



McADAMS

The John R. McAdams Company, Inc.
2905 Meridian Parkway
Durham, NC 27713

phone 919. 361. 5000
fax 919. 361. 2269
license number: C-0293, C-187

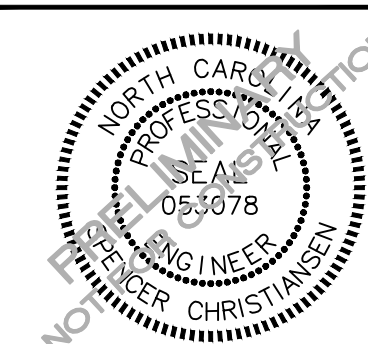
www.mcadamsco.com

CLIENT

REFUEL OPERATING COMPANY, LLC
547 LONG POINT RS, SUITE 103
MT. PLEASANT, SC 29464
Ryan Robinson, PMP
PHONE: 843. 388. 4966



STARPOINT - REFUEL MARKET
CONDITIONAL ZONING PERMIT
1950 US HWY 15-501 N
CHAPEL HILL, NC 27516



REVISIONS

NO. DATE

PLAN INFORMATION

PROJECT NO. RFM-21002
FILENAME RFM21002-D1
CHECKED BY SJC
DRAWN BY WHM
SCALE N/A
DATE 09.23.2022

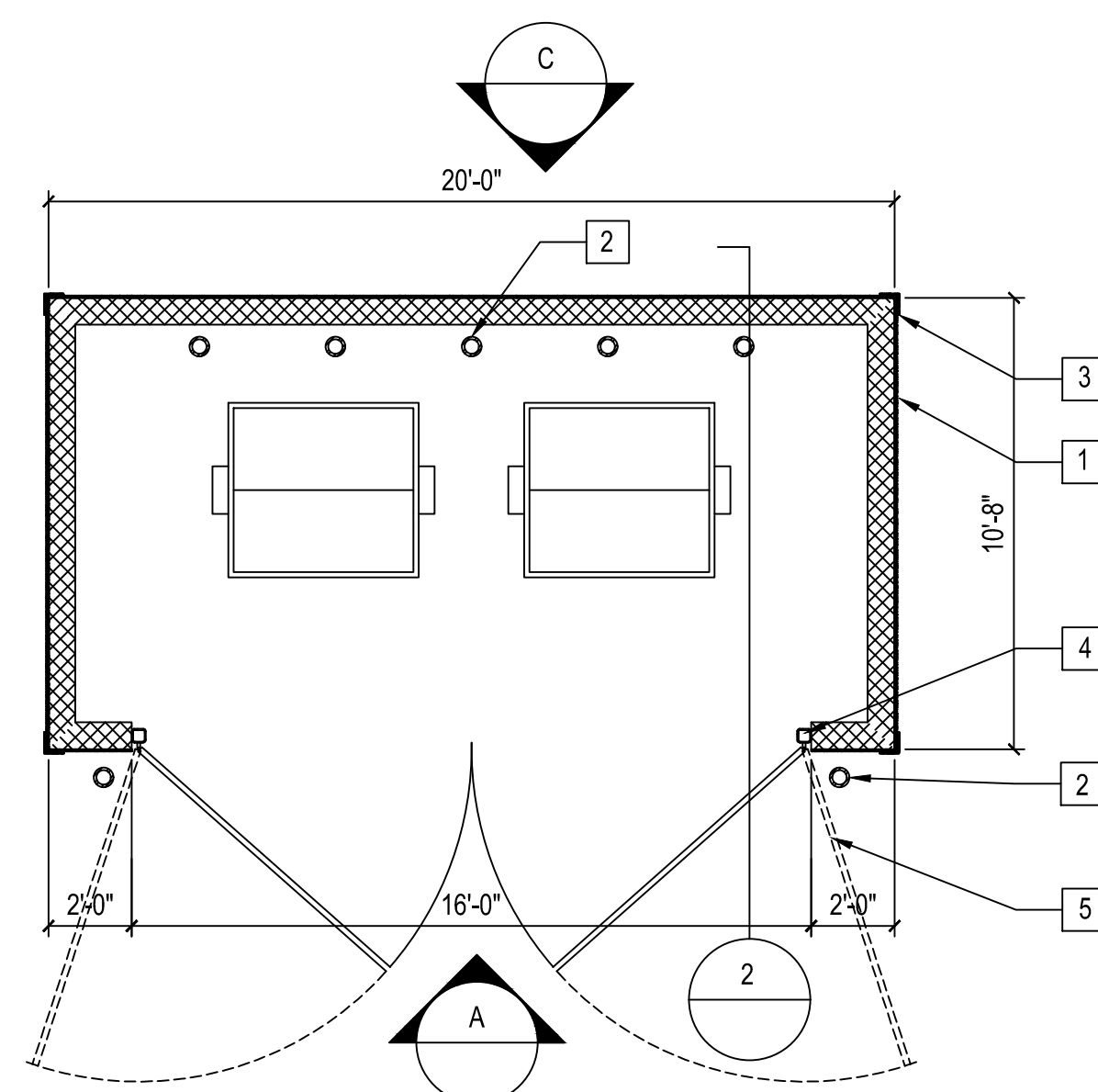
SHEET

SITE DETAILS

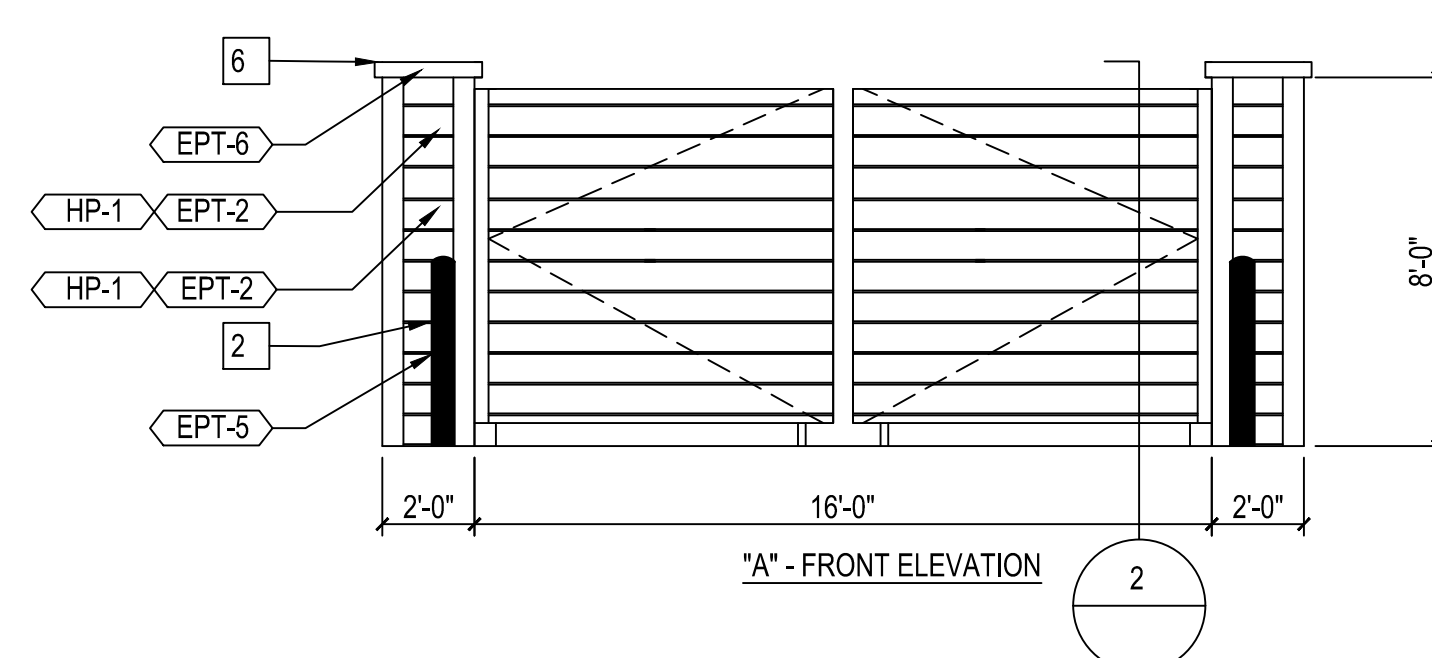
C8.01

KEY NOTES

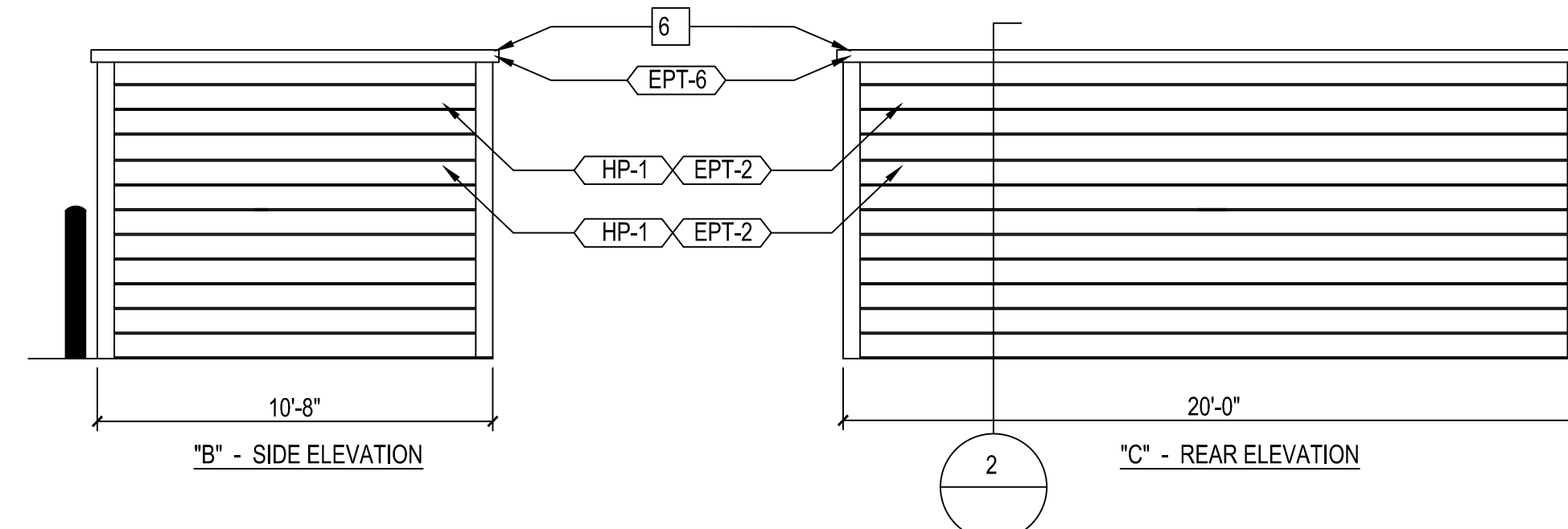
- 1 HARDI-PLANK SIDING ATTACHED TO 8" CMU WALL - REFER TO FINISH SCHEDULE.
- 2 6" CONCRETE FILLED BOLLARD. REFER TO STRUCTURAL SHEETS.
- 3 HARDI-TRIM - REFER TO FINISH SCHEDULE.
- 4 5" STEEL TUBE STEEL - SEE DETAIL 2/A-4.2 AND STRUCTURAL SHEETS.
- 5 HARDI-SIDING ATTACHED TO 2X4 FRAMING TO 2" METAL TUBE STEEL. SEE DETAIL 2/A-4.2.
- 6 CONCRETE CAP. REFER SECTION AND STRUCTURAL



