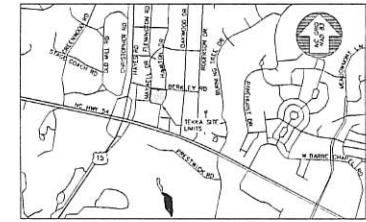


DEVELOPMENT AGREEMENT COMPLIANCE PERMIT (DACP) DRAWINGS

FOR LINK APARTMENTS CALYX II GLEN LENNOX - BLOCK 4 - PHASE 2

CHAPEL HILL, NORTH CAROLINA



VICINITY MAP
SCALE: 1" = 100'

DRAWING LIST

SHEET	DRAWING TITLE	LATEST ISSUE DATE
Δ G0001-2	COVER SHEET - PHASE 2	23 SEP 22
C0001-2	AREA MAP - PHASE 2	23 SEP 22
C0101-2	EXISTING CONDITIONS PLAN - PHASE 2	23 SEP 22
C0102-2	GLEN LENNOX TREE SURVEY OVERVIEW - PHASE 2	23 SEP 22
C0103-2	ENLARGED GLEN LENNOX TREE SURVEY - NORTH - PHASE 2	23 SEP 22
C0104-2	ENLARGED GLEN LENNOX TREE SURVEY - SOUTH - PHASE 2	23 SEP 22
C0105-2	OVERALL GLEN LENNOX TREE LIST - PHASE 2	23 SEP 22
Δ C1001-2	SITE PLAN - PHASE 2	23 SEP 22
C1002-2	STAKING PLAN	23 SEP 22
C1003-2	WASTE MANAGEMENT PLAN	23 SEP 22
Δ C1004-2	OPEN SPACE PLAN	23 SEP 22
C1005-2	ENLARGED OPEN SPACE PLAN	23 SEP 22
C1006-2	BLOCK 4 IMPERVIOUS COMPLIANCE PLAN	23 SEP 22
C1007-2	PUBLIC STREET NETWORK EXHIBIT	23 SEP 22
C1008-2	OVERALL GLEN LENNOX TREE CANOPY COVERAGE	23 SEP 22
C1009-2	FIRE ACCESS PLAN	23 SEP 22
Δ C1010-2	OVERALL GLEN LENNOX PARKING SUMMARY EXHIBIT	23 SEP 22
Δ C1011-2	UTILITY PLAN - PHASE 2	23 SEP 22
C1201-2	GRADING & DRAINAGE PLAN - PHASE 2	23 SEP 22
C1301-2	EROSION CONTROL & CONSTRUCTION MANAGEMENT PLAN - PHASE 2	23 SEP 22
C1302-2	NGC01 REQUIREMENTS - PHASE 2	23 SEP 22
C5001-2	SITE DETAILS - PHASE 2	23 SEP 22
C5101-2	UTILITY DETAILS - PHASE 2	23 SEP 22
Δ C5102-2	UTILITY DETAILS - PHASE 2	23 SEP 22
C5201-2	STORM DRAINAGE DETAILS - PHASE 2	23 SEP 22
C5301-2	EROSION CONTROL DETAILS - PHASE 2	23 SEP 22
L-100	PARKS PLAN	10 JUN 22
Δ L-101	STREETSCAPE LAYOUT PLAN	23 SEP 22
L-102	STREETSCAPE MATERIALS PLAN	23 SEP 22
L-103	COURTYARD 'A' LAYOUT & MATERIALS PLAN	12 AUG 22
L-104	COURTYARD 'B' LAYOUT & MATERIALS PLAN	12 AUG 22
Δ L-105	POCKET PARK LAYOUT & MATERIALS PLAN	23 SEP 22
L-2.00	SITE DETAILS	10 JUN 22
L-2.01	SITE DETAILS	12 AUG 22
L-2.02	SITE DETAILS	12 AUG 22
L-2.03	SITE DETAILS	08 APR 22
L-2.04	SITE DETAILS	12 AUG 22
L-2.05	SITE DETAILS	23 SEP 22
Δ L-3.00	OVERALL LANDSCAPE PLAN	10 JUN 22
L-3.01	STREETSCAPE LANDSCAPE PLAN	23 SEP 22
Δ L-3.02	COURTYARD 'A' & 'B' LANDSCAPE PLAN	10 JUN 22
L-3.03	POCKET PARK LANDSCAPE PLAN	23 SEP 22
L-3.04	IRRIGATION LIMITS PLAN	23 SEP 22
L-4.00	LANDSCAPE DETAILS	08 APR 22
L-5.00	OVERALL AMENITY GRADING PLAN	10 JUN 22
L-5.01	COURTYARD AMENITY GRADING PLAN	12 AUG 22
L-5.02	POCKET PARK GRADING PLAN	10 JUN 22
L-6.00	SITE LIGHTING PLAN	12 AUG 22
L-6.01	SITE LIGHTING DETAILS	08 APR 22
Δ C-A1.01	OVERALL PLAN - LEVEL 1	23 SEP 22
C-A1.02	OVERALL PLAN - LEVEL 2	12 AUG 22
C-A1.03	OVERALL PLAN - LEVEL 3	12 AUG 22
C-A1.04	OVERALL PLAN - LEVEL 4	12 AUG 22
C-A1.05	OVERALL PLAN - LEVEL 5	12 AUG 22
C-A1.06	OVERALL PLAN - LEVEL 6	12 AUG 22
Δ C-A1.07	OVERALL PLAN - ROOF	23 SEP 22
Δ C-A4.01	BUILDING ELEVATIONS	23 SEP 22
Δ C-A4.02	BUILDING ELEVATIONS	23 SEP 22
C-A5.01	BUILDING SECTIONS	12 AUG 22
C-A5.02	BUILDING SECTIONS	12 AUG 22
Δ C-A10.01	DACP DIAGRAMS	23 SEP 22
E4.4	COURTYARD LIGHTING PHOTOMETRIC ANALYSIS	28 JUL 22
E4.5	COURTYARD LIGHTING PHOTOMETRIC ANALYSIS	28 JUL 22
-	DUKE ENERGY LIGHTING PHOTOMETRIC PLAN	24 JUN 22

