

BEECHWOOD HOMES

SOUTH CREEK

MIXED USE DEVELOPMENT

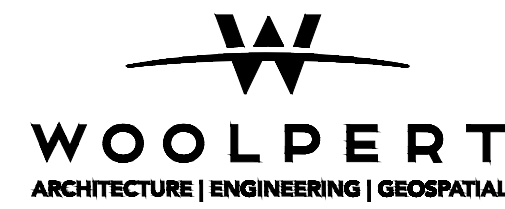
S COLUMBIA ST, CHAPEL HILL, NC 27514

CONDITIONAL ZONING SET

JULY 22, 2022

CIVIL PERMIT PLAN SET

PROJECT TEAM



11301 Carmel Commons Blvd
Suite 300
Charlotte, NC 28226
704.525.6284

DEVELOPER
BEECHWOOD OBEY CREEK LLC
7621 LITTLE AVENUE
SUITE 111
CHARLOTTE, NC 28226
TEL: (704)582-3989

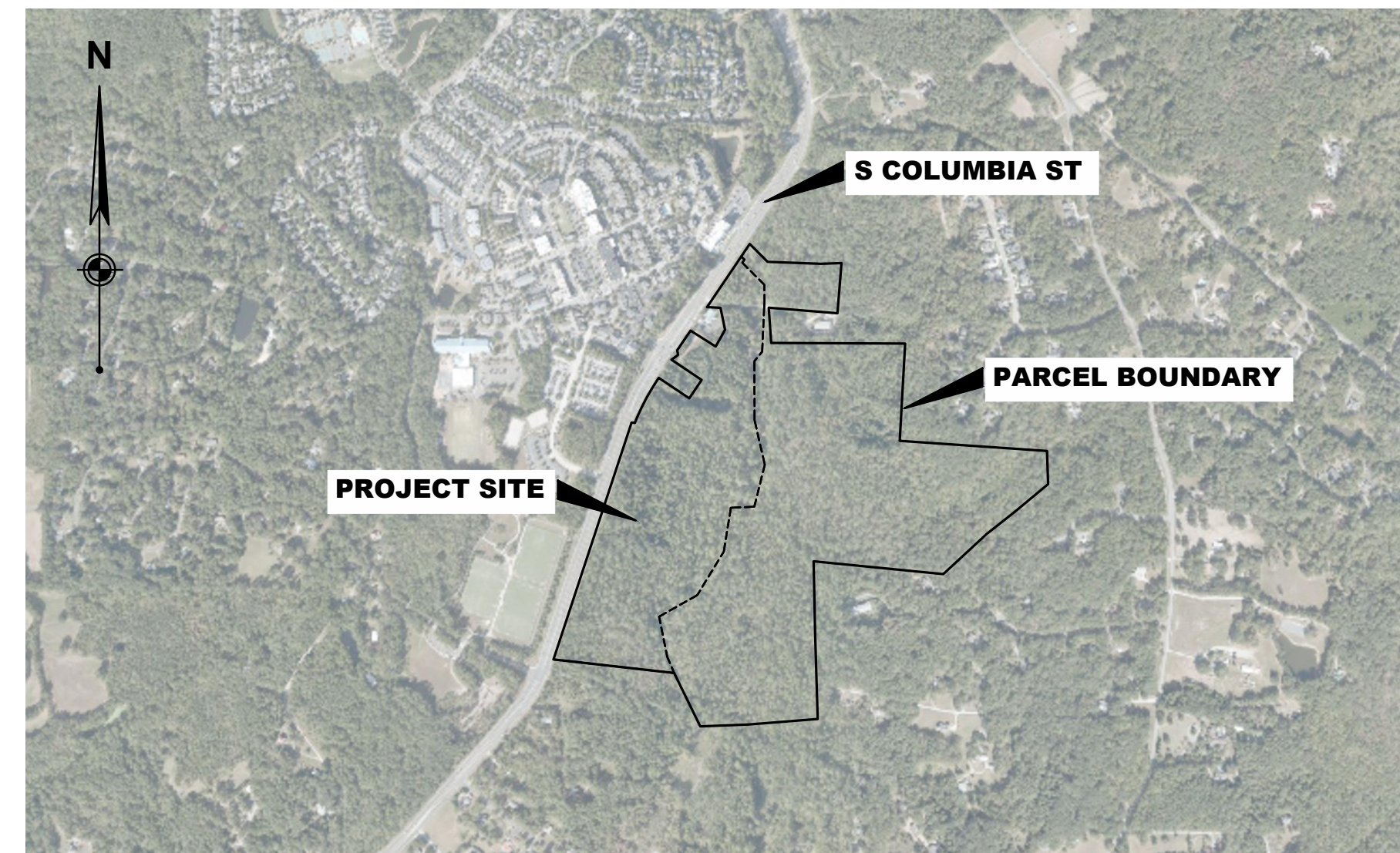
POTABLE WATER & SANITARY SEWER
ORANGE COUNTY WATER AND SEWER AUTHORITY (OWASA)
TEL: (919)560-4326

