

NOTES  
 1. TREES SHOWN ARE BASED ON A TREE SURVEY UPDATE PREPARED BY BALLENTINE ASSOCIATES, DATED SEPTEMBER 20, 2018.



DATE	REVISIONS
08 APR 22	TREE CANOPY COMMITMENTS
12 AUG 22	TREE CANOPY COMMITMENTS & CLIENT REQUESTS
13 SEP 22	TREE CANOPY COMMITMENTS

DATE	REVISIONS
18 FEB 22	OWNER INFORMATION
02 MAR 22	OWNER INFORMATION
10 JUN 22	OWNER INFORMATION
12 AUG 22	OWNER INFORMATION
13 SEP 22	OWNER INFORMATION

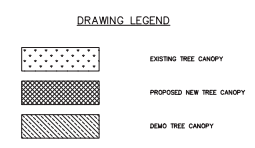
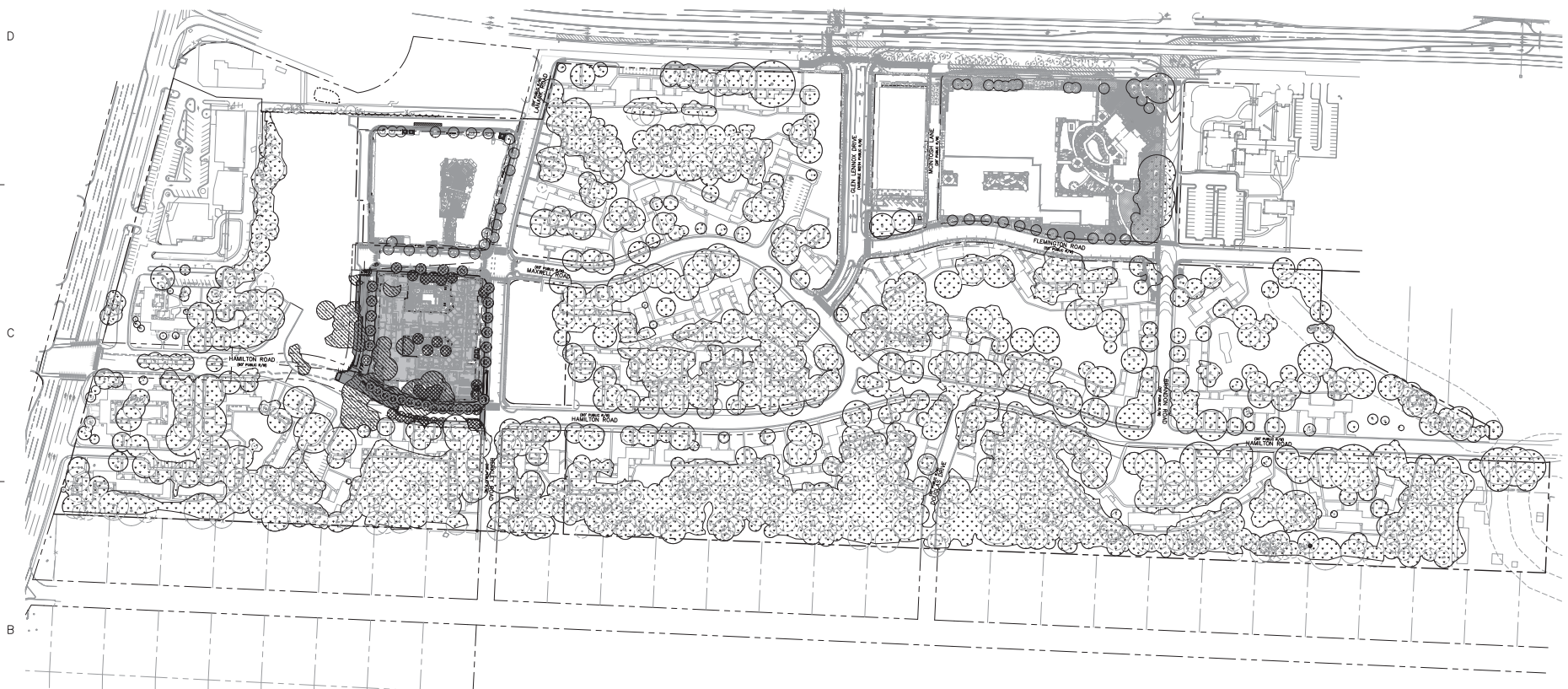
  

REVISION	DATE	BY	DESCRIPTION
DACP PERMITAL #1	18 FEB 22	CLW	OWNER INFORMATION
DACP PERMITAL #2	02 MAR 22	CLW	OWNER INFORMATION
DACP PERMITAL #3	10 JUN 22	CLW	OWNER INFORMATION
DACP PERMITAL #4	12 AUG 22	CLW	OWNER INFORMATION
DACP PERMITAL #5	13 SEP 22	CLW	OWNER INFORMATION

**LINK APARTMENTS CALYX II**  
**GLEN LENNOX - BLOCK 4 - PHASE 2**  
 CHAPEL HILL, NC  
 DACP EXHIBITS

JOB #: 107053.41  
 DATE: 18 FEB 22  
 SCALE: AS NOTED  
 DRAWN BY: D.W.S.  
 REVIEWED BY: C.L.S.

