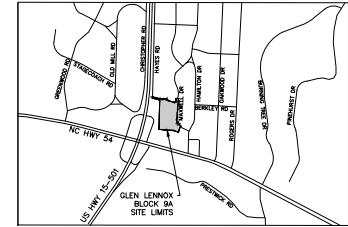


DACP - Phase 2, Mod. #2 Approved Plans
 8/10/2022
 59 pages
 Anya Grahn, Planning Dept.

DEVELOPMENT AGREEMENT COMPLIANCE PERMIT (DACP) DRAWINGS

FOR LINK APARTMENTS CALYX GLEN LENNOX - BLOCK 9A - PHASE 2

CHAPEL HILL, NORTH CAROLINA

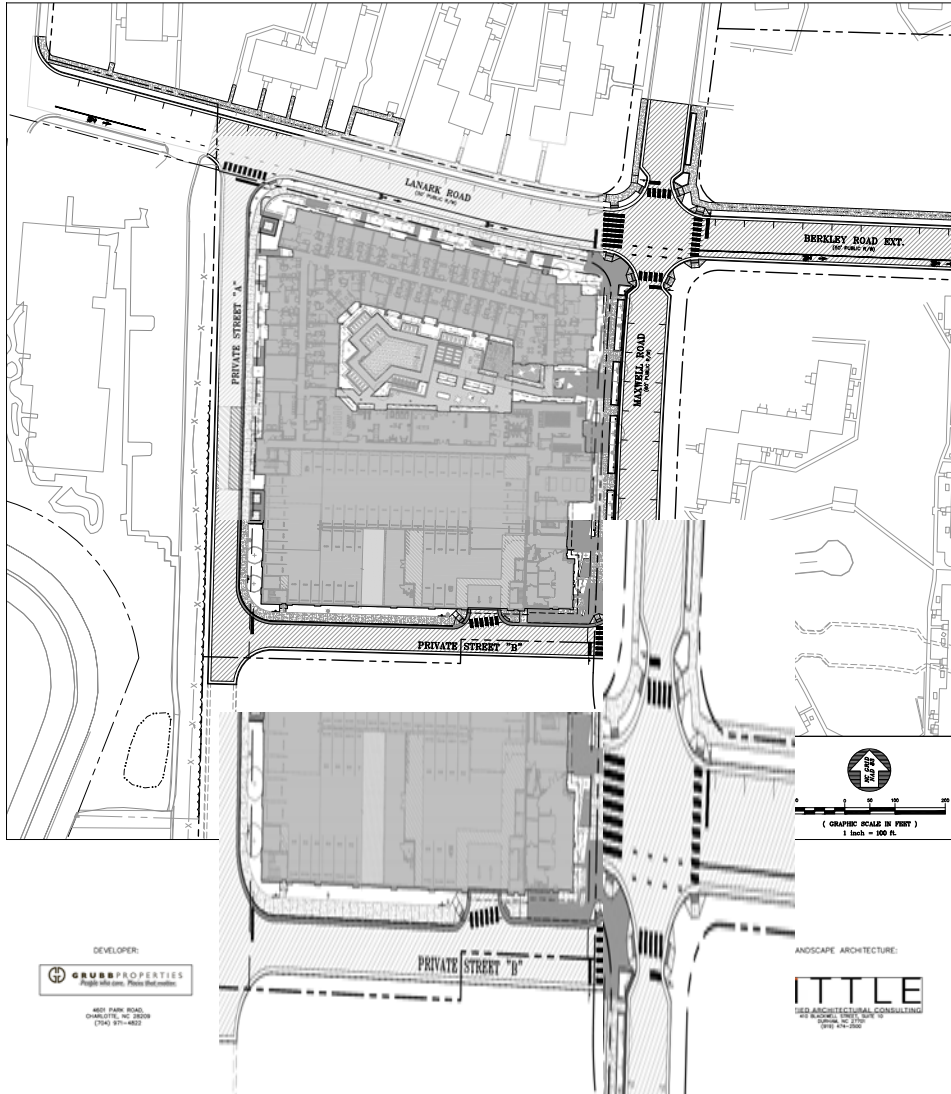


VICINITY MAP
 SCALE: 1"=200'