POWER
DUKE ENERGY CAROLINAS/PROGRESS
4412 HILLSBOROUGH RD
DURHAM, NC 27705
TEL: (800)777-9898

GAS
DOMINION GAS
86 N CHATHAM PKWY
CHAPEL HILL, NC 27517
TEL: (877)776-2427

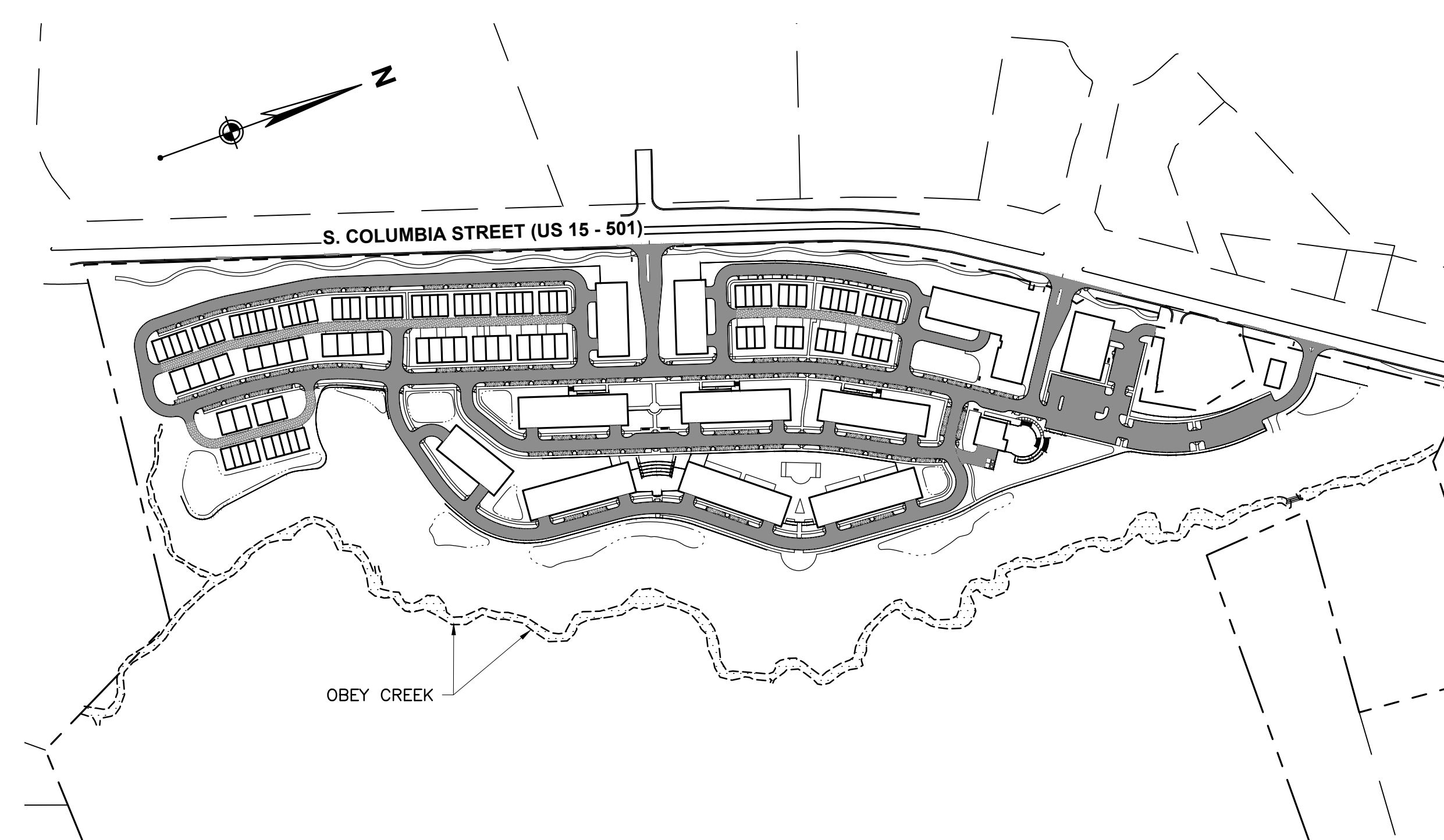
VICINITY MAP

SCALE: 1" = 1000'



