

07 Sep 2022

Ms. Judy Johnson
Assistant Planning Director
Town of Chapel Hill, Current Development
405 Martin Luther King Jr. Blvd.
Chapel Hill, NC 27514

Subject: Glen Lennox Development Agreement
Minor Modification Request

Dear Judy,

This letter is to request the Town's approval of two Minor Modifications to the Glen Lennox Development Agreement. We would like to increase the maximum allowable ground floor height for Blocks 4 and 9B as further outlined below. Please note that with this modification, the proposed building remains compliant with the approved total allowable building height and allowable upper floor heights per the Glen Lennox Development Agreement and the Major Modification to the Glen Lennox Development Agreement recorded as Deed Book 6767, Page 1256-1261 in the Orange County Registry. This request serves purely to mitigate the impact of grade changes on the ground floor of the proposed buildings.

1. We request an increase in the maximum allowable residential and non-residential ground floor height, so that the maximum allowable ground floor height for both uses is twenty (20) feet for Block 4.
 - The building is designed so that the ground floor height varies with the adjacent road grades to maintain the same floor level for all upper floors. To maintain positive drainage away from the building, the finished floor elevation (FFE) on the northwest corner of the building was set at 316'-6" and the FFE on the southeast corner of the building was set at 308'-0". The proposed ground floor height at the northwest corner of the building is 10'-8", which is within the allowable residential ground floor range. However, to keep the upper floors on the same level, the proposed ground floor height at the southeast corner of the building needed to be 19'-2" ($316'-6" - 308'-0" + 10'-8"$). We would like to increase the maximum allowable ground floor height to twenty (20) feet to allow for this scenario.
 - Exhibit A shows the difference in road grades from the northwest corner of the building footprint to the southeast corner of the building footprint. Exhibits B and C show the building elevations and how they relate to the road grades.
2. We request an increase in the maximum allowable non-residential ground floor height, so that the maximum allowable non-residential ground floor height is twenty-four (24) feet for Block 9B.
 - The building is designed so that the ground floor height varies with the adjacent road grades to maintain the same floor level for all upper floors. To maintain positive drainage away from the building, the finished floor elevation (FFE) on the northern side of the building was set at 313'-0" and the FFE on the

southern side of the building was set at 303'-6". The proposed ground floor height at the northern side of the building is 14'-0", which is within the allowable non-residential ground floor range. However, to keep the upper floors on the same level, the proposed ground floor height on the southern side of the building needed to be 23'-6" ($313'-0" - 303'-6" + 14'-0"$). We would like to increase the maximum allowable non-residential ground floor height to twenty-four (24) feet to allow for this scenario.

- Exhibit D shows the difference in road grades from the northern side of the building footprint to the southern side of the building footprint. Exhibits E and F show the building elevations and how they relate to the road grades.

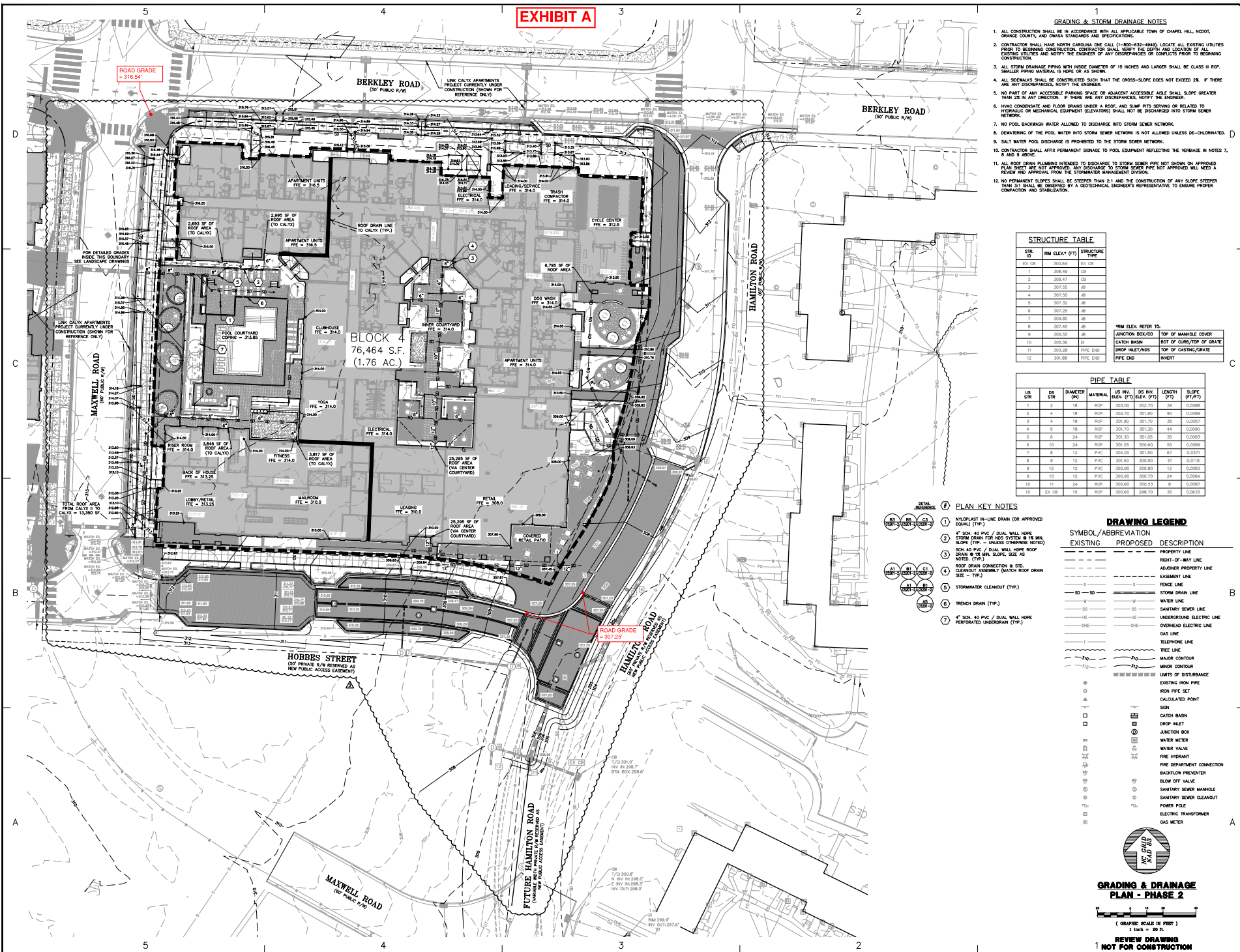
Please let me know if you require additional information to process this request.