DRAWING LIST

SHEET	DRAWING TITLE	LATEST ISSUE DATE
△ G0001	COVER SHEET - PHASE 2	08 AUG 22
C0001	AREA MAP	18 JAN 22
C0101	EXISTING CONDITIONS PLAN - PHASE 2	18 JAN 22
C0102	GLEN LENNOX TREE SURVEY OVERVIEW	18 JAN 22
C0103	ENLARGED GLEN LENNOX TREE SURVEY - NORTH	18 JAN 22
C0104	ENLARGED GLEN LENNOX TREE SURVEY - SOUTH	18 JAN 22
C0105	OVERALL GLEN LENNOX TREE LIST	18 JAN 22
C0201	DEMOLITION PLAN - PHASE 2	18 JAN 22
△ C1001	SITE PLAN - PHASE 2	08 AUG 22
C1002	STAKING PLAN	18 JAN 22
C1003	WASTE MANAGEMENT PLAN	18 JAN 22
C1004	OPEN SPACE PLAN	18 JAN 22
C1005	BLOCK 9A IMPERVIOUS COMPLIANCE PLAN	18 JAN 22
C1006	PUBLIC STREET NETWORK EXHIBIT	18 JAN 22
C1007	OVERALL GLEN LENNOX TREE CANOPY COVERAGE	18 JAN 22
C1008	FIRE ACCESS PLAN	18 JAN 22
C1101	UTILITY PLAN - PHASE 2	18 JAN 22
C1201	GRADING & DRAINAGE PLAN - PHASE 2	18 JAN 22
C1202	GRADING ENLARGEMENTS - PHASE 2	18 JAN 22
C1301	EROSION CONTROL & CONSTRUCTION MANAGEMENT PLAN - PHASE 2	18 JAN 22
C1302	NOG01 REQUIREMENTS - PHASE 2	18 JAN 22
C8001	SITE DETAILS - PHASE 2	18 JAN 22
C8101	UTILITY DETAILS - PHASE 2	18 JAN 22
C8102	UTILITY DETAILS - PHASE 2	18 JAN 22
C8201	STORM DRAINAGE DETAILS - PHASE 2	18 JAN 22
C8301	EROSION CONTROL DETAILS - PHASE 2	18 JAN 22
L-1.00	REQUIRED PARKS PLAN	18 JAN 22
L-1.01	LAYOUT PLAN	18 JAN 22
L-1.02	MATERIALS PLAN	18 JAN 22
L-1.03	AMENITY COURTYARD LAYOUT AND MATERIALS PLAN	18 JAN 22
L-1.04	DOG PARK LAYOUT AND MATERIALS PLAN	18 JAN 22
L-2.00	LANDSCAPE PLAN OVERALL	18 JAN 22
L-2.01	LANDSCAPE PLAN STREETSCAPE	18 JAN 22
L-2.02	LANDSCAPE PLAN COURTYARD	18 JAN 22
L-2.03	IRRIGATION PLAN	18 JAN 22
L-3.00	SITE DETAILS	18 JAN 22
L-3.01	SITE DETAILS	18 JAN 22
L-3.02	SITE DETAILS - OMIT	18 JAN 22
L-3.03	SITE DETAILS	18 JAN 22
L-3.04	SITE DETAILS	18 JAN 22
L-4.00	LANDSCAPE DETAILS	18 JAN 22
L-5.00	LIGHTING PLAN	18 JAN 22
L-5.01	LIGHTING DETAILS	18 JAN 22
△ C-A101	FLOOR PLAN - LEVEL 1	08 AUG 22
C-A102	FLOOR PLAN - LEVEL 2	09 APR 21
C-A103	FLOOR PLAN - LEVEL 3	09 APR 21
C-A104	FLOOR PLAN - LEVEL 4	09 APR 21
C-A105	FLOOR PLAN - LEVEL 5	09 APR 21
C-A106	FLOOR PLAN - LEVEL 6	09 APR 21
△ C-A107	FLOOR PLAN - LEVEL 7	08 AUG 22
C-A108	OVERALL ROOF PLAN	08 AUG 22
C-A4.01	BUILDING ELEVATIONS	09 APR 21
C-A4.02	BUILDING ELEVATIONS	09 APR 21
C-A5.01	BUILDING SECTIONS	09 APR 21
C-A10.01	DACP DIAGRAMS	09 APR 21
ES.0	COURTYARD LIGHTING PHOTOMETRICS	30 MAR 21
-	DUKE ENERGY LIGHTING PLAN	16 FEB 21