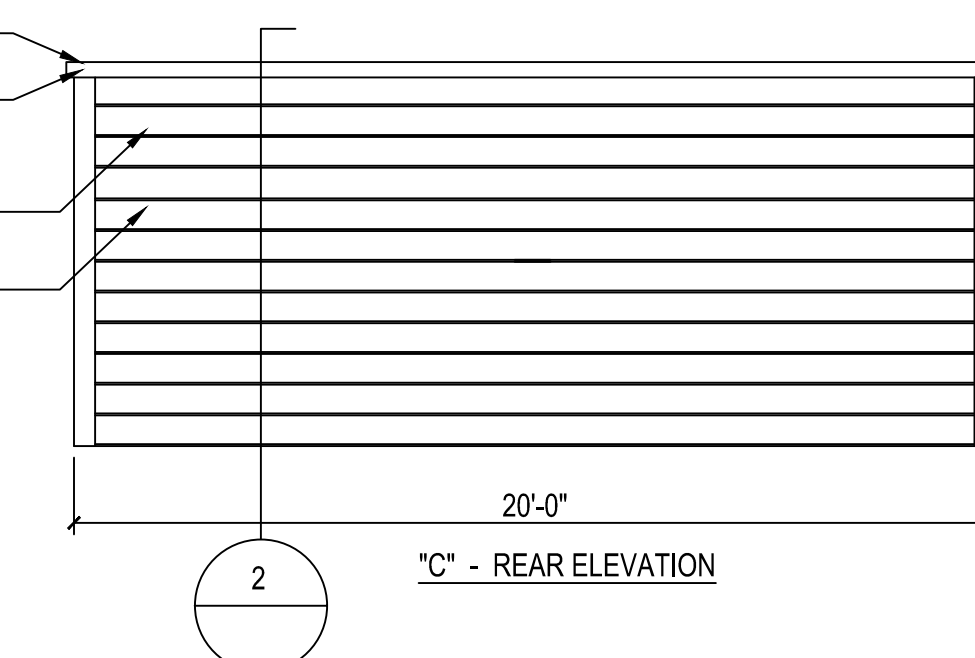
1 DUMPSTER FLOOR PLAN
NOT TO SCALE



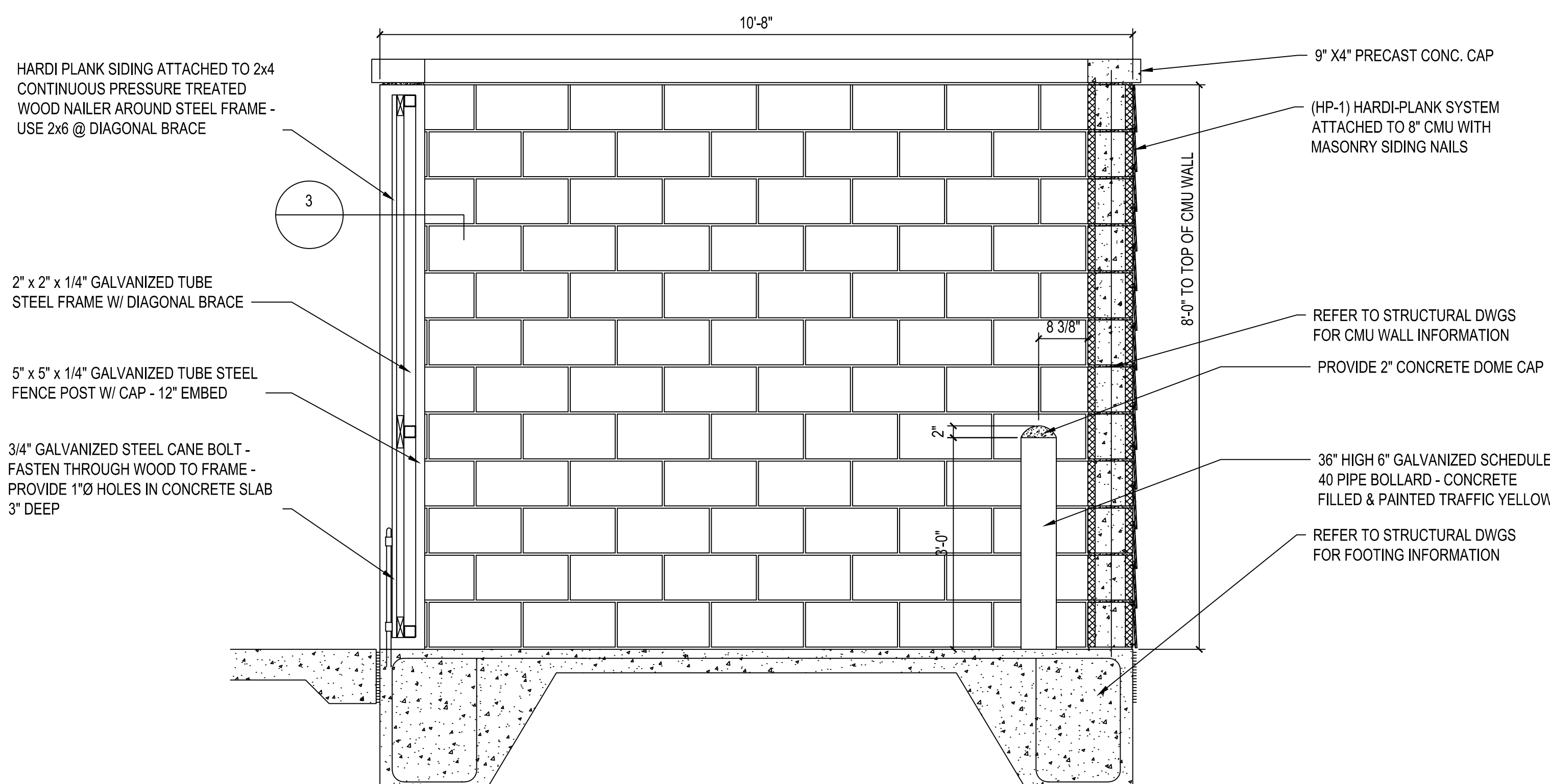
A DUMPSTER ELEVATION
NOT TO SCALE



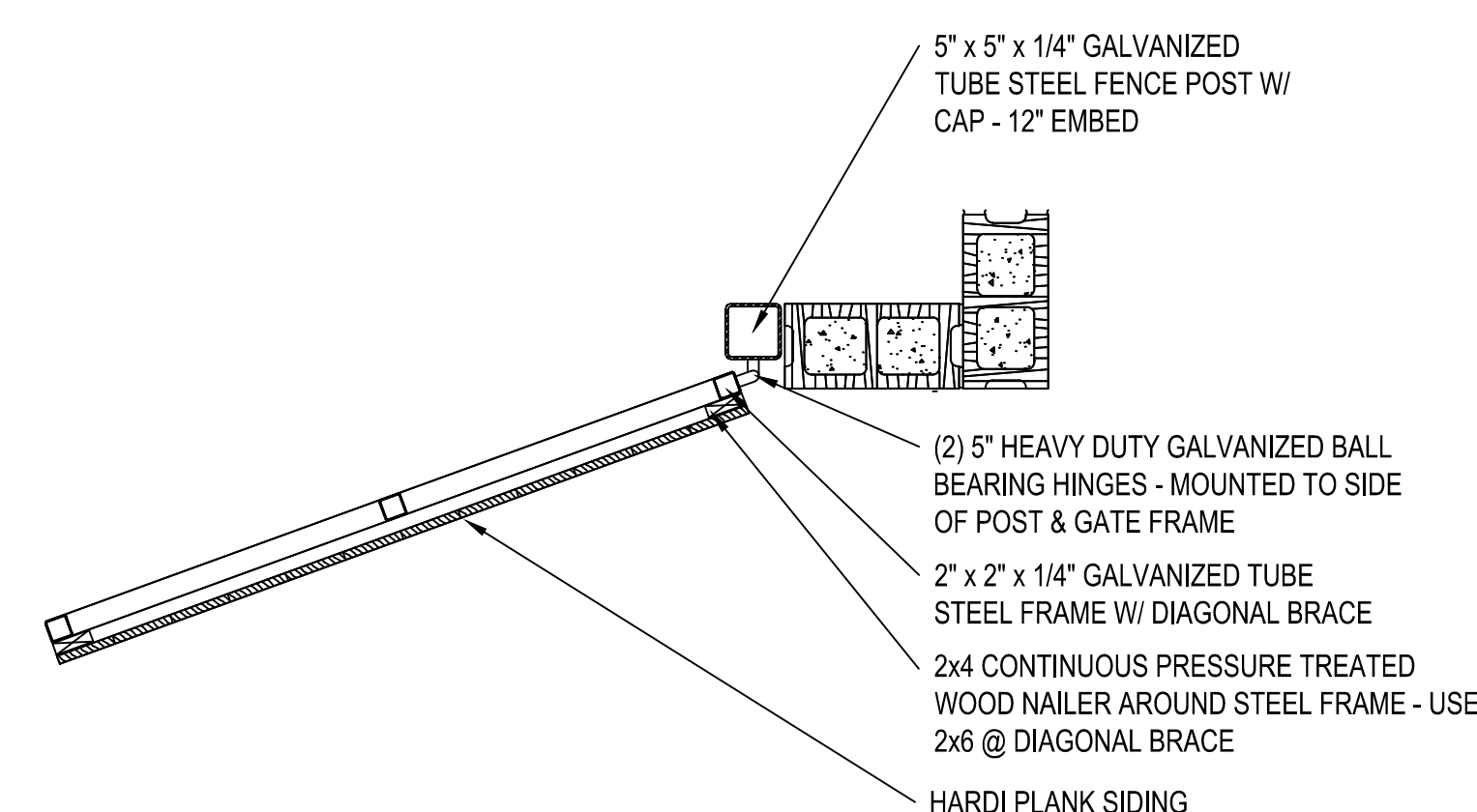
B DUMPSTER ELEVATION
NOT TO SCALE



C DUMPSTER ELEVATION
NOT TO SCALE



2 DUMPSTER WALL SECTION
NOT TO SCALE



3 DUMPSTER WALL SECTION
NOT TO SCALE

SEE SHEET C0.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT TOWN OF CHAPEL HILL, NCDOT, OWASA, AND ORANGE COUNTY ENGINEERING DESIGN AND CONSTRUCTION STANDARDS

I:\Projects\RFM\RFM21002\04-Production\Engineering\Construction Drawings\Current Drawings\1 - CIP Drawing\RFM21002-D1.dwg, 9/23/2022 8:58:44 AM, WHM, ACCUPLANT



McADAMS

The John R. McAdams Company, Inc.
2905 Meridian Parkway
Durham, NC 27713

phone 919. 361. 5000
fax 919. 361. 2269
license number: C-0293, C-187

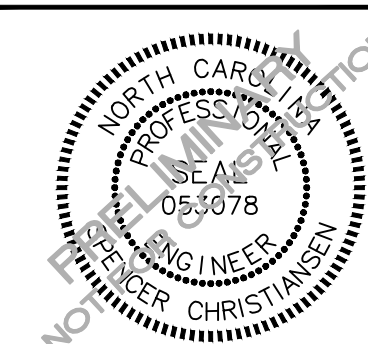
www.mcadamsco.com

CLIENT

REFUEL OPERATING COMPANY, LLC
547 LONG POINT RS, SUITE 103
MT. PLEASANT, SC 29464
Ryan Robinson, PMP
PHONE: 843. 388. 4966



STARPOINT - REFUEL MARKET
CONDITIONAL ZONING PERMIT
1950 US HWY 15-501 N
CHAPEL HILL, NC 27516



REVISIONS

NO. DATE

PLAN INFORMATION

PROJECT NO. RFM-21002
FILENAME RFM21002-TC1
CHECKED BY JAD
DRAWN BY CTM
SCALE 1" = 20'
DATE 09.23.2022

SHEET

LANDSCAPE PROTECTION
& TREE COVERAGE PLAN

L1.00

TREE CANOPY COVERAGE LEGEND

SF/TP SF/TP SILT/TREE PROTECTION FENCE
LD LD LIMITS OF DISTURBANCE

EXISTING CLEARED AREAS (EASEMENTS)	ACREAGE
EXISTING EASEMENTS	0.05 AC
AREAS TO BE CLEARED AND GRADED	
AREA TO BE REMOVED (ONSITE)	0.99 AC
LIMIT OF DISTURBANCE (INCLUDING OFFSITE)	TBD
AREA TO REMAIN	
PRESERVED AREA	0.11 AC

TREE CANOPY COVERAGE

REQUIREMENT:
(30% MINIMUM TREE CANOPY COVERAGE OF NET LAND AREA)

NET LAND AREA	