**SHEET**  
**C1008-2**



**TREE CANOPY COVERAGE TABLE**

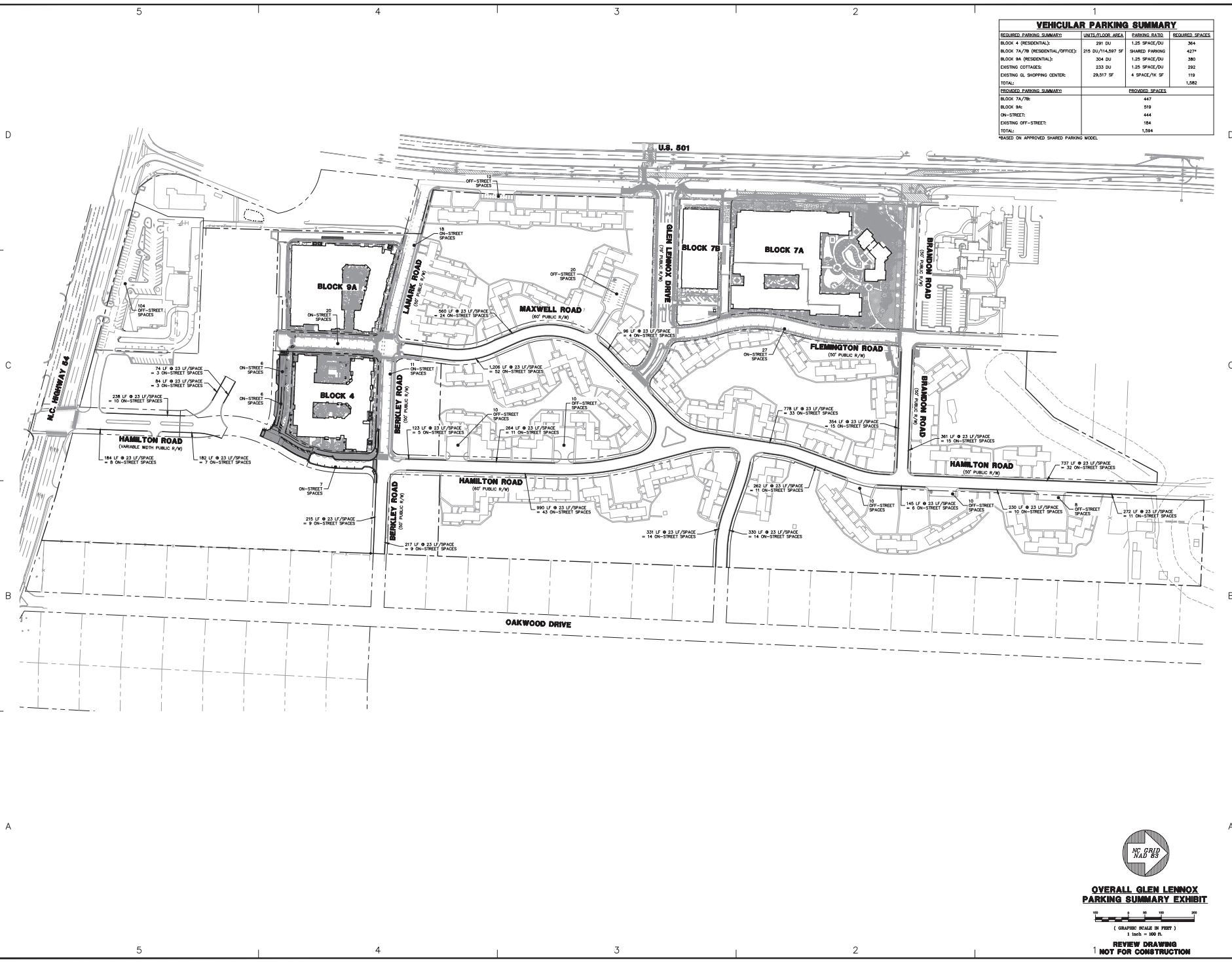
TOTAL PROPERTY AREA:	3,091,869 S.F.	70.98 AC.
NET PROPERTY AREA (LESS P.D.W., UTILITY EASEMENT, ACTIVE RECREATIONS):	2,858,701 S.F.	65.65 AC. (92.44%)
TREE CANOPY REQUIRED:	807,910 S.F.	18.49 AC. (30%)
EXISTING TREE CANOPY:	1,415,694 S.F.	32.30 AC. (45.79%)
DEMO TREE CANOPY:	40,530 S.F.	0.93 AC. (1.31%)
PROPOSED NEW TREE CANOPY:	25,114 S.F.	0.58 AC. (0.81%)
TOTAL TREE CANOPY PROVIDED:	1,400,278 S.F.	32.15 AC. (45.29%)



**REVIEW DRAWING**  
**NOT FOR CONSTRUCTION**

VEHICULAR PARKING SUMMARY			
REQUIRED PARKING SUMMARY	UNITS/FLOOR AREA	PARKING RATIO	REQUIRED SPACES
BLOCK 4 (RESIDENTIAL)	291 DU	1.25 SPACE/DU	364
BLOCK 7A/7B (RESIDENTIAL/OFFICE)	216 DU/174,807 SF	SHARED PARKING	427*
BLOCK 9A (RESIDENTIAL)	304 DU	1.25 SPACE/DU	380
EXISTING COTTAGES	233 DU	1.25 SPACE/DU	292
EXISTING GL SHOPPING CENTER	29,017 SF	4 SPACE/1K SF	119
TOTAL			1,582
PROVIDED PARKING SUMMARY			PROVIDED SPACES
BLOCK 7A/7B:			447
BLOCK 9A:			519
ON-STREET:			444
EXISTING OFF-STREET:			184
TOTAL:			1,594

\*BASED ON APPROVED SHARED PARKING MODEL



**Ballentine Associates, PA**  
 221 Providence Road  
 Chapel Hill, NC 27514  
 919.308.0481  
 ballentineassociates.com

**DATE**

18 APR 22	REVISION 01
12 AUG 22	REVISION 02
13 SEP 22	REVISION 03

**REVISIONS**

NO.	DATE	DESCRIPTION
01	18 APR 22	ISSUE FOR PERMITTING
02	12 AUG 22	ISSUE FOR PERMITTING
03	13 SEP 22	ISSUE FOR PERMITTING

**DESIGN PROFESSIONALS**

117 EMBERSOUTH DRIVE	CHAPEL HILL, NC 27514
PHYSICIAN REPRESENTATIVE:	404.275.1111
PHYSICIAN REPRESENTATIVE:	(919) 288-2774
PHYSICIAN REPRESENTATIVE:	(919) 288-2774