SITE DATA TABLE	
PROJECT NAME:	LINK APARTMENTS CALYX (GLEN LENNOX BLOCK 9A)
PROPERTY PIN NUMBER:	8708-08-0227
PROPERTY LOCATION:	TOWN OF CHAPEL HILL
CURRENT LAND OWNER:	GLEN LENNOX APARTMENTS LLC 4601 PARK ROAD, SUITE 400 CHARLOTTE, NC 28229
PROPERTY ZONING:	R-3 WITH NEIGHBORHOOD CONSERVATION DISTRICT (NO. 80) OVERLAY
SETBACKS:	LANARK = 15' (FROM BACK OF CURB) MAXWELL = 18' (FROM BACK OF CURB) HERKLEY = 30' (FROM PROPERTY LINE)
EXISTING USE:	RESIDENTIAL
PROPOSED USE:	RESIDENTIAL
PROPOSED LOT SIZE (MA):	106,772 S.F. (2.43 AC.)
TOTAL GROSS S.F. (PHASE 2):	APARTMENT BUILDING = 253,240 S.F. PARKING DECK = 176,262 S.F.
BUILDING ADDRESS:	55 MAXWELL ROAD
TOTAL PROPOSED APARTMENT UNITS:	304
EXISTING IMPERVIOUS SURFACE AREA (DEMOLITION):	7,613 S.F. (PHASE 3) 124,188 S.F. (TOTAL PHASE 1 & 2)
PROPOSED IMPERVIOUS SURFACE AREA (NET):	79,900 S.F. (PHASE 2) 84,800 S.F. (TOTAL PHASE 2 & 3) *INCLUDES IMPERVIOUS ALLOWANCE
PROPOSED IMPERVIOUS SURFACE AREA (GROSS):	3,948 S.F. (PHASE 3) 52,968 S.F. (TOTAL PHASE 1 & 2)
TOTAL IMPERVIOUS SURFACE AREA (NET):	87,230 S.F. (PHASE 3) 18,296 S.F. (TOTAL PHASE 1 & 2)
VEHICULAR PARKING SUMMARY:	REQUIRED: 1,225 DU PROVIDED: 519 SPACES (PARKING DECK) = 122 V. SPA/DU = 36 SPACES
ACCESSIBLE PARKING SUMMARY:	REQUIRED: 11 SPACES PROVIDED: 15 SPACES (INCLUDES 3 VAN)
BIKE PARKING SUMMARY:	REQUIRED: 174 DU PROVIDED: 122 CYCLE CENTER CLASS 1 = 122 = 36 SPACES BIKE CLASS 1 = 108 OUTSIDE BIKE CLASS 1 = 14



DEVELOPER:
GRUBB PROPERTIES
 4601 PARK ROAD
 CHARLOTTE, NC 28226
 (704) 971-4622

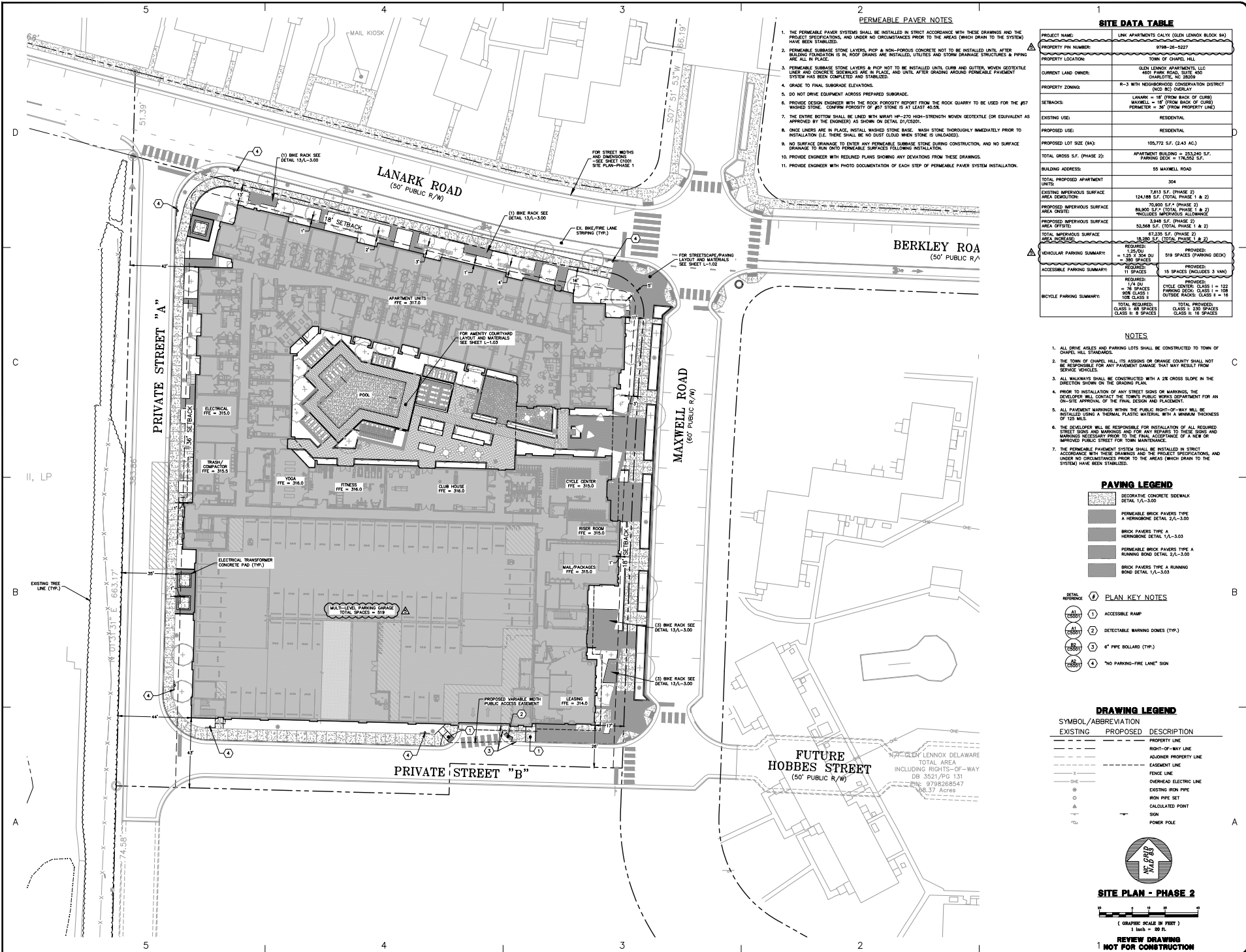
LANDSCAPE ARCHITECTURE:
ITTLÉ
 1050 ARCHITECTURAL CONSULTING
 1050 ARCHITECTURAL CONSULTING
 1050 ARCHITECTURAL CONSULTING