SITE PLAN

SCALE: 1" = 250'



SHEET INDEX

Sheet Number	Sheet Title
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ARCHITECTURAL DRAWINGS

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FMK	TYPICAL 'SHORT' CONDOMINIUM ELEVATIONS
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505	TYP. TOWNHOME BUILDING TYPE A - 2
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TOWN OF CHAPEL HILL
CONSTRUCTION PLAN APPROVAL

ALL CONSTRUCTION METHODS AND MATERIALS SHALL BE IN ACCORDANCE WITH THE TOWN OF CHAPEL HILL, ORANGE WATER AND SEWER AUTHORITY (OWASA), AND NCDOT STANDARDS AND SPECIFICATIONS. IN THE EVENT OF A CONFLICT BETWEEN STANDARDS, THE MORE STRINGENT SHALL GOVERN UNLESS A WAIVER IS ISSUED BY THE TOWN ENGINEER AND/OR AUTHORITY HAVING JURISDICTION (AHL). UTILITY INSTALLATIONS AND OTHER PUBLIC FACILITIES, INCLUDING STREETS, SIDEWALKS, STORMWATER AND HANDICAP RAMPS, HAVE BEEN APPROVED BY THE TOWN OF CHAPEL HILL AND SHALL BE SO INSTALLED UNLESS A CHANGE IS AUTHORIZED BY PRIOR WRITTEN APPROVAL. PUBLIC WATER/SANITARY SEWER, STORMWATER AND UTILITY EASEMENTS SHALL BE RECORDED PRIOR TO FINAL ACCEPTANCE AND/OR ISSUANCE OF A CERTIFICATE OF OCCUPANCY BY THE TOWN.

THE TOWN OF CHAPEL HILL MAY REQUIRE REDESIGN AND/OR RECONSTRUCTION OF WORK SHOWN ON THE APPROVED PLANS, SUBSEQUENT TO SUCH APPROVAL, IF IT BECOMES EVIDENT THAT THE DESIGN IS INADEQUATE TO MEET THE ACTUAL FIELD CONDITIONS AND/OR IS BASED ON INCOMPLETE, INSUFFICIENT, INACCURATE OR MISLEADING DATA PORTRAYED ON THE APPROVED PLANS. THE TOWN OF CHAPEL HILL ACCEPTS NO RESPONSIBILITY FOR COSTS INVOLVED IN SUCH REDESIGN AND/OR RECONSTRUCTION.

ENGINEERING SIGNATURE: _____
DATE: _____

NOTE: THE FOLLOWING IS A LIST OF JURISDICTIONAL AGENCIES KNOWN TO HAVE PERMIT AUTHORITY OVER THE SUBJECT PROPERTY. APPROVALS SHOULD BE OBTAINED PRIOR TO COMMENCEMENT OF CONSTRUCTION.

