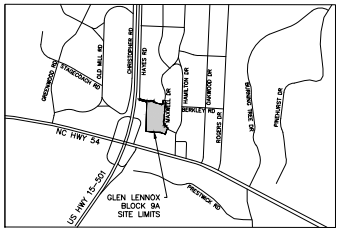
DEVELOPMENT AGREEMENT
COMPLIANCE PERMIT (DACP) DRAWINGS

FOR

LINK APARTMENTS CALYX
GLEN LENNOX - BLOCK 9A - PHASE 2

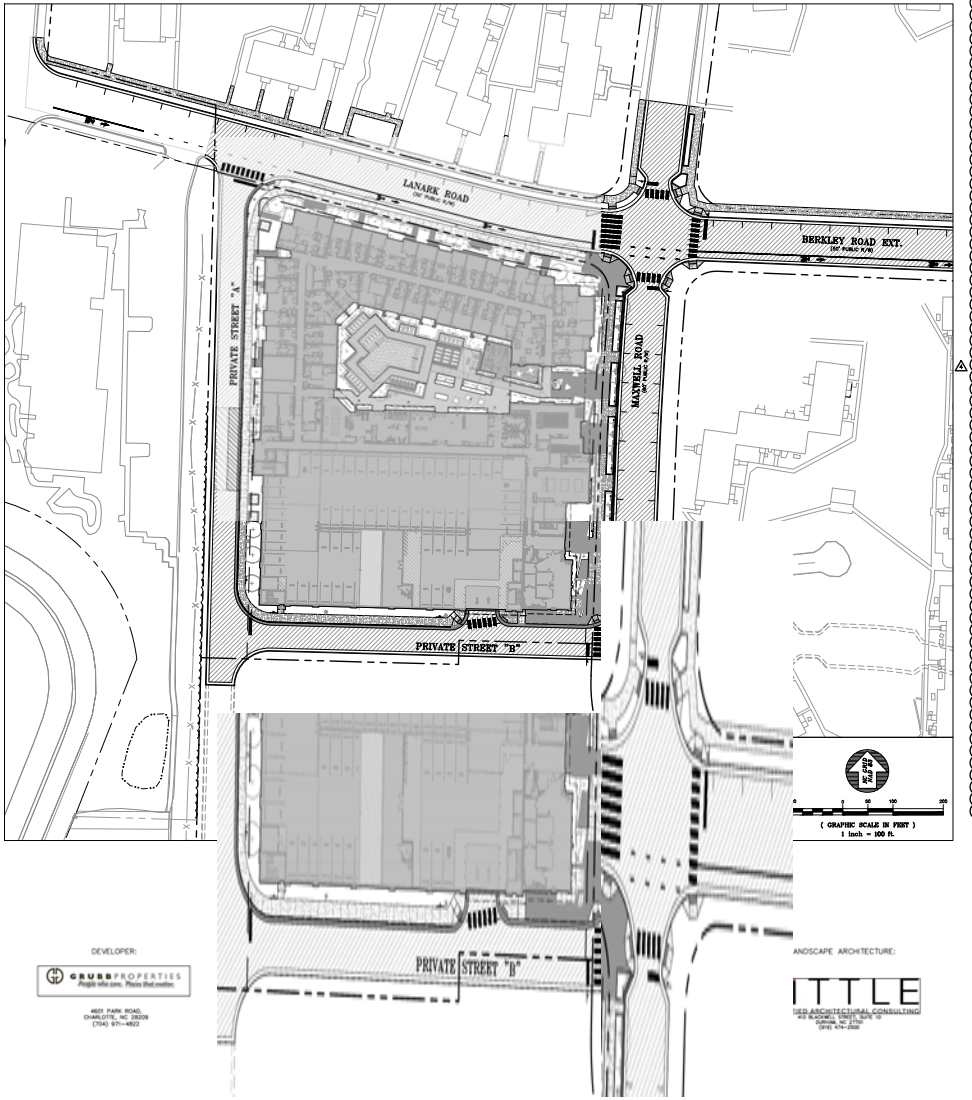
CHAPEL HILL, NORTH CAROLINA



VICINITY MAP
SCALE: 1"=5000'

SITE DATA TABLE

PROJECT NAME:	LINK APARTMENTS CALYX (GLEN LENNOX BLOCK 9A)	
PROPERTY PIN NUMBER:	9798265134	
PROPERTY LOCATION:	TOWN OF CHAPEL HILL	
CURRENT LAND OWNER:	GLEN LENNOX APARTMENTS, LLC 4601 PARK ROAD, SUITE 450 CHARLOTTE, NC 28209	
PROPERTY ZONING:	R-3 WITH NEIGHBORHOOD CONSERVATION DISTRICT (NCD 8C) OVERLAY	
SETBACKS:	LANARK = 18' (FROM BACK OF CURB) MAXWELL = 18' (FROM BACK OF CURB) PERIMETER = 30' (FROM PROPERTY LINE)	
EXISTING USE:	RESIDENTIAL	
PROPOSED USE:	RESIDENTIAL	
PROPOSED LOT SIZE (9A):	105,772 S.F. (2.43 AC.)	
TOTAL GROSS S.F. (PHASE 2):	APARTMENT BUILDING = 253,240 S.F. PARKING DECK = 176,502 S.F.	
BUILDING ADDRESS:	55 MAXWELL ROAD	
TOTAL PROPOSED APARTMENT UNITS:	304	
EXISTING IMPERVIOUS SURFACE AREA DEMOLITION:	7,613 S.F. (PHASE 2) 124,188 S.F. (TOTAL PHASE 1 & 2)	
PROPOSED IMPERVIOUS SURFACE AREA ONSITE:	70,900 S.F.* (PHASE 2) 89,900 S.F.* (TOTAL PHASE 1 & 2) *INCLUDES IMPERVIOUS ALLOWANCE	
PROPOSED IMPERVIOUS SURFACE AREA OFFSITE:	3,948 S.F. (PHASE 2) 52,568 S.F. (TOTAL PHASE 1 & 2)	
TOTAL IMPERVIOUS SURFACE AREA INCREASE:	67,235 S.F. (PHASE 2) 18,280 S.F. (TOTAL PHASE 1 & 2)	
VEHICULAR PARKING SUMMARY:	REQUIRED: 1.25/DU = 1.25 X 302 DU = 378 SPACES	PROVIDED: 518 SPACES (PARKING DECK)
ACCESSIBLE PARKING SUMMARY:	REQUIRED: 11 SPACES	PROVIDED: 15 SPACES (INCLUDES 2 VAN)
BICYCLE PARKING SUMMARY:	REQUIRED: 1/4 DU = 76 SPACES 90% CLASS I 10% CLASS II	PROVIDED: CYCLE CENTER: CLASS I = 122 PARKING DECK: CLASS I = 108 OUTSIDE RACKS: CLASS II = 16
	TOTAL REQUIRED: CLASS I: 68 SPACES CLASS II: 8 SPACES	TOTAL PROVIDED: CLASS I: 230 SPACES CLASS II: 16 SPACES



DEVELOPER:

GRUBB PROPERTIES
People who care. Places that matter.
4601 PARK ROAD,
CHARLOTTE, NC 28209
(704) 971-4622

LANDSCAPE ARCHITECTURE:

ITTLE
DESIGN ARCHITECTURAL CONSULTING
410 BLAKE STREET, SUITE 10
DURHAM, NC 27701
(919) 474-2500

DRAWING LIST

SHEET	DRAWING TITLE	LATEST ISSUE DATE
G0001	COVER SHEET - PHASE 2	18 JAN 22
C0001	AREA MAP	18 JAN 22
C0101	EXISTING CONDITIONS PLAN - PHASE 2	18 JAN 22
C0102	GLEN LENNOX TREE SURVEY OVERVIEW	18 JAN 22
C0103	ENLARGED GLEN LENNOX TREE SURVEY - NORTH	18 JAN 22
C0104	ENLARGED GLEN LENNOX TREE SURVEY - SOUTH	18 JAN 22
C0105	OVERALL GLEN LENNOX TREE LIST	18 JAN 22
C0201	DEMOLITION PLAN - PHASE 2	18 JAN 22
C1001	SITE PLAN - PHASE 2	18 JAN 22
C1002	STAKING PLAN	18 JAN 22
C1003	WASTE MANAGEMENT PLAN	18 JAN 22
C1004	OPEN SPACE PLAN	18 JAN 22
C1005	BLOCK 9A IMPERVIOUS COMPLIANCE PLAN	18 JAN 22
C1006	PUBLIC STREET NETWORK EXHIBIT	18 JAN 22
C1007	OVERALL GLEN LENNOX TREE CANOPY COVERAGE	18 JAN 22
C1008	FIRE ACCESS PLAN	18 JAN 22
C1101	UTILITY PLAN - PHASE 2	18 JAN 22
C1201	GRADING & DRAINAGE PLAN - PHASE 2	18 JAN 22
C1202	GRADING ENLARGEMENTS - PHASE 2	18 JAN 22
C1301	EROSION CONTROL & CONSTRUCTION MANAGEMENT PLAN - PHASE 2	18 JAN 22
C1302	NCG01 REQUIREMENTS - PHASE 2	18 JAN 22
C5001	SITE DETAILS - PHASE 2	18 JAN 22
C5101	UTILITY DETAILS - PHASE 2	18 JAN 22
C5102	UTILITY DETAILS - PHASE 2	18 JAN 22
C5201	STORM DRAINAGE DETAILS - PHASE 2	18 JAN 22
C5301	EROSION CONTROL DETAILS - PHASE 2	18 JAN 22
L-1.00	REQUIRED PARKS PLAN	18 JAN 22
L-1.01	LAYOUT PLAN	18 JAN 22
L-1.02	MATERIALS PLAN	18 JAN 22
L-1.03	AMENITY COURTYARD LAYOUT AND MATERIALS PLAN	18 JAN 22
L-1.04	DOG PARK LAYOUT AND MATERIALS PLAN	18 JAN 22
L-2.00	LANDSCAPE PLAN OVERALL	18 JAN 22
L-2.01	LANDSCAPE PLAN STREETSCAPE	18 JAN 22
L-2.02	LANDSCAPE PLAN COURTYARD	18 JAN 22
L-2.03	IRRIGATION PLAN	18 JAN 22
L-3.00	SITE DETAILS	18 JAN 22
L-3.01	SITE DETAILS	18 JAN 22
L-3.02	SITE DETAILS - OMIT	18 JAN 22
L-3.03	SITE DETAILS	18 JAN 22
L-3.04	SITE DETAILS	18 JAN 22
L-4.00	LANDSCAPE DETAILS	18 JAN 22
L-5.00	LIGHTING PLAN	18 JAN 22
L-5.01	LIGHTING DETAILS	18 JAN 22
C-A1.01	FLOOR PLAN - LEVEL 1	20 JUL 21
C-A1.02	FLOOR PLAN - LEVEL 2	09 APR 21
C-A1.03	FLOOR PLAN - LEVEL 3	09 APR 21
C-A1.04	FLOOR PLAN - LEVEL 4	09 APR 21
C-A1.05	FLOOR PLAN - LEVEL 5	09 APR 21
C-A1.06	FLOOR PLAN - LEVEL 6	09 APR 21
C-A1.07	FLOOR PLAN - LEVEL 7	09 APR 21
C-A1.08	OVERALL ROOF PLAN	09 APR 21
C-A4.01	BUILDING ELEVATIONS	09 APR 21
C-A4.02	BUILDING ELEVATIONS	09 APR 21
C-A5.01	BUILDING SECTIONS	09 APR 21
C-A10.01	DACP DIAGRAMS	09 APR 21
E5.0	COURTYARD LIGHTING PHOTOMETRICS	26 MAR 21
-	DUKE ENERGY LIGHTING PLAN	16 FEB 21