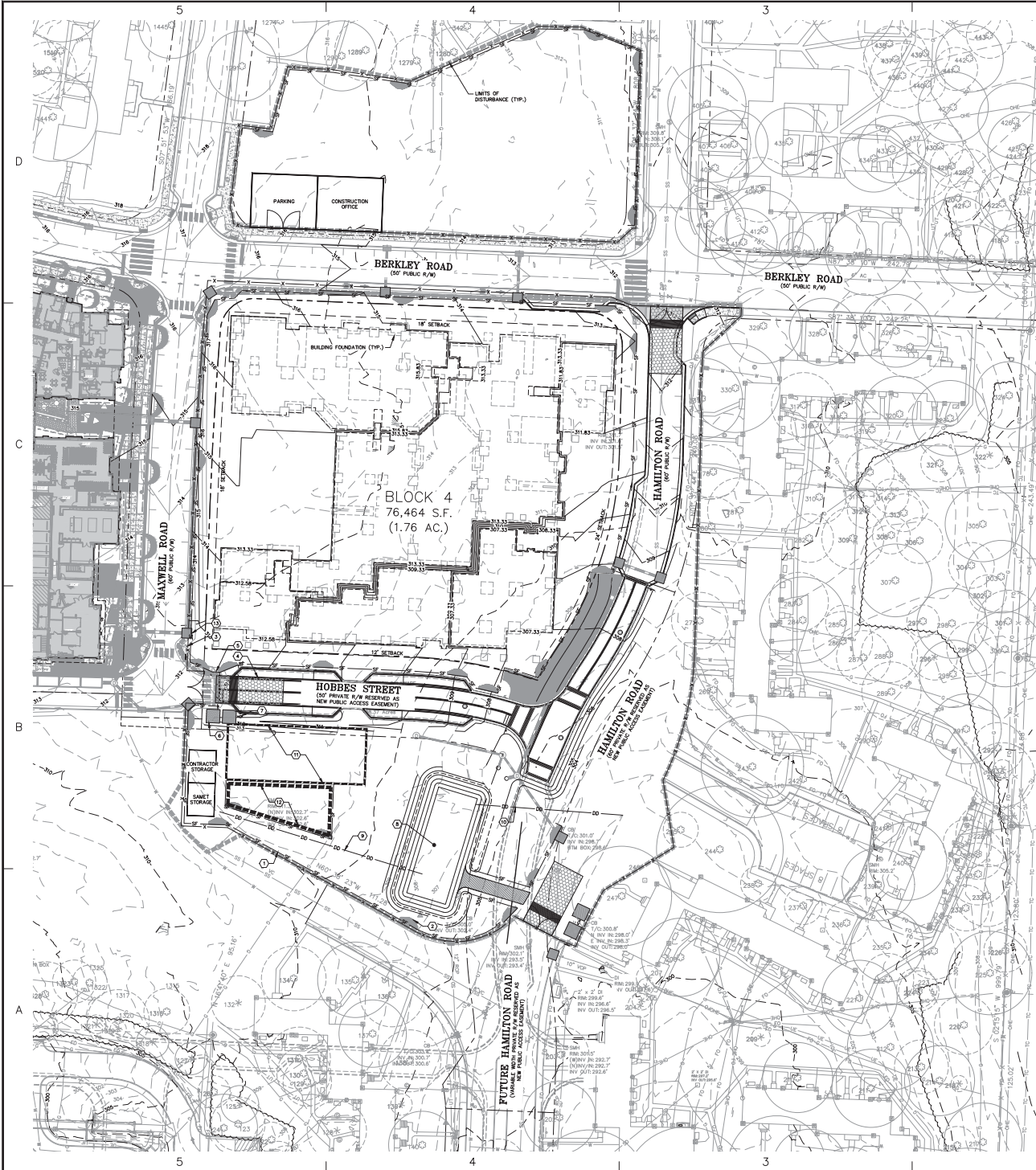
**LINK APARTMENTS CALYX II  
 GLEN LENNOX - BLOCK 4 - PHASE 2**  
 CHAPEL HILL, NC  
 DACP EXHIBITS

**OVERALL GLEN LENNOX  
 PARKING SUMMARY EXHIBIT**

(GRAPHIC SCALE IN FEET)  
 1 inch = 500 ft

**REVIEW DRAWING  
 NOT FOR CONSTRUCTION**

**C1010-2**



### SEEDING SCHEDULE

- SEE SHEET CD04-2 FOR SEEDING SCHEDULE.
- CONSTRUCTION SHALL COMPLY WITH THE CHAPEL HILL NOISE ORDINANCE, ARTICLE 5, SECTION 11-43.
- A COPY OF THE APPROVED CONSTRUCTION PLANS MUST BE KEPT ON SITE.
- CONSTRUCTION HOURS SHALL BE FROM 7:00 AM - 8:00 PM ON WEEKDAYS AND 8:00 AM - 5:00 PM ON SATURDAY. THERE SHALL BE NO CONSTRUCTION ACTIVITIES ON SUNDAYS OR ON FEDERAL HOLIDAYS.
- ALL CONSTRUCTION EQUIPMENT SHALL BE OPERATED IN ACCORDANCE WITH THE MANUFACTURER'S OPERATIONS AND WITH ALL STANDARD EQUIPMENT, AND WITH MANUFACTURER'S MUFFLERS AND NOISE-REDUCING EQUIPMENT IN USE, AND IN PROPER OPERATING CONDITION.
- NO BLASTING OR BURNING ARE PERMITTED ON SITE.
- A WATER TRUCK SHALL BE USED TO MINIMIZE DUST.
- CONSTRUCTION SHALL TAKE APPROPRIATE MEASURES TO PREVENT AND REMOVE THE DEPOSIT OF SOIL ON ADJACENT PAVED ROADWAYS.
- CONSTRUCTION WORKERS SHALL PARK WITHIN THE SITE - NO PARKING ON PUBLIC STREETS.
- ALL STORAGE, STAGING, AND PARKING SHALL BE ON-SITE AND CONTAINED WITHIN THE CONSTRUCTION LIMITS NONE OF THESE ACTIVITIES ARE TO OCCUR WITHIN THE PROTECTION ZONES AT ANY TIME.
- CONSTRUCTION VEHICLES TO ACCESS THE SITE FROM HAMILTON ROAD.
- PIRE HYDRANTS MUST BE FULLY OPERATIONAL AND PHYSICALLY APPROVED BY CHESA BEFORE COMBUSTIBLE MATERIALS CAN BE BROUGHT ONTO THE SITE.
- DURING CONSTRUCTION, VEHICLE ACCESS FOR FIRE-FIGHTING SHALL BE PROVIDED. TEMPORARY STREET LIGHTS SHALL BE INSTALLED AT EACH STREET INTERSECTION WHEN CONSTRUCTION AFFECTS THE PASSAGE OF VEHICLES. SIGNS SHALL BE OF AN APPROVED SIZE, BEARING, DESIGN, AND MAINTAINED UNLESS REPLACED BY PERMANENT SIGNS 2018 N.C. SECTION 505.2.
- THE APPROVED ACCESS ROADS AND ANY OTHER ACCESS WAYS SHALL NOT BE OBSTRUCTED IN ANY MANNER, INCLUDING BUT NOT LIMITED TO, EXCESSIVE GATES, PARKING OF VEHICLES, OR CONSTRUCTION MATERIALS. TEMPORARILY REQUIRED GATES SHALL BE NOTICED AND MAINTAINED AT ALL TIMES. THE MAINTENANCE AND ALIGNMENT ESTABLISHED IN SECTIONS 505.1 AND 505.2.
- TRAFFIC CALMING DEVICES SHALL BE PROHIBITED UNLESS APPROVED BY THE FIRE CODE OFFICIAL.
- DURING DEMOLITION AND/OR CONSTRUCTION, ALL ASPECTS OF CHAPTER 14 OF THE NC FIRE PREVENTION SHALL BE FOLLOWED. THE FIRE CODE OFFICER SHALL SUPERINTEND WHO SHALL BE RESPONSIBLE FOR MONITORING CHAPTER 14 OF THE NC FIRE PREVENTION THROUGHOUT THE PROJECT AND REPORTING THAT IT IS CARRIED OUT THROUGH COMPLETION OF THE PROJECT.
- THE FIRE CODE OFFICER SHALL BE NOTIFIED BEFORE THE INSTALLATION AND MAINTENANCE OF GATES OR OTHER APPROVED DEVICES. BEFORE THE APPROVAL OF ANY GATES OR OTHER APPROVED DEVICES, THE FOLLOWING COMPLETED SELF-INSPECTION FORM ON THE GATE OR OTHER APPROVED DEVICES MUST BE POSTED ON-SITE AND AVAILABLE FOR INSPECTION AT ALL TIMES. IT IS RECOMMENDED A COPY BE KEPT IN A PERMITS BOOTH AT THE BEGINNING OR ENTRANCE OF PROJECT.
- WATER SUPPLY FOR FIRE PROTECTION: WHEN REQUIRED, AN APPROVED WATER SUPPLY FOR FIRE PROTECTION EITHER TEMPORARY OR PERMANENT, SHALL BE MADE AVAILABLE AS SOON AS COMBUSTIBLE MATERIAL ARRIVES ON THE SITE. NOTICE 1452.
- DURING CONSTRUCTION THE DEVELOPER SHALL INSPECT THE EROSION AND SEDIMENT CONTROL DEVICES SHALL MAKE NECESSARY REPAIRS OR ADJUSTMENTS TO THE DEVICES, AND MAINTAIN INSPECTION LOGS DOCUMENTING THE ONLY INSPECTIONS AND ANY NECESSARY REPAIRS. THE DEVELOPER SHALL WEEKLY INVITATIONS TO WALK EROSION CONTROL MEASURES TO TOWN STAFF DURING EROSION CONTROL AND TOWN OF CHAPEL HILL STAFF. WHEN TWO MEASUREMENTS SHOW EROSION CONTROL PERFORMANCE ISSUES IDENTIFIED BY TOWN STAFF DURING WEEKLY WALKS SHALL BE ADDRESSED.
- ON-STREET PARKING SHALL BE PROVIDED FOR INSPECTORS AT EACH BUILDING FOR THE DURATION OF THE CONSTRUCTION PROJECT.