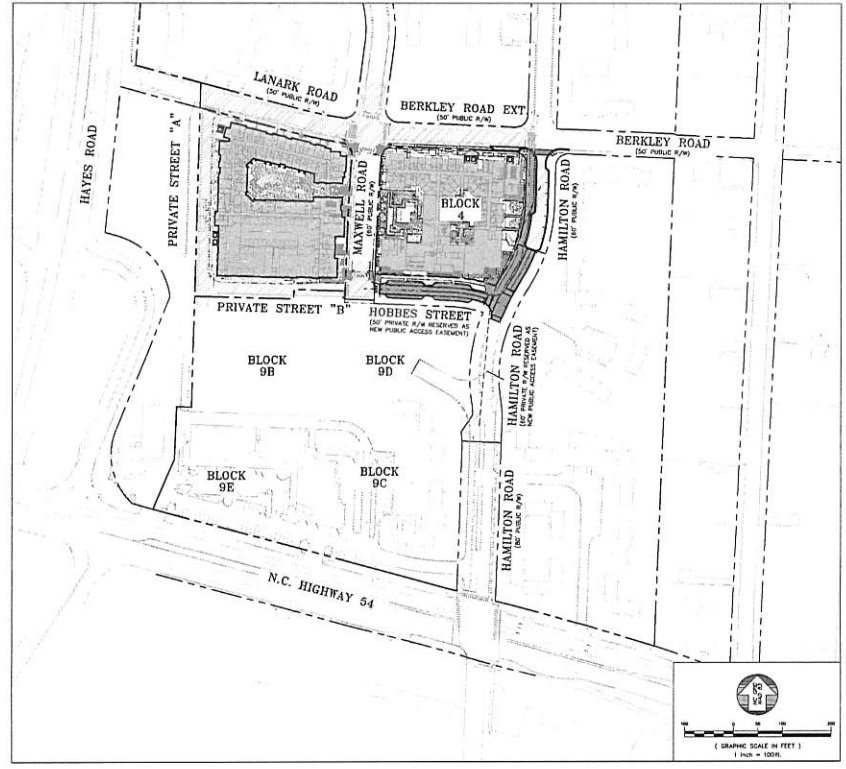
Ballentine Associates, PA
221 Providence Road
Chapel Hill, NC 27514
919.323.8448
ballentineassociates.com