ENTITY	PERMIT NO.	APPROVAL DATE	EXPIRATION DATE

ISSUANCE SCHEDULE

NUMBER	DATE	DESCRIPTION
0	7/12/22	Conditional Zoning Submission

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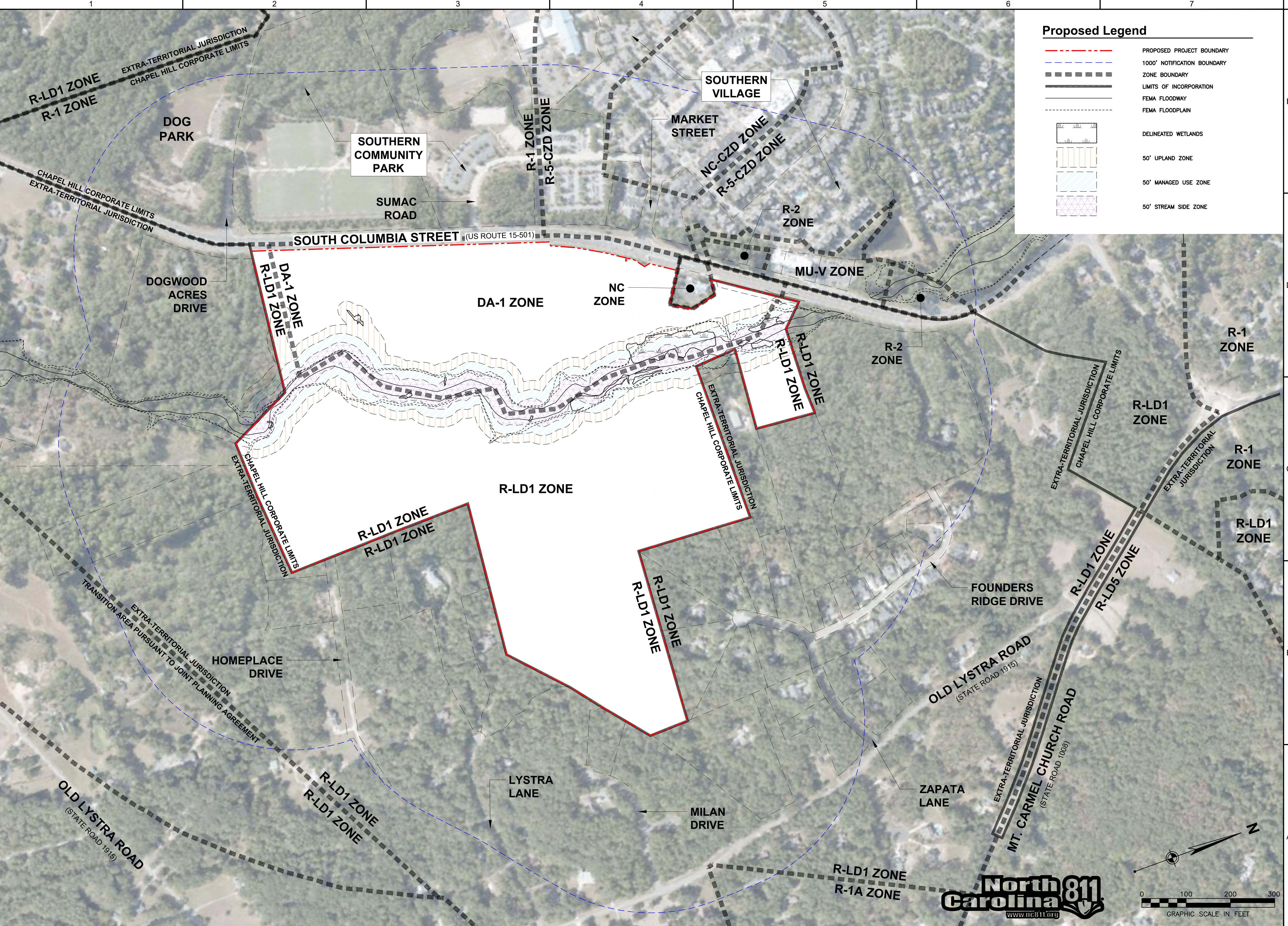
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DATE ISSUED: 7/8/22
DESIGNED BY: RMN
DRAWN BY: VCS
CHECKED BY: RMN

SHEET NAME:
COVER SHEET

SHEET NO:
C-001



Layout Tab Name: C-100 AREA PLAN
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Proposed Legend

- - - - - PROPOSED PROJECT BOUNDARY
- - - - - 1000' NOTIFICATION BOUNDARY
- ZONE BOUNDARY
- LIMITS OF INCORPORATION
- FEMA FLOODWAY
- FEMA FLOODPLAIN
- DELINEATED WETLANDS
- 50' UPLAND ZONE
- 50' MANAGED USE ZONE
- 50' STREAM SIDE ZONE

CIVIL PERMIT PLAN SET

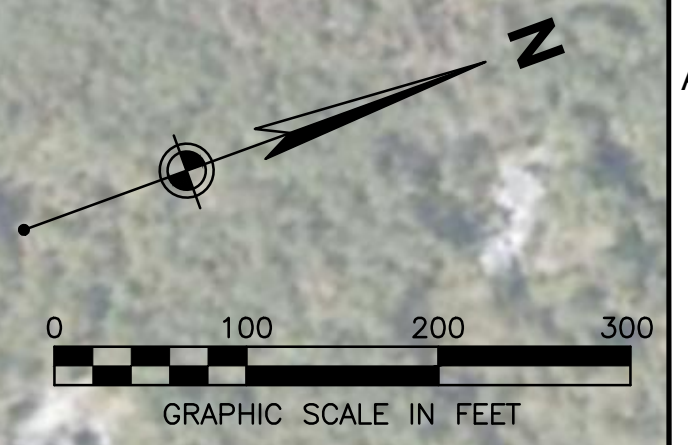
ISSUANCE SCHEDULE NUMBER	DATE	DESCRIPTION
0	7/22/22	Conditional Zoning Submittal