REVIEW DRAWING
NOT FOR CONSTRUCTION

DACP Modification
56 pages
2/10/2022
Anya Grahn, Planning Department

BALLENTINE ASSOCIATES, P.A.
221 PROVIDENCE ROAD, CHAPEL HILL, N.C. 27514
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BALLENTINE ASSOCIATES, P.A. CORPORATE SEAL 1705

NORTH CAROLINA PROFESSIONAL SEAL 22018 JAMES W. BALLENTINE

MARK	REVISIONS	DATE
A	PER DACP REVIEW COMMENTS	12 FEB 21
B	PER DACP REVIEW COMMENTS	09 APR 21
C	PER DACP REVIEW COMMENTS	20 JUL 21
D	PER CLIENT REQUESTED REVISIONS	18 JAN 22

OWNER INFORMATION
GRUBB PROPERTIES
117 EDINBURGH SOUTH DRIVE
SUITE 110
CARY, NC 27511
OWNERS REPRESENTATIVE:
JOE DYE
(919) 388-5774
FAX (000) 000-0000
EMAIL: jhdye@grubbprops.com

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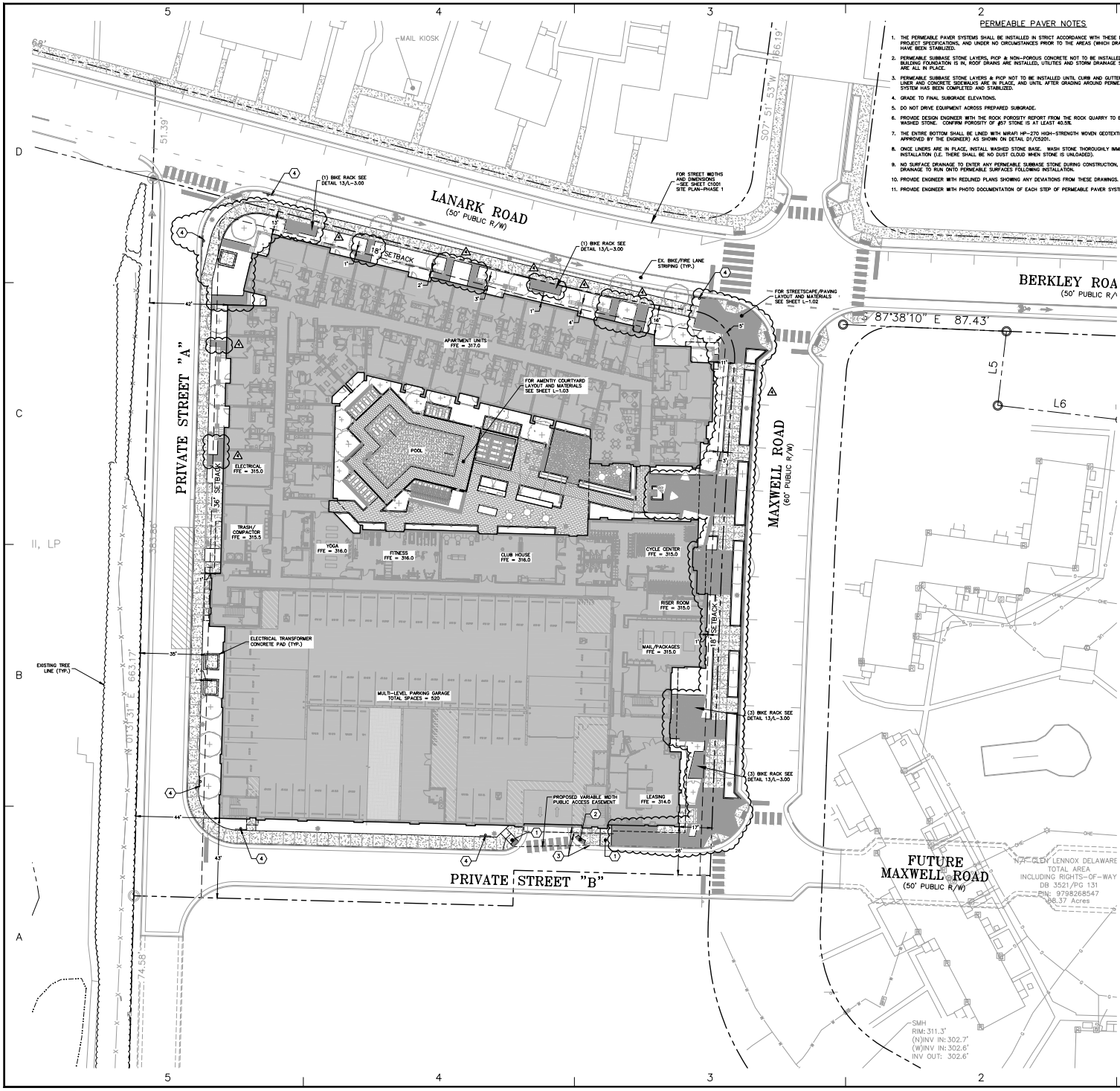
DACP SUBMITTAL #2	09 APR 21
DACP SUBMITTAL #3	20 JUL 21
DACP SUBMITTAL #4	03 SEP 21
DACP MODIFICATION #1 SUBMITTAL #1	18 JAN 22

LINK APARTMENTS CALYX
GLEN LENNOX - BLOCK 9A
CHAPEL HILL, NC

DACP DRAWINGS

JOB #: 107013.91
DATE: 12 FEB 21
SCALE: AS NOTED
DRAWN BY: D.W.S.
REVIEWED BY: G.J.R.

SHEET
G0001



PERMEABLE PAVER NOTES

1. THE PERMEABLE PAVER SYSTEMS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THESE DRAWINGS AND THE PROJECT SPECIFICATIONS, AND UNDER NO CIRCUMSTANCES PRIOR TO THE AREAS (WHICH DRAIN TO THE SYSTEM) HAVE BEEN STABILIZED.
2. PERMEABLE SUBBASE STONE LAYERS, PICP & NON-POROUS CONCRETE, NOT TO BE INSTALLED UNTIL AFTER BUILDING FOUNDATION IS IN, ROOF DRAINS ARE INSTALLED, UTILITIES AND STORM DRAINAGE STRUCTURES & PIPING ARE ALL IN PLACE.
3. PERMEABLE SUBBASE STONE LAYERS & PICP NOT TO BE INSTALLED UNTIL CURB AND GUTTER, WOVEN GEOTEXTILE LINER AND CONCRETE SIDEWALKS ARE IN PLACE, AND UNTIL AFTER GRADING AROUND PERMEABLE PAVEMENT SYSTEM HAS BEEN COMPLETED AND STABILIZED.
4. GRADE TO FINAL SUBGRADE ELEVATIONS.
5. DO NOT DRIVE EQUIPMENT ACROSS PREPARED SUBGRADE.
6. PROVIDE DESIGN ENGINEER WITH THE ROCK POROSITY REPORT FROM THE ROCK QUARRY TO BE USED FOR THE #57 WASHED STONE. CONFIRM POROSITY OF #57 STONE IS AT LEAST 40.5%.
7. THE ENTIRE BOTTOM SHALL BE LINED WITH MIRAFI HP-270 HIGH-STRENGTH WOVEN GEOTEXTILE (OR EQUIVALENT AS APPROVED BY THE ENGINEER) AS SHOWN ON DETAIL D1/C5201.
8. ONCE LINERS ARE IN PLACE, INSTALL WASHED STONE BASE. WASH STONE THOROUGHLY IMMEDIATELY PRIOR TO INSTALLATION (I.E. THERE SHALL BE NO DUST CLOUD WHEN STONE IS UNLOADED).
9. NO SURFACE DRAINAGE TO ENTER ANY PERMEABLE SUBBASE STONE DURING CONSTRUCTION, AND NO SURFACE DRAINAGE TO RUN ONTO PERMEABLE SURFACES FOLLOWING INSTALLATION.
10. PROVIDE ENGINEER WITH REDLINED PLANS SHOWING ANY DEVIATIONS FROM THESE DRAWINGS.
11. PROVIDE ENGINEER WITH PHOTO DOCUMENTATION OF EACH STEP OF PERMEABLE PAVER SYSTEM INSTALLATION.