**LINK APARTMENTS CALYX II
GLEN LENNOX BLOCK 4 - PHASE 2
CHAPEL HILL, NC**

DACP DRAWINGS

G0001-2

SITE DATA TABLE	
PROJECT NAME:	LINK APARTMENTS CALYX II (GLEN LENNOX BLOCK 4)
PROPERTY PIN NUMBER:	STREETS/BLK
PROPERTY LOCATION:	TOWN OF CHAPEL HILL
CURRENT LAND OWNER:	GLEN LENNOX APARTMENTS, LLC 4617 PARK ROAD, SUITE 400 CHAPEL HILL, NC 27514
PROPERTY ZONING:	R-3 WITH NEIGHBORHOOD CONSERVATION DISTRICT (NO. 002) CORRIDOR
SETBACKS:	REARLEY = 18' (FROM BACK OF CURB) MAXWELL (SOUTH) = 18' (FROM BACK OF CURB) HAMILTON = 24' (FROM BACK OF CURB)
EXISTING USE:	RESIDENTIAL
PROPOSED USE:	RESIDENTIAL
PROPOSED BLOCK SIZE:	76,461 S.F. (1.78 AC)
TOTAL GROSS S.F. (PHASE 2):	280,802 S.F.
BLANDING ADDRESS:	44 MAXWELL ROAD & 35 HAMILTON ROAD
TOTAL PROPOSED APARTMENT UNITS:	291
EXISTING IMPERVIOUS SURFACE AREA (SQ. FT.):	0 S.F. (PHASE 2)
AREA OF DEVELOPMENT:	34,506 S.F. (TOTAL PHASE 1 & 2)
PROPOSED IMPERVIOUS SURFACE AREA (SQ. FT.):	64,800 S.F. (TOTAL PHASE 1 & 2)
PERCENTAGE IMPERVIOUS SURFACE AREA INCREASE:	188.1%
PROPOSED IMPERVIOUS SURFACE AREA (SQ. FT.):	11,598 S.F. (PHASE 2)
AREA OF DEVELOPMENT:	29,463 S.F. (TOTAL PHASE 1 & 2)
TOTAL IMPERVIOUS SURFACE AREA (SQ. FT.):	45,797 S.F. (TOTAL PHASE 1 & 2)
OPEN SPACE REQUIRED:	1,036 SQ. FT. (23.86 AC) = 33,200
OPEN SPACE PROVIDED:	1,036 SQ. FT. (23.86 AC) = 33,200
OPEN SPACE DEFICIT (BLOCK 4):	0 SQ. FT. (0.00 AC) = 0.00
VEHICULAR PARKING SUMMARY (RESIDENTIAL):	REQUIRED: 170 SPACES PROVIDED: 170 SPACES = 1.22 R/TU BU = 384 SPACES
VEHICULAR PARKING SUMMARY (COMMERCIAL):	REQUIRED: 476 SPACES PROVIDED: 476 SPACES = 0.64 R/TU/DA = 28 SPACES
ACCESSIBLE PARKING SUMMARY:	REQUIRED: 8 SPACES PROVIDED: 8 SPACES
BICYCLE PARKING SUMMARY (RESIDENTIAL):	REQUIRED: 72 SPACES PROVIDED: 72 SPACES = 1.00 R/TU = 100 SPACES
BICYCLE PARKING SUMMARY (COMMERCIAL):	REQUIRED: 112 PER 1,000 S.F. = 10 SPACES PROVIDED: 112 PER 1,000 S.F. = 10 SPACES = 0.02 R/TU = 2 SPACES



DEVELOPER:

4617 PARK ROAD
CHAPEL HILL, NC 27514
(704) 971-4833

ARCHITECT:

1435 WEST WOODS ROAD
CHAPEL HILL, NC 27514
(704) 351-1718

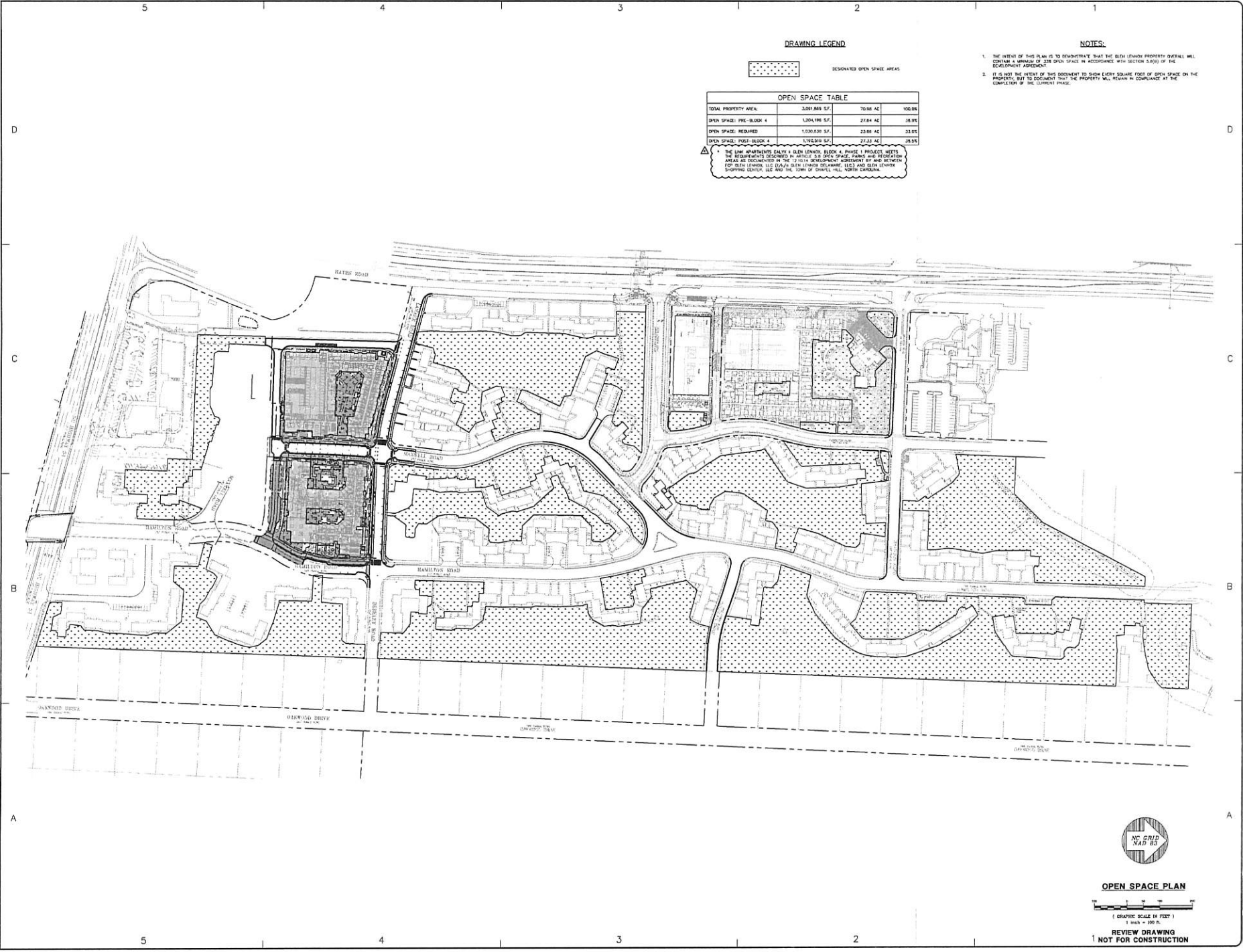
CIVIL ENGINEERING:

221 Providence Road
Chapel Hill, NC 27514
919.323.8448
ballentineassociates.com


LANDSCAPE ARCHITECTURE:

1000 W. 10TH ST.
WYOMING, WY 80402
303.441-2007

REVIEW DRAWING
NOT FOR CONSTRUCTION



DRAWING LEGEND

 DESIGNATED OPEN SPACE AREAS

OPEN SPACE TABLE		
TOTAL PROPERTY AREA:	3,054,969 S.F.	70.98 AC
OPEN SPACE, PRE-BLOCK 4	1,204,988 S.F.	27.84 AC
OPEN SPACE, REQUIRED	1,030,830 S.F.	23.86 AC
OPEN SPACE, POST-BLOCK 4	1,792,919 S.F.	41.28 AC

THE LINK APARTMENTS CALYX II - GLEN LENNOX, BLOCK 4, PHASE 2 PROJECT MEETS THE REQUIREMENTS SPECIFIED IN ARTICLE 2.8 OPEN SPACE, PARKING AND RECREATION AREAS AS DOCUMENTED IN THE 7/2/14 DEVELOPMENT AGREEMENT BY AND BETWEEN EOP GLEN LENNOX, LLC (GLEN LENNOX DEVELOPMENT, LLC) AND GLEN LENNOX SHOPPING CENTER, LLC AND THE TOWN OF CHAPL HILL, NORTH CAROLINA.