### PLAN KEY NOTES

- INSTALL MAINTAIN TEMPORARY SILT FENCE (TYP.)
- INSTALL MAINTAIN TEMPORARY SILT FENCE STONE OUTLET (TYP.)
- MAINTAIN CHAIN-LINK TREE PROTECTION FENCE (TYP.)
- MAINTAIN TEMPORARY CONSTRUCTION ENTRANCE (TYP.)
- MAINTAIN TEMPORARY CONSTRUCTION SIGN (TYP.)
- MAINTAIN CONCRETE WASHOUT (TYP.)
- MAINTAIN PRECAST CONCRETE TREE WASHBACK (TYP.)
- MAINTAIN SEDIMENT BASIN #1
- MAINTAIN DIVERSION DITCH #1.1
- MAINTAIN DIVERSION DITCH #1.2
- MAINTAIN CONSTRUCTION MATERIAL LAYDOWN AREA
- MAINTAIN TEMPORARY TOPSOIL STOCKPILE AREA (TYP.)
- INSTALL MAINTAIN STANDARD SILT BAG - INLET SEDIMENT CONTROL DEVICE (TYP.)

### CONSTRUCTION MANAGEMENT NOTES

- CONSTRUCTION SHALL COMPLY WITH THE CHAPEL HILL NOISE ORDINANCE, ARTICLE 5, SECTION 11-43.
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- ALL STORAGE, STAGING, AND PARKING SHALL BE ON-SITE AND CONTAINED WITHIN THE CONSTRUCTION LIMITS NONE OF THESE ACTIVITIES ARE TO OCCUR WITHIN THE PROTECTION ZONES AT ANY TIME.
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- ON-STREET PARKING SHALL BE PROVIDED FOR INSPECTORS AT EACH BUILDING FOR THE DURATION OF THE CONSTRUCTION PROJECT.

### EROSION CONTROL & GRADING NOTES - PHASE 2

- THIS PLAN IS SCHEMATIC AND IS INTENDED ONLY TO SHOW THE GENERAL LOCATION OF MAJOR EROSION CONTROL FEATURES REQUIRED. A DETAILED EROSION CONTROL PLAN MEETING ALL APPLICABLE TOWN OF CHAPEL HILL AND ORANGE COUNTY REQUIREMENTS SHALL BE SUBMITTED AS PART OF LAND DEVELOPMENT APPLICATION ON-SITE.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ORANGE COUNTY AND THE TOWN OF CHAPEL HILL STANDARDS AND SPECIFICATIONS.
- CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (1-800-455-8888) LOCATE ALL UTILITIES PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL NOTIFY ALL UTILITIES PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL NOTIFY ALL UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
- THIS PLAN IS SCHEMATIC AND REPRESENTS THE APPROXIMATE LOCATION OF UTILITIES UNLESS SPECIFICALLY IDENTIFIED. CONTRACTOR SHALL COORDINATE WITH ALL UTILITIES TO AVOID CONFLICTS AND MEET MINIMUM SIZE, DEPTH, AND CODE REQUIREMENTS.
- TOTAL DISTURBED AREA: 4.68 AC. THIS INCLUDES ALL DISTURBANCE REQUIRED FOR FULL SITE CONSTRUCTION.
- NO BURNING IS PERMITTED.
- ALL EROSION CONTROL DEVICES, INCLUDING INLET PROTECTION, SHALL BE MAINTAINED AS NEEDED, AT LEAST ONCE A WEEK AND AFTER EVERY RAINFALL PRODUING RAINFALL ENOUGH TO ENSURE DEVICES ARE FUNCTIONING PROPERLY.
- CONTRACTOR SHALL INSPECT THE EROSION AND SEDIMENT CONTROL DEVICES BEFORE MAKE ANY NECESSARY REPAIRS OR ADJUSTMENTS TO THE DEVICES, AND MAINTAIN INSPECTION LOGS DOCUMENTING THE DAILY INSPECTIONS AND ANY NECESSARY REPAIRS.
- CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO PREVENT AND REMOVE THE DEPOSIT OF SOIL ON ADJACENT PAVED ROADWAYS.
- SUFFICIENT EROSION CONTROL PRACTICES MUST BE INSTALLED AND MAINTAINED TO RETAIN SEDIMENT WITHIN THE BOUNDARIES OF DISTURBANCE. ALL DISTURBED AREAS SHALL BE NON-EROSIVE AND STABLE AS DESCRIBED IN THE GROUND STABILIZATION REQUIREMENTS TABLE (CD03-2).