SITE DATA TABLE

PROJECT NAME:	LINK APARTMENTS CALYX (GLEN LENNOX BLOCK 9A)
PROPERTY PIN NUMBER:	9798265134
PROPERTY LOCATION:	TOWN OF CHAPEL HILL
CURRENT LAND OWNER:	GLEN LENNOX APARTMENTS, LLC 4601 PARK ROAD, SUITE 450 CHARLOTTE, NC 28209
PROPERTY ZONING:	R-3 WITH NEIGHBORHOOD CONSERVATION DISTRICT (NCD BC) OVERLAY
SETBACKS:	LANARK = 18' (FROM BACK OF CURB) MAXWELL = 18' (FROM BACK OF CURB) PERIMETER = 35' (FROM PROPERTY LINE)
EXISTING USE:	RESIDENTIAL
PROPOSED USE:	RESIDENTIAL
PROPOSED LOT SIZE (9A):	105,772 S.F. (2.43 AC.)
TOTAL GROSS S.F. (PHASE 2):	APARTMENT BUILDING = 253,240 S.F. PARKING DECK = 176,552 S.F.
BUILDING ADDRESS:	55 MAXWELL ROAD
TOTAL PROPOSED APARTMENT UNITS:	304
EXISTING IMPERVIOUS SURFACE AREA DEMOLITION:	7,613 S.F. (PHASE 2) 124,188 S.F. (TOTAL PHASE 1 & 2)
PROPOSED IMPERVIOUS SURFACE AREA ONSITE:	70,900 S.F.* (PHASE 2) 89,900 S.F.* (TOTAL PHASE 1 & 2) *INCLUDES IMPERVIOUS ALLOWANCE
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ACCESSIBLE PARKING SUMMARY:	REQUIRED: 11 SPACES	PROVIDED: 15 SPACES (INCLUDES 2 VAN)
BICYCLE PARKING SUMMARY:	REQUIRED: 1/4 DU = .76 SPACES 90% CLASS I 10% CLASS II	PROVIDED: CYCLE CENTER: CLASS I = 122 PARKING DECK: CLASS I = 108 OUTSIDE RACKS: CLASS II = 16
	TOTAL REQUIRED: CLASS I: 68 SPACES CLASS II: 8 SPACES	TOTAL PROVIDED: CLASS I: 230 SPACES CLASS II: 16 SPACES

NOTES

1. ALL DRIVE AISLES AND PARKING LOTS SHALL BE CONSTRUCTED TO TOWN OF CHAPEL HILL STANDARDS.
2. THE TOWN OF CHAPEL HILL, ITS ASSIGNS OR ORANGE COUNTY SHALL NOT BE RESPONSIBLE FOR ANY PAVEMENT DAMAGE THAT MAY RESULT FROM SERVICE VEHICLES.
3. ALL WALKWAYS SHALL BE CONSTRUCTED WITH A 2% CROSS SLOPE IN THE DIRECTION SHOWN ON THE GRADING PLAN.
4. PRIOR TO INSTALLATION OF ANY STREET SIGNS OR MARKINGS, THE DEVELOPER WILL CONTACT THE TOWN'S PUBLIC WORKS DEPARTMENT FOR AN ON-SITE APPROVAL OF THE FINAL DESIGN AND PLACEMENT.
5. ALL PAVEMENT MARKINGS WITHIN THE PUBLIC RIGHT-OF-WAY WILL BE INSTALLED USING A THERMAL PLASTIC MATERIAL WITH A MINIMUM THICKNESS OF 125 MILS.
6. THE DEVELOPER WILL BE RESPONSIBLE FOR INSTALLATION OF ALL REQUIRED STREET SIGNS AND MARKINGS AND FOR ANY REPAIRS TO THESE SIGNS AND MARKINGS NECESSARY PRIOR TO THE FINAL ACCEPTANCE OF A NEW OR IMPROVED PUBLIC STREET FOR TOWN MAINTENANCE.
7. THE PERMEABLE PAVEMENT SYSTEM SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THESE DRAWINGS AND THE PROJECT SPECIFICATIONS, AND UNDER NO CIRCUMSTANCES PRIOR TO THE AREAS (WHICH DRAIN TO THE SYSTEM) HAVE BEEN STABILIZED.

PAVING LEGEND

- DECORATIVE CONCRETE SIDEWALK DETAIL 1/L-3.00
- PERMEABLE BRICK PAVERS TYPE A HERINGBONE DETAIL 2/L-3.00
- BRICK PAVERS TYPE A HERINGBONE DETAIL 1/L-3.03
- PERMEABLE BRICK PAVERS TYPE A RUNNING BOND DETAIL 2/L-3.00
- BRICK PAVERS TYPE A RUNNING BOND DETAIL 1/L-3.03

PLAN KEY NOTES

DETAIL REFERENCE	#	
A1 / C5001	1	ACCESSIBLE RAMP
A1 / C5001	2	DETECTABLE WARNING DOMES (TYP.)
B2 / C5001	3	6" PIPE BOLLARD (TYP.)
A5 / C5001	4	"NO PARKING-FIRE LANE" SIGN

DRAWING LEGEND

SYMBOL/ABBREVIATION

EXISTING	PROPOSED	DESCRIPTION
		PROPERTY LINE
		RIGHT-OF-WAY LINE
		ADJOINER PROPERTY LINE
		EASEMENT LINE
		FENCE LINE
		OVERHEAD ELECTRIC LINE
		EXISTING IRON PIPE
		IRON PIPE SET
		CALCULATED POINT
		SIGN
		POWER POLE

NC GRID NAD 83

SITE PLAN - PHASE 2

20 0 10 20 40

(GRAPHIC SCALE IN FEET)
1 inch = 20 ft.

REVIEW DRAWING
NOT FOR CONSTRUCTION

BALLENTINE ASSOCIATES P.A.
221 PROVIDENCE ROAD, CHAPEL HILL, N.C. 27514
(919) 929 - 0481 (919) 489 - 4789

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BALLENTINE ASSOCIATES, P.A. CORPORATE SEAL C328 NORTH CAROLINA

NORTH CAROLINA PROFESSIONAL SEAL 19 JAN 22 DAVID J. BALLENTINE III

MARK	REVISIONS	DATE
A	PER DACP REVIEW COMMENTS	16 APR 21
B	PER DACP REVIEW COMMENTS	12 AUG 21
C	PER DACP REVIEW COMMENTS	03 SEP 21
D	PER CLIENT REQUESTED REVISIONS	19 JAN 22

OWNER INFORMATION
GRUBB PROPERTIES
117 EDINBURGH SOUTH DRIVE
SUITE 110
CARY, NC 27511
OWNERS REPRESENTATIVE:
JOE DYE
(919) 388-5774
FAX (000) 000-0000
EMAIL: jdye@grubbproperties.com

ISSUED	DATE
DACP SUBMITTAL #1	12 FEB 21
DACP SUBMITTAL #2	30 JUL 21
DACP SUBMITTAL #3	03 SEP 21
DACP SUBMITTAL #4	03 SEP 21
DACP MODIFICATION #1 SUBMITTAL #1	19 JAN 22

LINK APARTMENTS CALYX
GLEN LENNOX - BLOCK 9A
CHAPEL HILL, NC

DACP DRAWINGS

JOB #: 107013.91
DATE: 12 FEB 21
SCALE: AS NOTED
DRAWN BY: D.M.S.
REVIEWED BY: G.J.R.

SHEET
C1001

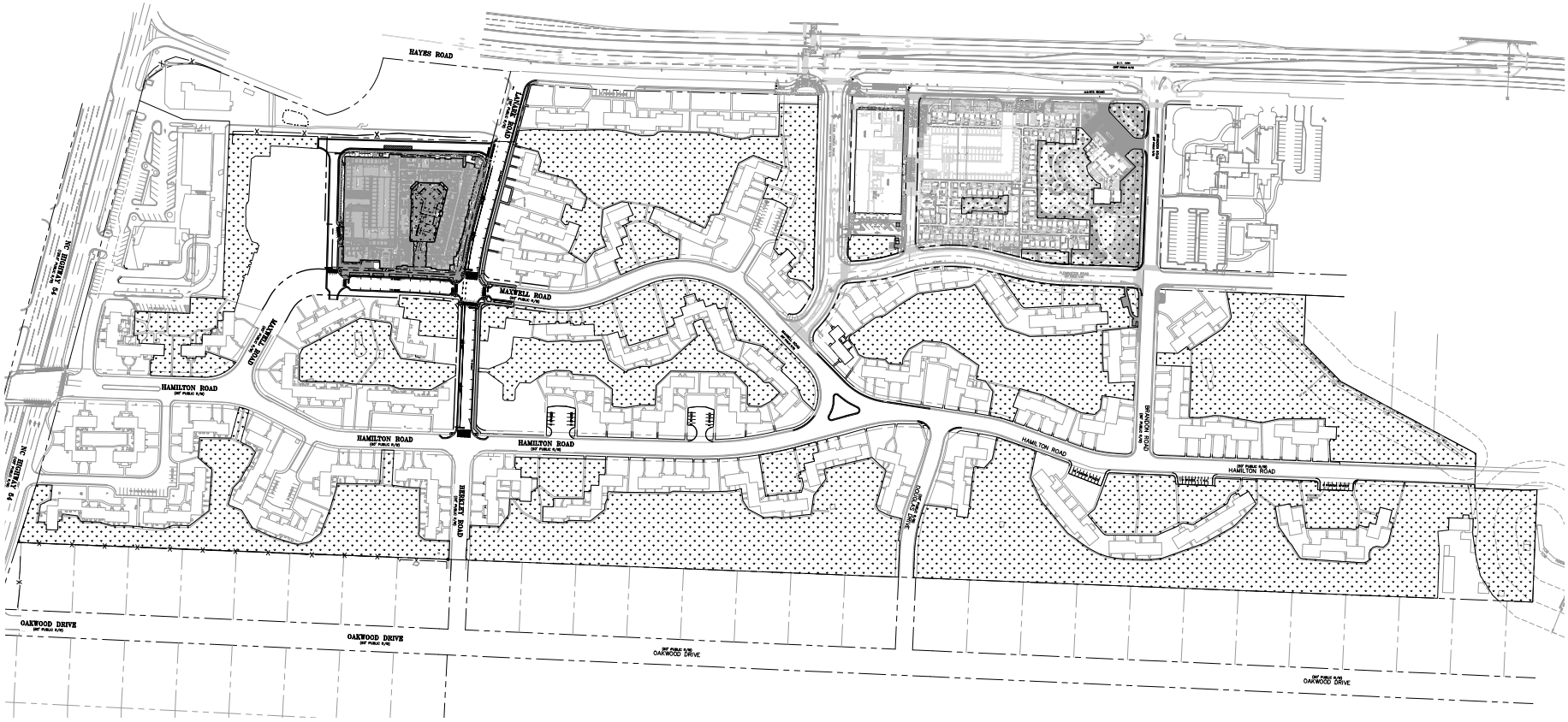
DRAWING LEGEND

DESIGNATED OPEN SPACE AREAS

OPEN SPACE TABLE			
TOTAL PROPERTY AREA:	3,091,889 S.F.	70.98 AC	100.0%
OPEN SPACE: PRE-BLOCK 9A	1,238,213 S.F.	28.43 AC	40.0%
OPEN SPACE: REQUIRED	1,030,630 S.F.	23.66 AC	33.0%
OPEN SPACE: POST-BLOCK 9A	1,204,196 S.F.	27.64 AC	38.9%

NOTES:

1. THE INTENT OF THIS PLAN IS TO DEMONSTRATE THAT THE GLEN LENNOX PROPERTY OVERALL WILL CONTAIN A MINIMUM OF 33% OPEN SPACE IN ACCORDANCE WITH SECTION 5.8(B) OF THE DEVELOPMENT AGREEMENT.
2. IT IS NOT THE INTENT OF THIS DOCUMENT TO SHOW EVERY SQUARE FOOT OF OPEN SPACE ON THE PROPERTY, BUT TO DOCUMENT THAT THE PROPERTY WILL REMAIN IN COMPLIANCE AT THE COMPLETION OF THE CURRENT PHASE.