BALLENTINE ASSOCIATES, P.A.
 228 PROVINCIAL ROAD, CHAPEL HILL, N.C. 27514
 919.332.1000

**LINK APARTMENTS CALYX
 GLEN LENNOX - BLOCK 9A
 CHAPEL HILL, NC
 DACP DRAWINGS**

JOB #: 107033.01
 DATE: 12 FEB 21
 SCALE: AS NOTED
 DRAWN BY: D.M.S.
 REVIEWED BY: C.L.J.

SHEET
G0001



PERMEABLE PAVER NOTES

1. THE PERMEABLE PAVER SYSTEM SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THESE DRAWINGS AND THE PROJECT SPECIFICATIONS AND UNDER NO CIRCUMSTANCES FROM TO THE SYSTEM HAVE BEEN STABILIZED.
2. PERMEABLE SUBBASE STONE LAYERS AND 18" MIN-FINISH CONCRETE NOT TO BE INSTALLED UNTIL AFTER RAILING FOUNDATION IS IN, ROOF DRAINS ARE INSTALLED, UTILITIES AND STORM DRAINAGE STRUCTURES & PIPING ARE ALL IN PLACE.
3. PERMEABLE SUBBASE STONE LAYERS & POP NOT TO BE INSTALLED UNTIL CURB AND GUTTER, WOVEN GEOTEXTILE LINER AND CONCRETE SUBBASE ARE IN PLACE, AND UNTIL AFTER GRADING AROUND PERMEABLE PAVEMENT SYSTEM HAS BEEN COMPLETED AND STABILIZED.
4. GRADE TO FINAL SUBGRADE ELEVATIONS.
5. DO NOT DRIVE EQUIPMENT ACROSS PREPARED SUBGRADE.
6. PROVIDE DESIGN ENGINEER WITH THE ROCK PROSPECT REPORT FROM THE ROCK QUARRY TO BE USED FOR THE #57 WASHED STONE. CONFIRM POROSITY OF #57 STONE IS AT LEAST 45.5%.
7. THE ENTIRE BOTTOM SHALL BE LINED WITH MIRMAT HP-270 HIGH-STRENGTH WOVEN GEOTEXTILE (OR EQUIVALENT AS APPROVED BY THE ENGINEER) AS SHOWN ON DETAIL 11/4-3.00.
8. ONCE LINERS ARE IN PLACE, INSTALL WASHED STONE BASE, WASH STONE THOROUGHLY IMMEDIATELY PRIOR TO INSTALLATION (I.E. THERE SHALL BE NO DUST CLOUD WHEN STONE IS UNLOADED).
9. NO SURFACE DRAINAGE TO ENTER ANY PERMEABLE SUBBASE STONE DURING CONSTRUCTION, AND NO SURFACE DRAINAGE TO RUN ONTO PERMEABLE SURFACES FOLLOWING INSTALLATION.
10. PROVIDE ENGINEER WITH REDLINED PLANS SHOWING ANY DEVIATIONS FROM THESE DRAWINGS.
11. PROVIDE ENGINEER WITH PHOTO DOCUMENTATION OF EACH STEP OF PERMEABLE PAVEMENT INSTALLATION.