Yours Very Truly,
BALLENTINE ASSOCIATES, P.A.

A handwritten signature in blue ink that reads 'Dillon W. Smith'.

Dillon W. Smith, PE
Engineering Team Leader

EXHIBIT A



- ### GRADING & STORM DRAINAGE NOTES
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ANY APPLICABLE TOWN OF CHAPEL HILL, NC DOT, ORANGE COUNTY, AND ORAS STANDARDS AND SPECIFICATIONS.
 2. CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (1-800-832-4363), LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL VERIFY THE DEPTH AND LOCATION OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
 3. ALL STORM DRAINAGE PIPING WITH INSIDE DIAMETER OF 18 INCHES AND LARGER SHALL BE CLASS III RCP. SMALLER PIPING MATERIAL IS 150# DV AS SHOWN.
 4. ALL SIDEWALKS SHALL BE CONSTRUCTED SUCH THAT THE CROSS-SLOPE DOES NOT EXCEED 2%. IF THERE ARE ANY DISCREPANCIES, NOTIFY THE ENGINEER.
 5. NO PART OF ANY ACCESSIBLE PARKING SPACE OR ADJACENT ACCESSIBLE ASHLE SHALL SLOPE GREATER THAN 2% IN ANY DIRECTION. IF THERE ARE ANY DISCREPANCIES, NOTIFY THE ENGINEER.
 6. HVAC CONDENSATE AND FLOOR DRAINS UNDER A ROOF, AND SCUM PITS SERVING OR RELATED TO HYDRAULIC OR MECHANICAL EQUIPMENT (ELEVATORS) SHALL NOT BE DISCHARGED INTO STORM SEWER NETWORK.
 7. NO POOL BACKWASH WATER ALLOWED TO DISCHARGE INTO STORM SEWER NETWORK.
 8. DEWATERING OF THE POOL WATER INTO STORM SEWER NETWORK IS NOT ALLOWED UNLESS DE-CHLORINATED.
 9. SALT WATER POOL DISCHARGE IS PROHIBITED TO THE STORM SEWER NETWORK.
 10. CONTRACTOR SHALL AFFIX PERMANENT SIGNAGE TO POOL EQUIPMENT REFLECTING THE VERBAGE IN NOTES 7, 8 AND 9 ABOVE.
 11. ALL ROOF DRAIN PLUMBING INTENDED TO DISCHARGE TO STORM SEWER PIPE NOT SHOWN ON APPROVED PLAN SHEET ARE NOT APPROVED. CONTRACTOR SHALL VERIFY THE STORM SEWER PIPE NOT APPROVED WILL NEED A REVIEW AND APPROVAL FROM THE STORMWATER MANAGEMENT DIVISION.
 12. NO PERMANENT SLOPES SHALL BE STEEPER THAN 2:1 AND THE CONSTRUCTION OF ANY SLOPE STEEPER THAN 2:1 SHALL BE SUPERVISED BY A GEOTECHNICAL ENGINEER'S REPRESENTATIVE TO ENSURE PROPER COMPACTION AND STABILIZATION.