NC GRID NAD 83

OPEN SPACE PLAN

(GRAPHIC SCALE IN FEET)
1 inch = 100 ft.

REVIEW DRAWING
NOT FOR CONSTRUCTION

BALLENTINE ASSOCIATES P.A.
221 PROVIDENCE ROAD, CHAPEL HILL, N.C. 27514
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BALLENTINE ASSOCIATES, P.A. CORPORATE SEAL C328 CHAPEL HILL, NORTH CAROLINA

NORTH CAROLINA PROFESSIONAL SEAL 19 JAN 22 DAVID J. SMITH

REVISIONS		
NUMBER	REVISIONS	DATE
1	PER DACP REVIEW COMMENTS	18 APR 21
2	PER DACP REVIEW COMMENTS	12 JUL 21
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(300) 000-0000
EMAIL: joe@grubbproperties.com

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5	DACP MODIFICATION #1 SUBMITTAL #1	19 JAN 22

LINK APARTMENTS CALYX
GLEN LENNOX - BLOCK 9A
CHAPEL HILL, NC

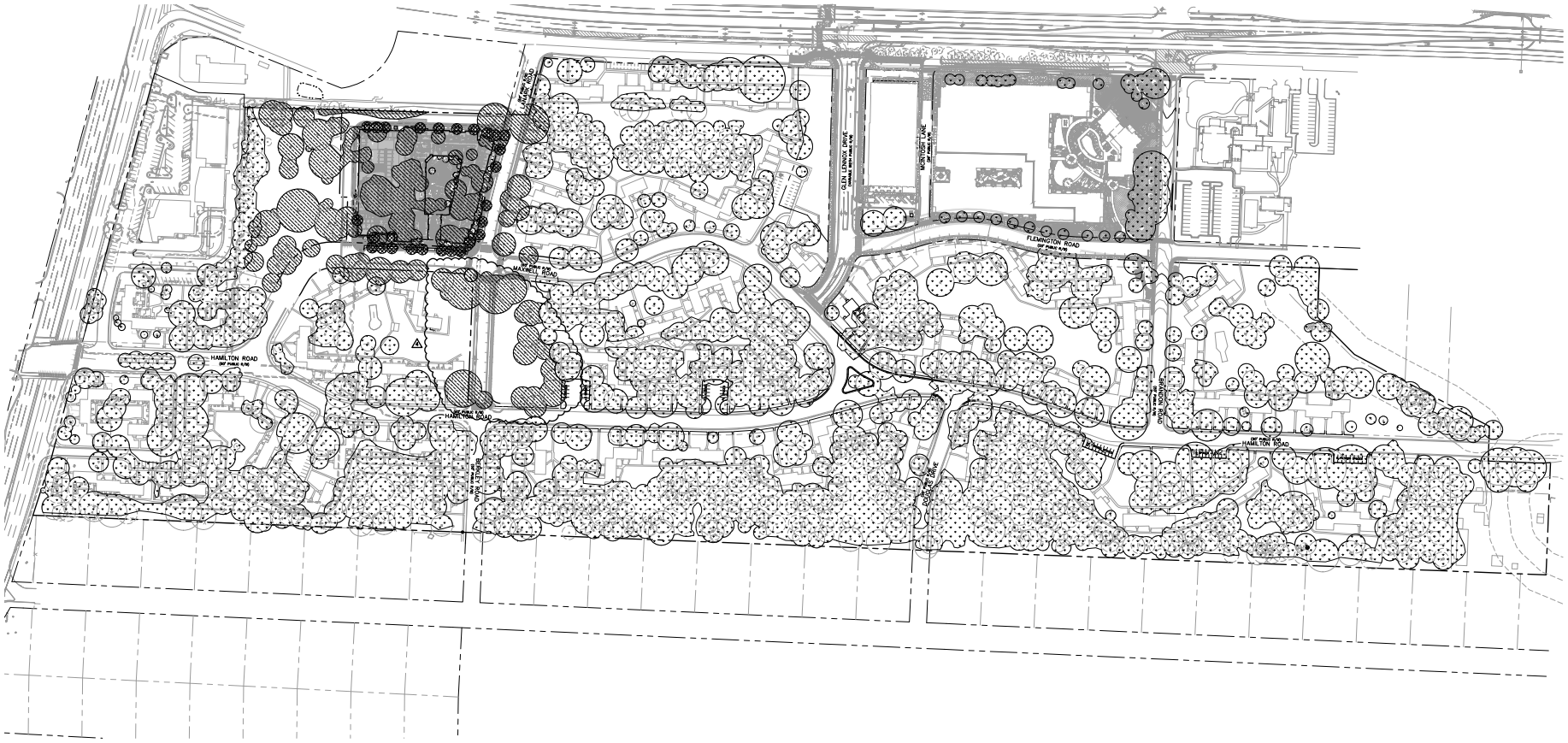
DACP EXHIBITS

JOB #: 107013.91
DATE: 12 FEB 21
SCALE: AS NOTED
DRAWN BY: D.M.S.
REVIEWED BY: G.J.R.

SHEET
C1004

NOTES

1. TREES SHOWN ARE BASED ON A TREE SURVEY UPDATE PREPARED BY BALLENTINE ASSOCIATES, DATED SEPTEMBER 20, 2019.



DRAWING LEGEND

- EXISTING TREE CANOPY
- PROPOSED NEW TREE CANOPY
- DEMO TREE CANOPY

TREE CANOPY COVERAGE TABLE

TOTAL PROPERTY AREA:	3,091,928 S.F.	70.98 AC.
NET PROPERTY AREA (LESS R.O.W., UTILITY EASEMENT, ACTIVE RECREATION):	2,859,701 S.F.	65.65 AC. (92.49%)
TREE CANOPY REQUIRED:	857,910 S.F.	19.69 AC. (30%)
EXISTING TREE CANOPY:	1,576,073 S.F.	36.18 AC. (50.97%)
DEMO TREE CANOPY:	173,403 S.F.	3.98 AC. (5.61%)
3 PROPOSED NEW TREE CANOPY:	13,024 S.F.	0.30 AC. (0.42%)
TOTAL TREE CANOPY PROVIDED:	1,415,694 S.F.	32.50 AC. (45.78%)

NC GRID NAD 83

OVERALL GLEN LENNOX TREE CANOPY COVERAGE

100 0 50 100 200

(GRAPHIC SCALE IN FEET)
1 inch = 100 ft.

REVIEW DRAWING
NOT FOR CONSTRUCTION

BALLENTINE ASSOCIATES, P.A.
221 PROVIDENCE ROAD, CHAPEL HILL, N.C. 27514
(919) 929 - 0481 (919) 489 - 4789

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BALLENTINE ASSOCIATES, P.A. CORPORATE SEAL C309 NORTH CAROLINA

NORTH CAROLINA PROFESSIONAL SEAL 19 JAN 22 GREGORY J. LUCAS

NUMBER	REVISIONS	DATE
1	PER DACP REVIEW COMMENTS	16 APR 21
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LINK APARTMENTS CALYX
GLEN LENNOX - BLOCK 9A
CHAPEL HILL, NC

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JOB #: 107013.91
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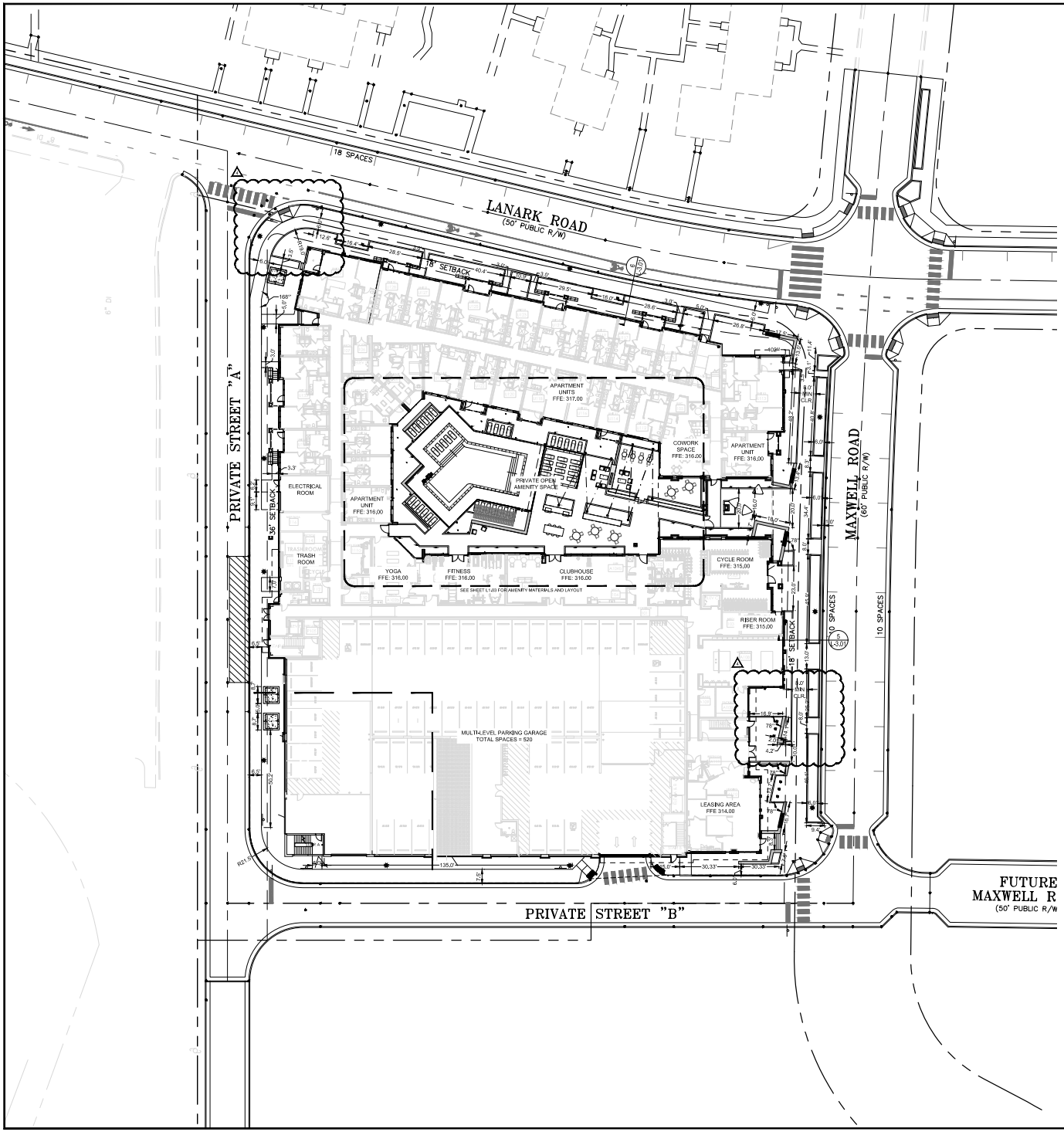
SCALE: AS NOTED
DRAWN BY: D.M.S.
REVIEWED BY: G.J.R.