SITE DATA TABLE

PROJECT NAME:	LINK APARTMENTS CALYX (GLEN LENOX BLOCK 9A)
PROPERTY PIN NUMBER:	9798-26-3227
PROPERTY LOCATION:	TOWN OF CHAPEL HILL
CURRENT LAND OWNER:	GLEN LENOX APARTMENTS, LLC 4001 FARM ROAD, SUITE 400 CHAPEL HILL, NC 27610
PROPERTY ZONING:	R-3 WITH NEIGHBORHOOD CONSERVATION DISTRICT (NO. 80) OVERLAY
SETBACKS:	LANARK = 18" (FROM BACK OF CURB) BERKLEY = 18" (FROM BACK OF CURB) PARAMETER = 36" (FROM PROPERTY LINE)
EXISTING USE:	RESIDENTIAL
PROPOSED USE:	RESIDENTIAL
PROPOSED LOT SIZE (9A):	105,772 S.F. (2.41 AC)
TOTAL GROSS S.F. (PHASE 2):	APARTMENT BUILDING = 253,240 S.F. PARKING DECK = 174,502 S.F.
BUILDING ADDRESS:	55 MAXWELL ROAD
TOTAL PROPOSED APARTMENT UNITS:	304
EXISTING IMPERVIOUS SURFACE AREA (EXISTING):	7,813 S.F. (PHASE 2) 124,208 S.F. (TOTAL PHASE 1 & 2)
PROPOSED IMPERVIOUS SURFACE AREA (GATE):	70,800 S.F. (PHASE 2) 88,800 S.F. (TOTAL PHASE 1 & 2) INCLUDES IMPERVIOUS ALLIANCE
PROPOSED IMPERVIOUS SURFACE AREA (OFFSITE):	5,848 S.F. (PHASE 2) 52,868 S.F. (TOTAL PHASE 1 & 2)
TOTAL IMPERVIOUS SURFACE AREA (PHASE 2):	87,235 S.F. (PHASE 2) 18,980 S.F. (TOTAL PHASE 1 & 2)
VEHICULAR PARKING SUMMARY:	REQUIRED: 125 (DU) = 125 (DU) (DU) = 125 SPACES PROVIDED: 519 SPACES (PARKING DECK) = 125 SPACES
ACCESSIBLE PARKING SUMMARY:	REQUIRED: 11 SPACES PROVIDED: 15 SPACES (INCLUDES 3 VAN)
BIKE PARKING SUMMARY:	REQUIRED: 1/4 IN. = 26 SPACES FOR CLASS I OR CLASS II TOTAL REQUIRED: CLASS I = 230 SPACES CLASS II = 8 SPACES PROVIDED: CLASS I = 122 PARKING SPACES, CLASS I = 108 OUTSIDE RACKS, CLASS II = 18

NOTES

1. ALL DRIVE AISLES AND PARKING LOTS SHALL BE CONSTRUCTED TO TOWN OF CHAPEL HILL STANDARDS.
2. THE TOWN OF CHAPEL HILL, ITS AGENCIES OR ORANGE COUNTY SHALL NOT BE RESPONSIBLE FOR ANY PAVEMENT DAMAGE THAT MAY RESULT FROM SERVICE VEHICLES.
3. ALL WALKWAYS SHALL BE CONSTRUCTED WITH A 2% CROSS SLOPE IN THE DIRECTION SHOWN ON THE GRADING PLAN.
4. PRIOR TO INSTALLATION OF ANY STREET SIGNS OR MARKINGS, THE DEVELOPER WILL CONTACT THE TOWN'S PUBLIC WORKS DEPARTMENT FOR AN ON-SITE APPROVAL OF THE FINAL DESIGN AND PLACEMENT.
5. ALL PAVEMENT MARKINGS WITHIN THE PUBLIC RIGHT-OF-WAY WILL BE INSTALLED USING A THERMAL WATER-AIR MIMIMUM THICKNESS OF 125 MILS.
6. THE DEVELOPER WILL BE RESPONSIBLE FOR INSTALLATION OF ALL REQUIRED STREET SIGNS AND MARKINGS AND FOR ANY REPAIRS TO THESE SIGNS AND MARKINGS NECESSARY PRIOR TO THE FINAL ACCEPTANCE OF A NEW OR IMPROVED PUBLIC STREET FOR TOWN MAINTENANCE.
7. THE PERMEABLE PAVEMENT SYSTEM SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THESE DRAWINGS AND THE PROJECT SPECIFICATIONS, AND UNDER NO CIRCUMSTANCES PRIOR TO THE AREAS (WHICH DRAIN TO THE SYSTEM) HAVE BEEN STABILIZED.