STRUCTURE TABLE

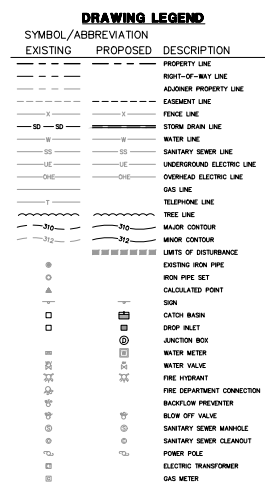
ST NO.	RAW ELEV. (FT)	STRUCTURE TYPE
EX CR	300.64	EX CR
1	305.49	CR
2	306.47	CR
3	307.55	CR
4	307.50	CR
5	307.32	CR
6	307.25	CR
7	309.80	CR
8	307.40	CR
9	306.50	CR
10	305.28	PIPE END
11	305.28	PIPE END
12	301.68	PIPE END

MAN ELEV. REFER TO:
 JUNCTION BOX/OD TOP OF MANHOLE COVER
 CATCH BASIN, BOT OF CURB/TOP OF ISHLE
 DROP INLET/AS TOP OF CASTING/GRATE
 PIPE END INVERT

PIPE TABLE

US STR	DS STR	DIAMETER (IN)	MATERIAL	US INV. (FT)	DS INV. (FT)	LENGTH (FT)	SLOPE (FT/FT)
1	18	RCP	RCP	305.00	303.70	34	0.0388
2	4	18	RCP	302.70	301.90	90	0.0089
3	4	18	RCP	301.90	301.70	35	0.0057
4	5	18	RCP	301.70	301.30	44	0.0090
5	8	24	RCP	301.50	301.00	30	0.0166
6	10	24	RCP	301.00	300.60	50	0.0080
7	8	12	PVC	304.00	301.50	67	0.0371
8	9	12	PVC	301.50	300.90	61	0.0101
9	10	18	PVC	300.90	300.80	19	0.0053
9	10	12	PVC	300.90	300.70	24	0.0084
10	11	24	RCP	300.60	300.53	6	0.0027
10	EX CR	15	RCP	300.60	298.70	30	0.0633

- ### PLAN KEY NOTES
- ① NYLON/PLAST IN-LINE DRAIN (OR APPROVED EQUAL) (TYP.)
 - ② 4" SCH. 40 PVC / DUAL WALL HOPE STORM DRAIN FOR 60% STRENGTH & 1% MIN. SLOPE (TYP. - UNLESS OTHERWISE NOTED)
 - ③ 8" SCH. 40 PVC / DUAL WALL HOPE ROOF DRAIN @ 1% MIN. SLOPE, SIZE AS NOTED (TYP.)
 - ④ ROOF DRAIN CONNECTION & STD. CLEANOUT ASSEMBLY (MATCH ROOF DRAIN SIZE - TYP.)
 - ⑤ STORMWATER CLEANOUT (TYP.)
 - ⑥ TRENCH DRAIN (TYP.)
 - ⑦ 4" SCH. 40 PVC / DUAL WALL HOPE PERFORATED UNDERDRAIN (TYP.)



DATE: 18 FEB 22
 JOB # 107013.41
 DATE: 18 FEB 22
 SCALE: AS NOTED
 DRAWN BY: D.G.S.
 REVIEWED BY: C.J.S.
 SHEET: C1201-2

GRADING & STORM DRAINAGE PLAN - PHASE 2
 LINK APARTMENTS CALXY II
 GLEN LENNOX - BLOCK 4 - PHASE 2
 CHAPEL HILL, NC
 DACP DRAWINGS

GRADING & STORM DRAINAGE PLAN - PHASE 2

GRAPHIC SCALE IN FEET
 1 inch = 20 ft

REVIEW DRAWING
 NOT FOR CONSTRUCTION

EXHIBIT B



BEACHAM BUNCE + MANLEY ARCHITECTURE PLLC
 1435 WEST MOREHEAD STREET
 SUITE 100
 CHARLOTTE, NC 28208
 704.354.1716

WWW.BBM-ARCH.COM



08.24.2021

50% CONSTRUCTION DOCUMENTS

LINK CALYX PHASE II



GRUBB PROPERTIES
 People who care. Places that matter.

LOCATION # CHAPEL HILL, NC
 PROJECT # J21GRU030
 DATE / 08.12.2022
 DRAWN / Author

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No.	Description	Date
A	PER DACP REVIEW COMMENTS	04.08.2022
B	PER DACP REVIEW COMMENTS & CLIENT REVISIONS	06.10.2022
C	PER DACP REVIEW COMMENTS & CLIENT REVISIONS	08.12.2022

BUILDING ELEVATIONS

MATERIAL LEGEND

[Grey Swatch]	FC-1: WHITE FIBER CEMENT PANEL
[Light Grey Swatch]	FC-2: LIGHT GREY FIBER CEMENT PANEL
[Dark Grey Swatch]	FC-3: GREY FIBER CEMENT PANEL
[Very Dark Grey Swatch]	FC-4: DARK GREY FIBER CEMENT PANEL
[Black Swatch]	FC-5: BLACK FIBER CEMENT PANEL
[Brown Swatch]	FC-6: WOOD LOOK FIBER CEMENT PANEL
[Blue Swatch]	FC-7: ACCENT COLOR FIBER CEMENT PANEL
[Light Grey Swatch]	FCL-1: FIBER CEMENT LAP SIDING, 5" EXPOSURE, COLOR 1
[Dark Grey Swatch]	FCL-2: FIBER CEMENT LAP SIDING, 5" EXPOSURE, COLOR 2
[Brick Swatch]	BR-1: UTILITY BRICK VENEER, COLOR 1
[Dark Brick Swatch]	BR-2: UTILITY BRICK VENEER, RUNNING BOND, COLOR 2
[Light Brick Swatch]	BR-3: UTILITY BRICK VENEER, RUNNING BOND, COLOR 3
[Metal Swatch]	MFL-1: METAL PANEL CLADDING SYSTEM, COLOR TBD