### CONSTRUCTION SEQUENCE - PHASE 2

- MAINTAIN ALL PHASE 1 EROSION CONTROL MEASURES THROUGHOUT THE DURATION OF CONSTRUCTION PER DETAILS AND NOTES ON SHEET CD03-2.
- FOR WHEN REPAIRS ARE NEEDED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A CERTIFICATE OF COVERAGE, AND THE PLAN IS REQUIRED TO BE MAINTAINED ON-SITE AND AVAILABLE FOR INSPECTION AT ALL TIMES. IT IS RECOMMENDED A COPY BE KEPT IN A PERMITS BOOTH AT THE BEGINNING OR ENTRANCE OF PROJECT.
- THE CONTRACTOR SHALL CONDUCT SELF-INSPECTIONS OF THE EROSION AND SEDIMENTATION CONTROL MEASURES AND COMPLETE THE FOLLOWING COMPLETED SELF-INSPECTION FORM ON THE GATE OR OTHER APPROVED DEVICES MUST BE POSTED ON-SITE AND AVAILABLE FOR INSPECTION AT ALL TIMES. IT IS RECOMMENDED A COPY BE KEPT IN A PERMITS BOOTH AT THE BEGINNING OR ENTRANCE OF PROJECT.
- SELF-INSPECTIONS FOR EROSION AND SEDIMENTATION CONTROL MEASURES ARE TO BE CONDUCTED AT LEAST ONCE A WEEK AND AFTER EVERY RAINFALL PRODUING RAINFALL ENOUGH TO ENSURE DEVICES ARE FUNCTIONING PROPERLY. ANY NECESSARY REPAIRS SHALL BE MADE IMMEDIATELY TO MAINTAIN MEASURES. MEASURES SHALL BE MAINTAINED AS SPECIFIED IN THE CONSTRUCTION DETAILS ON THIS PLAN. A RAIN GAGE SHALL BE INSTALLED AT THE PROJECT SITE FOR MONITORING.
- INSTALL SILT FENCE, SILT FENCE STONE OUTLETS AS SHOWN, CALL ORANGE COUNTY EROSION CONTROL, AND TOOL TRAINING FOR AN INSPECTOR.
- UPON APPROVAL FROM ORANGE COUNTY & THE TOWN OF CHAPEL HILL, STONE BUILDING PADS WHEN SUBGRADE IS ESTABLISHED.
- ONLY THE BUILDING PADS ARE STABILIZED AND GRASSING COVER HAS BEEN ESTABLISHED, CALL FOR AN ON-SITE INSPECTION BY THE ORANGE COUNTY EROSION CONTROL OFFICE FOR MONITORING.
- IF APPROVED, CONTRACTOR REMAINING SITE IMPROVEMENTS.
- WHEN CONSTRUCTION IS COMPLETE, ALL AREAS ARE STABILIZED, CALL FOR AN ON-SITE INSPECTION BY THE ORANGE COUNTY EROSION CONTROL OFFICE FOR MONITORING.
- IF THE SITE IS APPROVED, REMOVE SEDIMENT BASIN, DIVERSION DITCHES AND ALL REMAINING EROSION CONTROL DEVICES, AND SEND ANY REMAINING DISTURBED AREAS.
- WHEN FINAL VEGETATION IS ESTABLISHED, CALL FOR FINAL SITE INSPECTION.

### SYMBOL/ABBREVIATION

EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY LINE
- - - -	- - - -	RIGHT-OF-WAY LINE
----	----	ADJACENT PROPERTY LINE
----	----	EASTMENT LINE
----	----	FENCE LINE
-SD -SD	-SD -SD	STORM DRAIN LINE
-W -W	-W -W	WATER LINE
-SS -SS	-SS -SS	SANITARY SEWER LINE
-UE -UE	-UE -UE	UNDERGROUND ELECTRIC LINE
-GE -GE	-GE -GE	OVERHEAD ELECTRIC LINE
-GL -GL	-GL -GL	GAS LINE
-TL -TL	-TL -TL	TELEPHONE LINE
-T -T	-T -T	TREE LINE
-N0 -N0	-N0 -N0	MAJOR CONTOUR
-N2 -N2	-N2 -N2	MINOR CONTOUR
---	---	LIMITS OF DISTURBANCE
----	----	CONSTRUCTION ENTRANCE
----	----	SILT FENCE
----	----	CHAIN-LINK TREE PROTECTION FENCE
----	----	DIVERSION DITCH CENTERLINE
----	----	SILT FENCE OUTLET
----	----	RIPRAP DISPOSAL PAD
----	----	EXISTING ROW PIPE
----	----	IRON PIPE SET
----	----	CALCULATED POINT
----	----	SIGN
----	----	CATCH BASIN
----	----	DRAIN PILE



### EROSION CONTROL & CONSTRUCTION MANAGEMENT PLAN - PHASE 2

1 inch = 30 ft.  
(GRAPHIC SCALE IN FEET)

REVIEW DRAWING  
NOT FOR CONSTRUCTION

221 Providence Road  
Chapel Hill, NC 27514  
919.988.3441  
ballentine.com

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**REVISIONS**

NO.	DATE	DESCRIPTION
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3	08/02/22	ISSUED FOR PERMITS
4	08/02/22	ISSUED FOR PERMITS
5	08/02/22	ISSUED FOR PERMITS

**OWNER INFORMATION**

117 E. DORCHESTER SOUTH DRIVE  
SUITE 110  
CHAPEL HILL, NC 27514  
OWNER REPRESENTATIVE:  
NAME: \_\_\_\_\_  
PHONE: (919) 288-3774  
FAX: (919) 288-3774  
EMAIL: \_\_\_\_\_

