CRITICAL ROOT ZONE
- SPECIMEN CONIFEROUS TREE SHOWING CRITICAL ROOT ZONE
- RARE/SPECIMEN CONIFEROUS TREE TO BE REMOVED

**TREE SUMMARY**

	RARE	SPECIMEN	TOTAL
EXISTING TREES TO BE REMOVED	38	90	128
NEW TREE CROPS FOR TREE CRY			

**DEMOLITION CONSTRUCTION SEQUENCE:**

- OBTAIN ZONING COMPLIANCE, DEMOLITION AND GRADING PERMITS.
- HOLD PRE-DEMOLITION PRE-CONSTRUCTION (SEE DEMOLITION NOTE #6).
- INSTALL STANDARD TREE PROTECTION FENCE (SHOW HEREON) AND ALL EROSION CONTROL MEASURES (C130) EXCEPT TEMPORARY SEGMENT BARS.
- CALL TOWN OF CHAPEL HILL URBAN FORESTER AT (919) 969-5114 FOR AN INSPECTION OF TREE PROTECTION FENCE. CALL ORANGE COUNTY AT (919) 242-3069 FOR AN INSPECTION OF THE EROSION CONTROL MEASURES SHOWN ON SHEET C130.
- IF TREE PROTECTION FENCING AND EROSION CONTROL MEASURES ARE APPROVED, PROCEED WITH DEMOLITION AS SHOWN ON THIS SHEET.
- INSTALL REMAINING EROSION CONTROL MEASURES PER CONSTRUCTION SEQUENCE ON SHEET C130.

**TREE PROTECTION NOTES**

- A PRE-CONSTRUCTION CONFERENCE WILL BE HELD WITH THE TOWN'S URBAN FORESTER PRIOR TO BEGINNING SITE WORK (SEE DEMOLITION NOTE #6).
- TREE PROTECTION FENCING AS SHOWN ON THIS PLAN SHALL BE INSTALLED AND INSPECTED BY THE TOWN PRIOR TO ANY CONSTRUCTION ACTIVITY OR LAND DISTURBANCE.
- ANY TREE ROOTS DAMAGED BY CONSTRUCTION WILL BE SEVERED CLEANLY WITH AN APPROPRIATE PRUNING TOOL.
- THE SOIL WITHIN THE CRITICAL ROOT ZONES OF EXISTING TREES SHALL NOT BE OPENED OR OTHERWISE DISTURBED DURING OR AFTER CONSTRUCTION.
- A LANDSCAPE PROTECTION SUPERVISOR WHO IS REGISTERED WITH THE TOWN OF CHAPEL HILL WILL BE PRESENT FOR THE SITE AT ALL TIMES WHILE THE FOLLOWING ACTIVITIES ARE TAKING PLACE: CLEARING, GRUBBING, EXCAVATION, GRADING, TRENCHING, STUMPING OF SOIL, INSTALLATION AND REMOVAL OF TREE PROTECTION FENCING, AND THE DELIVERY, TRANSPORTING AND PLACEMENT OF CONSTRUCTION MATERIALS AND EQUIPMENT.

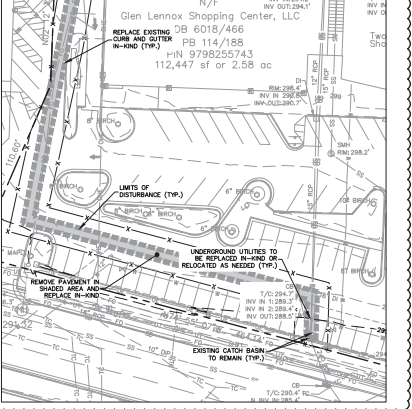
**CSGW CONSTRUCTION WASTE REQUIREMENTS**

- ALL EXISTING STRUCTURES 100 SQUARE FEET AND LARGER SHALL BE ASSESSED PRIOR TO THE ISSUANCE OF A DEMOLITION PERMIT TO ENSURE COMPLIANCE WITH THE COUNTY'S REGULATED RECYCLABLE MATERIALS PREVENTION (RRM) AND TO ASSESS THE POTENTIAL FOR DECONTAMINATION AND/OR THE REUSE OF SALVAGEABLE MATERIALS. CONTACT THE COUNTY OF ORANGE DECONTAMINATION OFFICER AT 919-498-2788 TO ARRANGE FOR THE ASSESSMENT.
- PURSUANT TO THE COUNTY'S RRM, ALL HAULERS OF MIXED CONSTRUCTION AND DEMOLITION WASTE WHICH INCLUDES ANY REGULATED RECYCLABLE MATERIALS MUST BE LICENSED BY ORANGE COUNTY.
- PURSUANT TO THE COUNTY'S RRM, ALL HAULERS OF MIXED CONSTRUCTION AND DEMOLITION WASTE WHICH INCLUDES ANY REGULATED RECYCLABLE MATERIALS SHALL BE LICENSED BY ORANGE COUNTY.
- PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE, THE APPLICANT SHALL HOLD A PRE-DEMOLITION/CONSTRUCTION CONFERENCE WITH SOIL WASTE STAFF. THIS MAY BE THE SAME PRE-CONSTRUCTION MEETING HELD WITH OTHER DEPARTMENT/CORPORATE OFFICES.
- THE PRESENCE IF ANY ASBESTOS CONTAINING MATERIALS (ACM) AND/OR OTHER HAZARDOUS MATERIALS SHALL BE HANDLED IN ACCORDANCE WITH ANY AND ALL LOCAL, STATE AND FEDERAL REGULATIONS AND STATUTES.

**DEMOLITION NOTES**

- PRIOR TO DEMOLITION, CONTRACTOR SHALL HAVE NORTH CAROLINA 811 (800-444-4444) LOCATE ALL EXISTING UTILITIES. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS.
- PRIOR TO DEMOLITION, CONTRACTOR IS RESPONSIBLE FOR DETERMINING IF ASBESTOS REMEDIATION IS REQUIRED. ONLY A QUALIFIED ASBESTOS REMEDIATION CONTRACTOR IN ACCORDANCE WITH FEDERAL, STATE & LOCAL REGULATIONS.
- OPEN BURNING OF TREES, LIMBS, STUMPS AND CONSTRUCTION DEBRIS IN ASSOCIATION WITH THIS DEVELOPMENT IS PROHIBITED.
- ANY EXISTING WATER AND SEWER SERVICES AND CLEANSERS TO BE REMOVED, SHALL BE ABANDONED IN ACCORDANCE WITH ORANGE REGULATIONS.
- ANY EXISTING GAS, ELECTRIC, FIBER AND ANY OTHER UTILITIES SERVING THE STRUCTURE TO BE DEMOLISHED SHALL BE FIELD LOCATED AND TERMINATED IN ACCORDANCE WITH STATE & LOCAL REGULATIONS, AND IN ACCORDANCE WITH THE RESPECTIVE PROVIDER'S STANDARDS & SPECIFICATIONS.
- PRIOR TO ANY LAND DISTURBANCE, DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE, THE CONTRACTOR SHALL COORDINATE AND HOLD A PRE-DEMOLITION/CONSTRUCTION CONFERENCE WITH:
  - TOWN OF CHAPEL HILL URBAN FORESTER: (919) 969-5114
  - CIVIL ENGINEER AND OWNER'S REPRESENTATIVE
  - ORANGE COUNTY SOLID WASTE STAFF: (919) 498-2788
  - ORANGE COUNTY SOLID WASTE STAFF: (919) 498-2788
  - ORANGE COUNTY EROSION CONTROL OFFICER: (919) 245-2587
- IN ALL AREAS WHERE SUPERVISORY COVER IS SHOWN TO BE REMOVED AND RESTORED WITH PREVIOUS COVER, THE FOLLOWING STEPS SHALL BE TAKEN:
  - REMOVE ALL ASPHALT CONCRETE, ROOFING MATERIALS, CEILING, CORNICES, BUILDING MATERIALS, ETC.
  - TOP AND AREAS TO A DEPTH OF 18 INCHES BELOW ORIGINAL GRADE.
  - UNLESS OTHERWISE NOTED, ALL SOIL MUST BE PRESERVED IN THAT CASE, LIMIT REFILL TO A DEPTH OF 6".
  - PLACE 4" x 4" BARS OF REINFORCING (TYPED GRADE) AND METALL PLANTINGS AND/OR SEED DISTURBED AREA ACCORDING TO LANDSCAPE PLAN. DO NOT COMPLY THERE.
- DURING DEMOLITION AND/OR CONSTRUCTION, ALL ASPECTS OF CHAPTER 14 OF THE NC FIRE PREVENTION SHALL BE FOLLOWED. THE OWNER/DEVELOPER SHALL DESIGNATE ONE PERSON TO BE THE FIRE PREVENTION PROGRAM MANAGER. THE PERSON TO BE THE FIRE PREVENTION PROGRAM MANAGER SHALL BE AT THE PROJECT AND THE ON-SITE FIRE PREVENTION PROGRAM AND ENGINE THAT IT IS CARRIED OUT THROUGH COMPLETION OF THE PROJECT.
- DURING CONSTRUCTION, PROTECTING VEHICLE ACCESS SHALL BE PROVIDED. TEMPORARY STREET SIGNS SHALL BE INSTALLED AT EACH STREET INTERSECTION WHILE CONSTRUCTION ALLOWING THE PASSAGE OF VEHICLES. SIGNS SHALL BE OF AN APPROVED JOB. WEATHER RESISTANT AND MAINTAINED UNTIL REPLACED BY PERMANENT SIGNS.

**DATE LINE - SEE LIST**



**DRAWING LEGEND**

EXISTING	DEMO	DESCRIPTION
---	---	PROPERTY LINE
---	---	RIGHT-OF-WAY LINE
---	---	ADJACENT PROPERTY LINE
---	---	EASEMENT LINE
---	---	FENCE LINE
---	---	STORM DRAIN LINE
---	---	WATER LINE
---	---	SANITARY SEWER LINE
---	---	UNDERGROUND ELECTRIC LINE
---	---	OVERHEAD ELECTRIC LINE
---	---	GAS LINE
---	---	TELEPHONE LINE
---	---	LIMITS OF DISTURBANCE
---	---	TREE LINE
---	---	MAJOR CONTOUR
---	---	MINOR CONTOUR
---	---	CLEAR & GRUB
---	---	EXISTING IRON PIPE
---	---	IRON PIPE SET
---	---	CALCULATED POINT
---	---	SION
---	---	DROP INLET
---	---	WATER METER
---	---	WATER VALVE
---	---	FIRE HYDRANT
---	---	BACKFLOW PREVENTER
---	---	SANITARY SEWER MANHOLE
---	---	SANITARY SEWER CLEANOUT
---	---	GAS VALVE
---	---	POWER POLE
---	---	ELECTRIC TRANSFORMER
---	---	PAVEMENT/CONCRETE