For the major modification to the Glen Lennox Development Agreement (DOC #3006302) approved 2001/5/15, Ordinance A Section increased the building height of Block 4 as shown in the table below:

HEIGHT MODIFICATION

BLOCK	ADDED STORIES	TOTAL
A	+1	6
BB	+2	6
CC	+1	5

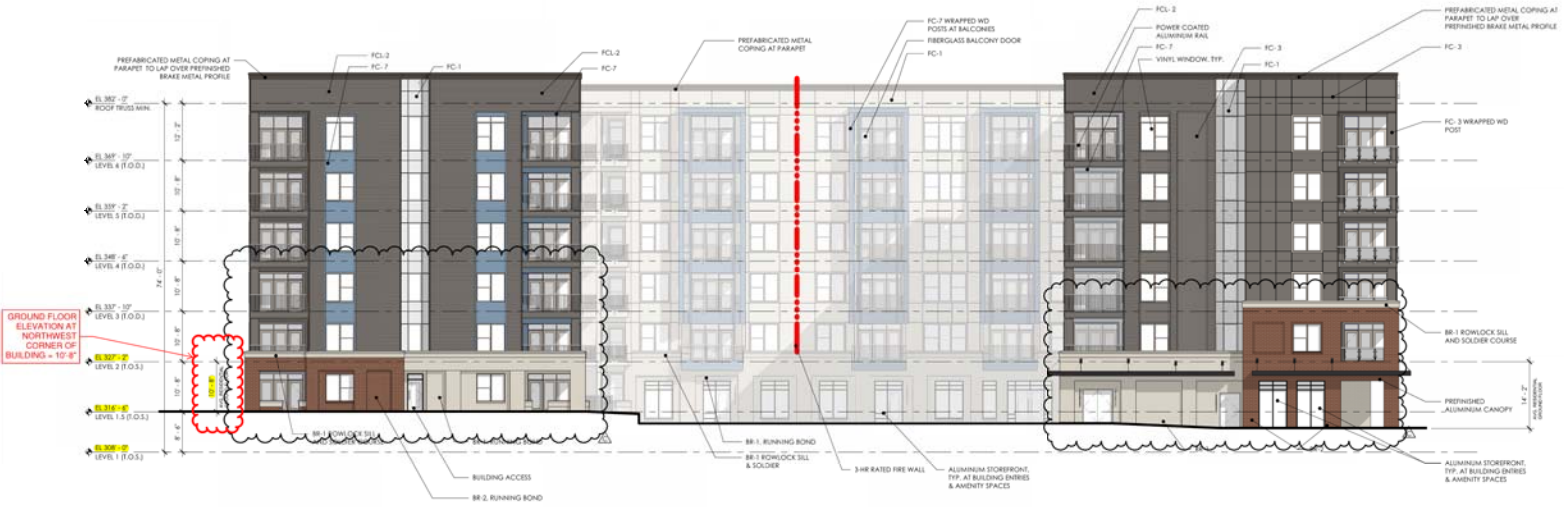
5.4 DESIGN STANDARDS AND PUBLIC ART
 EACH FLOOR OF ANY COMMERCIAL BUILDING FACING A PRIMARY STREET SHALL CONTAIN TRANSPARENT WINDOWS COVERING ANYWHERE FROM 20% TO 70% OF THE WALL AREA.

NOTE:
 PERSPECTIVE ELEVATIONS ARE INTENDED TO SHOW GENERAL BUILDING MASSING AND PENETRATION AND DO NOT REFLECT FINAL MATERIAL COLOR SELECTIONS



SOUTH ELEVATION
 SCALE: 3/32" = 1'-0"

1
 C-A4.01



WEST ELEVATION
 SCALE: 3/32" = 1'-0"

2
 C-A4.01

EXHIBIT C



BEACHMAN BUNGE + MANLEY ARCHITECTURE PLLC

1435 WEST MOREHEAD STREET
SUITE 100
CHARLOTTE, NC 28208
704.354.1716

WWW.BBM-ARCH.COM



08.24.2021

50% CONSTRUCTION DOCUMENTS

LINK CALYX PHASE II



GRUBB PROPERTIES
People who care. Places that matter.