SHEET
C1007



LAYOUT NOTES

A. ALL PAVING CUTS SHALL BE MADE BY SAW CUTS.

B. EXISTING ELEVATIONS SHALL BE FIELD VERIFIED AND MATCHED.

C. CONTRACTOR TO COORDINATE ANY CHANGES IN FIELD CONDITIONS THAT MAY REVISE THE DESIGN WITH DESIGNER OF RECORD PRIOR TO PROCEEDING.

D. ALL DIMENSIONS ARE TO FACE OF CURB OR TO FINISHED FACE OF BUILDING UNLESS NOTED OTHERWISE.

E. ALL WORK WITHIN THE RIGHT OF WAY OF ALL ROADS AND HIGHWAYS SHALL BE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE APPROPRIATE STATE AND/OR LOCAL JURISDICTION. CONTRACTOR SHALL SECURE ALL NECESSARY DRIVEWAY AND ENCROACHMENT PERMITS PRIOR TO CONSTRUCTION. IF NECESSARY, CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL DURING CONSTRUCTION WITHIN THE RIGHT OF WAY, PER WORK AREA TRAFFIC CONTROL HANDBOOK (W.A.T.C.H.) STANDARDS.

F. A MINIMUM OF 18" IS TO BE MAINTAINED BETWEEN ALL PAVED SURFACES AND TOPS OF FOOTINGS.

G. REFER TO CIVIL DRAWINGS FOR ADDITION SITE LAYOUT INFORMATION.

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NC GRID NAD 83

LAYOUT PLAN

20 0 10 20 40

(GRAPHIC SCALE IN FEET)
1 inch = 20 ft.

BALLENTINE ASSOCIATES P.A.
221 PROVIDENCE ROAD, CHAPEL HILL, N.C. 27514
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CERT. NO. C-0033

1-18-2022

NUM	REVISIONS	DATE
1	PER DACP REVIEW COMMENTS	16 APR 21
2	PER DACP REVIEW COMMENTS	14 JUL 21
3	PER DACP REVIEW COMMENTS	03 SEP 21
4	PER CLIENT REQUESTED REVISIONS	18 JAN 22

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117 EDINBURGH SOUTH DRIVE
SUITE 110
CARY, NC 27511
OWNERS REPRESENTATIVE:
JOE DYE
(919) 388-5774
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EMAIL joe@grubbproperties.com

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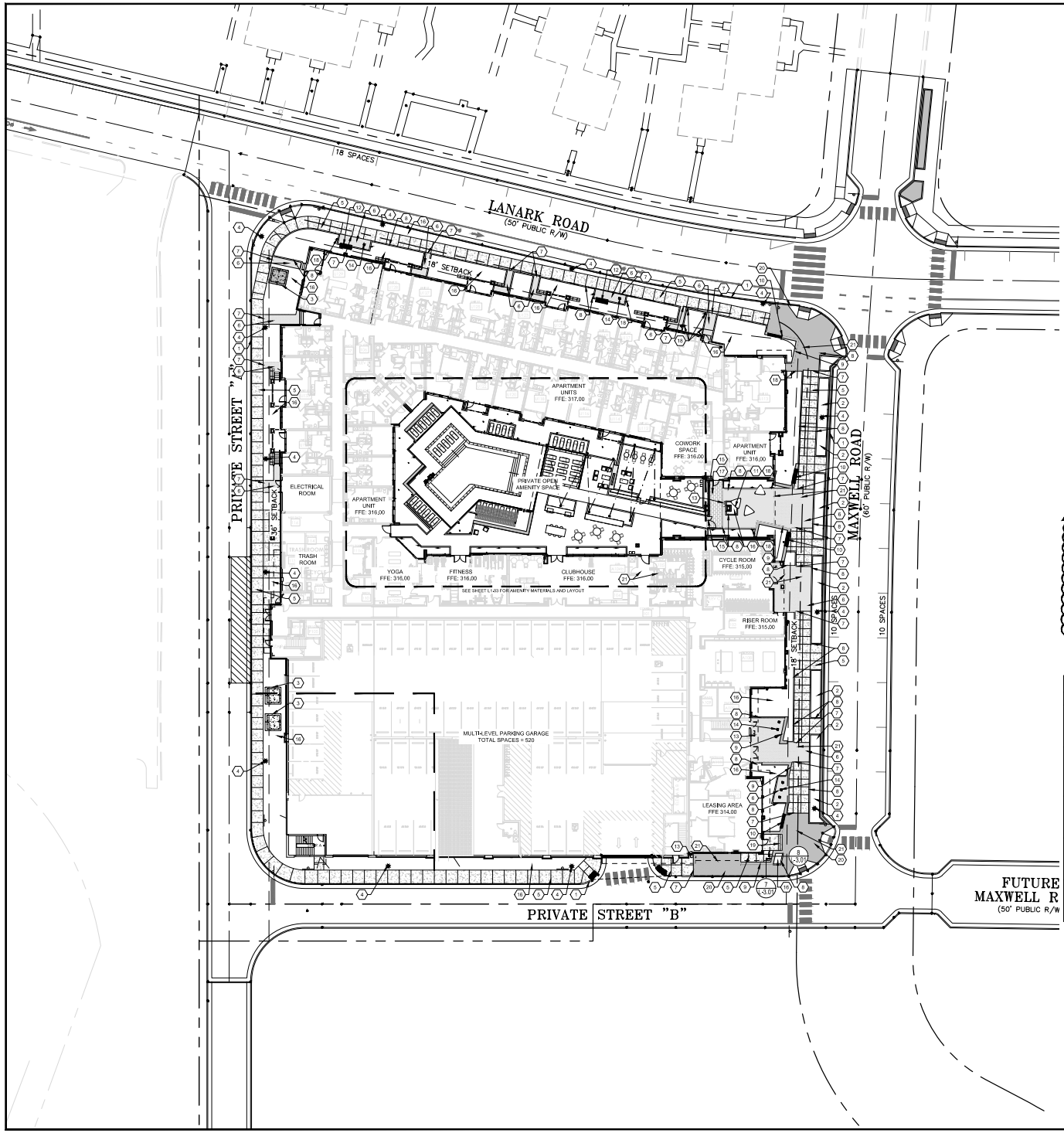
LINK APARTMENTS CALYX
GLEN LENNOX – BLOCK 9A
CHAPEL HILL, NC

DACP DRAWINGS

JOB #: 107013.91
DATE: 12 FEB 21
SCALE: AS NOTED
DRAWN BY: A.E.W.
REVIEWED BY: R.P.J.

SHEET
L–1.01



MATERIALS LEGEND

1. CONCRETE CURB AND GUTTER. SEE CIVIL PLANS FOR DETAILS
2. CURBED PLANTERS WITH SUBSURFACE DRAINAGE CONNECTING TO STORM SYSTEM, CURB TO TAPER FROM 6" HEIGHT TO 2" HEIGHT AT BACK OF 2'-6" CURB AND GUTTER. SEE DETAIL 5/L-3.00 AND DETAIL 3/L-3.00. SEE CIVIL PLANS FOR STORM CONNECTIONS
3. TRANSFORMER PAD. SEE CIVIL PLANS.
4. 12' PEDESTRIAN STREET POLE LIGHT. SEE DETAIL 1/L-5.01. SEE L-5.00 FOR QUANTITY AND SPECIFICATION
5. CONCRETE SIDEWALK - SEE NOTE A BELOW FOR SPECIFICATION. SEE DETAIL 1/L-3.00
6. BRICK PAVERS TYPE A RUNNING BOND WITH SOLDIER EDGE COURSE AS SHOWN - SEE MATERIALS SCHEDULE BELOW FOR SPECIFICATION. SEE DETAIL 2/L-3.00. SEE DETAIL 14/L-3.00 FOR PAVER ENLARGEMENT.
7. CONCRETE SIDEWALK AND PERMEABLE PAVER TRANSITION - SEE DETAIL 11/L-3.00
8. CAST IN PLACE CONCRETE CURB. SEE DETAIL 4/L-3.00
9. CAST IN PLACE CONCRETE SEAT WALL - SEE DETAIL 6/L-3.00
10. CAST IN PLACE CONCRETE SEAT WALL WITH BENCH - SEE DETAIL 7/L-3.00
11. EXTASI BENCH SEATING, OR APPROVED EQUAL - SEE DETAIL 9/L-3.00
12. BENCH - SEE DETAIL 12/L-3.00
13. LITTER AND RECYCLING RECEPTACLES (TOTAL OF 3 SETS) - SEE DETAIL 10/L-3.00
14. BIKE RACKS - SEE DETAIL 13/L-3.00
15. DECORATIVE POOL ENCLOSURE FENCE AND GATE. SEE DETAILS 1&2/L-3.01
16. PLANTING AREA - SEE PLANTING PLAN
17. CONCRETE PAVER TYPE B - SEE MATERIALS SCHEDULE BELOW FOR SPECIFICATION. SEE DETAIL 1/L-3.03
18. LANDSCAPE BOLLARD LIGHTS - SEE DETAIL 4/L-5.01. SEE L-5.00 FOR QUANTITY AND SPECIFICATION
19. CAST IN PLACE CONCRETE STAIRS - SEE DETAIL 9/L3.01
20. BRICK PAVERS TYPE A HERRINGBONE PATTERN WITH SOLDIER EDGE COURSE AS SHOWN - SEE MATERIALS SCHEDULE BELOW FOR SPECIFICATION. SEE DETAIL 2/L-3.00. FINAL PAVING PATTERN TO BE DETERMINED BASED ON DEVELOPMENT PAVEMENT STANDARDS.
21. TRANSITION FROM BRICK PAVERS TO PERMEABLE BRICK PAVERS - SEE DETAIL 11/L3.01

STREETSCAPE MATERIALS NOTES

A. CONCRETE PAVING: TO BE LIGHT DUTY CONCRETE PAVING WITH SAW CUT SCORE JOINTS. EXPANSION JOINTS TO BE LOCATED EVERY 30'-0" OR AS INDICATED ON THE PLAN. SAW CUTS TO BE 1" IN DEPTH. SEE PLAN FOR SAW CUT PATTERN.

