



HOUSING CHOICES FOR A COMPLETE COMMUNITY

Chapel Hill Planning Department

Public Information Meeting

Wednesday, January 11th & Thursday, January 12th

TEXT AMENDMENT SUMMARY

Part 1: Proposed Text Amendments

- Setback & Height Exceptions
- Townhouse
 - Definition
 - Development Standards
 - Subdivision Standards
- Updated standards for duplexes and accessory apartments

Part 2: Opportunities to Increase Missing Middle Housing

- Add Missing Middle Housing Types & Development Standards
 - Triplexes
 - Fourplexes
 - Cottage Courts
- Allow these in most zoning districts
- Remove density limitations
- Allow triplexes and fourplexes to be approved via a process like that of single-family development (Expedited Review)

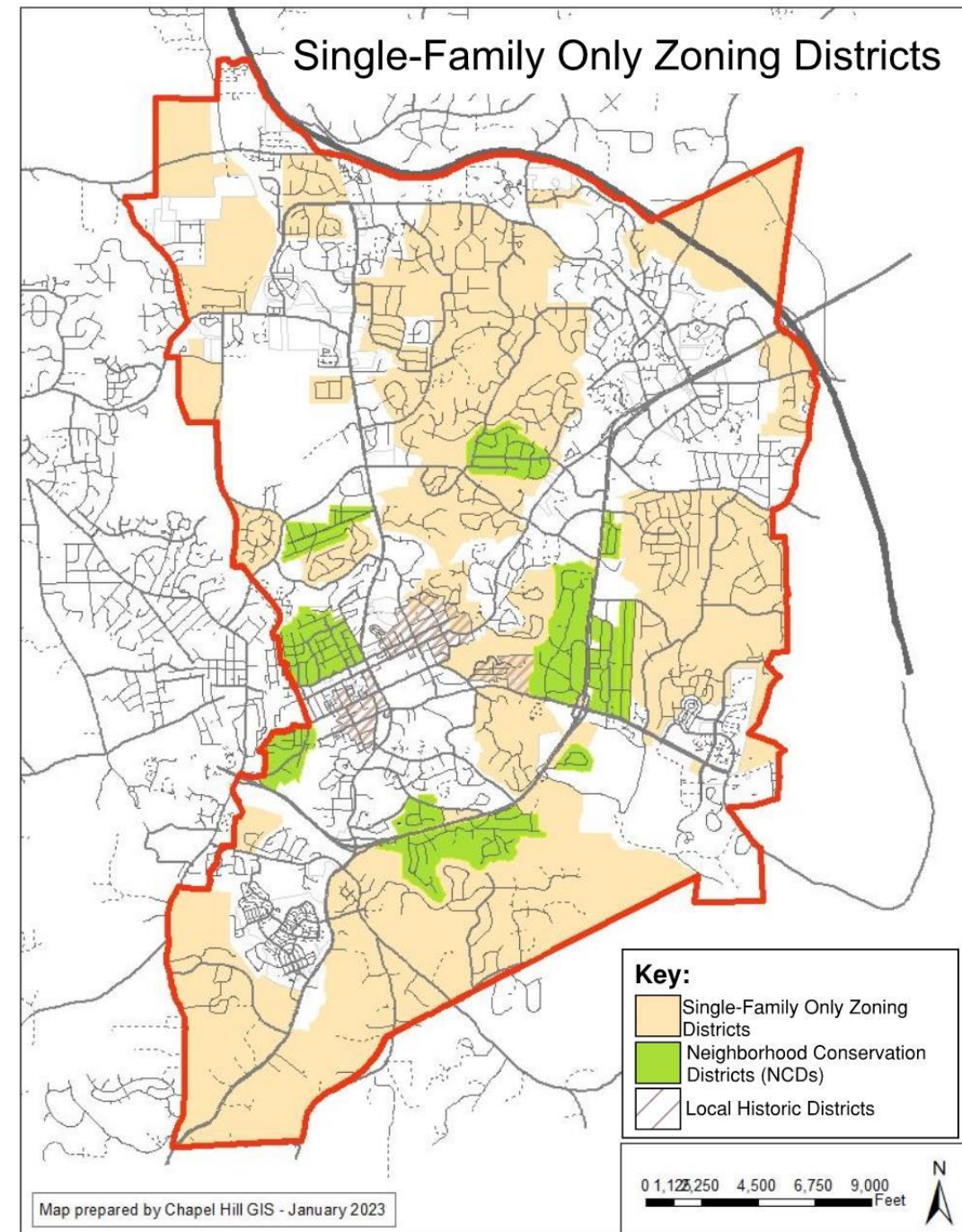
DEFINITIONS

- Missing Middle Housing: A range of multi-unit or clustered housing types compatible in scale with single-family homes that help meet the growing demand for walkable urban living. These types provide diverse housing options along a spectrum of affordability, including duplexes, fourplexes, and bungalow courts, to support walkable communities, locally-serving retail, and public transportation options." *MissingMiddleHousing.com*
- Gentle Densification: Process of increasing density in existing single-family neighborhoods through the construction of townhomes, two- to four-family homes, and small-scale apartment or condominium buildings. --*Brookings Metro*