LOCATION # CHAPEL HILL, NC
PROJECT # 21GRU030
DATE / 08.12.2022
DRAWN / Author

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No.	Description	Date
A	PER DACP REVIEW COMMENTS	04.08.2022
B	PER DACP REVIEW COMMENTS & CLIENT REVISIONS	06.10.2022
C	PER DACP REVIEW COMMENTS & CLIENT REVISIONS	08.12.2022

BUILDING ELEVATIONS

C-A4.02

MATERIAL LEGEND

- FC-1: WHITE FIBER CEMENT PANEL
- FC-2: LIGHT GREY FIBER CEMENT PANEL
- FC-3: GREY FIBER CEMENT PANEL
- FC-4: DARK GREY FIBER CEMENT PANEL
- FC-5: BLACK FIBER CEMENT PANEL
- FC-6: WOOD LOOK FIBER CEMENT PANEL
- FC-7: ACCENT COLOR FIBER CEMENT PANEL
- FCL-1: FIBER CEMENT LAP SIDING, 5' EXPOSURE, COLOR 1
- FCL-2: FIBER CEMENT LAP SIDING, 5' EXPOSURE, COLOR 2
- BR-1: UTILITY BRICK VENEER, COLOR 1
- BR-2: UTILITY BRICK VENEER, RUNNING BOND, COLOR 2
- BR-3: UTILITY BRICK VENEER, RUNNING BOND, COLOR 3
- MTL-1: METAL PANEL, CLADDING SYSTEM, COLOR TB0

Per the major modification to the Glen Lennox Development Agreement (DOC #3006302) approved 2021/10/13, Ordinance A Section increased the building height of Block 4 as shown in the table below:

HEIGHT MODIFICATION

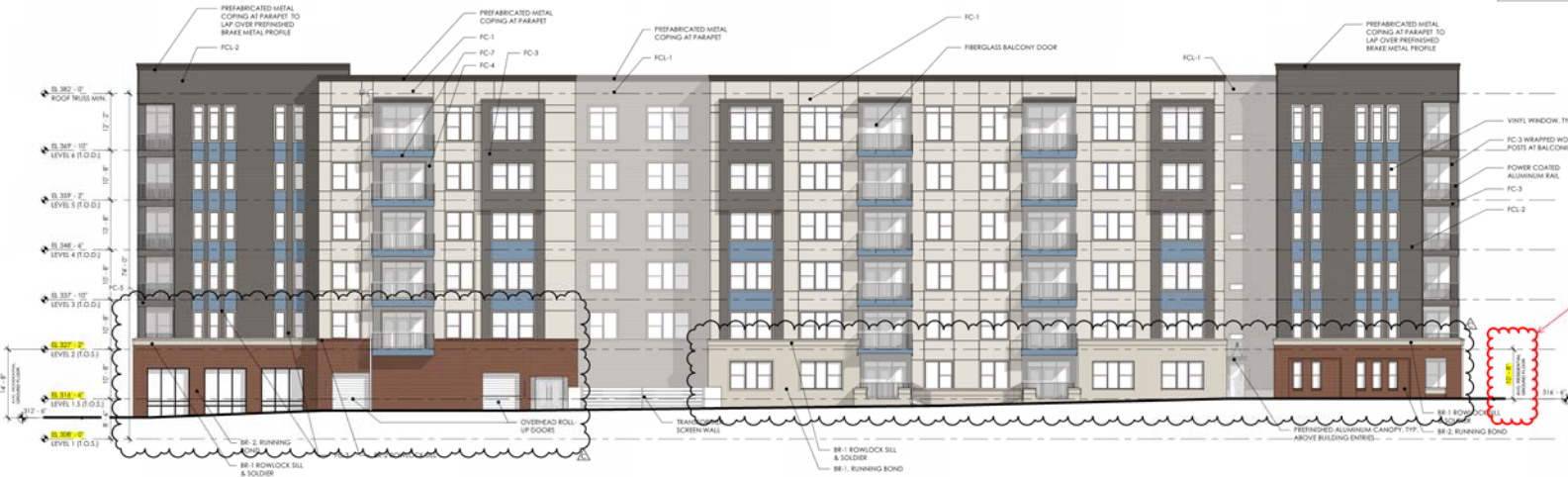
BLOCK	STORIES	
	ADDED	TOTAL
A	+1	6
TR	+2	6
NC	+1	5

S4 DESIGN STANDARDS AND PUBLIC ART
EACH FLOOR OF ANY COMMERCIAL BUILDING FACING A PRIMARY STREET SHALL CONTAIN TRANSPARENT WINDOWS COVERING ANYWHERE FROM 20% TO 70% OF THE WALL AREA.

NOTE:
PERSPECTIVE ELEVATIONS ARE INTENDED TO SHOW OVERALL BUILDING MASSING AND PENETRATION AND DO NOT REFLECT FINAL MATERIAL COLOR SELECTIONS

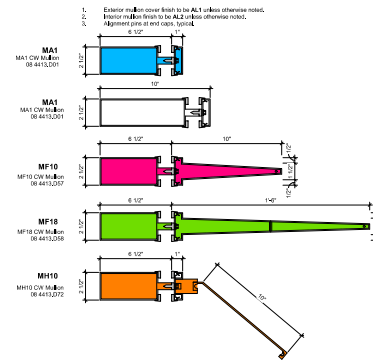


1
C-A4.02



2
C-A4.02

CW Mullion Types



Exterior Elevation Notes

- A. All Mullions MH1 unless otherwise noted.
- B. All Exposed Exterior Steel Channels to be coated with Encasement Powder with Smooth Finish.
- C. All Mullions on Level 1 and Level 2 to have ALU Finish on Both Interior and Exterior Sides.