GROSS LAND AREA:	1.14 ACRES
EXISTING EASEMENTS:	-0.05 ACRES
NET LAND AREA:	1.09 ACRES

30% TREE CANOPY COVERAGE	
NET LAND AREA:	1.09 ACRES
30%:	X0.30
TREE CANOPY COVERAGE REQUIREMENT:	0.33 ACRES

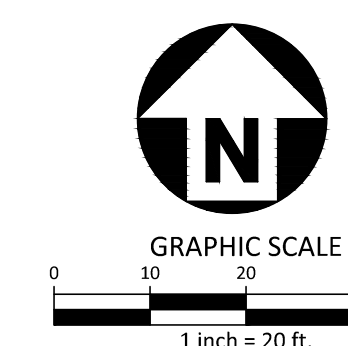
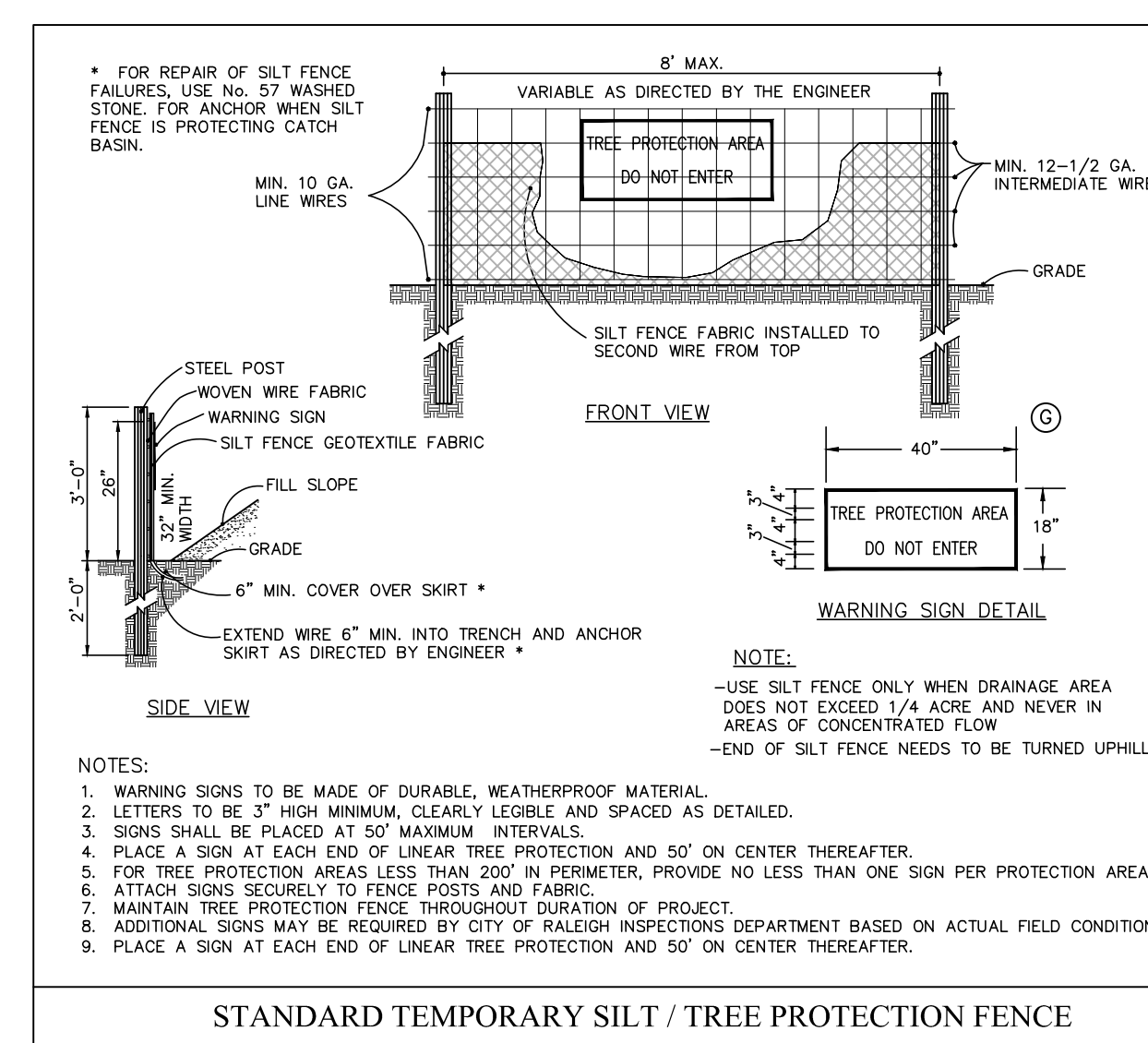
TREE CANOPY COVERAGE DEFICIT	
TREE CANOPY COVERAGE REQUIREMENT:	0.33 ACRES (30.27%)
EXISTING AREA TO REMAIN:	-0.11 ACRES (6.14%)
TREE CANOPY COVERAGE DEFICIT:	0.22 ACRES

CANOPY REPLACEMENT CALCULATIONS
REQUIREMENT:
(ONE LARGE TREE PER 500 SF OF TREE CANOPY COVERAGE DEFICIT)

TREE CANOPY COVERAGE DEFICIT:	0.22 ACRES (9,583 SF)
LARGE TREE REPLACEMENT REQUIRED:	20 TREES
LARGE TREE REPLACEMENT PROVIDED:	23 TREES (SEE SHEET L5.00)

LANDSCAPE NOTES:

- TREE CANOPY CALCULATIONS ARE SUBJECT TO CHANGE, FINAL TREE REPLACEMENT REQUIREMENT TO BE DETERMINED WITH FINAL SIGNED PLANS.
- TREE REPLACEMENT TO BE PROVIDED WITH TREE PLANTING, RESERVE AREA, PAYMENT-IN-LIEU, OR A COMBINATION OF THOSE OPTIONS.
- A LANDSCAPE PROTECTION SUPERVISOR WHO IS REGISTERED WITH THE TOWN OF CHAPEL HILL WILL BE PRESENT ON SITE AT ALL TIMES WHEN THE FOLLOWING ACTIVITIES ARE TAKING PLACE: CLEARING, GRUBBING, EXCAVATION, GRADING, TRENCHING, MOVING OF SOIL, INSTALLATION AND REMOVAL OF TREE PROTECTION FENCING, AND THE DELIVERY TRANSPORTING AND PLACEMENT OF CONSTRUCTION MATERIALS AND EQUIPMENT.
- PRIOR TO ANY SITE DISTURBANCE A TREE PROTECTION SEMINAR MUST BE ATTENDED BY THE CONTRACTOR W/ THE TOWN'S URBAN FORESTER. PLEASE CALL ADAM NICHOLSON AT 919.969.5006 FOR DETAILS.
- ALL INVASIVE AND UNHEALTHY PLANT MATERIAL TO BE REMOVED FROM THE BUFFERS AND PRESERVED AREA. CONTRACTOR TO ENSURE NO DAMAGE IS DONE TO EXISTING HEALTHY PLANT MATERIAL. ANY DAMAGED HEALTHY PLANT MATERIAL THAT REQUIRES REMOVAL SHALL BE REPLACED.