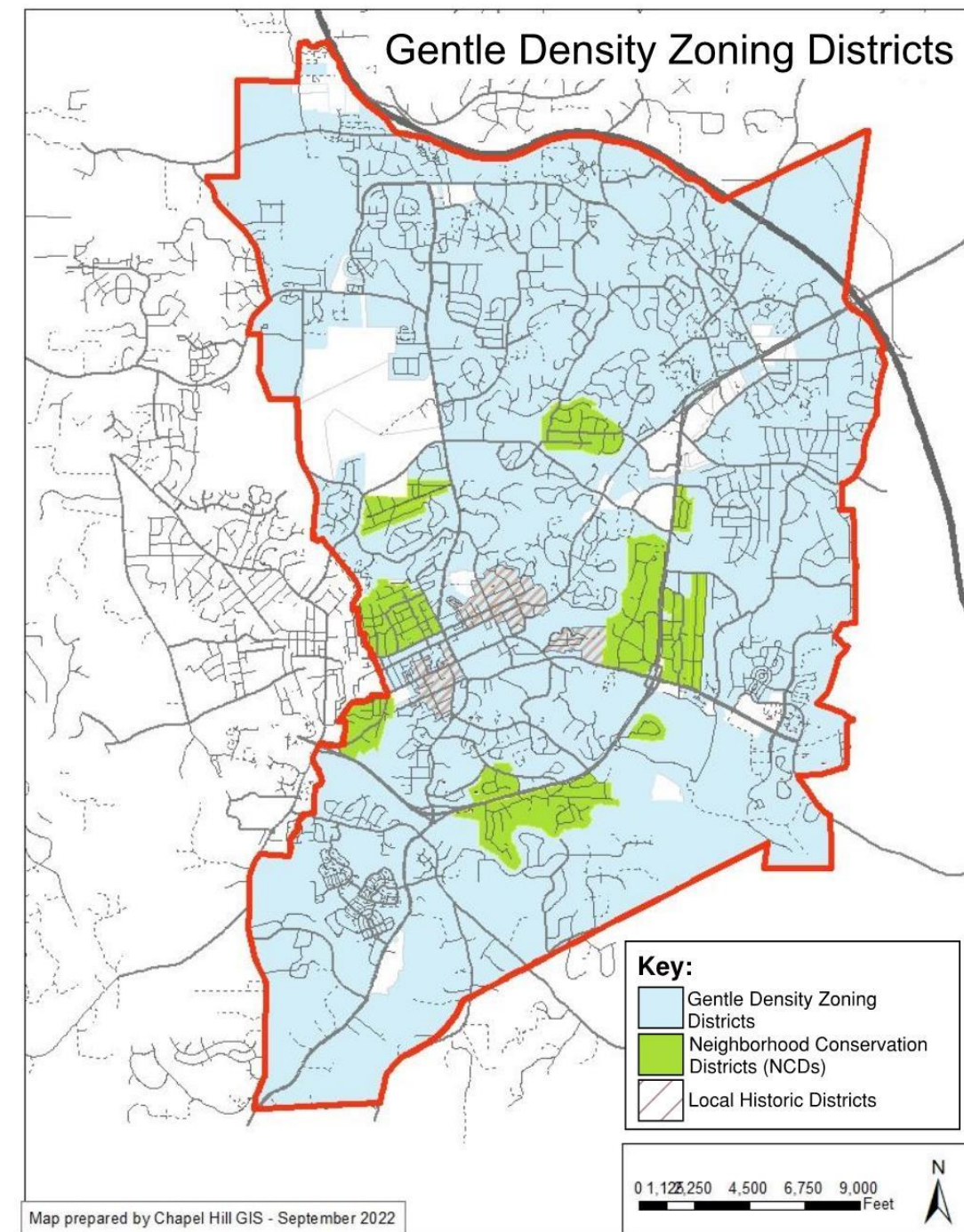
HARD TRUTHS

- Housing supply has grown but isn't meeting current needs
 - Most new housing is single family or apartments
 - 5% of units since 2010 are owner-occupied condos or townhouses
- Much of Chapel Hill is zoned for Single-Family only
- 36% of households Cost-burdened
- Others forced to look outside the community
 - Longer commutes
 - More traffic/parking demands
 - Environmental implications



WHAT'S NEEDED

- Remediate difficult urban form
- Revise the planning process to expedite and incentivize missing middle housing
- Need about 500 housing units annually
 - Approx. 440 units/year needed for individual households
 - Approx. 45 units/year needed for students housing
- Diversity of housing product at different price points to increase affordability
- Increase affordability and availability of rental units



WHO ARE WE TRYING TO SERVE?

- Diversity of Housing Products for Different Life Stages
 - First-time buyers
 - Families with young children
 - Divorcees
 - Empty nesters
 - Seniors
 - Owner-occupied multi-family



2020

CHAPEL HILL
OUR TOWN. OUR VISION.

Chapel Hill 2020 Comprehensive Plan

Adopted: June 25, 2012

TOWN OF CHAPEL HILL MOBILITY AND CONNECTIVITY



OCTOBER 2017
Updated October 2020



TOWN OF CHAPEL HILL

Future Land Use Map
Update to Chapel Hill 2020 (Phase 1)

ADOPTED DECEMBER 9, 2020

CHAPEL HILL Charting Our Future A Land Use

2021



Town of Chapel Hill Climate Action and Response Plan



Petition to implement strategies to rapidly promote increased production and availability of affordable and missing middle housing

Submitted by: Karen Stegman, Tai Huynh, Allen Buansi, Michael Parker

The Town will be continuing its process of reviewing and revising the Land Use Management Ordinance (LUMO) over the next two to three years. In the meantime, Chapel Hill continues to struggle with rapidly escalating housing prices and a continued scarcity of housing units, particularly ones that are affordable to those making 80% of the area median income (AMI) and below. For those making 30% AMI and below, housing is desperately scarce. While there are significant revisions the Town can make to the LUMO to help address these issues, these changes would not take effect for many years, and in the meantime, residents struggle to find and keep housing that they can afford. With this petition, we call on the Town to take meaningful interim steps that will promote increased production of affordable and missing middle units in our community.