**DEMOLITION & LANDSCAPE PROTECTION PLAN - PHASE 1**

(GRAPHIC SCALE IN FEET)  
1 inch = 30 ft

REVIEW DRAWING NOT FOR CONSTRUCTION

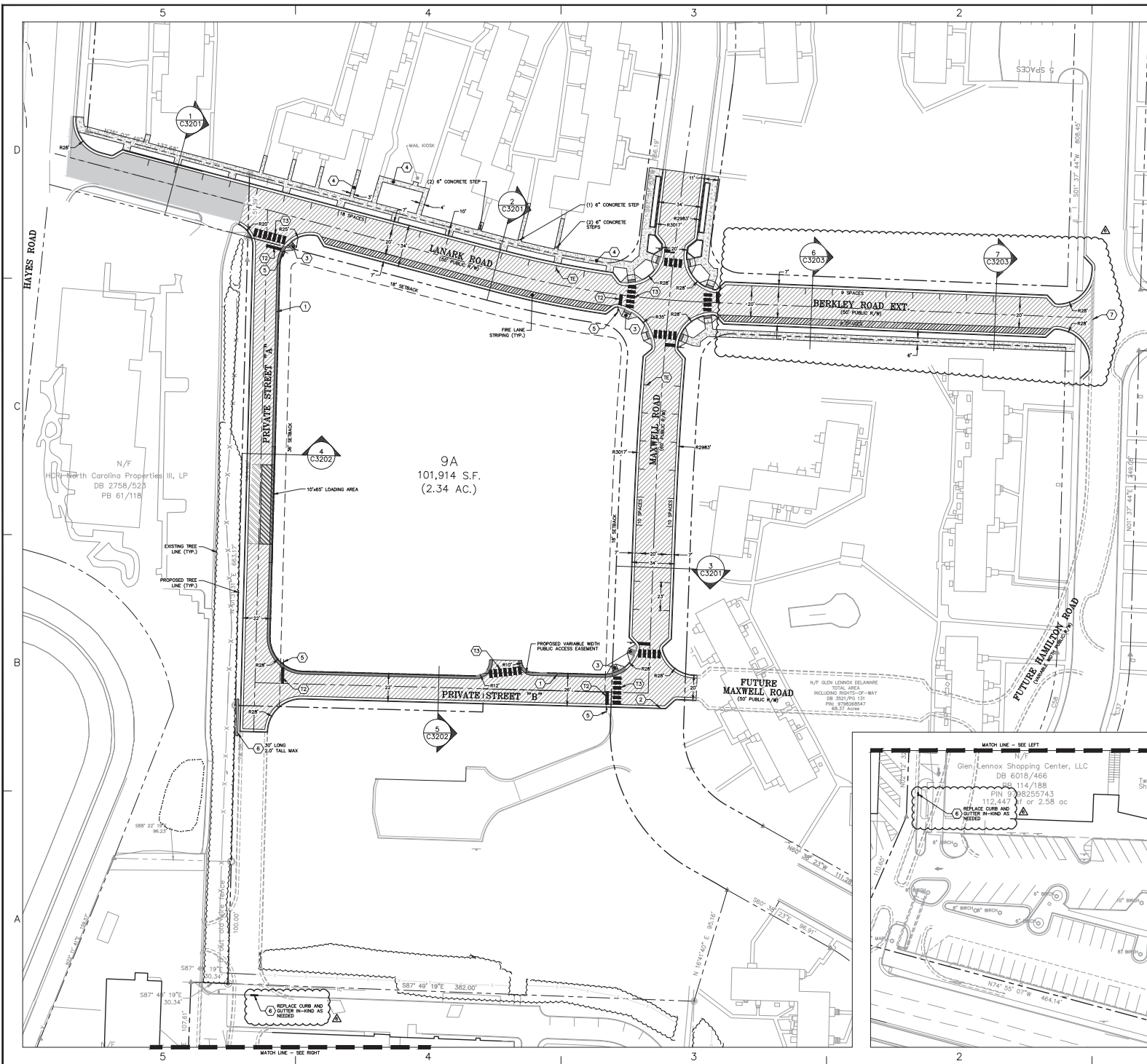
**BALLENTINE ASSOCIATES P.A.**  
228 PROGRESS ROAD, CHAPEL HILL, N.C. 27514  
(919) 252-1000

**LINK APARTMENTS CALYX GLEN LENNOX - BLOCK 9A**  
CHAPEL HILL, NC  
DACP DRAWINGS

JOB #: 10703.581  
DATE: 12 FEB 21  
SCALE: AS NOTED  
DRAWN BY: C.W.S.  
REVIEWED BY: C.W.S.

**SHEET C0201**

DATE	BY	REVISIONS
12/21/21	C.W.S.	ISSUE FOR PERMIT
12/16/21	C.W.S.	REVISED PER COMMENTS
12/15/21	C.W.S.	REVISED PER COMMENTS
12/14/21	C.W.S.	REVISED PER COMMENTS
12/13/21	C.W.S.	REVISED PER COMMENTS
12/12/21	C.W.S.	REVISED PER COMMENTS
12/11/21	C.W.S.	REVISED PER COMMENTS
12/10/21	C.W.S.	REVISED PER COMMENTS
12/9/21	C.W.S.	REVISED PER COMMENTS
12/8/21	C.W.S.	REVISED PER COMMENTS
12/7/21	C.W.S.	REVISED PER COMMENTS
12/6/21	C.W.S.	REVISED PER COMMENTS
12/5/21	C.W.S.	REVISED PER COMMENTS
12/4/21	C.W.S.	REVISED PER COMMENTS
12/3/21	C.W.S.	REVISED PER COMMENTS
12/2/21	C.W.S.	REVISED PER COMMENTS
12/1/21	C.W.S.	REVISED PER COMMENTS



SITE DATA TABLE	
PROJECT NAME:	LINK APARTMENTS CALYX (GLEN LENOX BLOCK 9A)
PROPERTY PIN NUMBER:	979826534
PROPERTY LOCATION:	TOWN OF CHAPEL HILL
CURRENT LAND OWNER:	GLEN LENOX APARTMENTS, LLC 4001 PARK AVENUE, SUITE 400 CHARLOTTE, NC 28209
PROPERTY ZONING:	R-3 WITH NEIGHBORHOOD CONSERVATION DISTRICT CDD 801 OVERLAY
SETBACKS:	LANARK = 18" (FROM BACK OF CURB) MAXWELL = 18" (FROM BACK OF CURB) PERIMETER = 36" (FROM PROPERTY LINE)
EXISTING USE:	RESIDENTIAL
PROPOSED USE:	RESIDENTIAL
PROPOSED LOT SIZE (BA):	105,772 S.F. (2.41 AC.)
EXISTING IMPERVIOUS SURFACE AREA DEMOLITION:	108,892 S.F.
PROPOSED IMPERVIOUS SURFACE AREA (PHASE 1):	19,000 S.F. (PHASE 1)
AREA (PHASE 1):	*INCLUDES IMPERVIOUS ALLOWANCE
PROPOSED IMPERVIOUS SURFACE AREA (PHASE 2):	47,941 S.F.
TOTAL IMPERVIOUS SURFACE AREA INCREASE:	-41,951 S.F.
VEHICULAR PARKING SUMMARY:	REQUIRED: 0 (SEE PHASE 2)    PROVIDED: 0 (SEE PHASE 2)
ACCESSIBLE PARKING SUMMARY:	REQUIRED: 0 (SEE PHASE 2)    PROVIDED: 0 (SEE PHASE 2)
BIKE PARKING SUMMARY:	REQUIRED: 0 (SEE PHASE 2)    PROVIDED: 0 (SEE PHASE 2)

- NOTES**
1. ALL DIMENSIONS SHOWN ARE MEASURED FROM THE FACE OF CURB.
  2. ALL RADIAL DIMENSIONS SHOWN HEREON ARE 3" UNLESS NOTED OTHERWISE.
  3. ALL DRIVE ANGLES AND PARKING LOTS SHALL BE CONSTRUCTED TO TOWN OF CHAPEL HILL STANDARDS.
  4. THE TOWN OF CHAPEL HILL, ITS AGENTS OR ORANGE COUNTY SHALL NOT BE RESPONSIBLE FOR ANY PAVEMENT DAMAGE THAT MAY RESULT FROM SERVICE VEHICLES.
  5. ALL WALKWAYS SHALL BE CONSTRUCTED WITH A 2% CROSS SLOPE IN THE DIRECTION SHOWN ON THE GRADING PLAN.
  6. PRIOR TO INSTALLATION OF ANY STREET SIGNS OR MARKINGS, THE DEVELOPER WILL CONTACT THE TOWN OF CHAPEL HILL FOR AN ON-SITE APPROVAL OF THE FINAL DESIGN AND PLACEMENT.
  7. ALL PAVEMENT MARKINGS WITHIN THE PUBLIC RIGHT-OF-WAY WILL BE INSTALLED USING A THERMAL PLACING MATERIAL WITH A MINIMUM THICKNESS OF 1.5" MIN.
  8. THE DEVELOPER WILL BE RESPONSIBLE FOR INSTALLATION OF ALL REQUIRED STREET SIGNS AND MARKINGS AND FOR ANY REPAIRS TO THESE SIGNS AND MARKINGS NECESSARY PRIOR TO THE FINAL ACCEPTANCE OF A NEW OR IMPROVED PUBLIC STREET FOR TOWN MAINTENANCE.

PAVEMENT MARKING LEGEND	
SEE DETAIL REFERENCE	32 (C3201)
12" WHITE STOPBANK (24" x 120 MIL)	33 (C3201)
12" WHITE CHANGELINE (24" x 120 MIL)	34 (C3201)
12" WHITE SOLID LANE LINE (24" x 120 MIL)	35 (C3201)
12" WHITE SHROUD (24" x 120 MIL)	36 (C3201)

PAVING LEGEND	
37 (C3201)	HEAVY DUTY ASPHALT PAVEMENT
38 (C3201)	HEAVY DUTY CONCRETE PAVEMENT
39 (C3201)	2" DEEP MILL AND 2" SS-9B SURFACE COURSE OVERLAY
40 (C3201)	CONCRETE
41 (C3201)	BRICK PAVERS

- PLAN KEY NOTES**
- 1 30" CONCRETE SPILL CURB & OUTER (TYP.)
  - 2 30" CONCRETE CURB & OUTER (TYP.)
  - 3 ACCESSIBLE RAMP (TYP.)
  - 4 6" WIDE CONCRETE SIDEWALK (TYP. UNLESS OTHERWISE NOTED)
  - 5 "STOP" SIGN
  - 6 SEGMENTAL BLOCK RETAINING WALL (DESIGN BLD)
  - 7 PAVEMENT MILLING DETAIL

DRAWING LEGEND	
SYMBOL / ABBREVIATION	DESCRIPTION
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	ADJOINING PROPERTY LINE
	ROAD CENTERLINE
	EASEMENT LINE
	FENCE LINE
	OVERHEAD ELECTRIC LINE
	EXISTING IRON PIPE
	IRON PIPE SET
	CALCULATED POINT
	SIGN
	POWER POLE

**SITE PLAN - PHASE 1**

(GRAPHIC SCALE IN FEET)  
1 inch = 30 ft.

**REVIEW DRAWING**  
**NOT FOR CONSTRUCTION**

**BALLENTINE ASSOCIATES, P.A.**  
228 PROSPEROUS ROAD, CHAPEL HILL, N.C. 27514  
919 279 2529 - FAX 919 279 2528

DATE	BY	REVISION
12 FEB 21	DB	PER DACP PERMITS COMMENTS
19 JAN 21	DB	PER DACP PERMITS COMMENTS
18 JAN 21	DB	PER DACP PERMITS COMMENTS
11 JAN 21	DB	PER DACP PERMITS COMMENTS
09 JAN 21	DB	PER DACP PERMITS COMMENTS
28 DEC 20	DB	PER DACP PERMITS COMMENTS
27 DEC 20	DB	PER DACP PERMITS COMMENTS

**OWNER INFORMATION**  
117 EMBROIDERY SOUTH DRIVE  
SUITE 110  
CHAPEL HILL, NC 27511  
OWNER REPRESENTATIVE:  
KIM PTE  
FAX (919) 288-2774  
CELL (919) 288-2800