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 SOUTH CREEK
 MIXED USE DEVELOPMENT**

S COLUMBIA ST.
 CHAPEL HILL, NC 27514

PROJECT NO:	082447
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SHEET NAME:
AREA PLAN



**CIVIL
PERMIT
PLAN SET**

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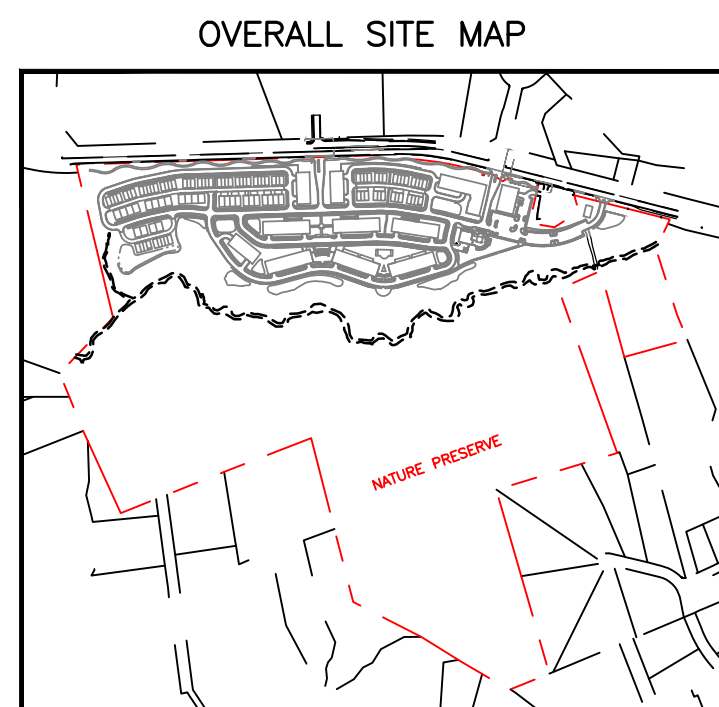
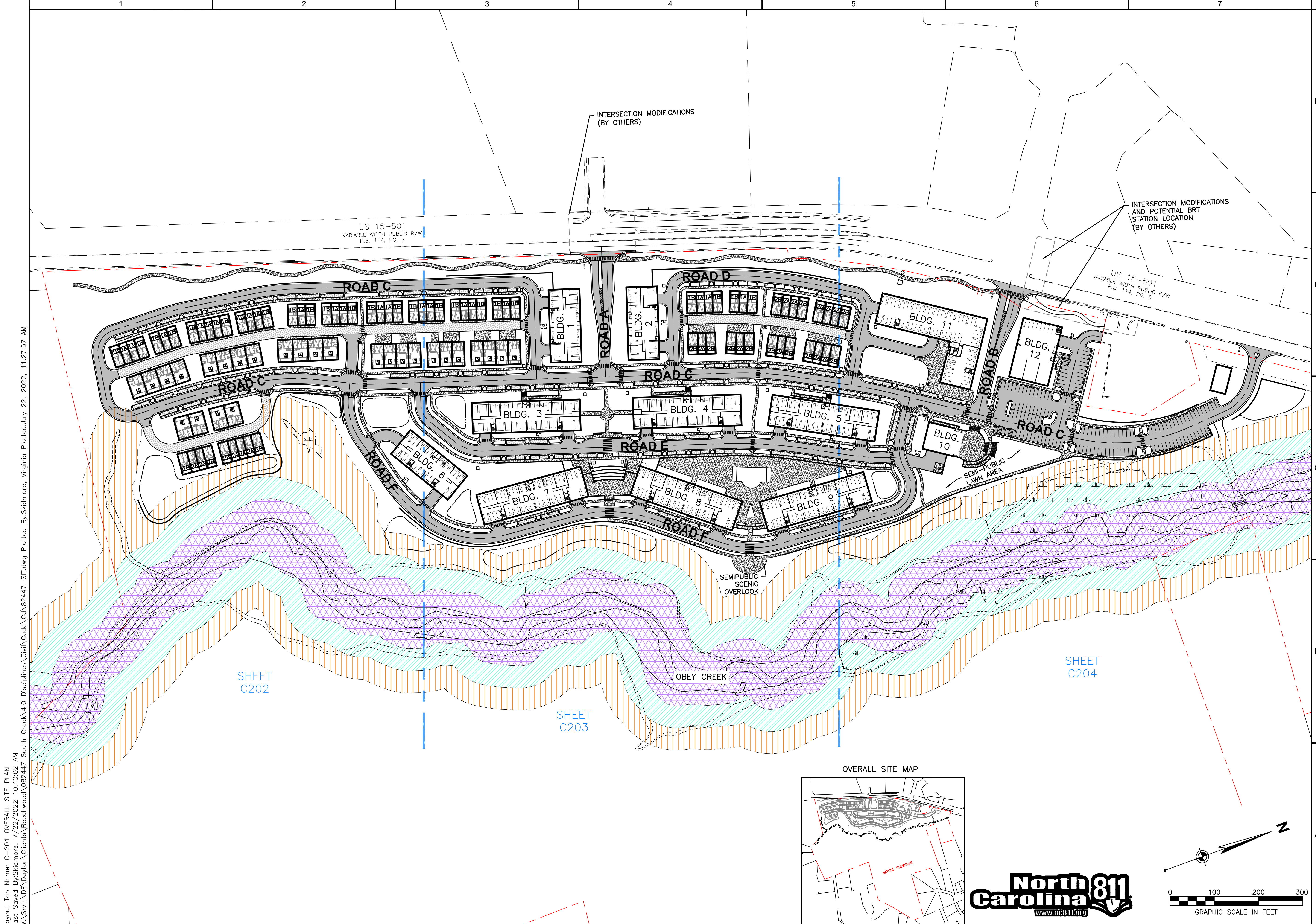
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CHAPEL HILL, NC 27514