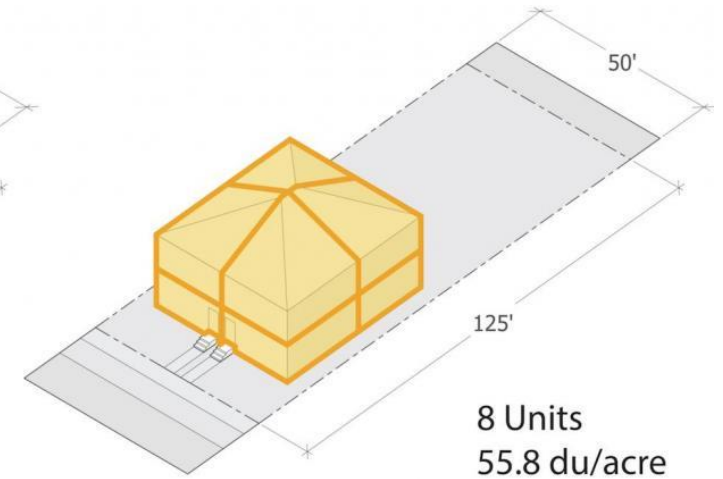
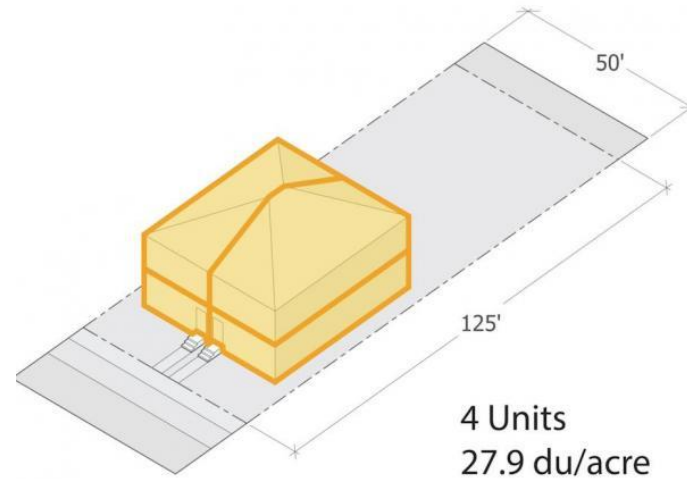
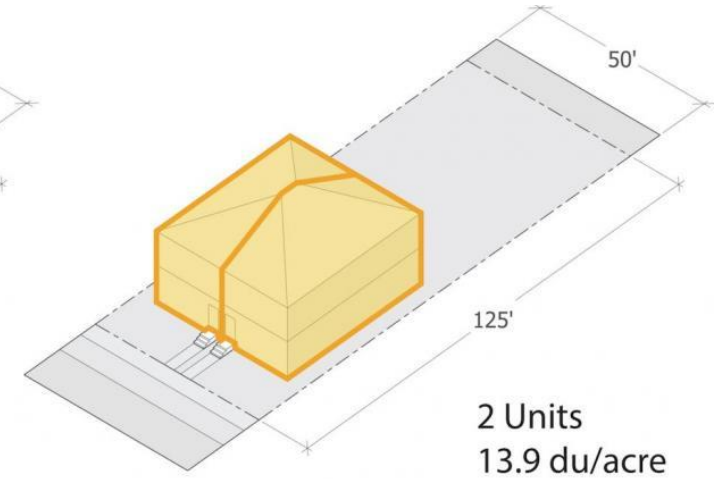
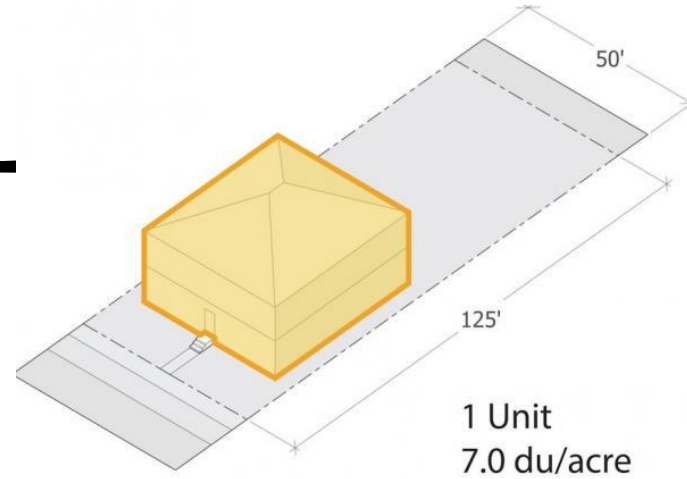
We direct staff to study best practices and innovations from across the country, while focusing on feasibility, and permissibility under NC law, and come back with recommended strategies to achieve the objectives described below. Additionally, seeking input from the Big Bold Ideas housing committee and the Orange County Affordable Housing Coalition, among other local advocates, would be beneficial as staff consider options. We request a draft workplan, timeline, and any resource requirements to accomplish these objectives for Council feedback by November 17, 2021.