DATE	BY	REVISION
12 FEB 21	DB	PER DACP PERMITS COMMENTS
19 JAN 21	DB	PER DACP PERMITS COMMENTS
18 JAN 21	DB	PER DACP PERMITS COMMENTS
11 JAN 21	DB	PER DACP PERMITS COMMENTS
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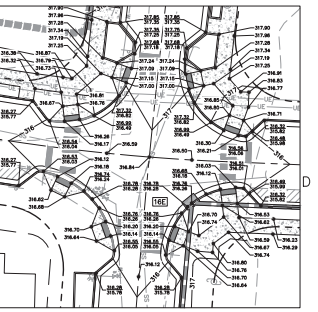
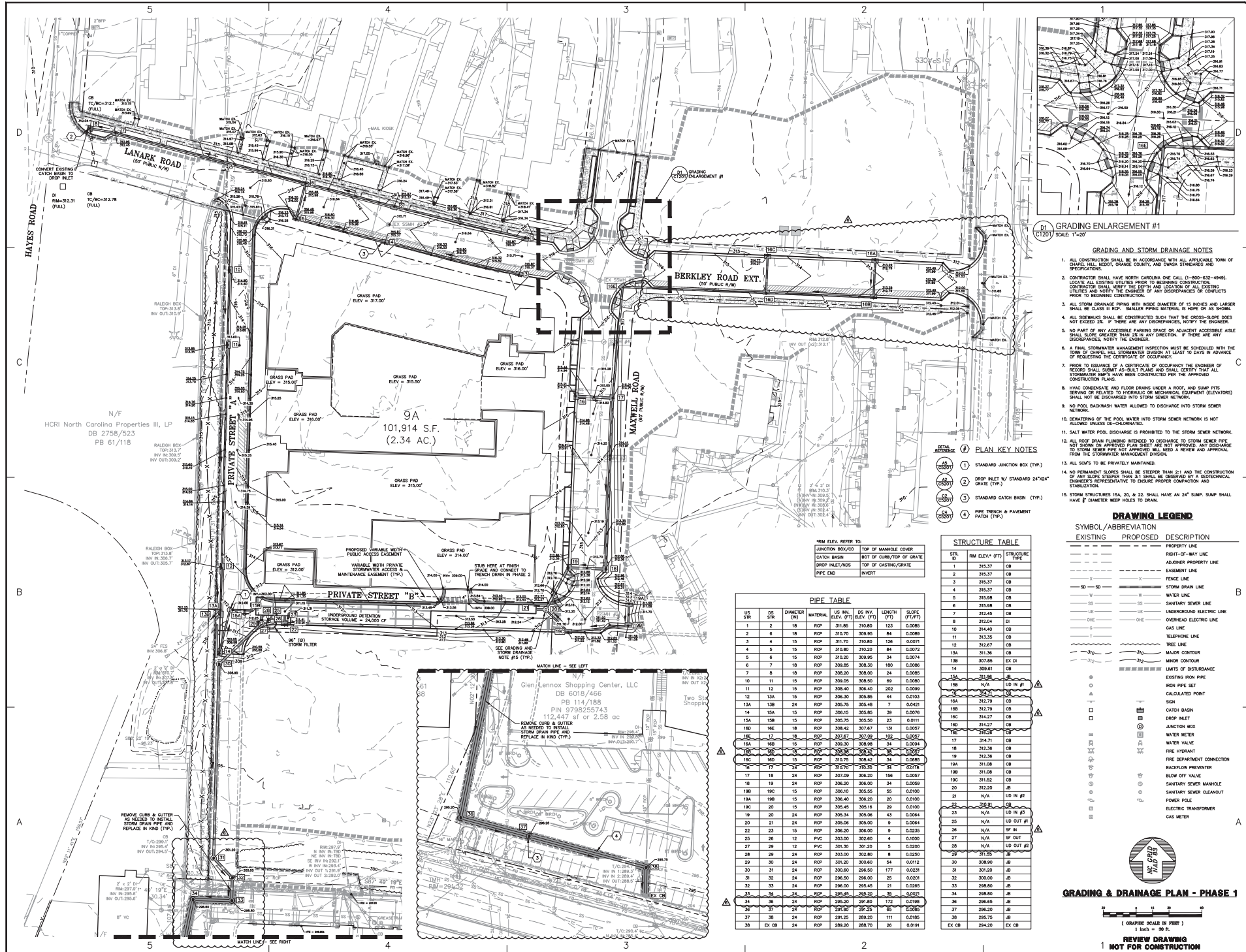
**LINK APARTMENTS CALYX  
GLEN LENOX - BLOCK 9A**  
Chapel Hill, NC

**DACP DRAWINGS**

JOB # 10703.91  
DATE: 12 FEB 21  
SCALE: AS NOTED  
DRAWN BY: D.M.S.  
REVIEWED BY: C.J.S.

**SHEET**  
**C1001**





Grading Enlargement #1  
SCALE: 1"=20'

**GRADING AND STORM DRAINAGE NOTES**

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF CHAPEL HILL, NC, ORDINANCES AND STANDARDS AND SPECIFICATIONS.
- CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (1-800-632-6949) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
- ALL STORM DRAINAGE PIPING WITH INSIDE DIAMETER OF 18 INCHES AND LARGER SHALL BE CASB II RCP. SMALLER PIPING MATERIAL IS SOPE OF AS STORM.
- ALL SIDEWALKS SHALL BE CONSTRUCTED SUCH THAT THE CROSS-SLOPE DOES NOT EXCEED 2% IF THERE ARE ANY DISCHARGES. NOTIFY THE ENGINEER.
- NO PART OF ANY ACCESSIBLE PARKING SPACE OR ADJACENT ACCESSIBLE AISLE SHALL SLOPE GREATER THAN 2% IN ANY DIRECTION. IF THERE ARE ANY DISCHARGES, NOTIFY THE ENGINEER.
- A FINAL STORMWATER MANAGEMENT INSPECTION MUST BE SCHEDULED WITH THE TOWN OF CHAPEL HILL STORMWATER DIVISION AT LEAST 10 DAYS IN ADVANCE OF REQUESTING THE CERTIFICATE OF OCCUPANCY.
- PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY THE ENGINEER OF RECORD SHALL VERIFY AS-BUILT PLANS AND SHALL CERTIFY THAT ALL STORMWATER STRUCTURES HAVE BEEN CONSTRUCTED PER THE APPROVED CONSTRUCTION PLANS.
- HVAC CONDENSATE AND FLOOR DRAINS UNDER A ROOF, AND SUMP PITS SERVING OR RELATED TO PERMANENT OR MECHANICAL EQUIPMENT (ELEVATORS) SHALL NOT BE DISCHARGED INTO STORM SEWER NETWORK.
- NO POOL BACKWASH WATER ALLOWED TO DISCHARGE INTO STORM SEWER NETWORK.
- DETENTIONS OF THE POOL WATER INTO STORM SEWER NETWORK IS NOT ALLOWED UNLESS DC-CORRELATION.
- SALT WATER DISCHARGE IS PROHIBITED TO THE STORM SEWER NETWORK.
- ALL ROOF DRAIN PLUMBING INTENDED TO DISCHARGE TO STORM SEWER PIPE NOT SHOWN ON APPROVED PLANS SHALL BE REVIEWED AND APPROVED BY THE ENGINEER. IF NOT APPROVED, THEY WILL NEED A REVIEW AND APPROVAL FROM THE STORMWATER MANAGEMENT DIVISION.
- ALL SOPS TO BE PRIVATELY MAINTAINED.
- NO PERMANENT SLOPES SHALL BE STEEPER THAN 2:1 AND THE CONSTRUCTION OF ANY SLOPE STEEPER THAN 2:1 SHALL BE DESIGNED BY A GEOTECHNICAL ENGINEER'S REPRESENTATIVE TO ENSURE PROPER COMPACTION AND STABILIZATION.
- STORM STRUCTURES 16A, 20, & 22 SHALL HAVE AN 2" SUMP. SUMP SHALL HAVE 2" DIAMETER WEEP HOLES TO DRAIN.

**PLAN KEY NOTES**

- STANDARD JUNCTION BOX (TRF)
- DROP INLET W/ STANDARD 24"x24" GRATE (TRF)
- STANDARD CATCH BASIN (TRF)
- PIPE TRENCH & PAVEMENT PATCH (TRF)

**DRAWING LEGEND**

SYMBOL/ABBREVIATION	EXISTING	PROPOSED	DESCRIPTION
---	---	---	PROPERTY LINE
---	---	---	RIGHT-OF-WAY LINE
---	---	---	ADJACENT PROPERTY LINE
---	---	---	EASEMENT LINE
-X-X-	-X-X-	-X-X-	FENCE LINE
-SD-SD-	-SD-SD-	-SD-SD-	STORM DRAIN LINE
-W-W-	-W-W-	-W-W-	WATER LINE
-E-E-	-E-E-	-E-E-	EXISTING SEWER LINE
-UE-UE-	-UE-UE-	-UE-UE-	UNDERGROUND ELECTRIC LINE
-OHE-OHE-	-OHE-OHE-	-OHE-OHE-	OVERHEAD ELECTRIC LINE
-G-G-	-G-G-	-G-G-	GAZELINE
-T-T-	-T-T-	-T-T-	TELEPHONE LINE
-T-T-	-T-T-	-T-T-	TREE LINE
-M-M-	-M-M-	-M-M-	MAJOR CONTOUR
-M-M-	-M-M-	-M-M-	MINOR CONTOUR
-D-D-	-D-D-	-D-D-	LIMITS OF DISTURBANCE
---	---	---	EXISTING SUMP PIPE
---	---	---	NEW SUMP SET
---	---	---	CALCULATED POINT
---	---	---	SIGN
---	---	---	CATCH BASIN
---	---	---	DROP INLET
---	---	---	JUNCTION BOX
---	---	---	WATER METER
---	---	---	WATER VALVE
---	---	---	FIRE HYDRANT
---	---	---	FIRE DEPARTMENT CONNECTION
---	---	---	BACKFLOW PREVENTER
---	---	---	BLOW OFF VALVE
---	---	---	SANITARY SEWER MANHOLE
---	---	---	SANITARY SEWER CLEANOUT
---	---	---	POWER POLE
---	---	---	ELECTRIC TRANSFORMER
---	---	---	GAS METER

**STRUCTURE TABLE**

ID	STR.	RIM ELEV. (FT)	STRUCTURE TYPE
1	315.37	CR	
2	315.37	CR	
3	315.37	CR	
4	315.37	CR	
5	315.98	CR	
6	315.98	CR	
7	315.98	CR	
8	314.40	DI	
10	314.40	DI	
11	313.35	DI	
12	313.27	CR	
13	313.27	CR	
13A	311.36	CR	
13B	307.85	EX DI	
14	309.61	DI	
15A	311.98	UD IN #1	
16	312.70	CR	
16A	312.70	CR	
16C	314.27	CR	
16D	314.27	CR	
16E	316.26	CR	
17	316.26	CR	
18	312.36	CR	
19	312.36	CR	
19A	311.08	CR	
19B	311.08	CR	
19C	312.27	CR	
20	312.20	UD IN #2	
21	N/A	UD IN #2	
22	316.26	CR	
23	N/A	UD IN #3	
24	N/A	UD OUT #1	
25	N/A	UD OUT #1	
26	N/A	SF IN	
27	N/A	SF OUT	
28	N/A	UD OUT #2	
29	N/A	UD IN #1	
30	308.90	JR	
31	301.20	JR	
32	300.00	JR	
33	298.65	JR	
34	298.65	JR	
37	298.20	JR	
38	296.75	JR	
EX CB	294.20	EX CB	

**PIPE TABLE**

US STR.	DS STR.	DIAMETER (IN)	MATERIAL	US INV. ELEV. (FT)	DS INV. ELEV. (FT)	LENGTH (FT)	SLOPE (FT/FT)
1	2	18	RCP	311.85	310.80	153	0.0068
2	6	18	RCP	310.70	309.95	84	0.0089
3	4	15	RCP	311.70	310.80	126	0.0071
4	5	15	RCP	310.80	310.20	84	0.0072
5	6	15	RCP	310.20	308.95	34	0.0074
6	7	18	RCP	309.85	308.30	160	0.0068
7	8	18	RCP	308.30	308.00	24	0.0085
10	11	15	RCP	309.05	308.50	69	0.0080
11	12	15	RCP	308.40	306.40	202	0.0099
12	13A	15	RCP	306.30	305.85	44	0.0103
13A	13B	24	RCP	305.75	305.48	7	0.0421
14	15A	15	RCP	306.15	305.85	39	0.0076
15A	15B	15	RCP	305.75	305.50	23	0.0111
16D	16E	18	RCP	308.42	307.67	131	0.0057
16E	17	18	RCP	307.67	307.28	192	0.0027
16A	16B	15	RCP	309.30	308.98	24	0.0094
16C	16D	15	RCP	308.06	308.32	58	0.0056
16E	16F	15	RCP	310.75	309.45	84	0.0069
16	17	24	RCP	310.70	310.30	34	0.0118
17	18	24	RCP	307.09	306.20	156	0.0057
18	19	24	RCP	306.30	306.00	24	0.0099
19B	19C	15	RCP	303.15	302.55	16	0.0030
19A	19B	15	RCP	306.40	306.20	20	0.0100
19C	20	15	RCP	305.45	305.16	29	0.0100
19	20	24	RCP	305.34	305.06	43	0.0094
20	21	24	RCP	306.06	305.85	9	0.0069
22	23	15	RCP	306.30	306.00	9	0.0235
25	26	12	PVC	303.00	302.60	4	0.1000
27	29	12	PVC	301.30	301.20	5	0.0200
28	29	12	PVC	303.00	302.80	8	0.0200
29	30	24	RCP	301.30	300.60	54	0.0112
30	31	24	RCP	300.60	299.50	177	0.0231
31	32	24	RCP	298.50	298.00	25	0.0201
32	33	24	RCP	298.50	298.45	21	0.0069
33	34	24	RCP	298.45	298.30	35	0.0042
34	38	24	RCP	295.20	291.85	172	0.0198
38	37	24	RCP	291.85	291.25	16	0.0285
37	39	24	RCP	291.25	288.20	111	0.0205
38	EX CB	24	RCP	299.20	297.60	26	0.0191

**GRADING & DRAINAGE PLAN - PHASE 1**

REVIEW DRAWING  
NOT FOR CONSTRUCTION

**BALLENTINE ASSOCIATES P.A.**  
228 PROSPER ROAD, CHAPEL HILL, N.C. 27514  
919.352.2000 - FAX 919.352.2001

**LINK APARTMENTS CALVY GLEN LENNOX - BLOCK 9A**  
Chapel Hill, NC  
DACP DRAWINGS

JOB # 10701591  
DATE: 12 FEB 21  
SCALE: AS NOTED  
DRAWN BY: G.L.S.  
REVIEWED BY: G.L.S.