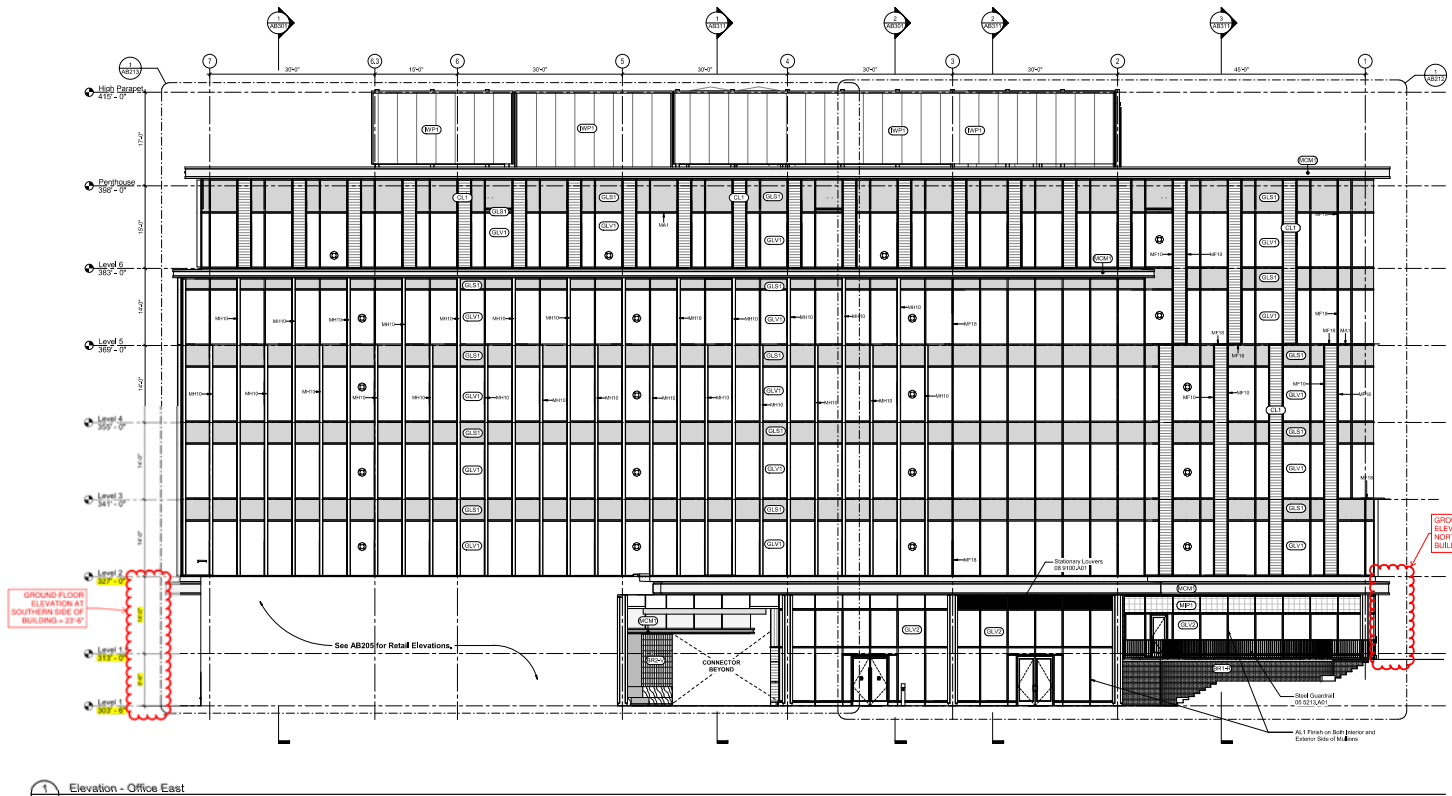
Exterior Elevation Symbols

Exterior Assembly Tag

- Type, Color Exterior Assembly, Finish

Smoke Removal Window/Glazing Unit Marking

- ① Opening to be temporary. Refer to local jurisdiction for specific code requirements of fixed coverage that can be removed by the department for smoke removal purposes. (IRC 415.4.7)

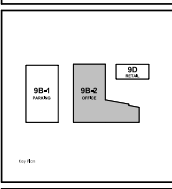


1 Elevation - Office East
 1/8" = 1'-0"
 REF: 1/AB201

**DUDA | PAINE
 ARCHITECTS**

FOR REVIEW PURPOSES ONLY

**GLEN LENNOX OFFICE BUILDING
 (BLOCK 9B-2)**
 101 Ecomas Street, Chapel Hill, NC 27517



See drawings for project and submittal sequence of conditions. All conditions shall be approved by the Authority Having Jurisdiction prior to installation. Any change in field conditions shall be reported to the Architect immediately. The Architect shall not be responsible for any conditions that arise after completion of installation or during the warranty period.