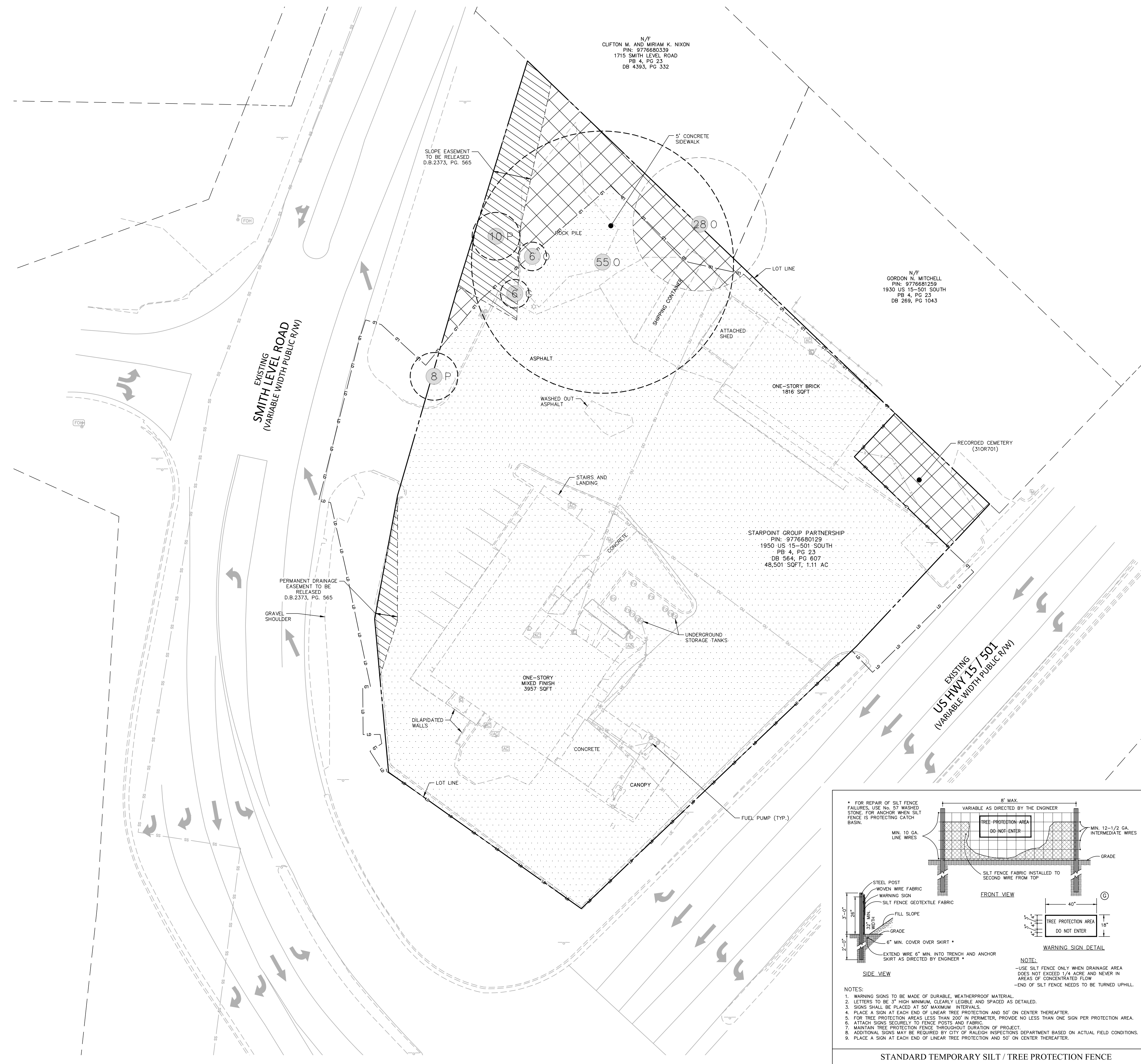


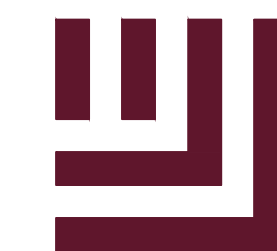
SEE SHEET C0.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT TOWN OF CHAPEL HILL, NCDOT, OWASA, AND ORANGE COUNTY ENGINEERING DESIGN AND CONSTRUCTION STANDARDS

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

M:\Projects\RFM\RFM21002\04-Production\Engineering\Construction Drawings\12 - CIP Drawing\RFM21002-TC1.dwg, 9/23/2022 8:59:58 AM, White, McCullison





McADAMS

The John R. McAdams Company, Inc.
2905 Meridian Parkway
Durham, NC 27713

phone 919. 361. 5000
fax 919. 361. 2269
license number: C-0293, C-187

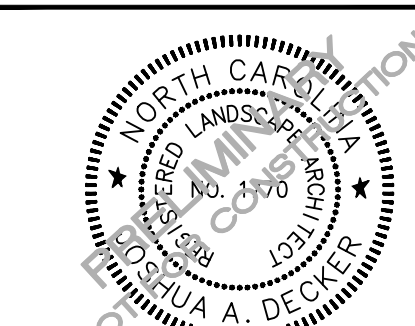
www.mcadamsco.com

CLIENT

REFUEL OPERATING COMPANY, LLC
547 LONG POINT RS, SUITE 103
MT. PLEASANT, SC 29464
Ryan Robinson, PMP
PHONE: 843. 388. 4966



STARPOINT - REFUEL MARKET
CONDITIONAL ZONING PERMIT
1950 US HWY 15-501 N
CHAPEL HILL, NC 27516



REVISIONS

NO. DATE

PLAN INFORMATION

PROJECT NO. RFM-21002
FILENAME RFM21002-LS1
CHECKED BY JAD
DRAWN BY CMXY
SCALE 1" = 20'
DATE 09.23.2022

SHEET

LANDSCAPE PLAN

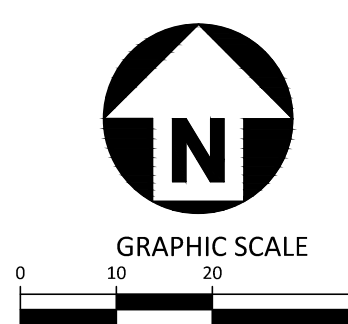
L5.00

SITE LEGEND

- SIGNAGE
- YARD LIGHTS
- LIGHT POLE
- POWER POLE
- TRAFFIC DIRECTIONAL ARROW
- ACCESSIBLE PARKING STALL
- VAN ACCESSIBLE PARKING STALL
- PARKING SPACE COUNT
- ACCESSIBLE RAMPS
- ACCESSIBLE ROUTE
- PHASE LINE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- LOT LINE
- EASEMENT LINE
- CENTERLINE

PLANT SCHEDULE OVERALL LANDSCAPE PLAN

LARGE TREES	CODE	QTY	COMMON NAME	BOTANICAL NAME
	NBG	6	Black Gum	Nyssa sylvatica
	QHL	8	Laurel Oak	Quercus hemisphaerica
	QRU	11	Red Oak	Quercus rubra
SMALL TREES	CODE	QTY	COMMON NAME	BOTANICAL NAME
	HCS	15	Silverbell	Halesia carolina
	IAH	11	American Holly	Ilex opaca
SHRUBS	CODE	QTY	COMMON NAME	BOTANICAL NAME
	CAAB	14	American Beautyberry	Callicarpa americana
	HQOH	16	Oakleaf Hydrangea	Hydrangea quercifolia
	ICCC	7	Carissa Holly	Ilex cornuta 'Carissa'
	ICSJ	40	Steeds Japanese Holly	Ilex crenata 'Steeds'
	IGNN	19	Nigra Inkberry	Ilex glabra 'Nigra'
	IVSW	28	Virginia Sweetspire	Itea virginica
GRASSES	CODE	QTY	COMMON NAME	BOTANICAL NAME
	PAHH	16	Hamel Dwarf Fountain Grass	Pennisetum alopecuroides 'Hamel'
GROUND COVERS	CODE	QTY	COMMON NAME	BOTANICAL NAME
	CYDA	12,395 sf	Bermuda Sod	Cynodon dactylon
	LMMW	612	Monroe White Liriope	Liriope muscari 'Monroe White'
	PAFG	230	Cassian Fountain Grass	Pennisetum alopecuroides 'Cassian'