**SHEET**  
**C1201**

COMPANY # 228  
 REGISTERED PROFESSIONAL ENGINEER  
 STATE OF NORTH CAROLINA  
 EXPIRES 12/31/2024  
 PROJECT NO. 2024-001



DATE	REVISIONS
18 APR 21	FOR DACP REVIEW COMMENTS
19 JUN 21	FOR DACP REVIEW COMMENTS
28 JUN 21	FOR DACP REVIEW COMMENTS
29 JUN 21	FOR DACP REVIEW COMMENTS
29 SEP 21	FOR DACP REVIEW COMMENTS & CLIENT REVISIONS

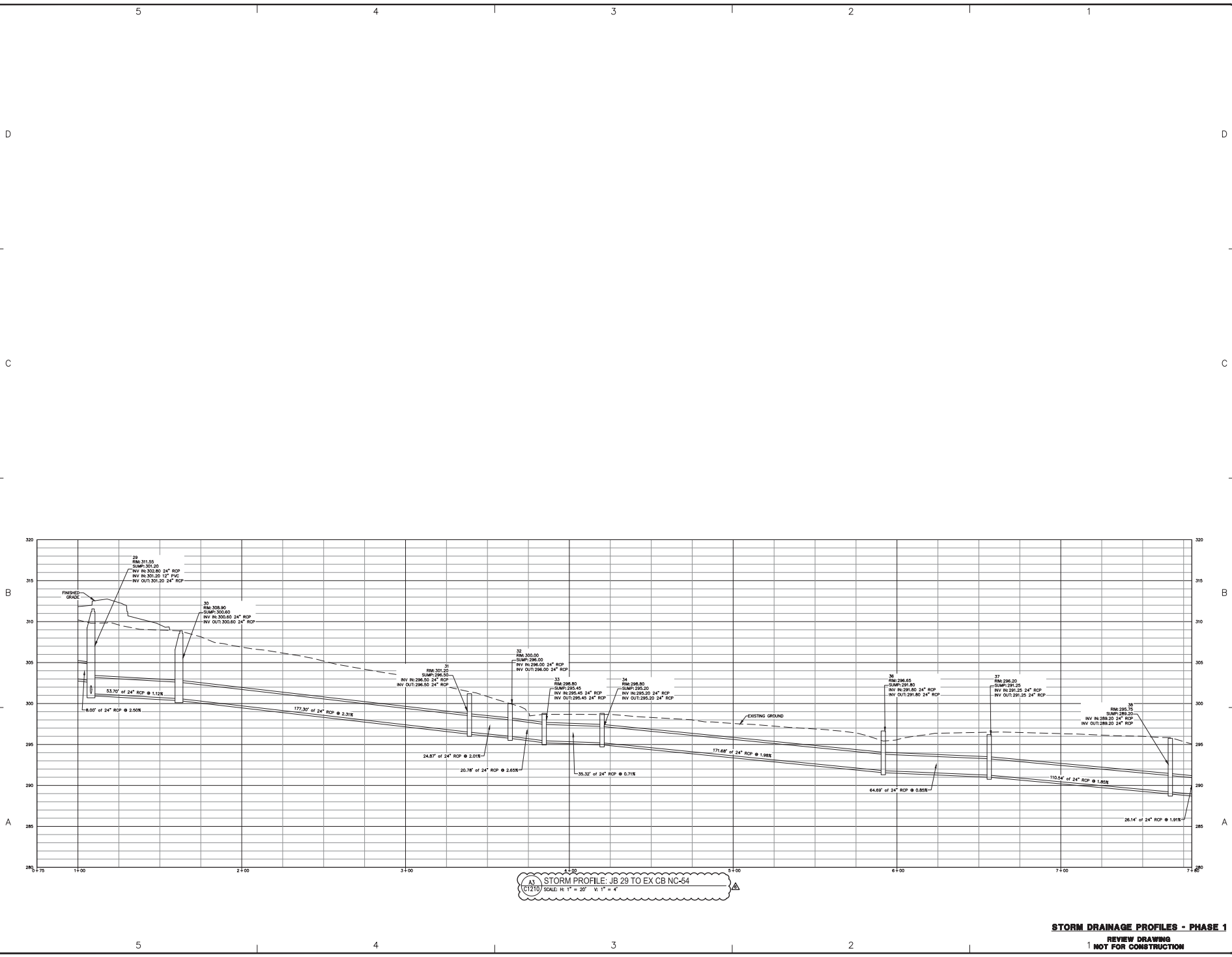
**OWNER INFORMATION**  
 117 EDWARDS SOUTH DRIVE  
 SUITE 110  
 CHAR, NC 27911  
**OWNER REPRESENTATIVE:**  
 JAC STE  
 (813) 208-2274  
 (813) 208-2274

DATE	REVISION
12 FEB 21	FOR DACP SUBMITTAL #1
19 MAR 21	FOR DACP SUBMITTAL #2
11 JUN 21	FOR DACP SUBMITTAL #3
18 JUN 21	FOR DACP SUBMITTAL #4
18 AUG 21	FOR DACP SUBMITTAL #5
29 SEP 21	FOR DACP SUBMITTAL #6

**LINK APARTMENTS CALYX  
 GLEN LENNOX - BLOCK 9A**  
 CHARLES HILL, NC  
 DACP DRAWINGS

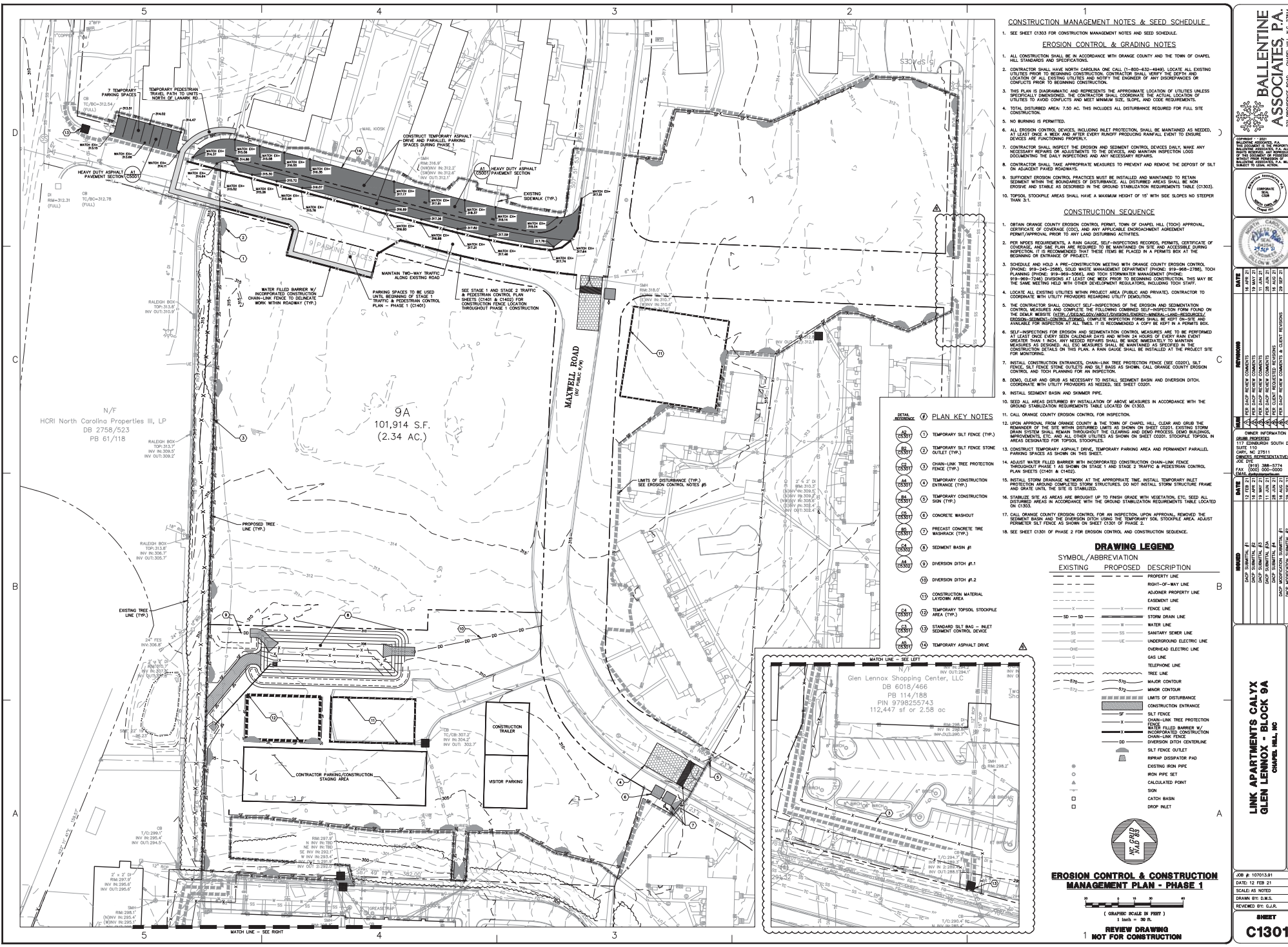
JOB # 10703391  
 DATE: 12 FEB 21  
 SCALE AS NOTED  
 DRAWN BY: D.W.S.  
 REVIEWED BY: C.J.S.

**SHEET  
 C1210**



**STORM DRAINAGE PROFILES - PHASE 1**  
 REVIEW DRAWING  
 NOT FOR CONSTRUCTION





**CONSTRUCTION MANAGEMENT NOTES & SEED SCHEDULE**

1. SEE SHEET C1303 FOR CONSTRUCTION MANAGEMENT NOTES AND SEED SCHEDULE.

**EROSION CONTROL & GRADING NOTES**

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ORANGE COUNTY AND THE TOWN OF CHAPEL HILL STANDARDS AND SPECIFICATIONS.
2. CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (1-800-432-4949) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL VERIFY THE DEPTH AND LOCATION PRIOR TO EXCAVATING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS.
3. THIS PLAN IS DIAPHRAGMATIC AND REPRESENTS THE APPROXIMATE LOCATION OF UTILITIES UNLESS SPECIFICALLY DIMENSIONED. THE CONTRACTOR SHALL COORDINATE THE ACTUAL LOCATION OF UTILITIES TO AVOID CONFLICTS WITH THE EROSION CONTROL, SLOPE, AND GRADING WORK.
4. TOTAL DISTURBED AREA: 7.50 AC. THIS INCLUDES ALL DISTURBANCE REQUIRED FOR FULL SITE CONSTRUCTION.
5. NO BURNING IS PERMITTED.
6. ALL EROSION CONTROL DEVICES, INCLUDING INLET PROTECTION, SHALL BE MAINTAINED AS NEEDED, AT LEAST ONCE A WEEK AND AFTER EVERY RUNOFF PRODUCE RAINFALL EVENT TO ENSURE DEVICES ARE FUNCTIONING PROPERLY.
7. CONTRACTOR SHALL INSPECT THE EROSION AND SEDIMENT CONTROL DEVICES DAILY. MAKE ANY NECESSARY REPAIRS AND ADJUSTMENTS TO THE DEVICES AND MAINTAIN INSPECTION LOGS DOCUMENTING THE DAILY INSPECTIONS AND ANY NECESSARY REPAIRS.
8. CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO PREVENT AND REMOVE THE DEPOSIT OF SILT ON ADJACENT PAVED ROADSWAYS.
9. SUFFICIENT EROSION CONTROL PRACTICES MUST BE INSTALLED AND MAINTAINED TO RETAIN SEDIMENT WITHIN THE BOUNDARIES OF DISTURBANCE. ALL DISTURBED AREAS SHALL BE NON-EROSIVE AND STABLE AS DESCRIBED IN THE GROUND STABILIZATION REQUIREMENTS TABLE (C1303).
10. TOPSOIL STOCKPILE AREAS SHALL HAVE A MAXIMUM HEIGHT OF 15' WITH SIDE SLOPES NO STEEPER THAN 3:1.