NOTES:

1. THE INTENT OF THIS PLAN IS TO DEMONSTRATE THAT THE GLEN LENNOX PROPERTY OVERALL WILL CONTAIN A MINIMUM OF 33% OPEN SPACE IN ACCORDANCE WITH SECTION 5.5(B) OF THE DEVELOPMENT AGREEMENT.
2. IT IS NOT THE INTENT OF THIS DOCUMENT TO SHOW EVERY SQUARE FOOT OF OPEN SPACE ON THE PROPERTY, BUT TO DOCUMENT THAT THE PROPERTY WILL REMAIN IN COMPLIANCE AT THE COMPLETION OF THE CURRENT PHASE.

Ballentine Associates, PA
 232 Providence Road
 Chapel Hill, NC 27514
 919.973.1848
 ballentineassociates.com

DATE	REVISION	BY	DESCRIPTION
10/19/12		W.S.	PRELIMINARY
12/10/12		W.S.	REVISED PER COMMENTS
12/12/12		W.S.	REVISED PER COMMENTS
12/13/12		W.S.	REVISED PER COMMENTS

OWNER INFORMATION
 GLEN LENNOX SHOPPING CENTER
 1111 E. GLEN LENNOX SQUARE DRIVE
 SUITE 110
 CHAPEL HILL, NC 27511
 919.973.1848
 919.973.1848
 919.973.1848

ISSUED TO:
 GLEN LENNOX SHOPPING CENTER
 1111 E. GLEN LENNOX SQUARE DRIVE
 SUITE 110
 CHAPEL HILL, NC 27511
 919.973.1848
 919.973.1848
 919.973.1848

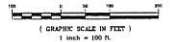
**LINK APARTMENTS CALYX II
 GLEN LENNOX - BLOCK 4 - PHASE 2**
 CHAPL HILL, NC
 DACP EXHIBITS

NO. P: 107032.41
 DATE: 10 FEB 22
 SCALE: AS NOTED
 DRAWN BY: S.W.S.
 REVIEWED BY: G.M.R.