PAVING LEGEND

	DECORATIVE CONCRETE SEENNAK DETAIL 1/1-3.00
	PERMEABLE BRICK PAVERS TYPE A HERNIMONE DETAIL 1/1-3.00
	BRICK PAVERS TYPE A HERNIMONE DETAIL 1/1-3.00
	PERMEABLE BRICK PAVERS TYPE A RUNNING BOND DETAIL 2/1-3.00
	BRICK PAVERS TYPE A RUNNING BOND DETAIL 1/1-3.00

PLAN KEY NOTES

- ① ACCESSIBLE RAMP
- ② DETECTABLE WARNING DOWNS (TYP)
- ③ 6" PIPE BOLLARD (TYP)
- ④ "NO PARKING-FIRE LANE" SIGN

DRAWING LEGEND

SYMBOL	ABBREVIATION	DESCRIPTION
---	PROPERTY LINE	PROPERTY LINE
---	RIGHT-OF-WAY LINE	RIGHT-OF-WAY LINE
---	ADJOINER PROPERTY LINE	ADJOINER PROPERTY LINE
---	EASEMENT LINE	EASEMENT LINE
---	FENCE LINE	FENCE LINE
---	OVERHEAD ELECTRIC LINE	OVERHEAD ELECTRIC LINE
---	EXISTING IRON PIPE	EXISTING IRON PIPE
---	IRON PIPE SET	IRON PIPE SET
---	CALCULATED POINT	CALCULATED POINT
---	POWER POLE	POWER POLE



SITE PLAN - PHASE 2

(GRAPHIC SCALE IN FEET)
1 inch = 20 ft.

REVIEW DRAWING NOT FOR CONSTRUCTION

BALLENTINE ASSOCIATES, P.A.
CHAPEL HILL, NC 27614
228 PROVINCIAL ROAD, SUITE 200
979 252-1000

LINK APARTMENTS CALYX GLEN LENOX - BLOCK 9A
Chapel Hill, NC

DATE

12 APR 21	DATE	12 APR 21
12 FEB 21	DATE	12 FEB 21
10 JAN 21	DATE	10 JAN 21
18 SEP 20	DATE	18 SEP 20
18 JUN 20	DATE	18 JUN 20
18 FEB 20	DATE	18 FEB 20

REVISIONS

NO.	DATE	DESCRIPTION
1	12 APR 21	ISSUE FOR PERMITS
2	12 FEB 21	ISSUE FOR PERMITS
3	10 JAN 21	ISSUE FOR PERMITS
4	18 SEP 20	ISSUE FOR PERMITS
5	18 JUN 20	ISSUE FOR PERMITS
6	18 FEB 20	ISSUE FOR PERMITS

OWNER REPRESENTATIVE

NAME	DATE
DAVE WILSON	12 APR 21
DAVE WILSON	12 FEB 21
DAVE WILSON	10 JAN 21
DAVE WILSON	18 SEP 20
DAVE WILSON	18 JUN 20
DAVE WILSON	18 FEB 20

DATE

12 APR 21

SCALE

AS NOTED

DRAWN BY

CLJ

CHECKED BY

CLJ

SHEET

C1001

LEGEND:

- PROPERTY LINE
- SETBACK LINE
- ACCESSIBLE ENTRANCE LOCATION

PARKING TOTALS

REGULAR SPACES	509
ACCESSIBLE STANDARD	1
ACCESSIBLE VAN	3
TOTAL	513

BIKE PARKING TOTALS

CYCLE CENTER	122
PARKING DECK	108
TOTAL	230

BIKE REPAIR STATION AT CYCLE CENTER

Bike Fixation Public Work Stand | **Wheel Chock**



BIKE RACKS AT CYCLE CENTER

DOUBLE DECKER | **BIKE HOOK**

BIKE RACKS AT PARKING DECK

DOUBLE DECKER | **BIKE HOOK**

100% CONSTRUCTION DOCUMENTS - ISSUE FOR CONSTRUCTION

LINK CALYX - GLEN LENNOX MF 9A

LOCATION / CHARLETT, NC
PROJECT # / 20GRU200
DATE / 03.26.2021
DRAWN / Author

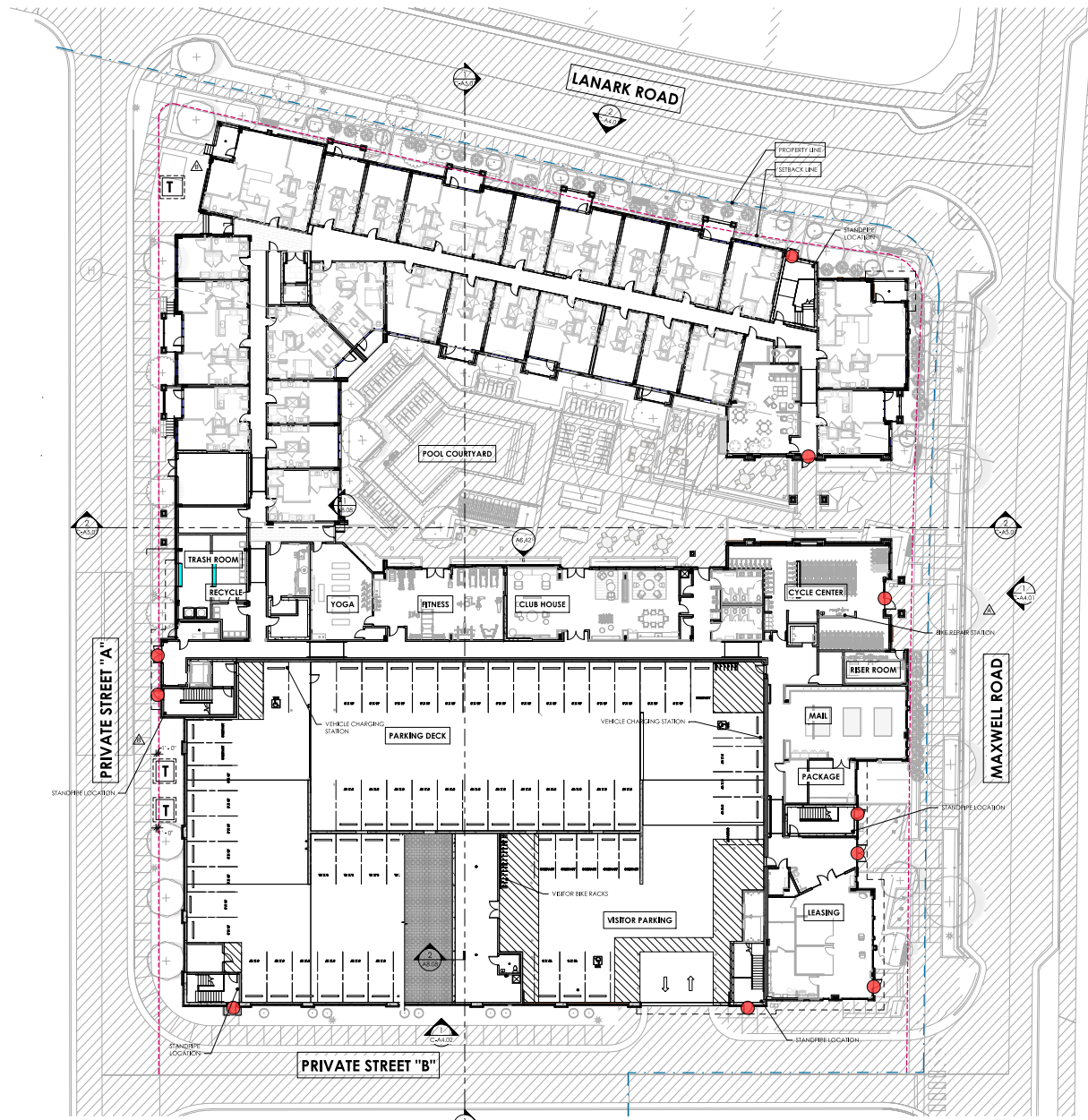
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Revisions

No.	Description	Date
A	DAQP - CYCLE 1 COMMENTS	04.09.2021
B	DAQP - CYCLE 2 COMMENTS	07.30.2021
C	DAQP - Modification #2 - Submittal #1	08.08.2022

FLOOR PLAN - LEVEL 1

C-A1.01



LEVEL 1 - FLOOR PLAN
SCALE: 1/16" = 1'-0"