**CONSTRUCTION SEQUENCE**

1. OBTAIN ORANGE COUNTY EROSION CONTROL PERMIT, TOWN OF CHAPEL HILL (TOOH) APPROVAL, CERTIFICATE OF COVERAGE (COC), AND ANY APPLICABLE CHANDRACHAND AGREEMENT PERMIT/APPROVAL PRIOR TO ANY LAND DISTURBANCE ACTIVITIES.
2. PER APPLICABLE REQUIREMENTS, A RAIN GAUGE, SELF-INSPECTION RECORDS, PERMITS, CERTIFICATE OF COVERAGE, AND SILENCE PERMITS ARE REQUIRED TO BE MAINTAINED ON-SITE AND ACCESSIBLE DURING INSPECTION. IT IS RECOMMENDED THAT THESE ITEMS BE PLACED IN A PERMITS BOX AT THE BEGINNING OR ENTRANCE OF PROJECT.
3. SCHEDULE AND HOLD A PRE-CONSTRUCTION MEETING WITH ORANGE COUNTY EROSION CONTROL (PHONE: 919-866-2640) AND TOWN OF CHAPEL HILL (PHONE: 919-848-2780), TOOH PLANNING (PHONE: 919-866-2640), AND TOWN STORMWATER MANAGEMENT (PHONE: 919-848-2780). THE MEETING SHOULD BE HELD PRIOR TO BEGINNING CONSTRUCTION. THESE MEETINGS MAY BE THE SAME MEETING HELD WITH OTHER DEVELOPMENT REGULATORY INCLUDING TOOH STAFF.
4. LOCATE ALL EXISTING UTILITIES WITHIN PROJECT AREA (PUBLIC AND PRIVATE). CONTRACTOR TO COORDINATE WITH UTILITY PROVIDERS REGARDING UTILITY EXCAVATION.
5. THE CONTRACTOR SHALL CONDUCT SELF-INSPECTIONS OF THE EROSION AND SEDIMENTATION CONTROL MEASURES THROUGHOUT THE CLEARING AND SITE PREP PHASES. RECORDS ON THE OWNER WEBSITE (<http://www.augustine.com/development/development/development/development/development/development/development/development/development/development>) OR EROSION MEASUREMENT LOGS SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PHASE AND AVAILABLE FOR INSPECTION AT ALL TIMES. IT IS RECOMMENDED A COPY BE KEPT IN A PERMITS BOX.
6. SELF-INSPECTIONS FOR EROSION AND SEDIMENTATION CONTROL MEASURES ARE TO BE PERFORMED AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS OF EVERY RAIN EVENT THROUGHOUT THE CONSTRUCTION PHASE. RECORDS SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PHASE AS DESIGNED. ALL SELF-INSPECTIONS SHALL BE MAINTAINED AS SPECIFIED IN THE CONSTRUCTION DETAILS ON THIS PLAN. A RAIN GAUGE SHALL BE INSTALLED AT THE PROJECT SITE FOR MONITORING.
7. INSTALL CONSTRUCTION ENTRANCES, CHAIN-LINK TREE PROTECTION FENCE (SEE COCD), SILT FENCE, SILT FENCE STILES, SLOPE PROTECTION AND EROSION CONTROL MEASURES IN ACCORDANCE WITH THE GROUND STABILIZATION REQUIREMENTS TABLE (C1303).
8. DRAIN, CLEAR AND GRUB AS NECESSARY TO INSTALL SEGMENT BASH AND DIVERSION DITCH. COORDINATE WITH UTILITY PROVIDERS AS NEEDED. SEE SHEET C0201.
9. INSTALL SEGMENT BASH AND SHOWER PIPE.
10. SEE ALL AREAS DISTURBED BY INSTALLATION OF ABOVE MEASURES IN ACCORDANCE WITH THE GROUND STABILIZATION REQUIREMENTS TABLE LOCATED ON C1303.
11. CALL ORANGE COUNTY EROSION CONTROL FOR INSPECTION.
12. UNLESS APPROVED BY ORANGE COUNTY AND THE TOWN OF CHAPEL HILL, CLEAR AND GRUB THE REMAINDER OF THE SITE WITHIN DISTURBED LIMITS AS SHOWN ON SHEET C0201. EXISTING STORM DRAIN SYSTEM SHALL REMAIN THROUGHOUT THE CLEARING AND SITE PREP PHASES. EROSION IMPROVEMENTS, ETC. AND ALL OTHER UTILITIES AS SHOWN ON SHEET C0201. STOCKPILE TOPSOIL IN AREAS NECESSARY FOR TOPSOIL STOCKPILES.
13. CONSTRUCT TEMPORARY ASPHALT DRIVE, TEMPORARY PARKING AREA AND PERMANENT PARALLEL PARKING SPACES AS SHOWN ON THIS SHEET.
14. ADJUST WATER FILLED BARRIER WITH INCORPORATED CONSTRUCTION CHAIN-LINK FENCE THROUGHOUT PHASE 1 AS SHOWN ON STAGE 1 AND STAGE 2 TRAFFIC & PEDESTRIAN CONTROL PLAN SHEETS (C1304 & C1305).
15. INSTALL STORM DRAINAGE NETWORK AT THE APPROPRIATE TIME. INSTALL TEMPORARY FRAME AND GRATE UNTIL THE SITE IS STABILIZED.
16. STABILIZE SITE AS AREAS ARE BROUGHT UP TO FINISH GRADE WITH VEGETATION, ETC. SEED ALL DISTURBED AREAS IN ACCORDANCE WITH THE GROUND STABILIZATION REQUIREMENTS TABLE LOCATED ON C1303.
17. CALL ORANGE COUNTY EROSION CONTROL FOR AN INSPECTION. UPON APPROVAL, REMOVE THE SEGMENT BASH AND THE DIVERSION DITCH USING THE TEMPORARY SOIL STOCKPILE AREA. ADJUST PERMITTED SILT FENCE AS SHOWN ON SHEET C0201 OF PHASE 2.
18. SEE SHEET C1303 OF PHASE 2 FOR EROSION CONTROL AND CONSTRUCTION SEQUENCE.

**PLAN KEY NOTES**

- ① TEMPORARY SILT FENCE (TYP.)
- ② TEMPORARY SILT FENCE STONE OUTLET (TYP.)
- ③ CHAIN-LINK TREE PROTECTION FENCE (TYP.)
- ④ ADJUST WATER FILLED BARRIER WITH INCORPORATED CONSTRUCTION CHAIN-LINK FENCE THROUGHOUT PHASE 1 AS SHOWN ON STAGE 1 AND STAGE 2 TRAFFIC & PEDESTRIAN CONTROL PLAN SHEETS (C1304 & C1305).
- ⑤ TEMPORARY CONSTRUCTION SIGN (TYP.)
- ⑥ CONCRETE WASHOUT
- ⑦ PRECAST CONCRETE TREE MARKER (TYP.)
- ⑧ SEGMENT BASH #1
- ⑨ DIVERSION DITCH #1
- ⑩ DIVERSION DITCH #2
- ⑪ CONSTRUCTION MATERIAL LAYOUT AREA (TYP.)
- ⑫ TEMPORARY TOPSOIL STOCKPILE AREA (TYP.)
- ⑬ STANDARD SILT BAG - INLET SEDIMENT CONTROL DEVICE
- ⑭ TEMPORARY ASPHALT DRIVE

**DRAWING LEGEND**

SYMBOL/ABBREVIATION	EXISTING	PROPOSED	DESCRIPTION
---	---	---	PROPERTY LINE
---	---	---	RIGHT-OF-WAY LINE
---	---	---	ADJACENT PROPERTY LINE
---	---	---	EASEMENT LINE
---	---	---	FRONT YARD SETBACK LINE
---	---	---	STORM DRAIN LINE
---	---	---	WATER LINE
---	---	---	SANITARY SEWER LINE
---	---	---	UNDERGROUND ELECTRIC LINE
---	---	---	OVERHEAD ELECTRIC LINE
---	---	---	GAS LINE
---	---	---	TELEPHONE LINE
---	---	---	TREE LINE
---	---	---	MAJOR CONTOUR
---	---	---	MINOR CONTOUR
---	---	---	LIMITS OF DISTURBANCE
---	---	---	CONSTRUCTION ENTRANCE
---	---	---	SILT FENCE
---	---	---	CHAIN-LINK TREE PROTECTION FENCE
---	---	---	WATER FILLED BARRIER WITH INCORPORATED CONSTRUCTION CHAIN-LINK FENCE
---	---	---	DIVERSION DITCH CENTERLINE
---	---	---	SILT FENCE OUTLET
---	---	---	RRAP DISSIPATOR PAD
---	---	---	EXISTING IRON PIPE
---	---	---	IRON PIPE SET
---	---	---	CALCULATED POINT
---	---	---	SOIL
---	---	---	CATCH BASIN
---	---	---	DROP INLET

**EROSION CONTROL & CONSTRUCTION MANAGEMENT PLAN - PHASE 1**

(GRAPHIC SCALE IN FEET)  
1 inch = 20 ft.

REVIEW DRAWING NOT FOR CONSTRUCTION

7 TEMPORARY PARKING SPACES  
TEMPORARY PEDESTRIAN CROSSING NORTH OF MAXWELL RD

HEAVY DUTY ASPHALT PAVEMENT SECTION  
HEAVY DUTY ASPHALT PAVEMENT SECTION  
EXISTING SIDEWALK (TYP.)

MATCH LINE - SEE LEFT  
MATCH LINE - SEE RIGHT

79A  
101,914 S.F.  
(2.34 AC.)

MAXWELL ROAD (FOR PUBLIC USE)

HARI NORTH CAROLINA PROPERTIES III, LP  
DB 2758/523  
PB 61/118

CONSTRUCTION TRAILER  
VISITOR PARKING  
CONTRACTOR PARKING/CONSTRUCTION STAGING AREA

LIMITS OF DISTURBANCE (TYP.)  
SEE EROSION CONTROL NOTES #8

ADJUST WATER FILLED BARRIER W/ INCORPORATED CONSTRUCTION CHAIN-LINK FENCE THROUGHOUT PHASE 1 CONSTRUCTION

SEE STAGE 1 AND STAGE 2 TRAFFIC & PEDESTRIAN CONTROL PLAN SHEETS (C1304 & C1305) FOR CONSTRUCTION FENCE LOCATION THROUGHOUT PHASE 1 CONSTRUCTION

MAINTAIN TWO-WAY TRAFFIC ALONG EXISTING ROAD

PARKING SPACES TO BE USED UNTIL BEGINNING OF STAGE 1 TRAFFIC & PEDESTRIAN CONTROL PLAN - PHASE 1 (C1304)

ADJUST WATER FILLED BARRIER W/ INCORPORATED CONSTRUCTION CHAIN-LINK FENCE TO MAINTAIN TWO-WAY TRAFFIC WITHIN ROADWAY (TYP.)

EXISTING TREE LINE (TYP.)

PROPOSED TREE LINE (TYP.)