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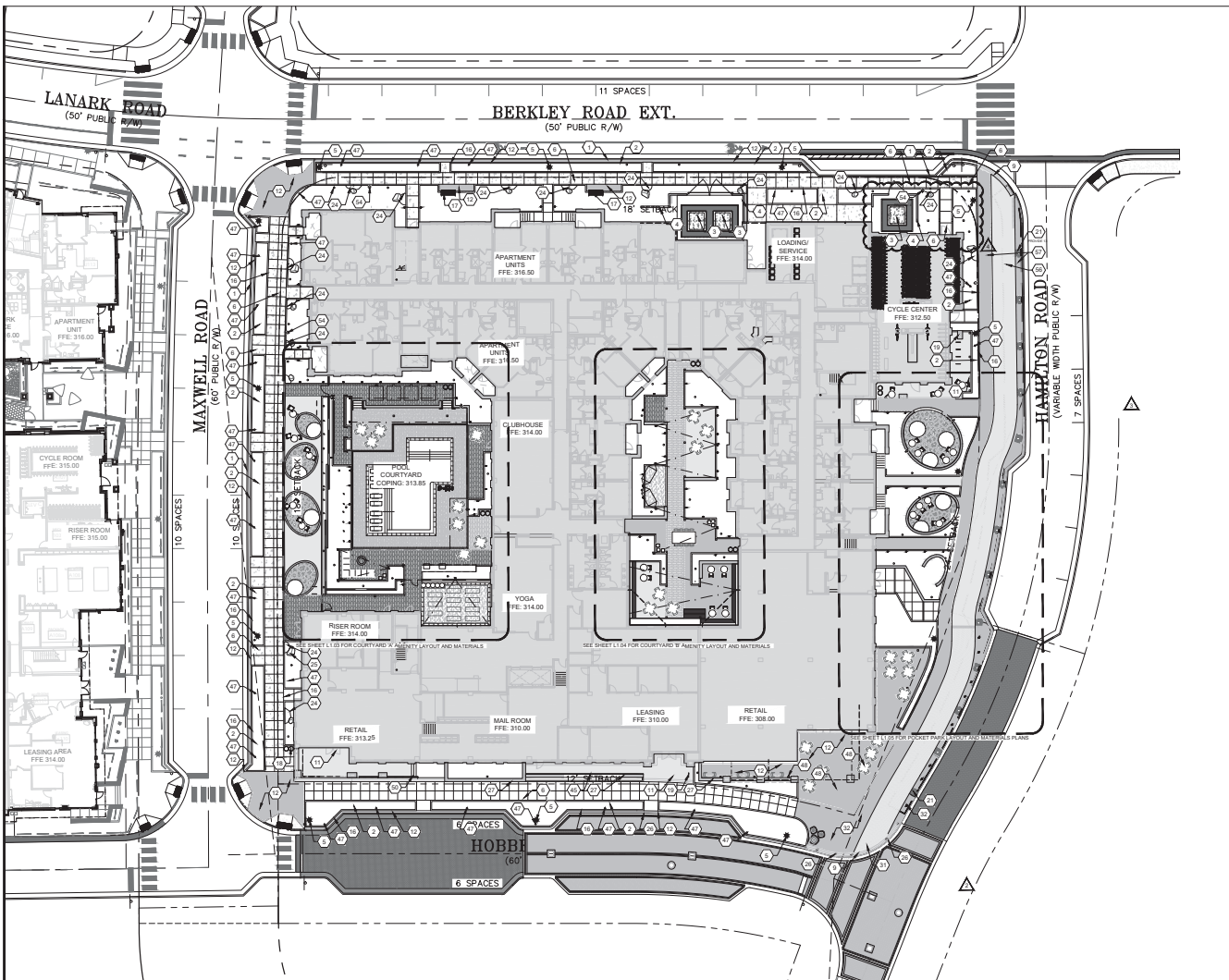
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**LINK APARTMENTS CALXX II**  
**GLEN LENNOX - BLOCK 4 - PHASE 2**  
CHAPEL HILL, NC

JOB #: 107013.41  
DATE: 18 FEB 22  
SCALE: AS NOTED  
DRAWN BY: C.M.S.  
REVIEWED BY: C.J.R.