1. Expedite and incentivize production of affordable and missing middle housing, by:
 - Creating a new application pathway (modeled on existing applications for ownership and rental single-family and multifamily housing) for "missing middle" development proposals, to provide appropriate standards for development, including recreation/open space, provision of affordable units, etc.. Such housing would include duplexes, triplexes, townhomes, cottage courts, and other forms of compact development that do not fit into current Town application options of single-family home or multifamily development. This should include approaches that will incentivize applications for units at price points between 60-120% of AMI, as feasible.
 - Creating an expedited application process for any development application that includes at least 30% proposed affordable units. This process should take less than nine months to enable developers to maximize opportunities to utilize low-income housing tax credits, grant funding, and other time-bound financial instruments.
2. Increase availability and affordability of rental units by:
 - Reviewing current Town affordable rental definition and recommending a revised target that more closely reflects real wages and the goal of spending no more than 30% of income on housing costs, generally considered to be below 60% AMI
 - Reviewing current Town affordable rental definition to clarify that affordability calculation must account for utility costs
 - Increase the affordable rental definition's duration of affordability of units to no less than 30 years
 - Exploring potential pathways for the Town to ban source-of-income discrimination or otherwise increase acceptance of housing choice vouchers by landlords, such as through incentives
 - Proposing relevant ordinance and policy revisions (affordable rental policy, conditional zoning regulations, etc.) to reflect the above changes to the extent legal and feasible
 - Initiate discussions with UNC and UNC Healthcare, as the largest employers in Chapel Hill with the highest number of employees living outside of Chapel Hill, to partner on expansion of the Town's Master Leasing Program to rapidly expand affordable housing options.



OPPORTUNITIES TO INCREASE MISSING MIDDLE HOUSING

- Eliminate density maximums
- Focus on lot size, setbacks, and building dimensions rather than number of units



ALLOWED HOUSING TYPES

	R-LD5	RT	R-LD1	R-1A	R-1	R-2	R-2A	R-3	R-4	R-5	R-6	HR-L	HR-M	HR-X
Single Family	P	P	P	P	P	P	P	P	P	P	P	P	P	P
Single Family + Accessory Apartment	P	P	P	P	P	P	P	P	P	P	P	P	P	P
<u>Cottage on a Compact Lot</u>	-	-	-	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>
Duplex	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	P	<u>P</u>	P	P	P	P	P	P	P
Triplex	-	-	-	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	P	P	P
<u>Fourplex</u>	-	-	-	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	-	-	<u>P</u>
<u>Cottage Courts</u>	-	-	-	-	-	-	-	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	-	-	<u>P</u>
<u>Townhouses</u>	-	-	-	-	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	-	-	<u>P</u>
Multi-Family (5-10 units)	-	-	-	-	-	-	-	<u>P</u>	P	P	P	-	-	P
Multi-Family (10+ units)	-	-	-	-	-	-	-	-	-	-	CZ	-	-	-