**BALLENTRINE ASSOCIATES P.A.**  
228 PRODUCE ROAD, CHAPEL HILL, N.C. 27514  
919 287-0200 - 0201

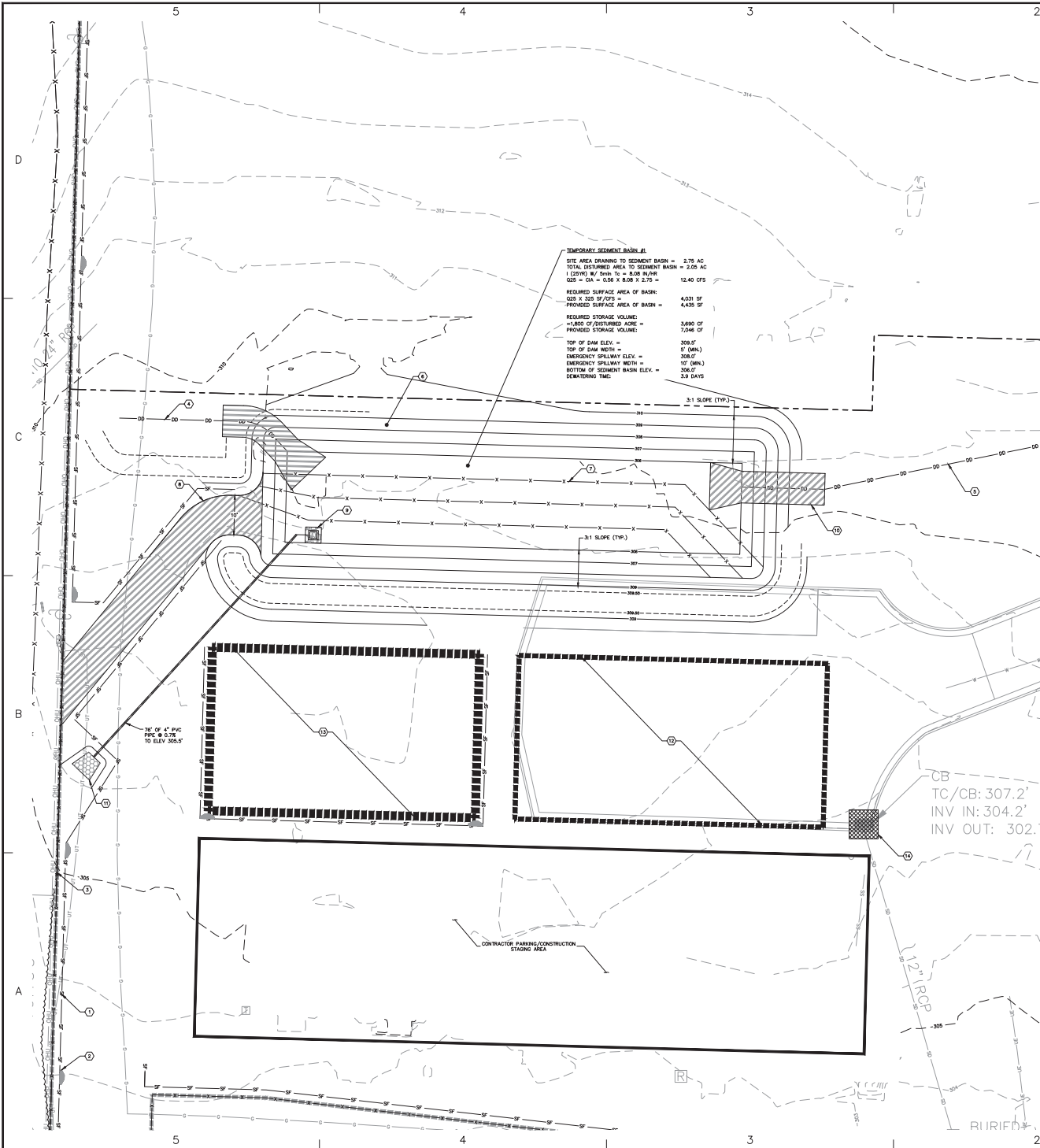
DATE	BY	REVISION
12/12/21	D. LEONOX	ISSUE FOR PERMITS
11/15/21	D. LEONOX	PERMITS
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OWNER INFORMATION  
177 CONNORS SOUTH DRIVE  
SUITE 110  
ORFV NC 27511  
OWNERS REPRESENTATIVE:  
JOE PYLE  
FAX: (919) 288-3774  
CELL: (919) 288-3774

LINK APARTMENTS CALVY  
GLEN LENNOX - BLOCK 9A  
CHAPEL HILL, NC  
DACP DRAWINGS

JOB #: 10703.91  
DATE: 12/21/21  
SCALE: AS NOTED  
DRAWN BY: D.C.L.  
CHECKED BY: D.C.L.

SHEET  
**C1301**



- PLAN KEY NOTES**
- TEMPORARY SILT FENCE (TYP.)
  - TEMPORARY SILT FENCE STONE NOZZLE (TYP.)
  - CHAIN-LINK TREE PROTECTION FENCE (TYP.)
  - DIVERSION DITCH #1
  - DIVERSION DITCH #2
  - LINE ALL SEDIMENT BASIN SLOPES WITH STRAIN BLANKET MATTING (NORTH AMERICAN GREEN 5150)
  - TEMPORARY CORR FIBER BAFFLE (TYP.)
  - POLY LINER AT SEDIMENT BASIN SPILLWAY
  - TEMPORARY 4" SKIMMER W/ 2.5" ORIFICE
  - DIVERSION DITCH OUTLET AT SKIMMER BASIN
  - RP-RAP APRON (ELEV = 305.0')
  - CONSTRUCTION MATERIAL LAYDOWN AREA
  - TEMPORARY TOPSOIL STOOPPILE AREA (TYP.)
  - STANDARD SILT BAG - MEET SEDIMENT CONTROL DEVICE

**DRAWING LEGEND**

SYMBOL/ABBREVIATION	EXISTING	PROPOSED	DESCRIPTION
---	---	---	PROPERTY LINE
---	---	---	RIGHT-OF-WAY LINE
---	---	---	ADJOURNER PROPERTY LINE
---	---	---	EASEMENT LINE
---	---	---	FENCE LINE
SD - SD	SD - SD	SD - SD	STORM DRAIN LINE
W	W	W	WATER LINE
SD	SD	SD	SANITARY SEWER LINE
---	---	---	UNDERGROUND ELECTRIC LINE
---	---	---	OVERHEAD ELECTRIC LINE
G	G	G	GAS LINE
T	T	T	TELEPHONE LINE
---	---	---	TREE LINE
---	---	---	MAJOR CONTOUR
---	---	---	MINOR CONTOUR
---	---	---	LIMITS OF DISTURBANCE
---	---	---	CONSTRUCTION ENTRANCE
---	---	---	SILT FENCE
---	---	---	SILT FENCE OUTLET
---	---	---	RIPRAP DISSIPATOR PAD
---	---	---	EXISTING IRON PIPE
---	---	---	IRON PIPE SET
---	---	---	CALCULATED POINT
---	---	---	SOIL
---	---	---	CATCH BASIN
---	---	---	DROP INLET
---	---	---	WATER METER
---	---	---	WATER VALVE
---	---	---	FIRE HYDRANT
---	---	---	FIRE DEPARTMENT CONNECTION
---	---	---	BACKFLOW PREVENTER
---	---	---	BLOW OFF VALVE
---	---	---	SANITARY SEWER MANHOLE
---	---	---	SANITARY SEWER CLEANOUT
---	---	---	POWER POLE
---	---	---	ELECTRIC TRANSFORMER
---	---	---	GAS METER

**SEDIMENT BASIN ENLARGEMENT - PHASE 1**

1 REVIEW DRAWING NOT FOR CONSTRUCTION

(GRAPHIC SCALE IN FEET)  
 1 inch = 10 ft.

**BALLENTINE ASSOCIATES, P.A.**  
 228 PROSPERITY ROAD, CHARLES HILL, N.C. 27044  
 (703) 525-1000

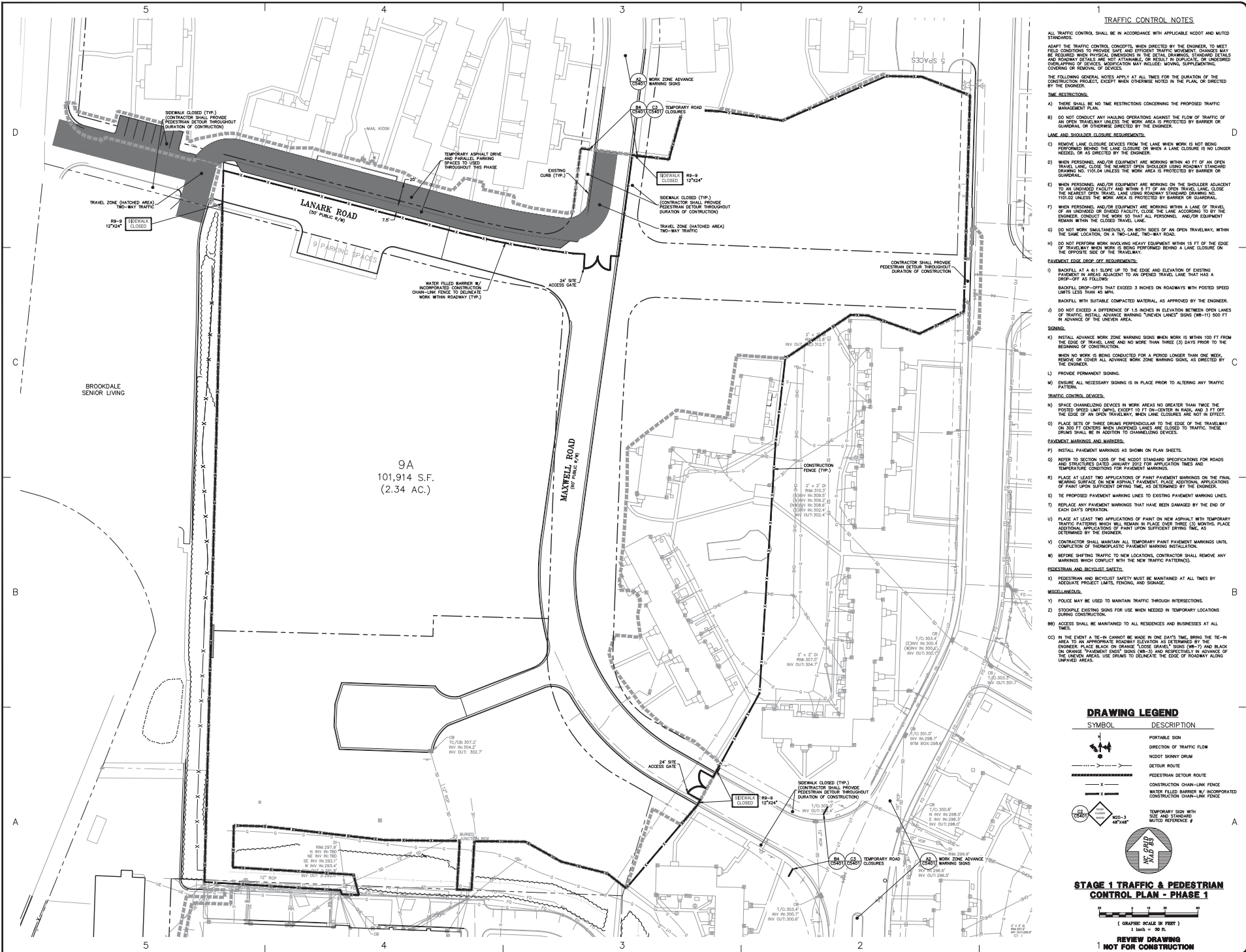
**LINK APARTMENTS CALYX GLEN LENNOX - BLOCK 9A**  
 CHARLES HILL, NC  
 DACP DRAWINGS

DATE	REVISIONS
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JOB # 10703.91  
 DATE: 12 FEB 21  
 SCALE: AS NOTED  
 DRAWN BY: D.M.S.  
 REVIEWED BY: C.L.S.

**SHEET C1302**





**TRAFFIC CONTROL NOTES**

ALL TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH APPLICABLE NCDOT AND MUTED STANDARDS.  
 ADAPT THE TRAFFIC CONTROL CONCEPTS, WHEN DIRECTED BY THE ENGINEER, TO MEET BEST CONDITIONS TO PROVIDE SAFE AND EFFICIENT TRAFFIC MOVEMENT. CHANGES MAY BE REQUIRED WHEN PHYSICAL DIMENSIONS IN THE DETAIL DRAWINGS, STANDARD DETAILS AND ROADWAY DETAILS ARE NOT ATTAINABLE OR RESULT IN DUPLICATION OF UNDESIGNED OVERLAPPING OF SERVICES. MODIFICATION MAY INCLUDE: MOVING, SUPPLEMENTING, COVERING OR REMOVAL OF DEVICES.  
 THE FOLLOWING GENERAL NOTES APPLY AT ALL TIMES FOR THE DURATION OF THE CONSTRUCTION PROJECT, EXCEPT WHEN OTHERWISE NOTED IN THE PLAN, OR DIRECTED BY THE ENGINEER.