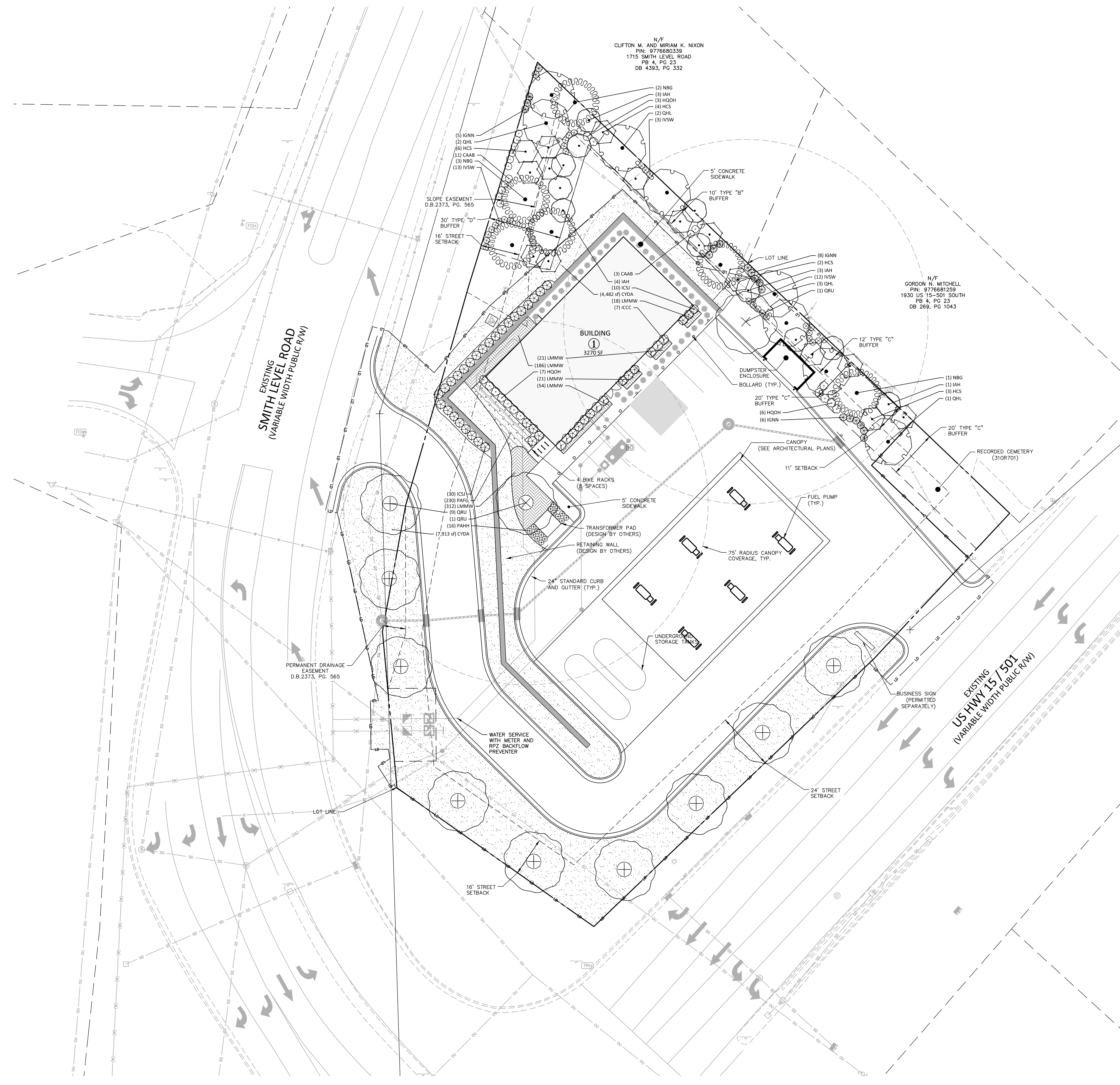


SEE SHEET C0.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT TOWN OF CHAPEL HILL, NCDOT, OWASA, AND ORANGE COUNTY ENGINEERING DESIGN AND CONSTRUCTION STANDARDS

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

M:\Projects\RFM\RFM21002\04-Production\Engineering\Construction Drawings\2 - CIP Drawing\RFM21002-LS1.dwg, 9/23/2022 9:02:07 AM, Whitt, M.Caldwell



N/F CLIFTON M. AND MIRIAM K. NIXON
PIN: 977660339
1715 SMITH LEVEL ROAD
PB 4, PG 23
DB 4393, PG 332

N/F GORDON N. MITCHELL
PIN: 9776681259
1930 US 15-501 SOUTH
PB 4, PG 23
DB 269, PG 1043

BUILDING 1
3270 SF

TRANSFORMER PAD
(DESIGN BY OTHERS)

RETAINING WALL
(DESIGN BY OTHERS)

WATER SERVICE WITH METER AND RPZ BACKFLOW PREVENTER

FUEL PUMP (TYP.)

UNDERGROUND STORAGE TANK

BUSINESS SIGN (PERMITTED SEPARATELY)

24' STREET SETBACK

16' STREET SETBACK

24' STREET SETBACK

16' STREET SETBACK

GENERAL LANDSCAPE NOTES:

- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF CHAPEL HILL AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
- CONTRACTOR IS RESPONSIBLE FOR THE SITE INSPECTION BEFORE LANDSCAPE CONSTRUCTION AND INSTALLATION IN ORDER TO BECOME FAMILIAR WITH THE EXISTING CONDITIONS.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES BEFORE BEGINNING DEMOLITION OR INSTALLATION.
- CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE NOTES, SPECIFICATIONS, DRAWINGS OR SITE CONDITIONS FOR RESOLUTION PRIOR TO INSTALLATION.
- ANY DAMAGE TO UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- THIS PLAN IS FOR PLANTING PURPOSES ONLY. FOR INFORMATION REGARDING BUILDINGS, GRADING, WALLS, ETC., REFER TO ARCHITECTURE, SITE AND GRADING PLANS.
- VERIFICATION OF TOTAL PLANT QUANTITIES AS SHOWN IN THE PLANT SCHEDULE SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
- CONTRACTOR TO ENSURE PROPER STABILIZATION AND SEEDING OF THE SITE IN ACCORDANCE WITH APPLICABLE REGULATIONS.
- LANDSCAPE MATERIAL SHALL BE WELL FORMED, VIGOROUS, GROWING SPECIMENS WITH GROWTH TYPICAL OF VARIETIES SPECIFIED AND SHALL BE FREE FROM DAMAGE, INSECTS AND DISEASES. MATERIAL SHALL EQUAL OR SURPASS #1 QUALITY AS DEFINED IN THE CURRENT ISSUE OF "AMERICAN STANDARD FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
- ALL PLANT MATERIAL IS TO BE CAREFULLY HANDLED BY THE ROOT BALL, NOT THE TRUNK, BRANCHES AND/OR FOLIAGE OF THE PLANT. MISHANDLED PLANT MATERIAL MAY BE REJECTED BY THE LANDSCAPE ARCHITECT.
- ALL PLANT MATERIAL IS TO BE WELL ROOTED, NOT ROOT BOUND, SUCH THAT THE ROOT BALL REMAINS INTACT THROUGHOUT THE PLANTING PROCESS. DEFICIENT PLANT MATERIAL MAY BE REJECTED BY THE LANDSCAPE ARCHITECT OR OWNER.
- ALL PLANTS TO BE A MINIMUM OF WHAT IS SPECIFIED IN THE PLANT SCHEDULE. ANY CHANGES OR SUBSTITUTIONS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT AND GOVERNING JURISDICTION PRIOR TO ANY HOLE BEING DUG.
- CONTRACTOR TO COORDINATE WITH OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT TO ESTABLISH THE EXTENTS OF MULCH/SEED/SOD IF NOT SPECIFICALLY SHOWN ON PLANS.
- CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE IN ALL PLANTING AREAS.
- PROPOSED TREES TO BE PLANTED A MINIMUM 10 FEET FROM ANY LIGHT POLE AS MEASURED FROM TRUNK OF THE TREE TO THE POLE.
- PROPOSED TREES TO BE PLANTED A MINIMUM 5 FEET FROM ANY FIRE HYDRANT AS MEASURED FROM TRUNK OF THE TREE TO THE HYDRANT.
- CONTRACTOR SHALL COMPLETE SOIL TEST IN ALL PLANTING AREAS TO DETERMINE SOIL AMENDMENT REQUIREMENTS UNLESS WAIVED BY OWNER'S REPRESENTATIVE. CONTRACTOR SHALL ADJUST PH AND FERTILITY BASED UPON THE SOIL TEST RESULTS.
- TOPSOIL SHALL BE FREE OF MATERIAL LARGER THAN 1.0 INCH IN DIAMETER OR LENGTH AND SHALL NOT CONTAIN SLAG, CINDERS, STONES, LUMPS OF SOIL, STICKS, TRASH, OR OTHER EXTRANEOUS MATERIAL.
- LOOSEN SUBGRADE / SURFACE SOIL TO A MINIMUM DEPTH OF 6 INCHES. APPLY SOIL AMENDMENTS AND FERTILIZERS AS REQUIRED BY THE SOIL TEST RESULTS TO ACHIEVE A HEALTHY GROWING MEDIA AND MIX THOROUGHLY INTO TOP 4 INCHES OF SOIL. SPREAD PLANTING SOIL MIX TO A DEPTH OF 6 INCHES BUT NOT LESS THAN REQUIRED TO MEET FINISH GRADES AFTER NATURAL SETTLEMENT. DO NOT SPREAD IF PLANTING SOIL OR SUBGRADE IS FROZEN, MUDDY, OR EXCESSIVELY WET.
- IF IMPORTED TOPSOIL IS REQUIRED, THE SUBGRADE SHALL BE SCARIFIED OR TILLED TO A DEPTH OF AT LEAST 6 INCHES PRIOR TO INSTALLATION OF IMPORTED TOPSOIL, FOLLOWING INSTALLATION OF IMPORTED TOPSOIL, THE TOPSOIL SHALL BE TILLED TO INTEGRATE THE SOIL PROFILES.
- PLANT MATERIALS ARE TO BE GUARANTEED FOR A PERIOD OF 12 MONTHS. PLANT MATERIALS WHICH REMAIN UNHEALTHY WILL BE REPLACED BY THE LANDSCAPE CONTRACTOR BEFORE THE EXPIRATION OF THE GUARANTEE PERIOD OR IMMEDIATELY IF SO DIRECTED BY THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT.
- ALL TREE PLANTINGS SHALL BE MULCHED TO A DEPTH OF 3 INCHES, AND WITH A MINIMUM 3 FOOT RADIUS FROM BASE OF TREE OR TO DRIPLINE. MULCH SHALL BE FREE OF TRASH AND MAINTAINED WEED FREE. MULCH SHALL NOT COVER THE ROOT FLARE. CONFIRM MULCH SPECIFICATIONS WITH OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT.
- DO NOT PRUNE TREES AND SHRUBS BEFORE DELIVERY. PROTECT BARK, BRANCHES, AND ROOT SYSTEMS FROM SUN SCALD, DRYING, SWEATING, WHIPPING, AND OTHER HANDLING AND TYING DAMAGE. DO NOT BEND OR BIND-TIE TREES OR SHRUBS IN SUCH A MANNER AS TO DESTROY THEIR NATURAL SHAPE. PROVIDE PROTECTIVE COVERING OF EXTERIOR PLANTS DURING DELIVERY. DO NOT DROP EXTERIOR PLANTS DURING DELIVERY AND HANDLING.
- DELIVER EXTERIOR PLANTS AFTER PREPARATIONS FOR PLANTING HAVE BEEN COMPLETED AND INSTALL IMMEDIATELY. IMMEDIATELY AFTER UNLOADING, STAND THE TREES UP TO REDUCE THE RISK OF SUN SCALD. PROPERLY STAGED TREES ARE STANDING, UNTIED AND SPACED, UNLESS IMMEDIATELY INSTALLED. SET EXTERIOR PLANTS AND TREES IN SHADE, PROTECT FROM WEATHER AND MECHANICAL DAMAGE, AND KEEP ROOTS MOIST.
- SEE LANDSCAPE DETAILS FOR TREE STAKING REQUIREMENTS.
- EXCAVATE EDGES OF ALL PLANTING BEDS TO 2 INCH DEPTH TO FORM A NEAT AND CRISP DEFINITION.
- CONTRACTOR SHALL REMOVE DEBRIS AND FINE GRADE ALL PLANTING AREAS PRIOR TO INSTALLATION.
- REMOVE GUY WIRES AND STAKES AT END OF WARRANTY PERIOD OR ESTABLISHMENT.
- FINISH GRADING: GRADE PLANTING AREAS TO A SMOOTH, UNIFORM SURFACE PLANE WITH LOOSE, UNIFORMLY FINE TEXTURE. GRADE TO WITHIN PLUS OR MINUS 1/2 INCH OF FINISH ELEVATION. ROLL AND RAKE, REMOVE RIDGES, AND FILL DEPRESSIONS TO MEET FINISH GRADES. LIMIT FINISHED GRADING TO AREAS THAT CAN BE PLANTED IN THE IMMEDIATE FUTURE.