B. SEE IRRIGATION PLAN L2.03 FOR IRRIGATION NOTES.

C. SEE LIGHTING PLAN L5.00 FOR LIGHTING SPECIFICATIONS, QUANTITIES, AND NOTES.

D. ALL MATERIALS COLOR AND FINISHES TO BE APPROVED BY LANDSCAPE ARCHITECT.

MATERIALS SCHEDULE

	MATERIAL	TYPE	COLOR	MANUFACTURER
	PAVER TYPE A RUNNING BOND	BRICK PAVER	ENGLISH FULL RANGE	PINE HALL BRICK
	PAVER TYPE B	ARTLINE UNIT PAVER	FRENCH GREY	UNILOCK
	PAVER TYPE A HERRINGBONE	BRICK PAVER	ENGLISH FULL RANGE	PINE HALL BRICK
	PAVER TYPE A RUNNING BOND	PERMEABLE BRICK PAVER	ENGLISH FULL RANGE	PINE HALL BRICK
	PAVER TYPE A HERRINGBONE	PERMEABLE BRICK PAVER	ENGLISH FULL RANGE	PINE HALL BRICK

FURNISHINGS SCHEDULE

TYPE	NAME	QUANTITY	SIZE	COLOR	MANUFACTURER	NOTES
BENCH	CANTILEVER BACK GENERATION 50 BENCH	2	26" X 72" X 32.75"	THERMORY ASH	LANDSCAPE FORMS	BENCH TO BE SURFACE MOUNTED TO CONCRETE FOOTERS THAT MEET MANUFACTURERS SPECIFICATIONS.
WALL TOP BENCHES	MONOLINE TOPPER LEG	4	13.5" X 72" X 21"	THERMORY ASH	SITE PIECES	BENCHES TO BE SURFACE MOUNTED TO CAST IN PLACE CONCRETE WALL. INSTALL PER MANUFACTURER'S SPECIFICATIONS
LITER AND RECYCLING RECEPTACLES	KNIGHT LITTER RECEPTACLES	6	21" X 21"	STANDARD COLOR AND FINISH	FORMS + SURFACES	
BIKE RACK	CAPITOL BIKE RACK	8	4" X 5" X 34"	STANDARD COLOR AND FINISH	FORMS + SURFACES	BIKE RACK TO BE SURFACE MOUNTED TO CONCRETE FOOTERS THAT MEET MANUFACTURERS SPECIFICATIONS.
DECORATIVE BENCH	EXTASI BENCH	3	60" X 65" X 18"	STANDARD COLOR AND FINISH	LANDSCAPE FORMS	BENCHES TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.

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NC GRID NAD 83

MATERIALS PLAN

20 0 10 20 40
(GRAPHIC SCALE IN FEET)
1 inch = 20 ft.

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CERT. NO. C0033
NORTH CAROLINA PROFESSIONAL SEAL
LANDSCAPE ARCHITECTURE
LICENSED
1-18-2022

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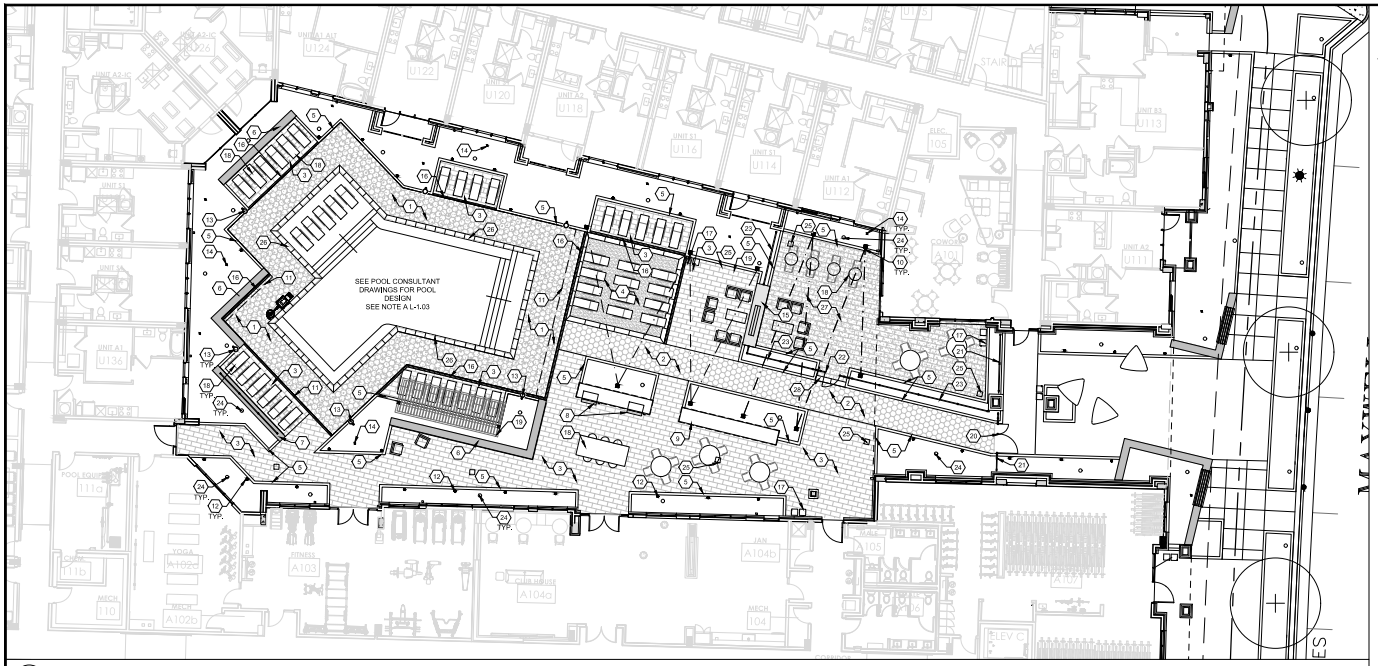
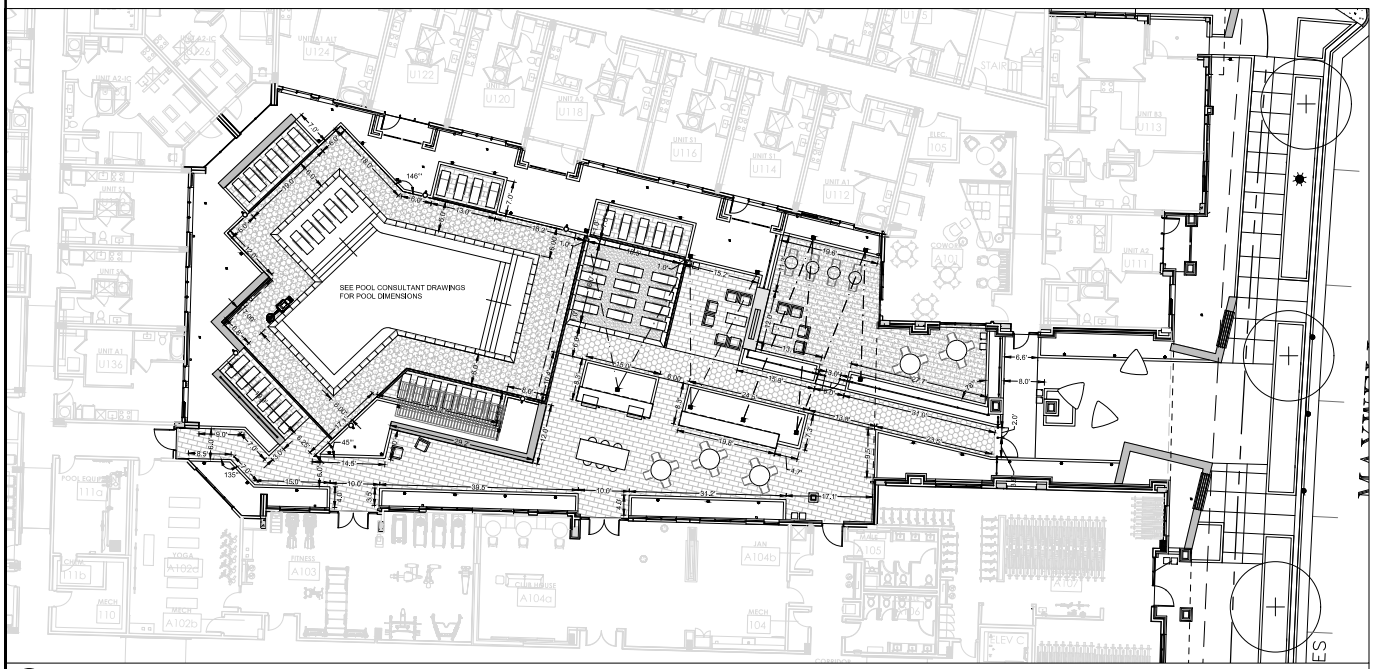