**TIME RESTRICTIONS:**  
 A) THERE SHALL BE NO TIME RESTRICTIONS CONCERNING THE PROPOSED TRAFFIC MANAGEMENT PLAN.  
 B) DO NOT CONDUCT ANY HAULING OPERATIONS AGAINST THE FLOW OF TRAFFIC ON AN OPEN TRAVEL LANE UNLESS THE WORK AREA IS PROTECTED BY BARRIER OR GUARDRAIL OR OTHERWISE DIRECTED BY THE ENGINEER.

**LANE AND SHOULDER CLOSURE REQUIREMENTS:**  
 C) REMOVE LANE CLOSURE DEVICES FROM THE LANE WHEN WORK IS NOT BEING PERFORMED BEHIND THE LANE CLOSURE OR WHEN A LANE CLOSURE IS NO LONGER NEEDED, OR AS DIRECTED BY THE ENGINEER.  
 D) WHEN PERSONNEL AND/OR EQUIPMENT ARE WORKING WITHIN 40 FT OF AN OPEN TRAVEL LANE, CLOSE THE NEAREST OPEN SHOULDER OR ROADWAY STANDARD DRAWING NO. 110-02 UNLESS THE WORK AREA IS PROTECTED BY BARRIER OR GUARDRAIL.  
 E) WHEN PERSONNEL AND/OR EQUIPMENT ARE WORKING WITHIN A LANE OF TRAVEL OF AN UNDIVIDED FACILITY AND WITHIN 5 FT OF AN OPEN TRAVEL LANE, CLOSE TO 100.00 UNLESS THE WORK AREA IS PROTECTED BY BARRIER OR GUARDRAIL.  
 F) DO NOT WORK SIMULTANEOUSLY ON BOTH SIDES OF AN OPEN TRAVELWAY, WITHIN THE SAME LOCATION, ON A TWO-LANE, TWO-WAY ROAD.  
 G) DO NOT PERFORM WORK INVOLVING HEAVY EQUIPMENT WITHIN 15 FT OF THE EDGE OF TRAVELWAY WHEN WORK IS BEING PERFORMED BEHIND A LANE CLOSURE ON THE OPPOSITE SIDE OF THE TRAVELWAY.

**EQUIPMENT EDGE DROP-UP REQUIREMENTS:**  
 H) BARRIER SHALL BE A 6:1 SLOPE UP TO THE EDGE AND ELEVATION OF EXISTING PAVEMENT IN AREAS ADJACENT TO AN OPEN TRAVEL LANE THAT HAS A DROP-OFF AT THE EDGE.  
 I) BACKFILL DROP-OFFS THAT EXCEED 3 INCHES ON ROADWAYS WITH POSTED SPEED LIMITS LESS THAN 45 MPH.  
 J) BACKFILL WITH SUITABLE COMPACTED MATERIAL, AS APPROVED BY THE ENGINEER.  
 K) DO NOT EXCEED A DIFFERENCE OF 1.5 INCHES IN ELEVATION BETWEEN OPEN LANES OF TRAFFIC. INSTALL ADVANCE WARNING "UNEVEN LANES" SIGNS (WB-11) 500 FT IN ADVANCE OF THE UNEVEN AREA.

**SIGNING:**  
 L) INSTALL ADVANCE WORK ZONE WARNING SIGNS WHEN WORK IS WITHIN 100 FT FROM THE EDGE OF TRAVEL LANE AND NO MORE THAN THREE (3) DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION.  
 M) WHEN NO WORK IS BEING CONDUCTED FOR A PERIOD LONGER THAN ONE WEEK, REMOVE OR LOWER ALL ADVANCE WORK ZONE WARNING SIGNS AS DIRECTED BY THE ENGINEER.  
 N) PROVIDE PERMANENT SIGNING.  
 O) ENSURE ALL NECESSARY SIGNING IS IN PLACE PRIOR TO ALTERING ANY TRAFFIC PATTERN.

**TRAFFIC CONTROL DEVICES:**  
 P) SPACE CHANNELIZED DEVICES IN WORK AREAS NO GREATER THAN TWICE THE POSTED SPEED LIMIT (MPH), EXCEPT 10 FT ON-CENTER IN ROAD, AND 3 FT OFF THE EDGE OF AN OPEN TRAVELWAY, WHEN LANE CLOSURES ARE NOT IN EFFECT.  
 Q) PLACE SETS OF THREE DRUMS PERPENDICULAR TO THE EDGE OF THE TRAVELWAY OR 300 FT CENTERS WHEN UNDIVIDED LANES ARE CLOSED TO TRAFFIC. THESE DRUMS SHALL BE IN ADDITION TO CHANNELIZED DEVICES.

**EQUIPMENT MARKINGS AND MARKERS:**  
 R) INSTALL PAVEMENT MARKINGS AS SHOWN ON PLAN SHEETS.  
 S) REFER TO SECTION 1005 OF THE NCDOT STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES, LATEST EDITION, FOR APPLICATION TIMES AND SPACING REQUIREMENTS FOR PAVEMENT MARKINGS.

T) PLACE AT LEAST TWO APPLICATIONS OF PAINT PAVEMENT MARKINGS ON THE FINAL WEARING SURFACE ON NEW ASPHALT PAVEMENT. PLACE ADDITIONAL APPLICATIONS OF PAINT UPON SUFFICIENT DRYING TIME, AS DETERMINED BY THE ENGINEER.  
 U) REPLACE ANY PAVEMENT MARKINGS TO EXISTING PAVEMENT MARKING LINES.  
 V) REPLACE ANY PAVEMENT MARKINGS TO EXISTING PAVEMENT MARKING LINES.  
 W) CONTRACTOR SHALL MAINTAIN ALL TEMPORARY PAVEMENT MARKINGS UNTIL COMPLETION OF THERMOPLASTIC PAVEMENT MARKING INSTALLATION.

X) BEFORE SHIFTING TRAFFIC TO NEW LOCATIONS, CONTRACTOR SHALL REMOVE ANY MARKINGS WHICH CONFLICT WITH THE NEW TRAFFIC PATTERNS.  
**PEDESTRIAN AND BICYCLIST SAFETY:**  
 Y) PEDESTRIAN AND BICYCLIST SAFETY MUST BE MAINTAINED AT ALL TIMES BY ADEQUATE PROJECT LIMITS, FENCING, AND SIGNAGE.  
 Z) POLICE MAY BE USED TO MAINTAIN TRAFFIC THROUGH INTERSECTIONS.  
 AA) STOODULE EXISTING SIGNS FOR USE WHEN NEEDED IN TEMPORARY LOCATIONS.  
 BB) ACCESS SHALL BE MAINTAINED TO ALL RESIDENCES AND BUSINESSES AT ALL TIMES.

CC) IN THE EVENT A TECH CANNOT BE MADE IN ONE DAY'S TIME, BRING THE TECH AREA TO AN APPROPRIATE ROADWAY ELEVATION. THE GRADE IS DETERMINED BY THE ENGINEER. PLACE BLACK OR ORANGE CONE SIGNS (WB-1) AND BLACK OR ORANGE "PAVEMENT DIPS" SIGNS (WB-3) AND RESPECTIVELY IN ADVANCE OF THE OTHER AREA. USE DRUMS TO DELINEATE THE EDGE OF ROADWAY ALONG UNPAVED AREAS.

**DRAWING LEGEND**

SYMBOL	DESCRIPTION
	PORTABLE SIGN
	DIRECTION OF TRAFFIC FLOW
	NCDOT SHINY DRUM
	DETOUR ROUTE
	PEDESTRIAN DETOUR ROUTE
	CONSTRUCTION CHAIN-LINK FENCE
	WATER FILLED BARRIER BY INCORPORATED CONSTRUCTION CHAIN-LINK FENCE
	TEMPORARY SIGN WITH SIZE AND STANDARD NOTATION REFERENCE #

**STAGE 1 TRAFFIC & PEDESTRIAN CONTROL PLAN - PHASE 1**

DATE: 12 FEB 21  
 SCALE: AS NOTED  
 DRAWN BY: G.S.  
 REVIEWED BY: G.S.

GRAPHIC SCALE IN FEET  
 1 inch = 40 ft

REVIEW DRAWING  
 NOT FOR CONSTRUCTION

**BALLENTINE ASSOCIATES, P.A.**  
 CHAPEL HILL, N.C. 27514  
 228 PROVINCIAL ROAD  
 C275 025 - 0201

REGISTERED PROFESSIONAL ENGINEER  
 STATE OF NORTH CAROLINA  
 NO. 35827  
 DATE: 08/20/18

REGISTERED PROFESSIONAL SURVEYOR  
 STATE OF NORTH CAROLINA  
 NO. 11111  
 DATE: 08/20/18

DATE	REVISIONS
12 FEB 21	ISSUE FOR PERMIT
18 JAN 21	REVISED PERMIT
19 JAN 21	REVISED PERMIT
20 JAN 21	REVISED PERMIT
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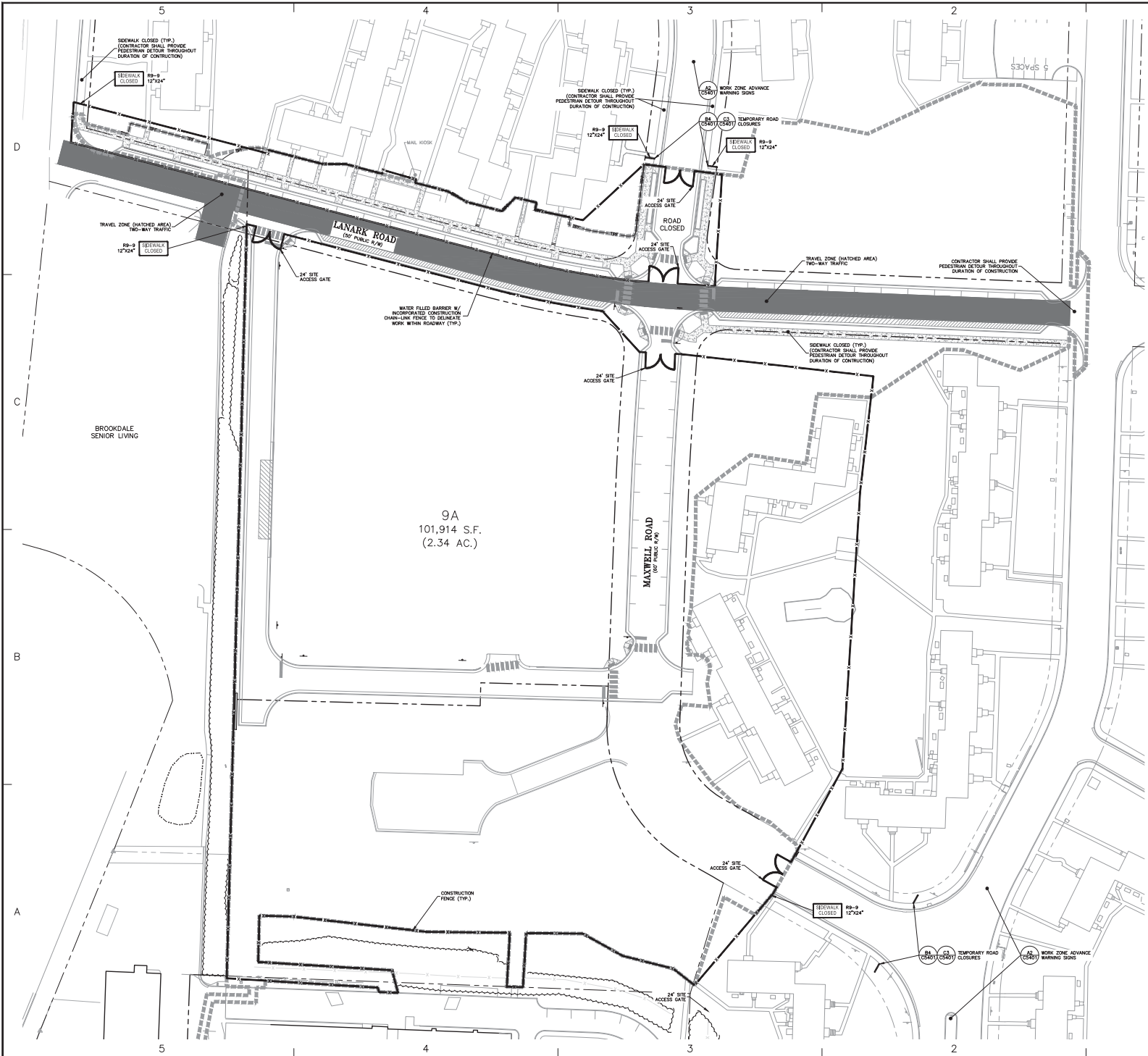
OWNER INFORMATION  
 117 CONGRESS SOUTH DRIVE  
 SUITE 110  
 CHAPEL HILL, NC 27514  
 OWNER REPRESENTATIVE:  
 JAC DUE  
 (919) 286-2074  
 (919) 286-2074

DATE	REVISION
12 FEB 21	ISSUE FOR PERMIT
18 JAN 21	REVISED PERMIT
19 JAN 21	REVISED PERMIT
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**LINK APARTMENTS CALYX  
 GLEN LENNOX - BLOCK 9A**  
 CHAPEL HILL, NC  
 DACP DRAWINGS

JOB #: 10703.91  
 DATE: 12 FEB 21  
 SCALE: AS NOTED  
 DRAWN BY: G.S.  
 REVIEWED BY: G.S.