WARRANTY & MAINTENANCE:

- WARRANTY: INSTALLER SHALL REPAIR OR REPLACE ANY PLANTINGS THAT FAIL IN MATERIALS, WORKMANSHIP, OR GROWTH WITHIN ONE YEAR AFTER THE DATE OF SUBSTANTIAL COMPLETION. FAILURES INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING:
 - DEATH AND UNSATISFACTORY GROWTH, EXCEPT FOR DEFECTS RESULTING FROM LACK OF ADEQUATE MAINTENANCE, NEGLIGENCE, ABUSE BY OWNER, OR INCIDENTS THAT ARE BEYOND CONTRACTOR'S CONTROL.
 - STRUCTURAL FAILURES INCLUDING PLANTINGS FALLING OR BLOWING OVER.
- MAINTENANCE: INITIAL MAINTENANCE SHALL BE PROVIDED IMMEDIATELY AFTER EACH AREA IS PLANTED AND CONTINUE UNTIL SUBSTANTIAL COMPLETION. UPON SUBSTANTIAL COMPLETION, MAINTENANCE FOR ALL PLANT MATERIAL SHALL BE PROVIDED FOR ONE YEAR AT A MINIMUM SHALL INCLUDE:
 - TREE AND SHRUB MAINTENANCE: MAINTAIN PLANTINGS BY PRUNING, CULTIVATING, WATERING, WEEDING, FERTILIZING, RESTORING PLANTING SAUCERS, AND RESETTING TO PROPER GRADES OR VERTICAL POSITION, AS REQUIRED TO ESTABLISH HEALTHY, VIABLE PLANTINGS. SPRAY OR TREAT AS REQUIRED TO KEEP TREES AND SHRUBS FREE OF INSECTS AND DISEASE.
 - GROUND COVER AND PLANT MAINTENANCE: MAINTAIN AND ESTABLISH PLANTINGS BY WATERING, WEEDING, FERTILIZING, MULCHING, AND OTHER OPERATIONS AS REQUIRED TO ESTABLISH HEALTHY, VIABLE PLANTINGS.
 - PROTECT EXTERIOR PLANTS FROM DAMAGE DUE TO LANDSCAPE OPERATIONS, OPERATIONS BY OTHER CONTRACTORS AND TRADES, AND OTHERS. MAINTAIN PROTECTION DURING INSTALLATION AND MAINTENANCE PERIODS. TREAT, REPAIR, OR REPLACE DAMAGED PLANTINGS.

LANDSCAPE CALCULATIONS

PERIMETER BUFFERS

10' TYPE 'B' 100 LF

LARGE TREES	REQUIRED:	4 (4/100 LF)
	PROVIDED:	4
SMALL TREES	REQUIRED:	7 (7/100 LF)
	PROVIDED:	7
SHRUBS	REQUIRED:	12 (12/100 LF)
	PROVIDED:	12

12' TYPE 'C' 56 LF

LARGE TREES	REQUIRED:	3 (4/100 LF)
	PROVIDED:	3
SMALL TREES	REQUIRED:	5 (8/100 LF)
	PROVIDED:	5
SHRUBS	REQUIRED:	17 (30/100 LF)
	PROVIDED:	17

20' TYPE 'C' 38 LF

LARGE TREES	REQUIRED:	2 (4/100 LF)
	PROVIDED:	2
SMALL TREES	REQUIRED:	4 (8/100 LF)
	PROVIDED:	4
SHRUBS	REQUIRED:	12 (30/100 LF)
	PROVIDED:	12

30' TYPE 'D' 71 LF

LARGE TREES	REQUIRED:	5 (6/100 LF)
	PROVIDED:	5
SMALL TREES	REQUIRED:	10 (12/100 LF)
	PROVIDED:	10
SHRUBS	REQUIRED:	29 (40/100 LF)
	PROVIDED:	29

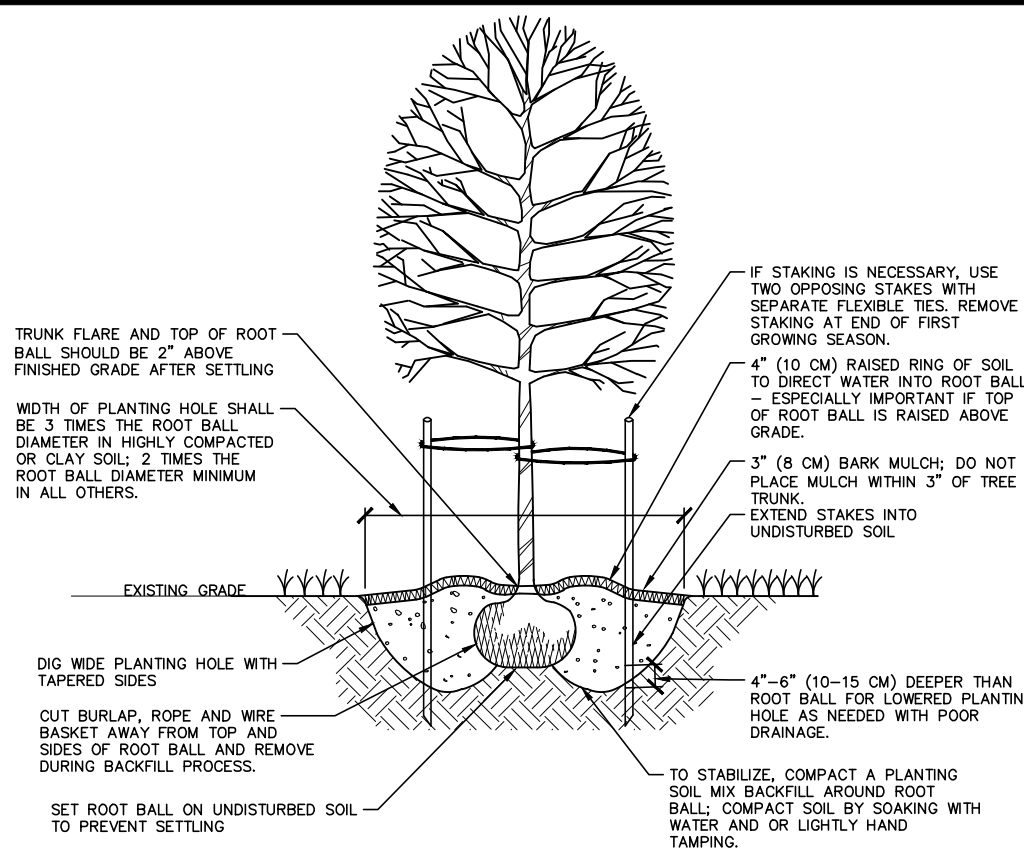
VEHICLE USE AREAS:

PARKING AREAS: 1741 SF

UPPERSTORY TREES:
 REQUIRED: = 1 [1 LARGE TREE PER 2000 SF]
 PROVIDED: = 2

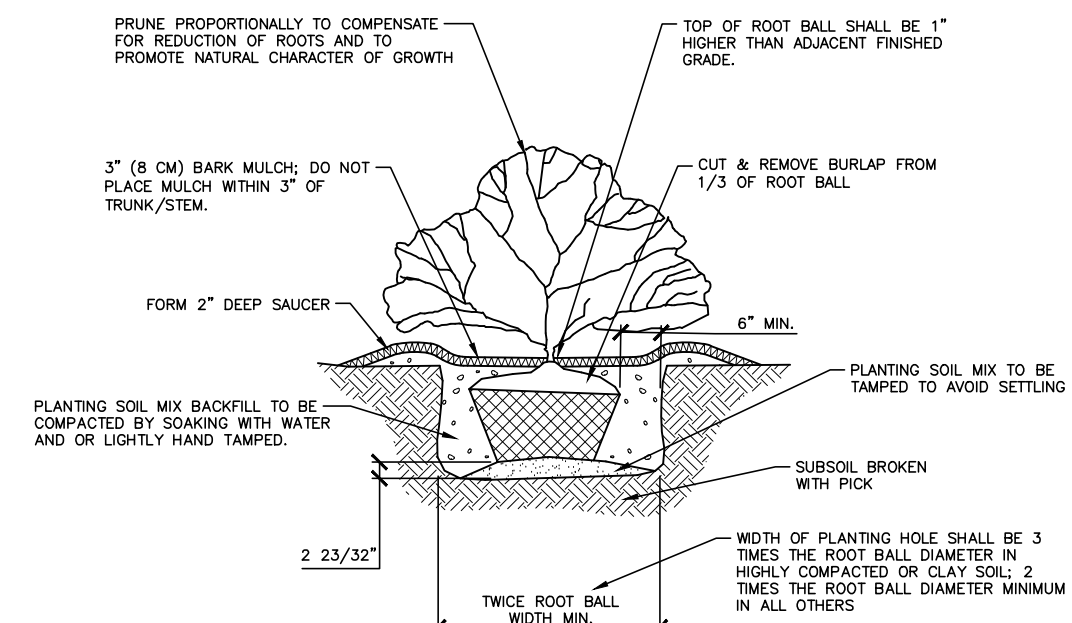
PLANT SCHEDULE OVERALL LANDSCAPE PLAN

LARGE TREES	CODE	QTY	COMMON NAME	BOTANICAL NAME	CAL	HEIGHT	
	NBG	6	Black Gum	Nyssa sylvatica	-	2" min	
	QHL	8	Laurel Oak	Quercus hemisphaerica	-	2" min	
	QRU	11	Red Oak	Quercus rubra	-	2" min	
SMALL TREES	CODE	QTY	COMMON NAME	BOTANICAL NAME	CAL	HEIGHT	
	HCS	15	Silverbell	Halesia carolina	-	2.5"	
	IAH	11	American Holly	Ilex opaca	-	6' min	
SHRUBS	CODE	QTY	COMMON NAME	BOTANICAL NAME	SPREAD	HEIGHT	
	CAAB	14	American Beautyberry	Callicarpa americana	-	24" min	
	HQOH	16	Oakleaf Hydrangea	Hydrangea quercifolia	-	24" min	
	ICCC	7	Carissa Holly	Ilex cornuta 'Carissa'	-	24" min	
	ICSI	40	Steeds Japanese Holly	Ilex crenata 'Steeds'	-	30" min	
	IGNN	19	Nigra Inkberry	Ilex glabra 'Nigra'	-	24" min	
	IVSW	28	Virginia Sweetspire	Itea virginica	-	24" min	
GRASSES	CODE	QTY	COMMON NAME	BOTANICAL NAME	SPREAD	HEIGHT	
	PAHH	16	Hamel Dwarf Fountain Grass	Pennisetum alopecuroides 'Hamel'	-	3 gal	
GROUND COVERS	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT	HEIGHT	SPACING
	CYDA	12,395 sf	Bermuda Sod	Cynodon dactylon	Sod	-	-
	LMMW	612	Monroe White Liriope	Liriope muscari 'Monroe White'	4" pot	-	12" o.c.
	PAFG	230	Cassian Fountain Grass	Pennisetum alopecuroides 'Cassian'	4" pot	-	12" o.c.



01 TREE INSTALLATION
 SCALE: 3/8"=1'-0"

- NOTES:**
- SELECT TREES THAT HAVE STRONG CENTRAL LEADERS. TREES WITH FULL FOLIAGE ARE GROWN IN HEAVY CLAY SOIL WITH GRIP BRIGOLITE.
 - BEFORE INSTALLING PLANTING SOIL MIX BACKFILL AROUND ROOT BALL, BE SURE TO SOAK HOLE TO CONFIRM WATER FILTERS THROUGH UNDISTURBED SOIL. DESIGN ALTERNATIVE DRAINAGE SYSTEM IF REQUIRED.
 - A SOIL EXPERT CAN BE CONSULTED TO HELP MOOFTY AND FERTILIZE TOPSOIL TO CREATE AN ACCEPTABLE PLANTING SOIL MIX FOR THE SITE CONDITIONS AND SPECIFIC TREE SPECIES.
 - IF USING CONTAINER GROWN TREES, USE FINGERS OR SMALL HAND TOOLS TO PULL ROOTS OUT OF THE OUTER LAYER OF THE CONTAINER.
 - THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND DURING DRY PERIODS.



02 SHRUB INSTALLATION
 SCALE: 3/8"=1'-0"

I:\Projects\RFM\RFM21002\04-Production\Engineering\Construction Drawings\Current Drawings\1 - CDP Drawing\RFM21002-L51.dwg, 9/23/2022 9:02:11 AM, WmH.McAdams



The John R. McAdams Company, Inc.
 2905 Meridian Parkway
 Durham, NC 27713

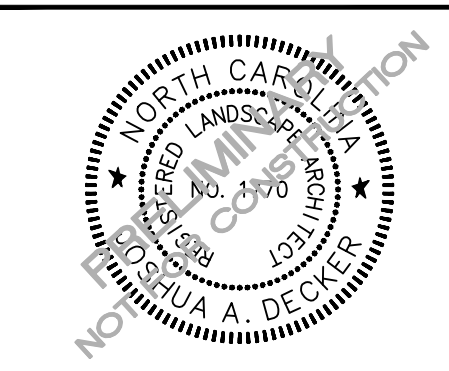
phone 919. 361. 5000
 fax 919. 361. 2269
 license number: C-0293, C-187

www.mcadamsco.com

CLIENT
 REFUEL OPERATING COMPANY, LLC
 547 LONG POINT RS, SUITE 103
 MT. PLEASANT, SC 29464
 Ryan Robinson, PMP
 PHONE: 843. 388. 4966



STARPOINT - REFUEL MARKET
CONDITIONAL ZONING PERMIT
1950 US HWY 15-501 N
 CHAPEL HILL, NC 27516



REVISIONS

NO.	DATE

PLAN INFORMATION

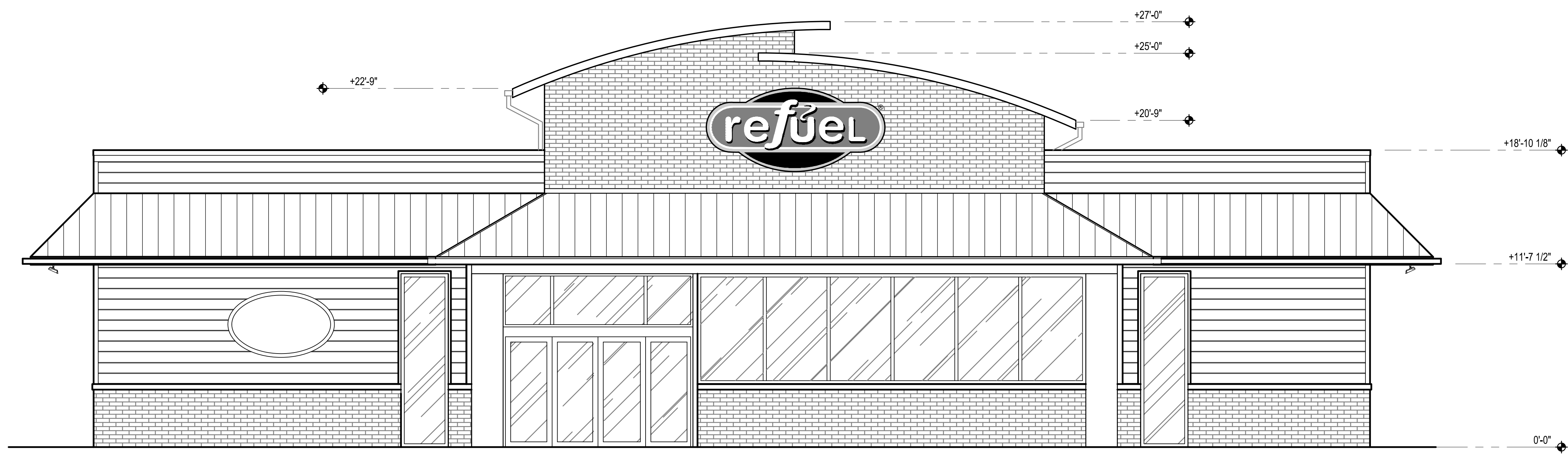
PROJECT NO. RFM-21002
 FILENAME RFM21002-L51
 CHECKED BY JAD
 DRAWN BY CMXY
 SCALE N/A
 DATE 09. 23. 2022