2 POOL AMENITY MATERIALS PLAN
SCALE: 1" = 10'



1 POOL AMENITY LAYOUT PLAN
SCALE: 1" = 10'

SCHEMATIC AMENITY MATERIALS LEGEND

1. UNIT PAVER TYPE A OVER CONCRETE SUBBASE - SEE MATERIALS SCHEDULE BELOW, SEE DETAIL 2/L-3.03
2. UNIT PAVER TYPE A OVER AGGREGATE SUBBASE - SEE MATERIALS SCHEDULE BELOW, SEE DETAIL 1/L-3.03 & 10/L3.01
3. UNIT PAVER TYPE B OVER AGGREGATE SUBBASE - SEE MATERIALS SCHEDULE BELOW, SEE DETAIL 1/L-3.03
4. SYNTHETIC TURF - SEE MATERIALS SCHEDULE BELOW - SEE DETAIL 3 & 4/L-3.03
5. CAST IN PLACE CONCRETE CURBING - SEE DETAIL 4/L-3.00
6. MASONRY SEAT WALL WITH CAST STONE CAP - SEE DETAIL 6 & 7/L-3.03
7. MASONRY SEAT WALL WITH METAL SCREEN - SEE DETAIL 8/L-3.03
8. (2) 36" NATURAL GAS GRILLS - SEE NOTES ON DETAIL 11 & 13/L-3.03 AND DETAIL 1/L-3.04
9. PREP COUNTER - SEE DETAILS 14/L-3.03 AND DETAIL 2/L3.04. SEE NOTES ON DETAIL 11/L-3.03
10. OVERHEAD MARKET LIGHTING - SEE LIGHTING PLAN FOR SPECIFICATION. SEE DETAIL 10/L-3.03 FOR MARKET LIGHTING POLE FOUNDATION DETAIL
11. 6" POOL DECK CLEARANCE
12. LANDSCAPE BOLLARD LIGHTING, TYP. - SEE LIGHTING PLAN FOR SPECIFICATION AND QUANTITY - SEE DETAIL 4/L-5.01
13. COURTYARD POLE LIGHTS, TYP. - SEE LIGHTING PLAN FOR SPECIFICATION AND QUANTITY - SEE DETAIL 2/L-5.01
14. TREE UPLIGHTS, TYP. - SEE LIGHTING PLAN FOR SPECIFICATION AND QUANTITY - SEE DETAIL 5/L-5.01
15. OUTDOOR GAS FIREPLACE FEATURE WALL - SEE DETAILS 3/L-3.04, SEE NOTE B BELOW
16. 5" STAINLESS STEEL SLIP RESISTANT HEEL PROOF TRENCH DRAIN - SEE DETAIL 4 & 6/L-3.03, 5/L3.04 AND NOTE E BELOW
17. LITTER AND RECYCLING RECEPTACLES (TOTAL OF 3 SETS) - SEE DETAIL 10/L-3.00
18. SITE FURNISHINGS - BY OTHERS
19. OVERHEAD PERGOLA BY STRUXTURES OR APPROVED EQUAL - SEE NOTE D BELOW.
20. POOL GATE 1 - SEE DETAIL 1/L-3.01 - SEE NOTE C BELOW
21. POOL FENCE TYPE 1 - SEE DETAIL 2/L-3.01
22. POOL GATE 2 - SEE DETAIL 3/L-3.01 -SEE NOTE C BELOW
23. POOL FENCE TYPE 2 - SEE DETAIL 4/L-3.01
24. ATRIUM GRATE (TOTAL OF 20) - SEE CIVIL PLANS FOR RIM ELEVATIONS. SEE NOTE G BELOW
25. AREA DRAIN (TOTAL OF 5) - SEE CIVIL PLANS FOR RIM ELEVATIONS AND NOTE F AND G BELOW
26. TERRAZZO POOL COPING. ALL CORNERS TO BE MITER JOINTS. COPING TO SLOPE AWAY FROM POOL EDGE - SEE DETAIL 5/L-3.03
27. UNIT PAVER TYPE C -PERMEABLE PAVERS. - SEE MATERIALS SCHEDULE BELOW. SEE DETAIL 2/L-3.00
28. CAST IN PLACE CONCRETE BAND TO SEPARATE PERMEABLE PAVERS FROM UNIT PAVERS OVER AGGREGATE BASE.

AMENITY MATERIALS NOTES

A. POOL AS INDICATED IS SCHEMATIC. FINAL POOL DRAWINGS TO BE PROVIDED BY POOL CONSULTANT. POOL TO INCLUDE SUNSHELFS AS INDICATED. HANDRAILS AND LADDERS TO BE STAINLESS STEEL, FROM SR SMITH ARTISAN SERIES. POOL TILE TO BE DECORATIVE PORCELAIN MOSAIC 1" HEXAGON TILE BY CLASSIC POOL TILE (ATLANTA, GA) OR APPROVED EQUAL, ALL TILE TO BE APPROVED BY LANDSCAPE ARCHITECT. COLOR OF TILE TO MATCH BUILDING ACCENT COLOR AND BE APPROVED BY LANDSCAPE ARCHITECT. COPING TO BE TERRAZZO. COLOR TO BE DETERMINED. PLASTER TO BE WHITE QUARTZ. ADA POOL LIFT TO HAVE WHITE FRAME AND WHITE SEAT. TYPICAL OF FREEDOM BY SPECTURM AQUATICS OR APPROVED EQUAL. (2) FROST PROOF HOSE BIBS TO BE PROVIDED FOR POOL DECK. HOSE BIBS TO BE LOCATED TO ALLOW ACCESS TO ALL PAVING WITHIN POOL AREA USING A 100' HOSE. SEE MEP PLANS FOR HOSE BIB LOCATIONS

B. FIRE FEATURE WALL TO BE FROM THE DAVINCI SEE THRU FIRE PLACE COLLECTION. FIRE PIT INSERT TO INCLUDE ELECTRONIC IGNITION, E-STOP AND 2-HOUR TIMER. CONTRACTOR TO COORDINATE LOCATION OF TIMER AND E-STOP WITH LANDSCAPE ARCHITECT DURING CONSTRUCTION. FIRE PIT INSERT TO BE INSTALLED PER MANUFACTURE'S SPECIFICATIONS AND COORDINATED WITH MEP, ELECTRIC AND NG CONNECTIONS REQUIRED FOR EACH FIRE PIT INSERT. CONTRACTOR TO COORDINATE WITH MEP. LOCATION OF AIR INTAKES AND EXHAUST MANIFOLD TO BE COORDINATED WITH FIREPLACE MANUFACTURER

FIRE FEATURE WALL TO BE MASONRY, REINFORCED CMU WITH BRICK VENEER TO MATCH ARCHITECTURE, COLOR TO BE DETERMINED, FINAL DESIGN TO BE DETERMINED.

C. POOL GATES TO BE COMMERCIAL GRADE TEMPERED GLASS BY STYLEGUARD OR APPROVED EQUAL. POOL GATE TO BE A MIN. OF 48" ABOVE GRADE AS MEASURED ON EXTERIOR SIDE OF THE BARRIER. THE DISTANCE BETWEEN TOP AND BOTTOM HORIZONTAL MEMBERS IS 45" OR GREATER. POOL GATE TO MEET ALL NC POOL CODES. SEE LAYOUT PLAN FOR GATE WIDTHS. REFER TO GATE MANUFACTURER SPECIFICATION FOR STANDARD OUT TO OUTS. WHERE RELEASE LATCH MECHANISM IS LESS THAN 54" ABOVE BOTTOM GATE RAIL, PROVIDE LEVER HANDLE LATCH WITH KEY / KEY FOB READER ACCESS CONTROL ON EXTERIOR SIDE. RELEASE LATCH MECHANISM POOL SIDE SHALL BE SET AT LEAST 3" BELOW TOP OF GATE. GATE AND FENCE SHALL HAVE A MAXIMUM 1/2" OPENINGS WITHIN 18" OF LATCH RELEASE. PROVIDE TEMPERED GLASS WITH MAXIMUM 1/2" OPENINGS TO 18" MIN. EACH SIDE OF LATCH RELEASE.

D. PERGOLA STRUCTURE: TO BE FROM STRUCXTURE PRODUCT LINE AND MEET THE DIMENSIONS SHOWN ON THE PLAN. EACH PERGOLA TO INCLUDE OVERHEAD LIGHTING AND FANS. FOOTING LOCATION AND DESIGN TO BE COORDINATED WITH STRUCTURAL ENGINEER. FINAL DESIGN TO BE COORDINATED WITH ARCHITECT AND STRUCTURAL ENGINEER. PERGOLA TO BE DELEGATED DESIGN. CONTRACTOR TO SUBMIT FULL SHOP DRAWINGS FOR REVIEW AND APPROVAL TO LANDSCAPE ARCHITECT.

E. TRENCH DRAIN: TO BE A 5" STAINLESS STEEL SLIP RESISTANT TRENCH DRAIN. TRENCH DRAINS TO TIE INTO STORM SYSTEM. ALL CONNECTIONS TO BE COORDINATED WITH CIVIL ENGINEER.

F. AREA DRAINS TO BE NDS 8"-12" AREA DRAIN OR APPROVED EQUAL. ALL AREA DRAINS TO TIE INTO STORM SYSTEM. ALL CONNECTIONS AND INVERTS TO BE COORDINATED WITH CIVIL ENGINEER. AREA DRAINS TO MATCH PAVING COLOR IN WHICH IT WILL BE INSTALLED.

G. ALL LANDSCAPE AREAS / PLANTERS TO HAVE SUBSURFACE DRAINAGE. ALL SUBSURFACE DRAINAGE TO TIE INTO STORM SYSTEM. SEE CIVIL PLANS FOR INVERTS AND TIE IN LOCATIONS.

MATERIALS SCHEDULE

	MATERIAL	TYPE	COLOR	MANUFACTURER	NOTES
	UNIT PAVER TYPE A	HEXAGON PAVERS	FROM STANDARD COLOR AND FINISH PALETTE	UNILOCK	INSTALL PER MANUFACTURER'S SPECIFICATIONS
	UNIT PAVER TYPE B	ARTLINE PAVERS	FROM STANDARD COLOR AND FINISH PALETTE	UNILOCK	INSTALL PER MANUFACTURER'S SPECIFICATIONS
	UNIT PAVER TYPE C	ECO-LINE PERMEABLE PAVERS	FROM STANDARD COLOR AND FINISH PALETTE	UNILOCK	INSTALL PER MANUFACTURER'S SPECIFICATIONS
	SYNTHETIC LAWN	X-SERIES	SYNAUGUSTINE X47	SYNLAWN	INSTALL PER MANUFACTURER'S SPECIFICATIONS

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NC GRID NAD 83

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AMENITY COURTYARD LAYOUT AND MATERIALS PLAN

10 0 5 10 20
(GRAPHIC SCALE IN FEET)
1 inch = 10 ft.