SHEET  
**C1401**



**TRAFFIC CONTROL NOTES**

- ALL TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH APPLICABLE NCDOT AND MUTCD STANDARDS.
- ADAPT THE TRAFFIC CONTROL CONCEPTS, WHEN DIRECTED BY THE ENGINEER, TO MEET FIELD CONDITIONS TO PREVENT SAFETY AND POTENTIAL TRAFFIC MOVEMENT CHANGES MAY BE REQUIRED WHEN PHYSICAL DIMENSIONS IN THE DETAIL DRAWINGS, STANDARD DETAILS AND ROADWAY DETAILS ARE NOT OBTAINABLE OR RESULT IN UNDESIRABLE OR UNIFORM OVERLAPPING OF SERVICES. MODIFICATION MAY INCLUDE MOVING, SUPPLEMENTING, COVERING OR REMOVING SERVICES.
- THE FOLLOWING GENERAL NOTES APPLY AT ALL TIMES FOR THE DURATION OF THE CONSTRUCTION PROJECT, EXCEPT WHEN OTHERWISE NOTED IN THE PLAN, OR DIRECTED BY THE ENGINEER.
- TIME RESTRICTIONS:**
- A) THERE SHALL BE NO TIME RESTRICTIONS CONCERNING THE PROPOSED TRAFFIC MANAGEMENT PLAN.
  - B) DO NOT CONDUCT ANY HAULING OPERATIONS AGAINST THE FLOW OF TRAFFIC ON AN OPEN TRAVELWAY UNLESS THE WORK AREA IS PROTECTED BY BARRIER OR GUARDRAIL OR OTHERWISE DIRECTED BY THE ENGINEER.
- LANE AND SHOULDER CLOSURE REQUIREMENTS:**
- C) REMOVE LANE CLOSURE DEVICES FROM THE LANE WHEN WORK IS NO LONGER PERFORMED BEHIND THE LANE CLOSURE OR WHEN A LANE CLOSURE IS NO LONGER NEEDED OR AS DIRECTED BY THE ENGINEER.
  - D) WHEN PERSONNEL AND/OR EQUIPMENT ARE WORKING WITHIN 40 FT OF AN OPEN TRAVELWAY, CLOSE THE NEAREST OPEN TRAVELWAY USING ROADWAY STANDARD DRAWING NO. 1101.02 UNLESS THE WORK AREA IS PROTECTED BY BARRIER OR GUARDRAIL.
  - E) WHEN PERSONNEL AND/OR EQUIPMENT ARE WORKING WITHIN 5 FT OF AN OPEN TRAVELWAY, CLOSE THE NEAREST OPEN TRAVELWAY USING ROADWAY STANDARD DRAWING NO. 1101.02 UNLESS THE WORK AREA IS PROTECTED BY BARRIER OR GUARDRAIL.
  - F) WHEN PERSONNEL AND/OR EQUIPMENT ARE WORKING WITHIN A LANE OF TRAVEL OF AN UNDIVIDED OR DIVIDED FACILITY, CLOSE THE LANE ACCORDING TO THE ENGINEER'S CONVEYANCE TO INSURE THAT ALL PERSONNEL AND/OR EQUIPMENT REMAIN WITHIN THE CLOSED TRAVELWAY.
  - G) DO NOT WORK SIMULTANEOUSLY ON BOTH SIDES OF AN OPEN TRAVELWAY, WITHIN THE SAME LOCATION, ON A TWO-LANE, TWO-WAY ROAD.
  - H) DO NOT PERFORM WORK INVOLVING HEAVY EQUIPMENT WITHIN 15 FT OF THE EDGE OF TRAVELWAY WHEN WORK IS BEING PERFORMED BEHIND A LANE CLOSURE ON THE OPPOSITE SIDE OF THE TRAVELWAY.
- PAVEMENT EDGE DROP OFF REQUIREMENTS:**
- I) BARRELS AT A 6:1 SLOPE UP TO THE EDGE AND ELEVATION OF EXISTING PAVEMENT IN AREAS ADJACENT TO AN OPEN TRAVELWAY THAT HAS A DROP-OFF AS FOLLOWS:
    - 1) BACKFILL WITH SUITABLE GRANULATED MATERIAL, AS APPROVED BY THE ENGINEER.
    - 2) BACKFILL DROP-OFFS THAT EXCEED 3 INCHES ON ROADWAYS WITH POSTED SPEED LIMITS LESS THAN 45 MPH.
  - J) DO NOT EXCEED A DIFFERENCE OF 1.5 INCHES IN ELEVATION BETWEEN OPEN LINES OF TRAFFIC INSTALL ADVANCE WARNING "UNEVEN LANE" SIGNS (WB-11) 500 FT IN ADVANCE OF THE UNDER AREA.
- SIGNING:**
- K) INSTALL ADVANCE WORK ZONE WARNING SIGNS WHEN WORK IS WITHIN 100 FT FROM THE EDGE OF TRAVELWAY AND NO MORE THAN THREE (3) DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION.
    - 1) WHEN NO WORK IS BEING CONDUCTED FOR A PERIOD LONGER THAN ONE WEEK, REMOVE OR LOWER ALL ADVANCE WORK ZONE WARNING SIGNS AS DIRECTED BY THE ENGINEER.
  - L) ENSURE ALL NECESSARY SIGNING IS IN PLACE PRIOR TO ALTERING ANY TRAFFIC PATTERN.
  - M) SPACE CHANNELIZING DEVICES IN WORK AREAS NO GREATER THAN TWICE THE POSTED SPEED LIMIT (MPH), EXCEPT 10 FT ON CENTER IN ROAD, AND 3 FT OFF THE EDGE OF AN OPEN TRAVELWAY, WHEN LANE CLOSURES ARE NOT IN EFFECT.
  - N) PLACE SETS OF THREE DRUMS PERPENDICULAR TO THE EDGE OF THE TRAVELWAY OR 300 FT CENTERS WHEN UNDIVIDED LANES ARE CLOSED TO TRAFFIC. THESE DRUMS SHALL BE IN ADDITION TO CHANNELIZING DEVICES.
- PAVEMENT MARKINGS AND MARKERS:**
- O) INSTALL PAVEMENT MARKINGS AS SHOWN ON PLAN SHEETS.
  - P) REFER TO SECTION 1005 OF THE NCDOT STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES, LATEST EDITION, FOR APPLICATION TYPES AND SPECIFICATIONS FOR ALL PAVEMENT MARKINGS AND MARKERS.
  - Q) PLACE AT LEAST TWO APPLICATIONS OF PAINT PAVEMENT MARKINGS ON THE FINAL WEARING SURFACE ON NEW ASPHALT PAVEMENT. PLACE ADDITIONAL APPLICATIONS OF PAINT UPON SUFFICIENT DRYING TIME, AS DETERMINED BY THE ENGINEER.
  - R) THE PROPOSED PAVEMENT MARKING LINES TO EXISTING PAVEMENT MARKINGS.
  - S) REPLACE ANY PAVEMENT MARKINGS THAT HAVE BEEN DAMAGED BY THE END OF EACH DAY'S OPERATION.
  - T) PLACE AT LEAST TWO APPLICATIONS OF PAINT ON NEW ASPHALT WITH TEMPORARY TRAFFIC PATTERNS WHICH WILL REMAIN IN PLACE OVER THREE (3) MONTHS. PLACE ADDITIONAL APPLICATIONS OF PAINT UPON SUFFICIENT DRYING TIME, AS DETERMINED BY THE ENGINEER.
  - U) CONTRACTOR SHALL MAINTAIN ALL TEMPORARY PAINT PAVEMENT MARKINGS UNTIL COMPLETION OF THERMOPLASTIC PAVEMENT MARKING INSTALLATION.
  - V) BEFORE SHIFTING TRAFFIC TO NEW LOCATIONS, CONTRACTOR SHALL REMOVE ANY MARKINGS WHICH CONFLICT WITH THE NEW TRAFFIC PATTERNS.
- PEDESTRIAN AND BICYCLIST SAFETY:**
- X) PEDESTRIAN AND BICYCLIST SAFETY MUST BE MAINTAINED AT ALL TIMES BY ADEQUATE PROJECT LIMITS, FENCING, AND SIGNAGE.
  - Y) MISCELLANEOUS:
    - 1) POLICE MAY BE USED TO MAINTAIN TRAFFIC THROUGH INTERSECTIONS.
    - 2) STOOPULE EXISTING SIGNS FOR USE WHEN NEEDED IN TEMPORARY LOCATIONS.
    - 3) ACCESS SHALL BE MAINTAINED TO ALL RESIDENCES AND BUSINESSES AT ALL TIMES.
  - Z) IN THE EVENT A TE-IN CANNOT BE MADE IN ONE DAY'S TIME, BRING THE TE-IN AREA TO AN APPROPRIATE ROADWAY ELEVATION AS DETERMINED BY THE ENGINEER. PLACE BLACK OR BROWN "EDGE OF ROAD" SIGNS (WB-7) THE BLACK OR ORANGE "PAVEMENT DIRT" SIGNS (WB-3) AND RESPECTIVELY IN ADVANCE OF THE OTHER AREAS. USE DRUMS TO DELINEATE THE EDGE OF ROADWAY ALONG UNPAVED AREAS.

**DRAWING LEGEND**

SYMBOL	DESCRIPTION
	PORTABLE SIGN
	DIRECTION OF TRAFFIC FLOW
	NODOT SHINY DRUM
	DETOUR ROUTE
	PEDESTRIAN DETOUR ROUTE
	CONSTRUCTION CHAIN-LINK FENCE
	WATER FILLED BARRIER BY INCORPORATED CONSTRUCTION CHAIN-LINK FENCE
	TEMPORARY SIGN WITH SIZE AND STANDARD NOTCH REFERENCE #

**STAGE 2 TRAFFIC & PEDESTRIAN CONTROL PLAN - PHASE 1**

(GRAPHIC SCALE IN FEET)  
1 inch = 40 ft.

**REVIEW DRAWING NOT FOR CONSTRUCTION**

**BALLENTINE ASSOCIATES, P.A.**  
CHAMPLAIN, N.C. 27544  
228 PROSPEROUS ROAD  
CITY: 336-287-1000

**LINK APARTMENTS CALYX GLEN LENNOX - BLOCK 9A**  
CHAMPLAIN, NC

**DATE**

DATE	REVISION
12 FEB 21	1
18 FEB 21	2
19 FEB 21	3
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**JOB #** 10703.91  
**DATE:** 12 FEB 21  
**SCALE:** AS NOTED  
**DRAWN BY:** D.M.S.  
**REVIEWED BY:** C.L.S.

**SHEET**  
**C1402**