100% CONSTRUCTION DOCUMENTS - ISSUE FOR CONSTRUCTION

LINK CALYX - GLEN LENNOX MF 9A

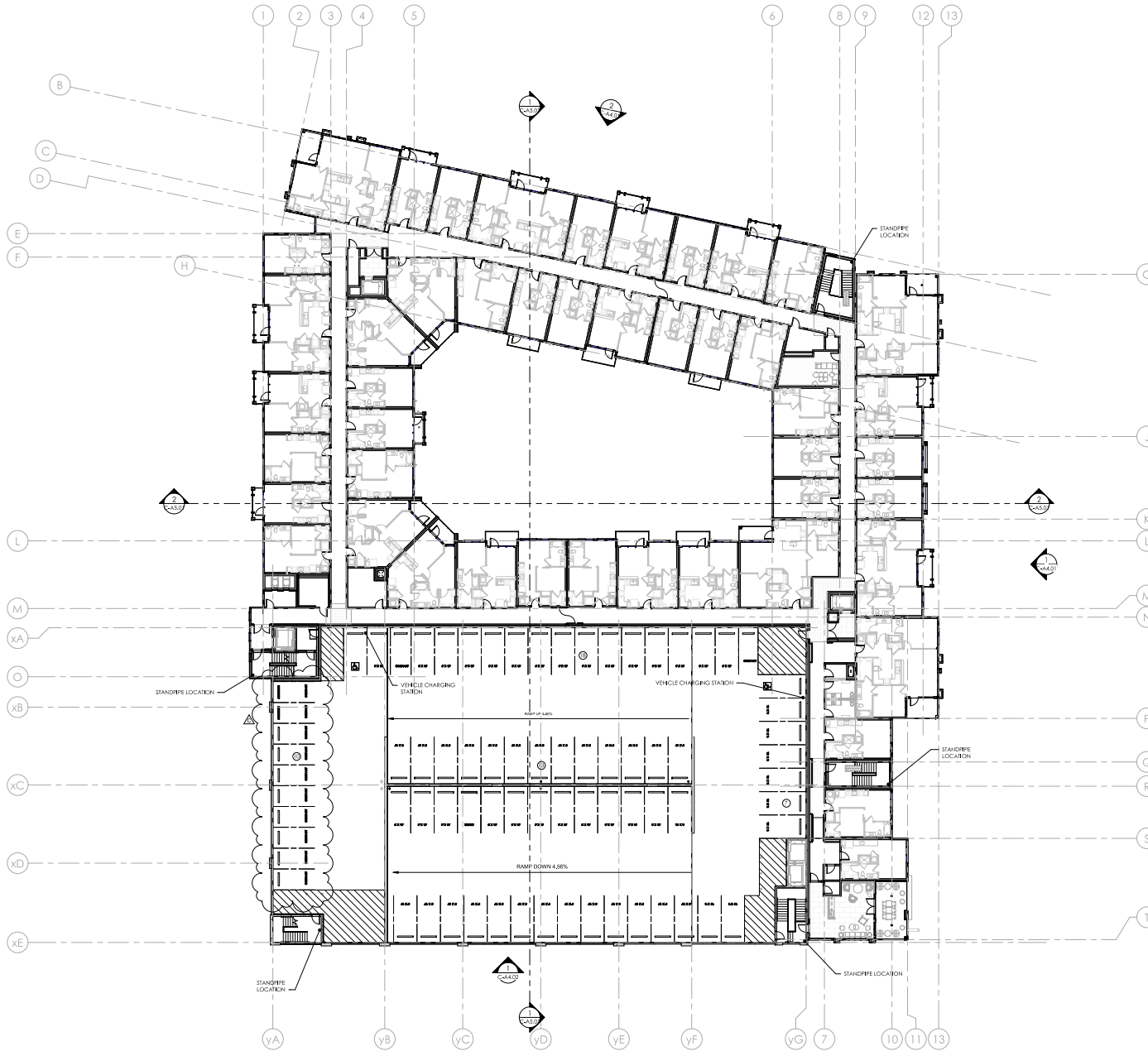
LOCATION / CHAPEL HILL, NC
PROJECT # / 20GRU050
DATE / 03.26.2021
DRAWN / Author

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Revisions		
No.	Description	Date
A	DACP - CYCLE 1	04.09.2021
	COMMENTS	
C	DACP - Modification #2 - 08.08.2022	08.08.2022
	Submitted #1	

FLOOR PLAN - LEVEL 7

C-A1.07



LEVEL 7 - FLOOR PLAN
SCALE: 1/16" = 1'-0"