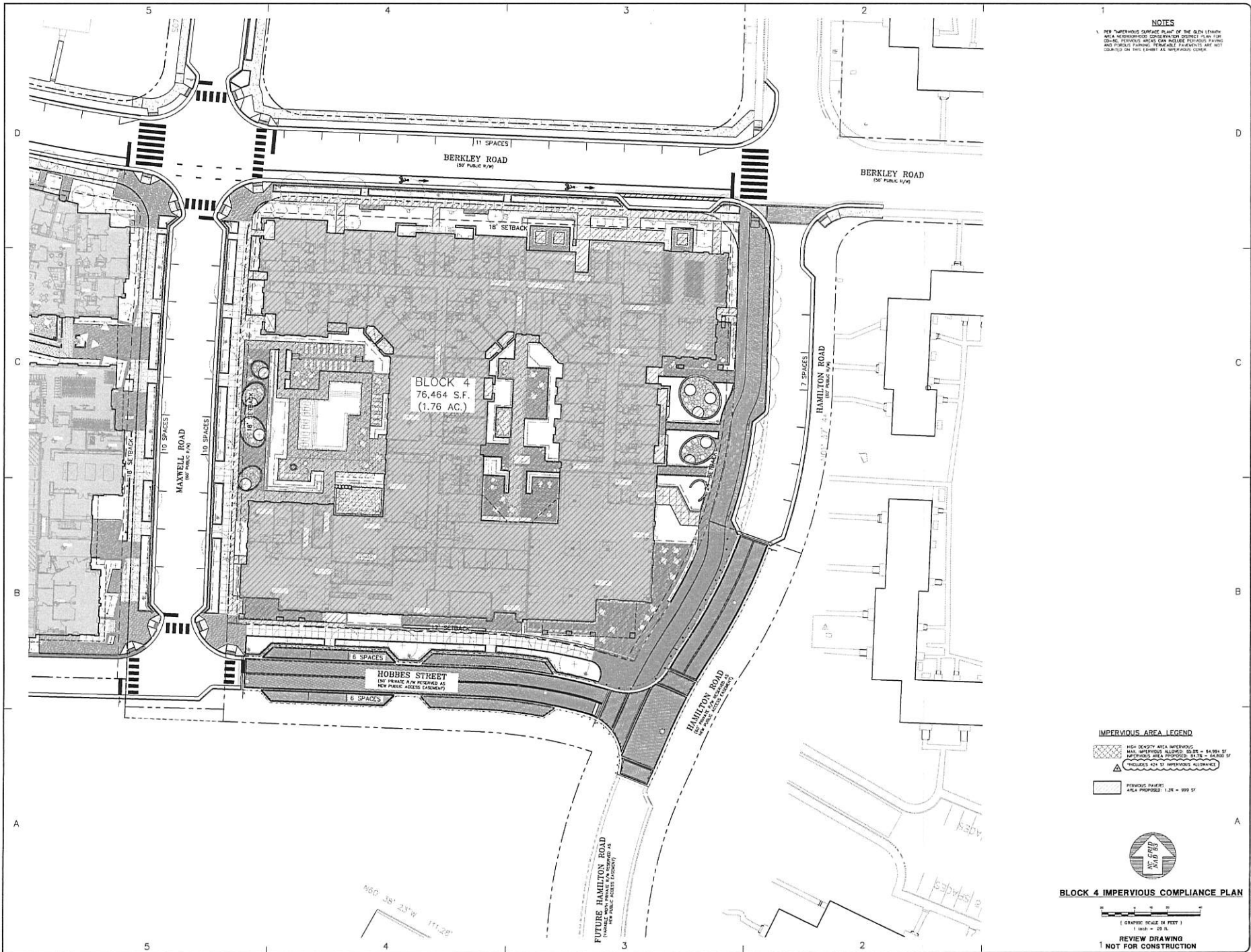
SHEET
C1004-2



OPEN SPACE PLAN



REVIEW DRAWING
 NOT FOR CONSTRUCTION



NOTES

1. PER "IMPERVIOUS SURFACE PLAN" OF THE GLEN II (PHASE 1) AREA, IMPERVIOUS COVERAGE SHALL BE 20% OF THE TOTAL AREA. EXCESSIVE IMPERVIOUS COVERAGE SHALL BE PENALIZED AND PUBLIC PARKING REQUIREMENTS ARE NOT COUNTED ON THIS PLAN AS WORKED CONCEPT.

IMPERVIOUS AREA LEGEND

HIGH DENSITY AREA IMPERVIOUS
 MAX IMPERVIOUS ALLOWED: 65,000 SF = 1.48 AC. OF IMPERVIOUS AREA PROPOSED: 84,378 SF = 1.92 AC. OF IMPERVIOUS AREA
 (INCLUDES 42-57 IMPERVIOUS ALLOWANCE)

FUTURE PAVED AREA IMPERVIOUS
 1.28 = 899 SF

BLOCK 4 IMPERVIOUS COMPLIANCE PLAN

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 NOT FOR CONSTRUCTION

Ballentine Associates, PA
 233 Piedmonte Blvd
 Chapel Hill, NC 27514
 919.286.0448
 ballentineassociates.com

**LINK APARTMENTS CALYX II
 GLEN LENOX - BLOCK 4 - PHASE 2**
 CHAPEL HILL, NC
 DACP EXHIBITS

DATE	REVISIONS	BY	CHKD
08 JUN 22	FOR EXISTING RECORDS		
12 JUL 22	FOR EXISTING RECORDS		
15 AUG 22	FOR EXISTING RECORDS		
23 SEP 22	FOR EXISTING RECORDS		

ORDER INFORMATION
 SHEET PROJECT
 112 COUNTRY SOUTH DRIVE
 CHAPEL HILL, NC 27511
 PHONE: 919.286.0448
 FAX: 919.286.5374
 WWW: WWW.BALLEN-TINE.COM

SHEET # 107932.41
 DATE: 16 FEB 22
 SCALE: AS NOTED
 DRAWN BY: S.M.S.
 REVIEWED BY: G.L.R.

C1006-2