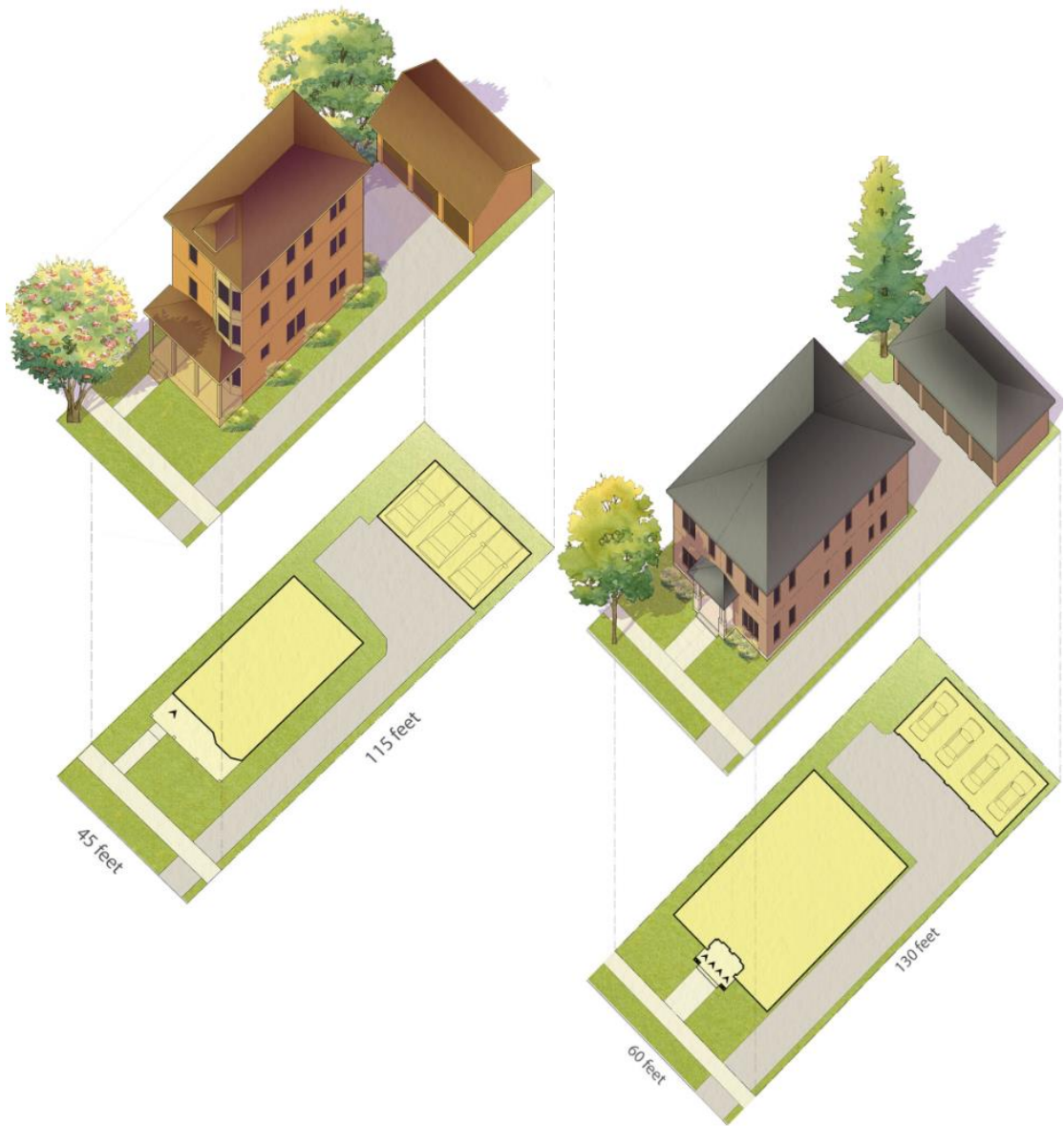
P: Proposed as a permitted use

COTTAGE ON COMPACT LOT



Cottage on Compact Lot	
Minimum Lot Size	2,700 square feet
Minimum Lot Width	30 feet
Minimum Street Setback	Follows underlying zoning
Minimum Interior Setback	5 feet
Minimum Solar Setback	8 feet
Impervious Surface	0.50
<u>BUILDING DIMENSIONS</u>	
Maximum Footprint	1,000 square feet
Maximum Floor Area of Primary Structure	1,600 square feet
Maximum Height	29 feet
Number of Units	1-2
Maximum Unit Size	1,600 square feet

TRIPLEX/FOURPLEX



Triplex/Fourplex	
Minimum Lot Size	Follow Zoning District
Minimum Lot Width	Follow Zoning District
Minimum Street Setback	Follow Zoning District
Minimum Interior Setback	Follow Zoning District
Minimum Solar Setback	Follow Zoning District
Maximum Height	Follow Zoning District
Tree Canopy Coverage	20%
Parking	Follows Multi-Family Requirements
Impervious Surface	0.50
Unit Size	Min. 500 square feet - Max. 1,600 square feet