Date	Code	Description

Design Development
 Issue Date: 12/19/2022
 Project Number: 22117

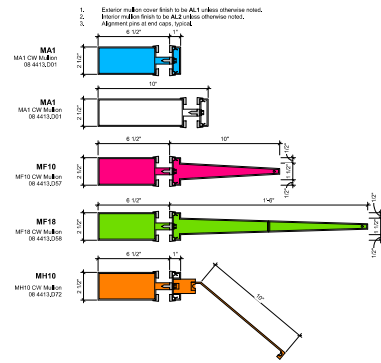
Exterior Elevation - East

AB202

9/2/2022 12:26:01 PM

EXHIBIT F

CW Mullion Types



Exterior Elevation Notes

- A. All Mullion M10 unless otherwise noted.
- B. All Exposed Exterior Steel Channels to be coated with Aquadurac Plus with Smooth Finish.
- C. All Mullion on Level 1 and 2 to have AC1 Finish on both Interior and Exterior Sides.

Exterior Elevation Symbols

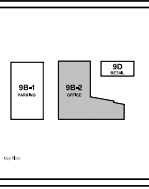
- Exterior Assembly Tag**
- ☐ Type, Size, Exterior Assembly, Finish
- Smoke Removal Window/Glazing Unit Marking**
- ⊕ Opening to be tempered. Refer to local jurisdiction for identification requirements of fixed coverage that can be removed by the occupant for smoke removal purposes. (IBC 403A.7)



OWNER GLEN LENNOX OFFICE BUILDING 101 Ecomes Street, Chapel Hill, NC 27517	ARCHITECT DUDA PAINE ARCHITECTS 101 Ecomes Street, Chapel Hill, NC 27517 Tel: 336.973.1111 www.dudapaine.com
DATE 12/22/2022	PROJECT NUMBER 22112
DESIGN DEVELOPMENT	PERMITTING
CONSTRUCTION DOCUMENTS	AS-BUILT
ARCHITECT'S SEAL	REGISTERED PROFESSIONAL ARCHITECT
DATE	STATE