**EROSION CONTROL & CONSTRUCTION MANAGEMENT PLAN - PHASE 2**

SHEET  
**C1301-2**



**MATERIALS LEGEND**

- CONCRETE CURB AND GUTTER. SEE CIVIL PLANS FOR DETAILS
- CURBED PLANTERS WITH SUBSURFACE DRAINAGE CONNECTING TO STORM SYSTEM. SEE DETAIL 9L2.00. SEE CIVIL PLANS FOR STORM CONNECTIONS
- TRANSFORMER PAD. SEE CIVIL PLANS.
- BREEZE BLOCK AND TRANSFORMER SCREEN WALL WITH POWDER COATED STEEL ACCESS GATE. SEE DETAILS 1.45L2.04
- STREET POLE LIGHT - SEE LIGHTING PLAN FOR LIGHT QUANTITIES AND SPECIFICATIONS
- CONCRETE SIDEWALK - SEE NOTE C IN STREETScape MATERIALS NOTES. SEE DETAIL 9L2.00
- PAVER TYPE A - SEE MATERIALS SCHEDULE BELOW.
- PAVER TYPE B - SEE MATERIALS SCHEDULE BELOW.
- PAVER TYPE C - SEE MATERIALS SCHEDULE BELOW.
- PAVER TYPE D - SEE MATERIALS SCHEDULE BELOW.
- PAVER TYPE E - SEE MATERIALS SCHEDULE BELOW.
- PAVER TYPE F - SEE MATERIALS SCHEDULE BELOW.
- PAVER TYPE G - SEE MATERIALS SCHEDULE BELOW.
- RECYCLED "URBANITE" PERMEABLE PAVING - SEE DETAIL 9L2.01
- SYNTHETIC TURF - SEE DETAIL 3L2.02
- VERTICAL CAST IN PLACE CONCRETE CURB - SEE DETAIL 4L2.00
- BENCH SEATING - SEE FURNISHINGS SCHEDULE BELOW - SEE DETAIL 7L2.00
- LITER RECEPTACLES - SEE FURNISHINGS SCHEDULE BELOW - SEE DETAIL 9L2.00
- BIKE RACKS - SEE FURNISHINGS SCHEDULE BELOW - SEE DETAIL 9L2.00
- 18" SHY ZONE TO BE 2 SOLDIER COURSE ROWS OF PAVER TYPE F
- 3 SQUARE TREE GRATE - SEE DETAIL 11L2.00
- FLUSH CONCRETE BANDING - SEE DETAIL 12L2.00
- BREEZE BLOCK MASONRY SCREEN WALL AND POOL FENCE BARRIER - SEE DETAILS 16L2.04
- DOG RELIEF POINT WITH BOULDER - SEE NOTES BELOW - SEE DETAIL 7L2.00
- 1/2" X 1/2" STAINLESS STEEL FLAT HANDRAIL - SEE DETAIL 9L2.02
- TRAFFIC RATED BOLLARD - SEE CIVIL PLANS FOR DETAILS
- CAST IN PLACE CONCRETE SEAT WALL WITH LED STRIP LIGHTING. REFER TO GRADING PLAN FOR TOP OF WALL ELEVATIONS. SEE DETAIL 9L2.01
- DECORATIVE POOL ENCLOSURE FENCE AND GATE. SEE DETAILS 9.9A.01.0.1
- UNIT PAVER TYPE A OVER CONCRETE SUBBASE - SEE MATERIALS SCHEDULE BELOW. SEE DETAIL 2L2.02
- UNIT PAVER TYPE B OVER CONCRETE SUBBASE - SEE MATERIALS SCHEDULE BELOW. SEE DETAIL 2L2.02
- PERMEABLE UNIT PAVER TYPE E OVER AGGREGATE SUBBASE - SEE MATERIALS SCHEDULE BELOW. SEE CIVIL PLANS FOR DETAILS
- PERMEABLE UNIT PAVER TYPE F OVER AGGREGATE SUBBASE - SEE MATERIALS SCHEDULE BELOW. SEE CIVIL PLANS FOR DETAILS
- UNIT PAVER TYPE A OVER AGGREGATE SUBBASE - SEE MATERIALS SCHEDULE BELOW. SEE DETAIL 19L2.02
- UNIT PAVER TYPE B OVER AGGREGATE SUBBASE - SEE MATERIALS SCHEDULE BELOW. SEE DETAIL 19L2.02
- COMPOSITE WOOD DECKING ON ALUMINUM PEDESTAL JOIST SYSTEM. SEE DETAILS 3.5A.01.03
- MASONRY PLANTER SEAT WALL WITH CAST STONE CAP AND BRICK VENEER TO MATCH ARCHITECTURE - SEE DETAIL 6.7A.01.02
- (2) 3" ELECTRIC GRILLS - SEE NOTES ON DETAIL 11L2.02 AND DETAIL 16L2.03
- PREP COUNTER - SEE DETAIL 19L2.02. SEE NOTES ON DETAIL 11L2.02
- 4" POOL DECK CLEARANCE
- OVERHEAD MARKET LIGHTING - SEE LIGHTING PLAN FOR SPECIFICATION. SEE DETAIL 10L2.02 FOR MARKET LIGHTING POLE FOUNDATION DETAIL. SEE DETAIL 7.6L.01 FOR BUILDING ATTACHMENT DETAIL
- LANDSCAPE BOLLARD LIGHTING, TYP. - SEE LIGHTING PLAN L6.00 FOR QUANTITY. FOR SPECIFICATION. SEE DETAIL 4L6.01
- COURTYARD POLE LIGHTS, TYP. - SEE LIGHTING PLAN L6.00 FOR QUANTITY. FOR SPECIFICATION. SEE DETAIL 2L6.01
- TREE URGENTS, TYP. - SEE LIGHTING PLAN L6.00 FOR QUANTITY. FOR SPECIFICATION. SEE DETAIL 6L6.01
- HAMMOCK HOOKUPS WITH OUTDOOR HAMMOCKS. HAMMOCKS TO BE OWNER PROVIDED. SEE DETAIL 2L2.03
- 6" STAINLESS STEEL SLIP RESISTANT HEEL PROOF TRENCH DRAIN - SEE DETAIL 4.2 & 9L2.02
- COURTYARD AMENITY SITE FURNISHINGS PROVIDED BY OTHERS
- ATRIUM GRATE (TOTAL OF 87) - SEE GRADING PLANS FOR RM ELEVATIONS. SEE CIVIL PLANS FOR INVERTS
- AREA DRAIN (TOTAL OF 26) - SEE GRADING PLANS FOR RM ELEVATIONS. SEE CIVIL PLANS FOR INVERTS
- TERRAZZO POOL COPING, ALL CORNERS TO BE MATER JOINTS. COPING TO SLOPE AWAY FROM POOL EDGE. - SEE DETAIL 5L2.02
- CAST IN PLACE CONCRETE STAIRS WITH HAND RAIL. SEE DETAIL 9L2.02
- MOVABLE PLANTERS TO BE LARKSPUR BY KORNEGAY OR APPROVED EQUAL PLANTERS TO HAVE INTEGRATED IRRIGATION SYSTEM - SEE DETAIL 9L2.01. SEE FURNISHINGS SCHEDULE
- 18" X 18" MOVABLE PLANTER TO BE FROM WILSHIRE COLLECTION BY TOURNESOL OR APPROVED EQUAL. PLANTERS TO HAVE INTEGRATED IRRIGATION SYSTEM. COLOR AND FINISH TO BE DETERMINED. SEE FURNISHINGS SCHEDULE
- TABLES AND CHAIRS TO BE PINE CENTRE BY LANDSCAPE FORMS OR APPROVED EQUAL. COLOR TO BE DETERMINED. SEE FURNISHINGS SCHEDULE. SEE DETAIL 13L4L2.00. SEE FURNISHINGS SCHEDULE
- DOG WASTE STATION. TO BE MONOLINE NO. 2 BAG HOLDER AND WASTE BIN BY SITE PIECES. RECEPTACLES TO BE SURFACE MOUNTED. COLOR TO BE FROM STANDARD LINE OF COLORS ( PROVIDE 4 ). SEE DETAIL 10L2.00
- CONCRETE SONOTUBE STEPPED PIERS - SEE DETAIL 14L2.02
- UNIT PAVER TYPE E OVER AGGREGATE SUBBASE - SEE MATERIALS SCHEDULE BELOW. SEE CIVIL PLANS FOR DETAILS
- UNIT PAVER TYPE F OVER AGGREGATE SUBBASE - SEE MATERIALS SCHEDULE BELOW. SEE CIVIL PLANS FOR DETAILS