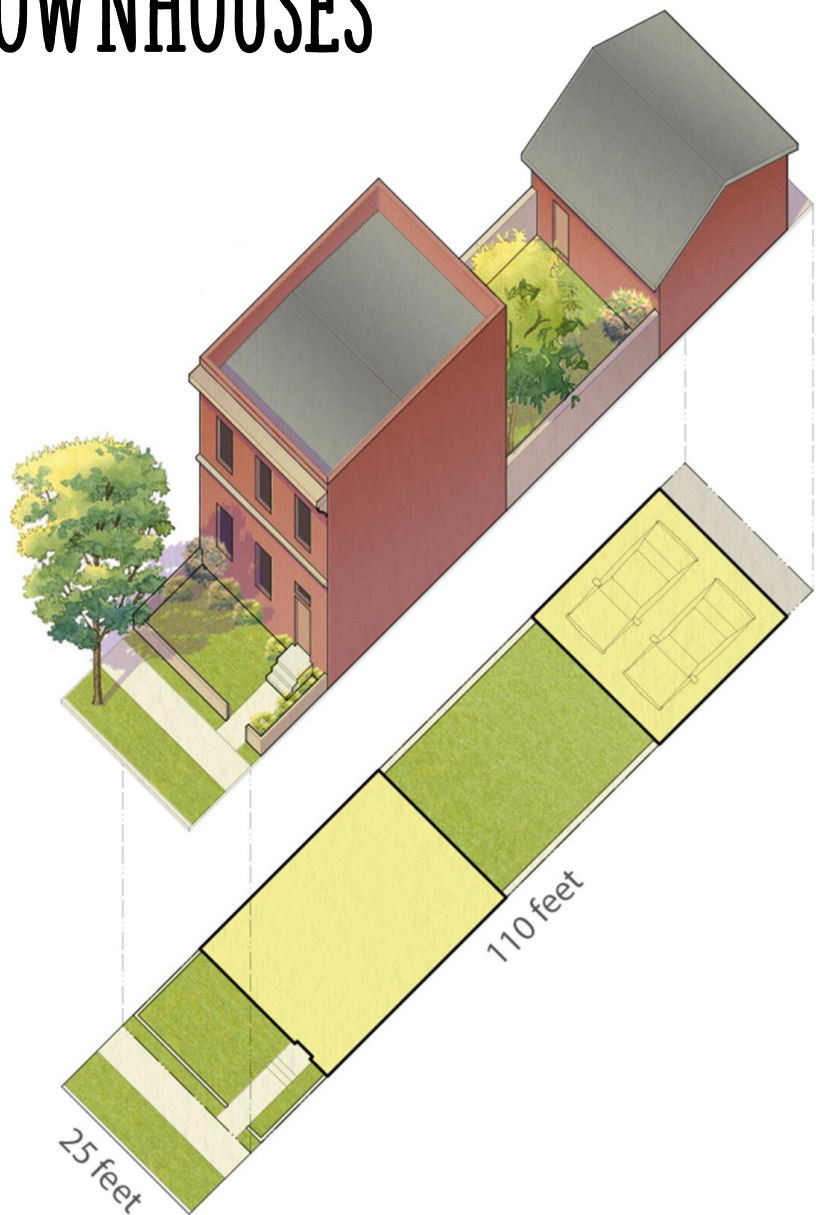
COTTAGE COURTS



Cottage Court Development Standards

Minimum Lot Size	10,000 to 24,000 square feet
Number of Dwelling Units	3 to 12 units
Lot Width	Front Loaded: 115–160 feet Rear Loaded: 110–150 feet
Setbacks	Follow underlying zoning
Tree Canopy Coverage	30%
Parking	1–2 vehicular spaces/dwelling unit 1 bicycle space/3 dwelling units
Impervious Surface	0.50
<u>BUILDING DIMENSIONS</u>	
Building Width	18 to 24 feet
Building Depth	24 to 36 feet
Building Height	12 to 25 feet
Floor Area (Inc. Garages)	500 to 1,600 square feet
Separation Between Buildings	Min. 10 feet

TOWNHOUSES



Cottage Court Development Standards	
Gross Land Area	Follows Underlying Zoning
Minimum Lot Size	1,600 square feet (Individual Townhouse Lot)
Number of Dwelling Units	1 unit/lot
Lot Width	16 feet (Individual Townhouse Lot)
Setbacks	Follow underlying zoning (Overall Lot)
Tree Canopy Coverage	30%
Parking	1 - 2 parking spaces/townhouse 1 Bicycle space/4 townhouse
Impervious Surface	0.70
<u>BUILDING DIMENSIONS</u>	
Separation Between Townhouse Rows	Min. 10 feet
Unit Sizes	No minimum

OBSTACLES



- No changes to the 13 Neighborhood Conservation Districts (NCDs)
 - Northside and Pine Knolls currently allow duplexes and triplexes as affordable housing
 - Most prohibit duplexes
- Many neighborhoods have HOAs, restrictive covenants, or entitlements limiting development to single family or single family + accessory apartment
- No proposed changes to stormwater requirements for multi-family (3+ units)
- Fire code may be more restrictive than LUMO, such as access requirements

SCHEDULE



- Tuesday, January 17th - Planning Commission
- Wednesday, January 25th -Town Council Public Hearing
- Wednesday, February 22nd - Town Council (Possible Action)

HOW TO BE INFORMED

- Email Blasts
- Project Webpage
- Follow Town on Social Media
- Sign up for the Town's E-News