SHEET

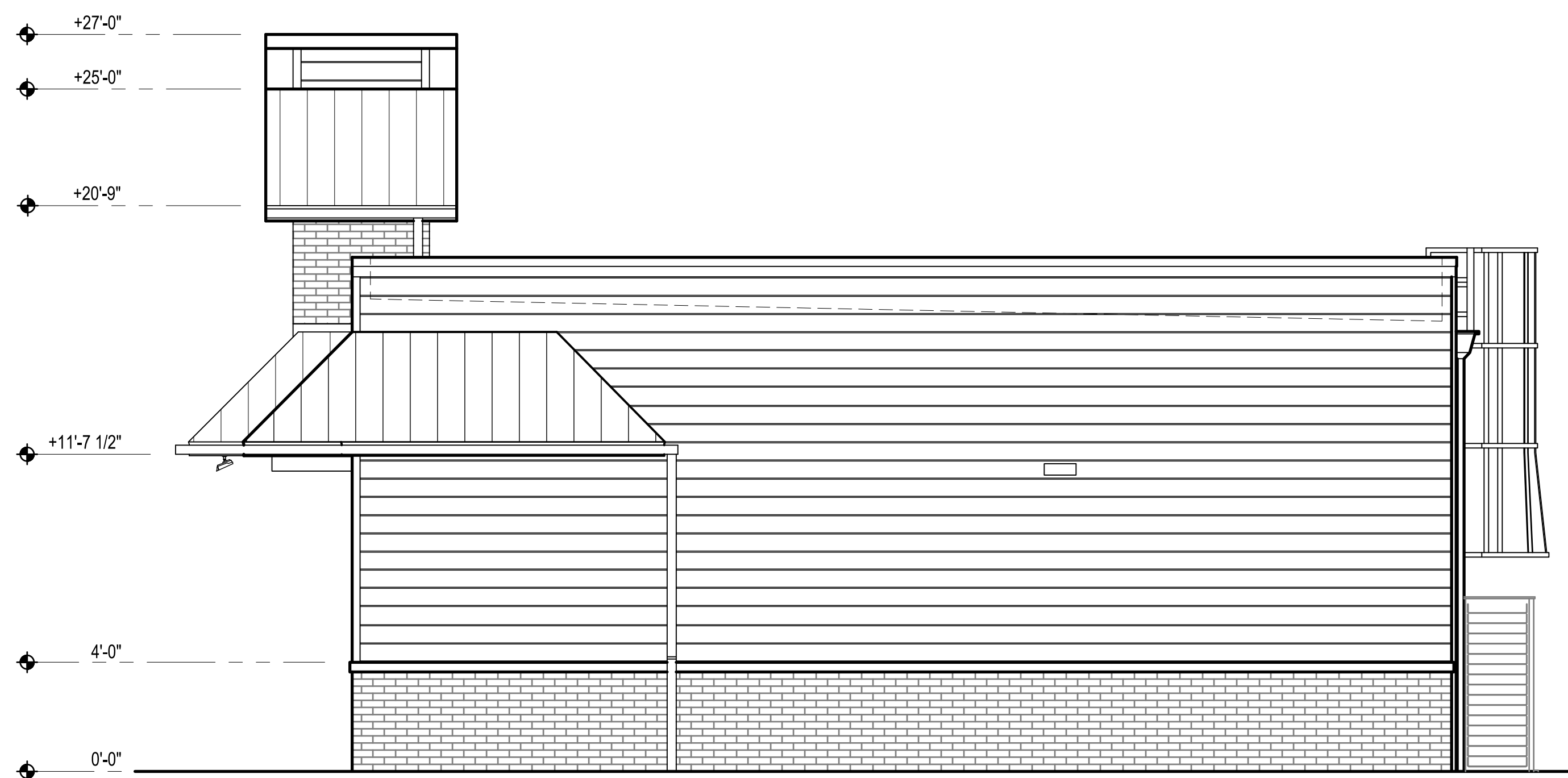
LANDSCAPE NOTES AND CALCULATIONS
L5.01

SEE SHEET C0.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT TOWN OF CHAPEL HILL, NC DOT, OWASA, AND ORANGE COUNTY ENGINEERING DESIGN AND CONSTRUCTION STANDARDS



A ELEVATION
A-2.0 SCALE: 1/4" = 1'-0"



B ELEVATION
A-2.0 SCALE: 1/4" = 1'-0"

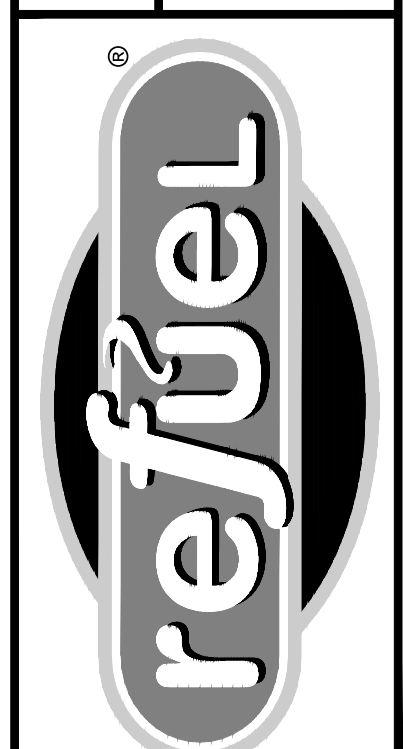


mark	date	by	description

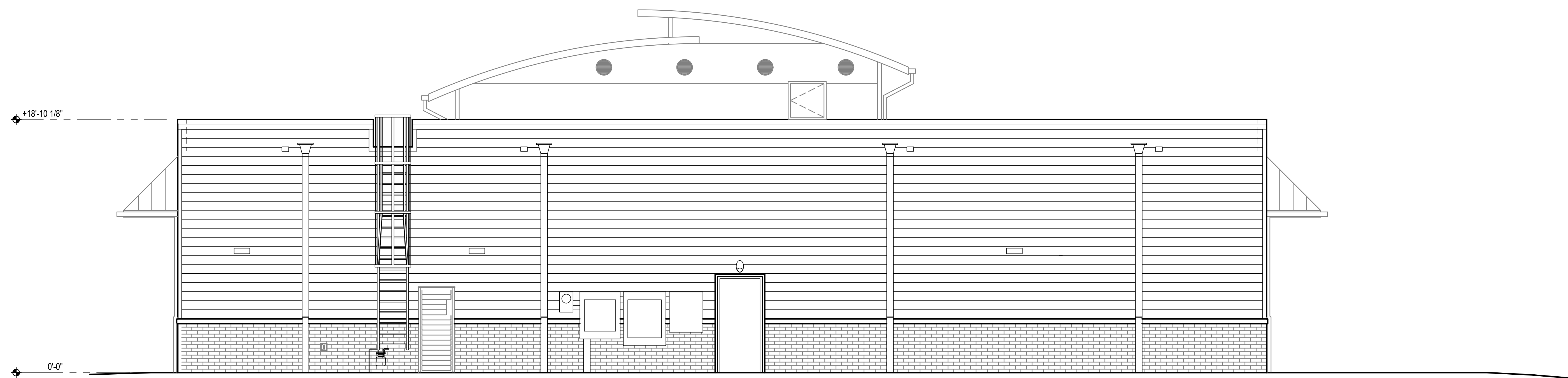
date	project	designed	drawn	checked
06/07/2022	2171246	JCV	PEW	DAE

RRMM
ARCHITECTS, PC
1317 Executive Blvd, Suite 200
Chesapeake, VA 23320
(757) 622-2628 / fax (757) 622-8863

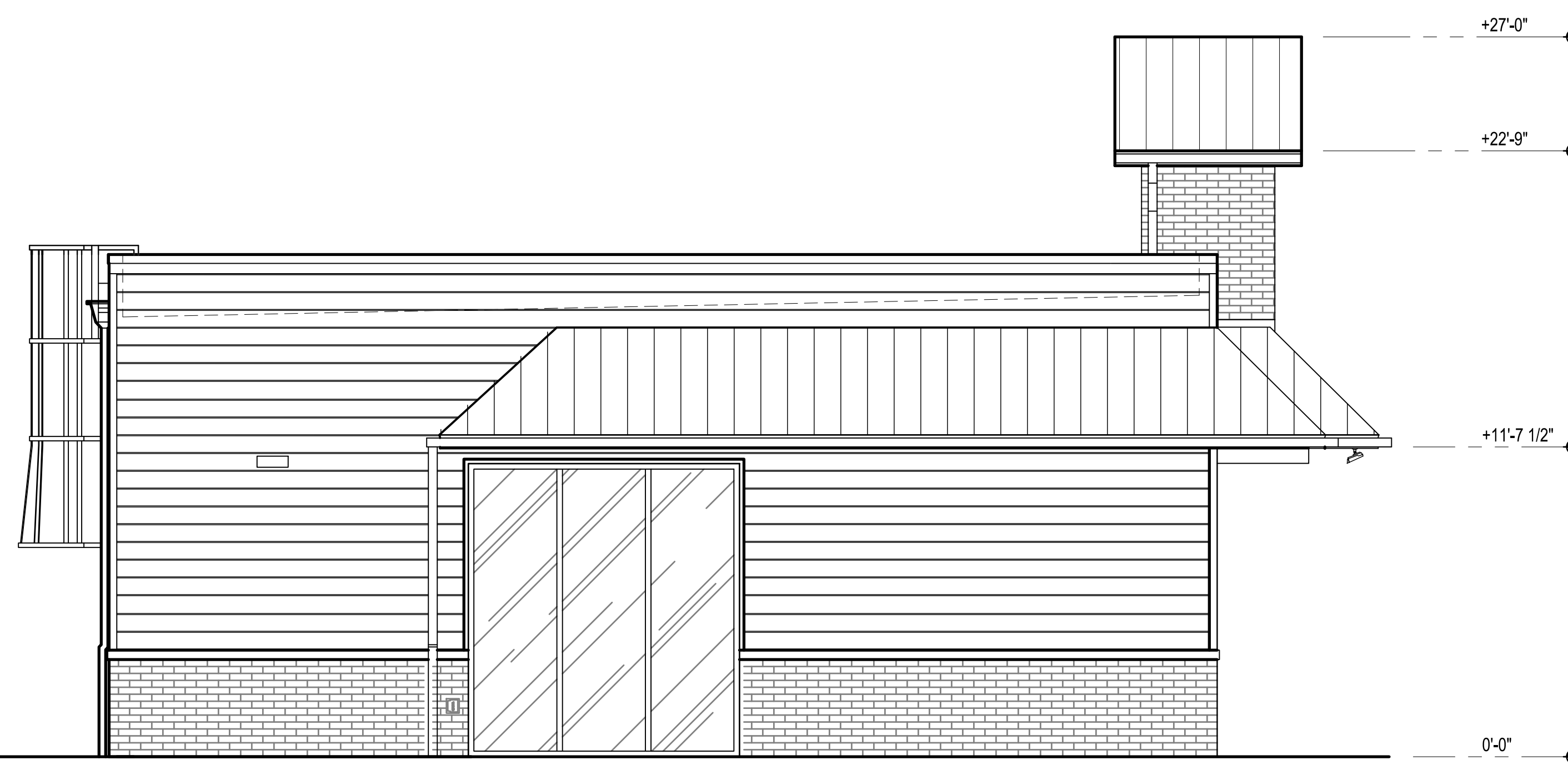
EXTERIOR ELEVATIONS
STORE #TBD - STARPOINT
1950 US HWY 15-501 N
CHAPEL HILL, NC 27516



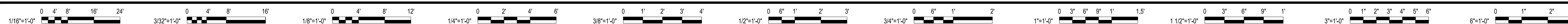
sheet
A-2.0



A ELEVATION
A-2.1 SCALE: 1/4" = 1'-0"



B ELEVATION
A-2.1 SCALE: 1/4" = 1'-0"



mark	date	by	description

date	project	designed	drawn	checked
06/07/2022	2171246	JCV	PPW	DAE



EXTERIOR ELEVATIONS
STORE #TBD - STARPOINT
1950 US HWY 15-501 N
CHAPEL HILL, NC 27516



sheet

A-2.1