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RICHARD PAUL JOHNSON III
REGISTERED LANDSCAPE ARCHITECT
NO. 5003A
STATE OF NORTH CAROLINA

1-18-2022

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EMAIL joe@grubbproperties.com

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DACP DRAWINGS

JOB #: 107013.91
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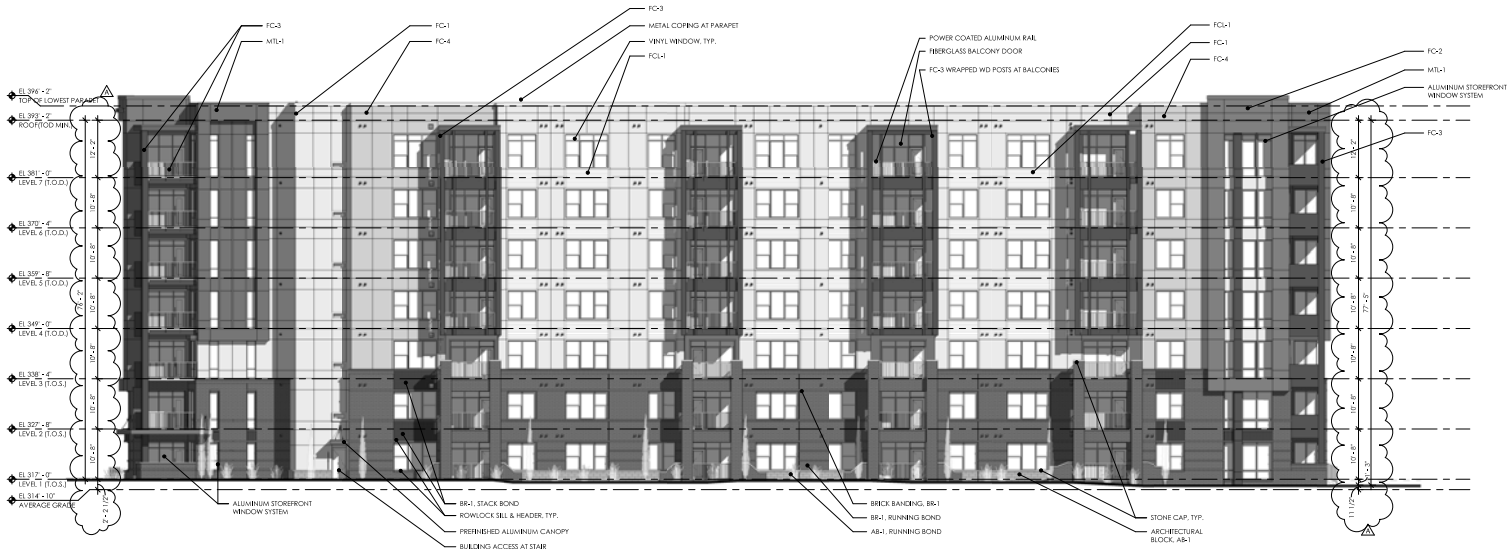
SCALE: AS NOTED
DRAWN BY: A.E.W.
REVIEWED BY: R.P.J.

SHEET
L-1.03

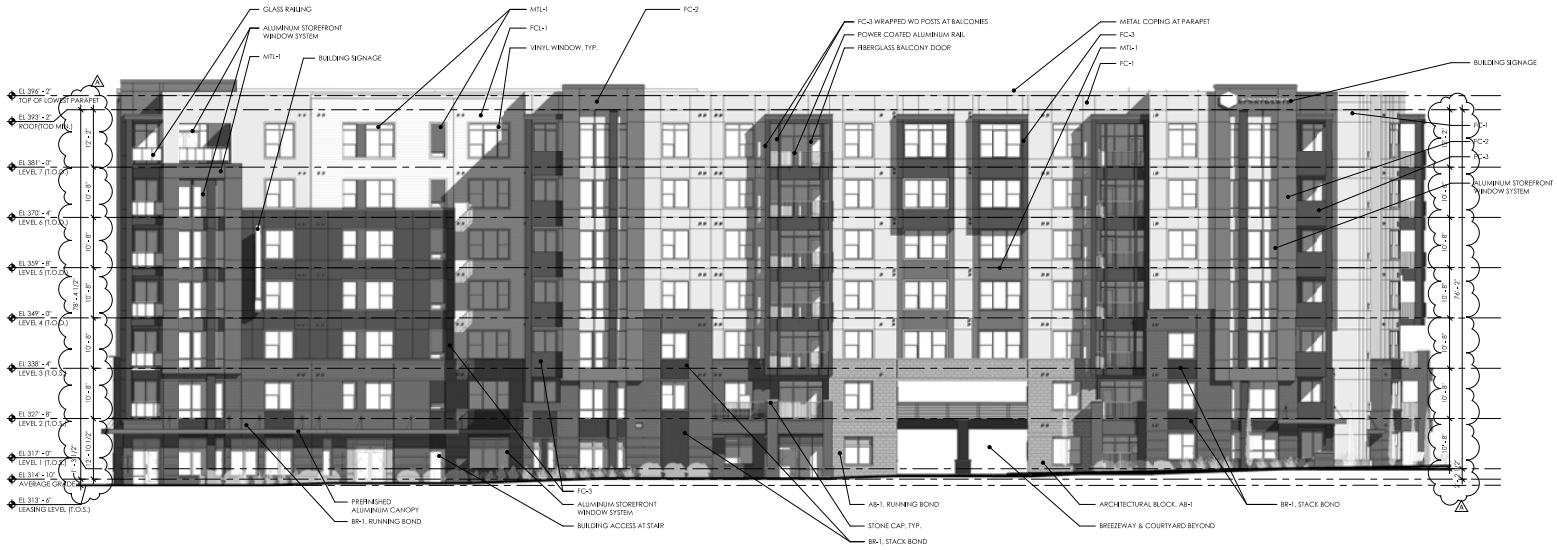
MATERIAL LEGEND:

- BR-1 UTILITY BRICK VENEER, RUNNING BOND & STACK BOND, COLOR 1
- AB-1 ARCHITECTURAL BLOCK, RUNNING BOND, ROCKCAST OR EQV. BLOCK
- FCL-1 FIBER CEMENT LAP SIDING PANEL
- FC-1 FIBER CEMENT PANEL W/ MTL REVEAL, COLOR 1
- FC-2 FIBER CEMENT PANEL W/ MTL REVEAL, COLOR 2
- FC-3 FIBER CEMENT PANEL W/ MTL REVEAL, COLOR 3
- FC-4 FIBER CEMENT PANEL W/ MTL REVEAL, COLOR 4
- MTL-1 METAL PANEL CLADDING SYSTEM, COLOR 1



2 C-A4.0 ELEVATION - LANARK ROAD

SCALE: 3/32" = 1'-0"



1 C-A4.0 ELEVATION - MAXWELL ROAD

SCALE: 3/32" = 1'-0"

BB+M ARCHITECTURE

BEACHAM BUNCE + MANLEY ARCHITECTURE PLLC

1435 WEST MOREHEAD STREET
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CHARLOTTE, NC 28208
704.334.1716

WWW.BBM-ARCH.COM

CERT. NO. 51476

100% CONSTRUCTION DOCUMENTS - ISSUE FOR CONSTRUCTION

LINK CALYX - GLEN LENNOX MF 9A

LOCATION / CHAPEL HILL, NC
PROJECT # / 20GRU260
DATE / 03.26.2021
DRAWN / Author

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Revisions

No.	Description	Date
A	DACP - CYCLE 1 COMMENTS	04.05.2021

BUILDING ELEVATIONS

C-A4.01

MATERIAL LEGEND:

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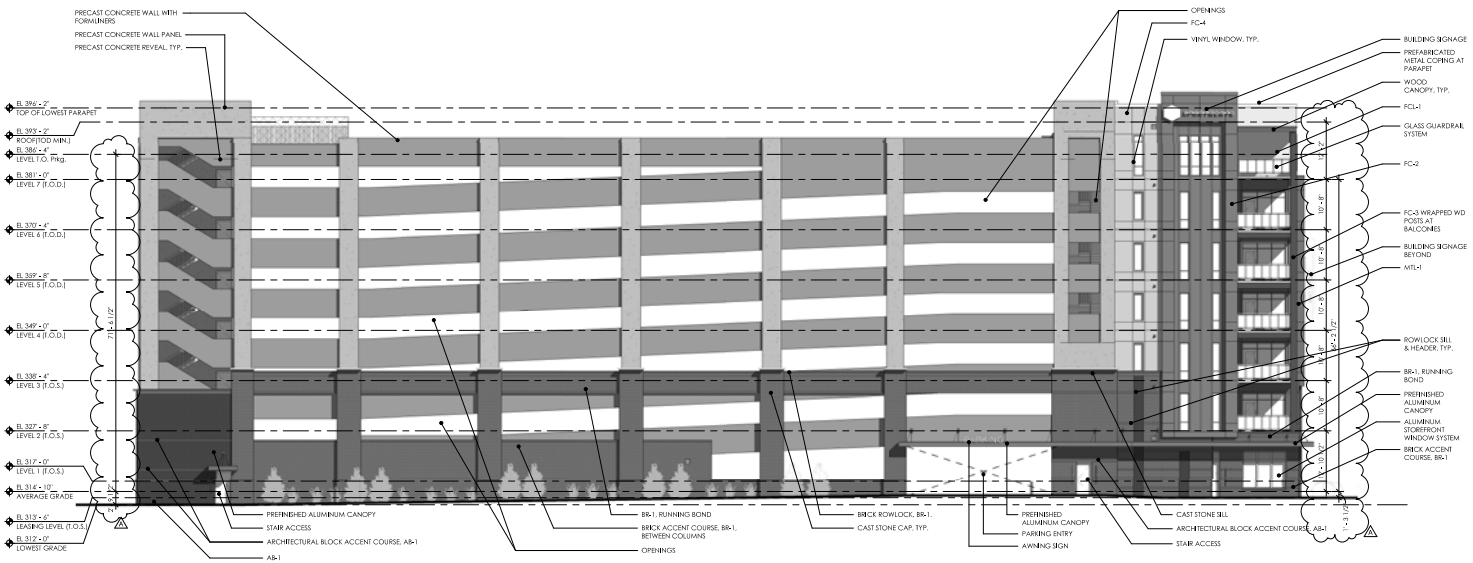
- FCL-1 FIBER CEMENT LAP SIDING PANEL
- FC-1 FIBER CEMENT PANEL W/ MTL REVEAL, COLOR 1
- FC-2 FIBER CEMENT PANEL W/ MTL REVEAL, COLOR 2
- FC-3 FIBER CEMENT PANEL W/ MTL REVEAL, COLOR 3
- FC-4 FIBER CEMENT PANEL W/ MTL REVEAL, COLOR 4
- MTL-1 METAL PANEL CLADDING SYSTEM, COLOR 1



1 C-A4.02 ELEVATION - PRIVATE STREET B

SCALE: 3/32" = 1'-0"

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No.	Description	Date
A	DACP - CYCLE 1 COMMENTS	04.05.2021

BUILDING ELEVATIONS

C-A4.02