FOR REVIEW PURPOSES ONLY

**GLEN LENNOX OFFICE BUILDING
(BLOCK 9B-2)**
101 Ecomes Street, Chapel Hill, NC 27517

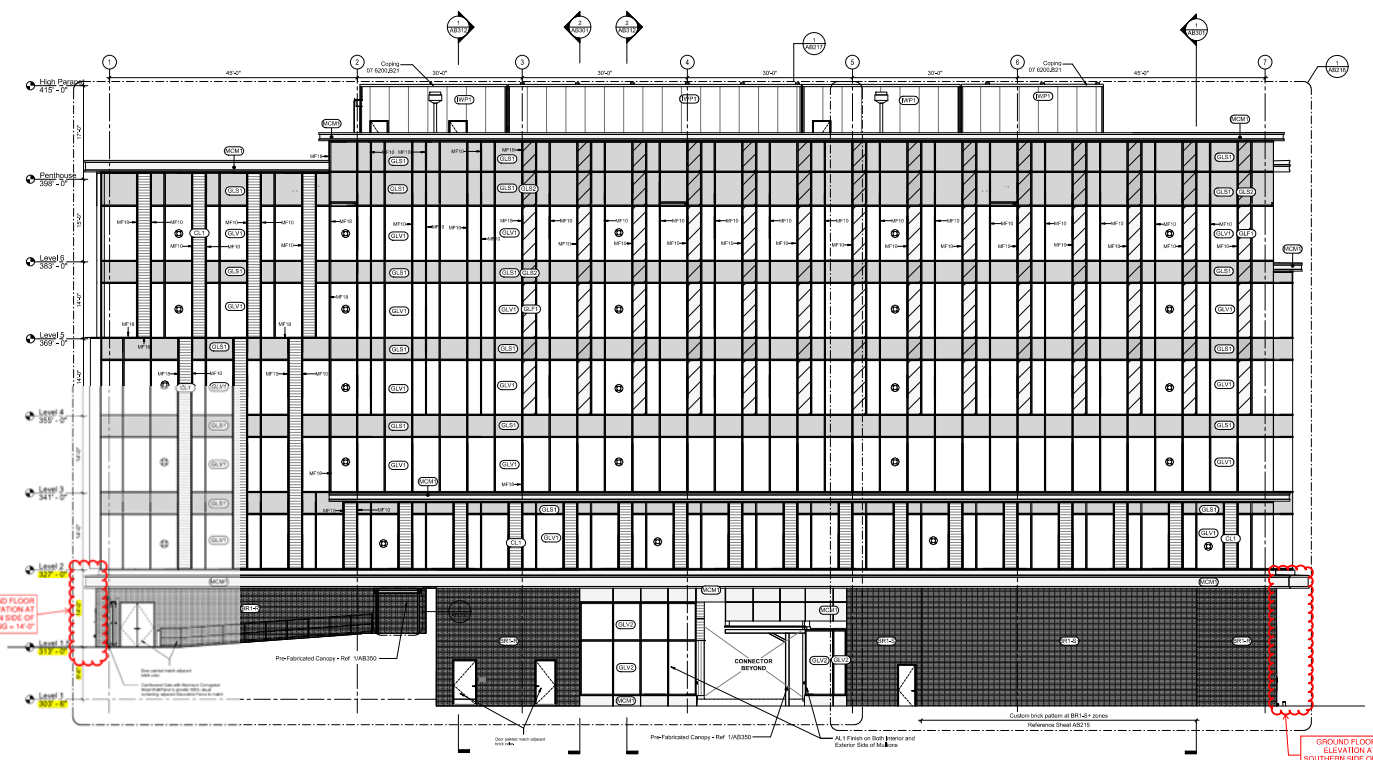


Date	Code	Description

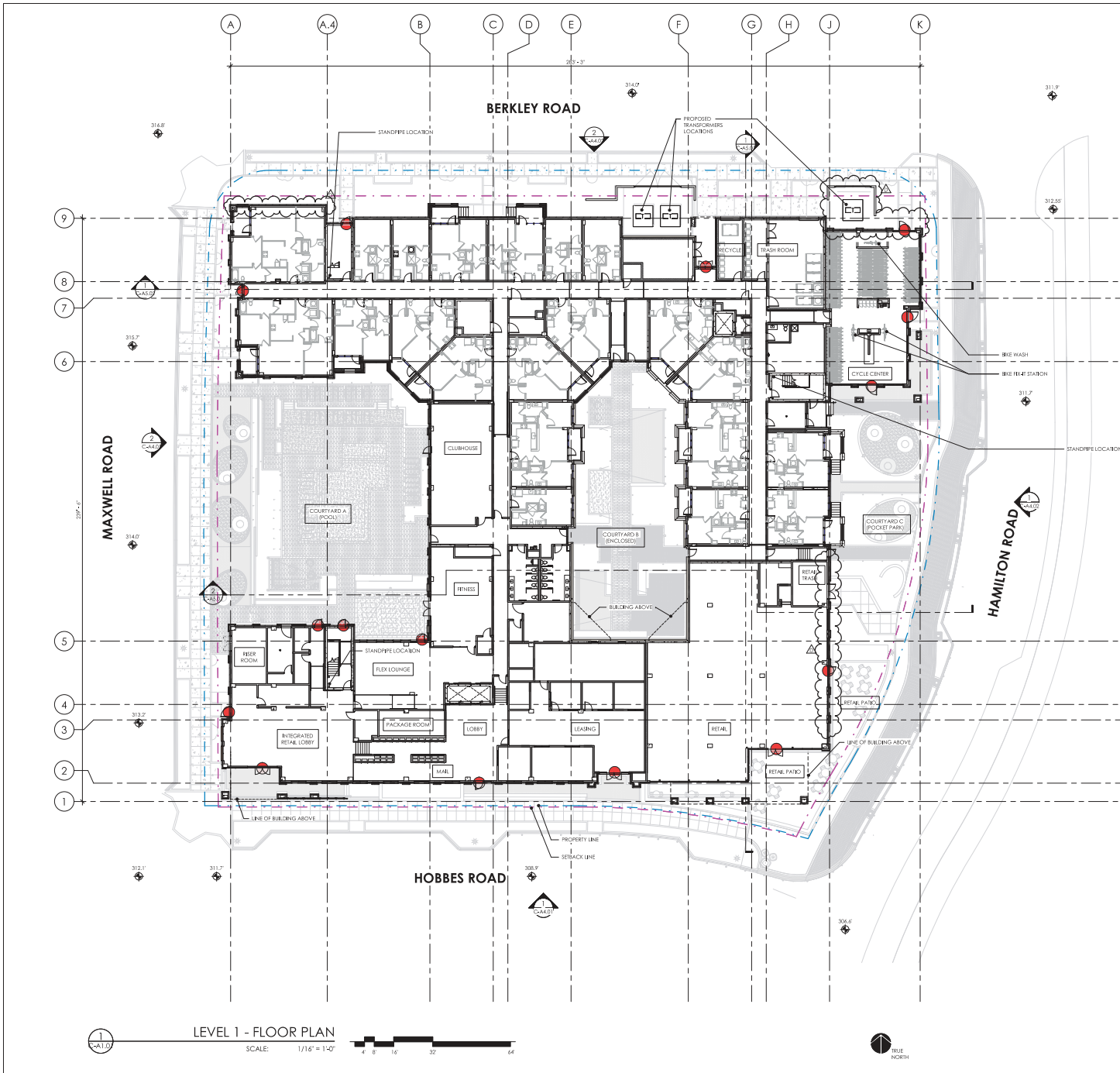
Design Development
Issue Date: 12/22/2022
Project Number: 22112

Exterior Elevations - West

AB204



1
AB204 Elevation - Office West
1/8" = 1'-0"
REF: 11/28/01



LEVEL 1 - FLOOR PLAN
SCALE: 1/16" = 1'-0"



LEGEND:

- PROPERTY LINE
- - - SETBACK LINE
- ACCESSIBLE ENTRANCE LOCATION

BIKE PARKING TOTALS

CYCLE CENTER	164
EXTERIOR BIKE LOOPS (SEE LANDSCAPE PLANS)	10
TOTAL	174



NOTE:
PLANS ARE INTENDED TO SHOW EXITS AND SET AND SHAPE OF SPACES AND DO NOT REFLECT FINAL MATERIAL COLOR SELECTIONS.



No.	Description	Date
B	PER DACP REVIEW COMMENTS & CLIENT REVISIONS	06.10.2022
C	PER DACP REVIEW COMMENTS & CLIENT REVISIONS	06.10.2022
D	PER DACP REVIEW COMMENTS	09.23.2022