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DACP SUBMITTAL #4

DATE: 02/18/2022

NO.	DESCRIPTION	DATE
1	PER DCP REVIEW	02/18/2022
2	PER DCP REVIEW	02/18/2022
3	PER DCP REVIEW	02/18/2022
4	PER DCP REVIEW	02/18/2022
5	PER DCP REVIEW	02/18/2022
6	PER DCP REVIEW	02/18/2022
7	PER DCP REVIEW	02/18/2022
8	PER DCP REVIEW	02/18/2022
9	PER DCP REVIEW	02/18/2022
10	PER DCP REVIEW	02/18/2022

DESIGNED BY: DAVID POWLEN  
 CHECKED BY: ANNA WALKER  
 DATE: 02/18/2022  
 ANNA WALKER

LINE APARTMENTS BLOCK II  
 GREN LENOX - BLOCK 4  
 CHAPEL HILL, NC

101.16446.00

STREETSCAPE MATERIALS PLAN

L1.02

- STREETSCAPE MATERIALS NOTES**
- CAST IN PLACE CONCRETE CURBING. CONTRACTOR JOINTS SHALL BE SPACED AT 10'-0" INTERVALS, EXCEPT THAT A 15'-0" SPACING MAY BE USED WHEN A MACHINE IS USED OR WHEN SATISFACTORY SUPPORT FOR THE FACE OF THE FORM CAN BE OBTAINED WITHOUT THE USE OF TEMPLATES AT 10'-0" INTERVALS. JOINT SPACING MAY BE ALTERED BY ENGINEER TO PREVENT UNCONTROLLED CRACKING.
  - RECYCLED "URBANITE" PERMEABLE PAVING - "URBANITE" - RECYCLED CONCRETE PAVING FROM EXISTING BUILDINGS ON SITE. WHEN BEING USED FOR PERMEABLE PAVING APPLICATIONS, URBANITE TO BE BROKEN UP INTO 1" X 1" MIN AND MAX PAVES STORED ON SITE PRIOR TO INSTALLATION. URBANITE TO BE INSTALLED WITH THE SAME SUBBASE AS TYPICAL PERMEABLE PAVERS. JOINTS TO BE FILLED WITH CRUSHED ASPHALT PAVEMENT OR CRUSHED CONCRETE 2" TO 3" IN SIZE.
  - DECORATIVE CONCRETE PAVING. TO BE LIGHT DUTY CONCRETE PAVING WITH SAW CUT SCORE JOINTS. EXPANSION JOINTS TO BE LOCATED EVERY 16'-0" OR AS INDICATED ON PLAN. SAW CUTS TO BE 1" IN DEPTH. SEE PLAN FOR SAW CUT PATTERN.
  - IRRIGATION TO BE DESIGN BULD. CONTRACTOR TO INCLUDE IRRIGATION FOR ALL PLANTING AREAS. IRRIGATION TO BE ZONED BY PLANT TYPE (I.E. TREE, SHRUBS, ORNAMENTAL GRASS, PERENNIAL, GROUND COVER). TO INCLUDE ADDITIONAL BACKFLOW PREVENTION DEVICE AS REQUIRED BY CODE.
  - CONTRACTOR TO PROVIDE ALLOWANCE FOR SLEEVING AT A MINIMUM TO INCLUDE SLEEVING TO ALL PLANTERS FOR ELECTRIC LOW VOLTAGE IRRIGATION.

**FURNISHINGS SCHEDULE**

TYPE	NAME	QUANTITY	SIZE	COLOR	MANUFACTURER	NOTES
BENCH	CANTILEVER BACK GENERATION 50 BENCH	7	30" X 72" X 32 1/2"	THERMORY ASH	LANDSCAPE FORMS	BENCH TO BE SURFACE MOUNTED TO CONCRETE FOOTERS THAT MEET MANUFACTURERS SPECIFICATIONS.
LITER AND RECYCLING RECEPTACLES	KENSINGTON LITER RECEPTACLES #188-8028	8	24" DIAMETER	BLACK	THE PARK AND FACILITIES	
BIKE RACK	BIKE LOOP PLASTIC COATED	8	4' X 9' X 34"	BLACK	WABASH VALLEY	BIKE RACK TO BE IN GROUND MOUNTED TO CONCRETE FOOTERS THAT MEET MANUFACTURERS SPECIFICATIONS.
CONCRETE PLANTER	LARKSPUR	6	24" X 36" X 20 1/2" 30" X 48" X 30" 48" X 30" X 12"	SILVER SMOKE	KORNEGAY	
MOVABLE PLANTER	WILSHIRE	9	72" X 24" X 30"	TBD	TOURNESOL	
TABLES AND CHAIRS	PINE CENTRE	7 SETS	30" ROUND TABLE	BLACK	LANDSCAPE FORMS	2 CHAIRS PER TABLE

**MATERIALS SCHEDULE**

MATERIAL	TYPE	SIZE	COLOR	MANUFACTURER
PAVER TYPE A	UNIT PAVER	2 1/2 X 23 1/2 X 8	GREYED NICKEL	TECHBLOCK
PAVER TYPE B	UNIT PAVER	2 1/2 X 23 1/2 X 7 1/2	GREYED NICKEL	TECHBLOCK
PAVER TYPE C	UNIT PAVER	2 1/2 X 23 1/2 X 7 1/2	SHALE GREY	TECHBLOCK
PAVER TYPE D	BRICK PAVER	2 1/2 X 7 1/2 X 7 1/2	DARK ACCENT	INDUSTRIA SMOOTH
PAVER TYPE E	BRICK PAVER		LIGHT GRAY	PINE HALL BRICK
PAVER TYPE F	BRICK PAVER		LIGHT GRAY	PINE HALL BRICK
PERMEABLE PAVES	PERMEABLE PAVES		ENGLISH EDGE	AUTUMN MK
PERMEABLE PAVES	PERMEABLE PAVES		ENGLISH EDGE	AUTUMN MK
URBANITE	PERMEABLE RECYCLED CONCRETE			



**CAUTION!!!**

THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OF ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.



**DOG RELIEF POINT NOTES**

- DOG RELIEF POINT TO BE LOCATED OUTSIDE OF THE RIGHT-OF-WAY.
- EACH RELIEF POINT TO HAVE A BOULDER. BOULDER TO HAVE A MINIMUM HEIGHT ABOVE GRADE OF 24"
- EACH RELIEF POINT TO HAVE SPRAY IRRIGATION. SEE IRRIGATION PLAN L1.04 FOR IRRIGATION NOTES.