PROJECT NO:	082447
DATE ISSUED:	7/22/22
DESIGNED BY:	RMN
DRAWN BY:	VCS
CHECKED BY:	RMN

SHEET NAME:
OVERALL SITE PLAN

SHEET NO:

C-201



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SHEET C202

SHEET C203

SHEET C204



Typical "Short" Condominium - Side Elevation 2
1/16" = 1'-0"



Typical "Short" Condominium - Rear Elevation
1/16" = 1'-0"

- Mid. of Sloped Roof 47' - 9"
 - Roof 2 42' - 9"
 - Level 4 32' - 0 3/4"
 - Level 3 21' - 4 1/2"
 - Level 2 10' - 8 1/4"
 - Level 1 0"
 - Mean Natural Grade -10' - 0"
 - P1 -11' - 0"
 - P2 -20' - 0"
- +/- 57' - 9"



Typical "Short" Condominium - Side Elevation
1/16" = 1'-0"



Typical "Short" Condominium - Front Elevation
1/16" = 1'-0"

- Mid. of Sloped Roof 47' - 9"
 - Roof 2 42' - 9"
 - Level 4 32' - 0 3/4"
 - Level 3 21' - 4 1/2"
 - Level 2 10' - 8 1/4"
 - Level 1 0"
 - Mean Natural Grade -10' - 0"
 - P1 -11' - 0"
 - P2 -20' - 0"
- +/- 57' - 9"



Typical "Long" Condominium - Side Elevation 2
1/16" = 1'-0"



Typical "Long" Condominium - Rear Elevation
1/16" = 1'-0"

- Mid. of sloped roof 58' - 5 1/4"
 - Roof 53' - 5 1/4"
 - Level 5 42' - 9"
 - Level 4 32' - 0 3/4"
 - Level 3 21' - 4 1/2"
 - Level 2 10' - 8 1/4"
 - Level 1 0"
 - Mean Natural Grade -10' - 0"
 - P1 -11' - 0"
 - P2 -20' - 0"
- +/- 68'-0"



Typical "Long" Condominium - Side Elevation
1/16" = 1'-0"



Typical "Long" Condominium - Front Elevation
1/16" = 1'-0"

- Mid. of sloped roof 58' - 5 1/4"
 - Roof 53' - 5 1/4"
 - Level 5 42' - 9"
 - Level 4 32' - 0 3/4"
 - Level 3 21' - 4 1/2"
 - Level 2 10' - 8 1/4"
 - Level 1 0"
 - Mean Natural Grade -10' - 0"
 - P1 -11' - 0"
 - P2 -20' - 0"
- +/- 68'-0"