



Land Use Management Ordinance Text Amendment Housing Regulations & Housing Choices for a Complete Community

Planning Commission: January 17, 2023

A photograph of a light blue, single-story house with a grey shingled roof. The house features a prominent circular window on the front facade and a small porch with a door. The house is surrounded by lush greenery, including trees and bushes. In the foreground, a wooden fence runs across the scene, and a blue Adirondack chair is visible on the right. The overall scene is bright and sunny.

RECOMMENDATION

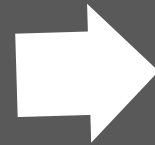
Review the proposed text amendments and forward a recommendation to the Town Council in time for the Council opening the public hearing at the January 25, 2023.

Text Amendment Process

**Staff
Review**



**Advisory
Board
Review**

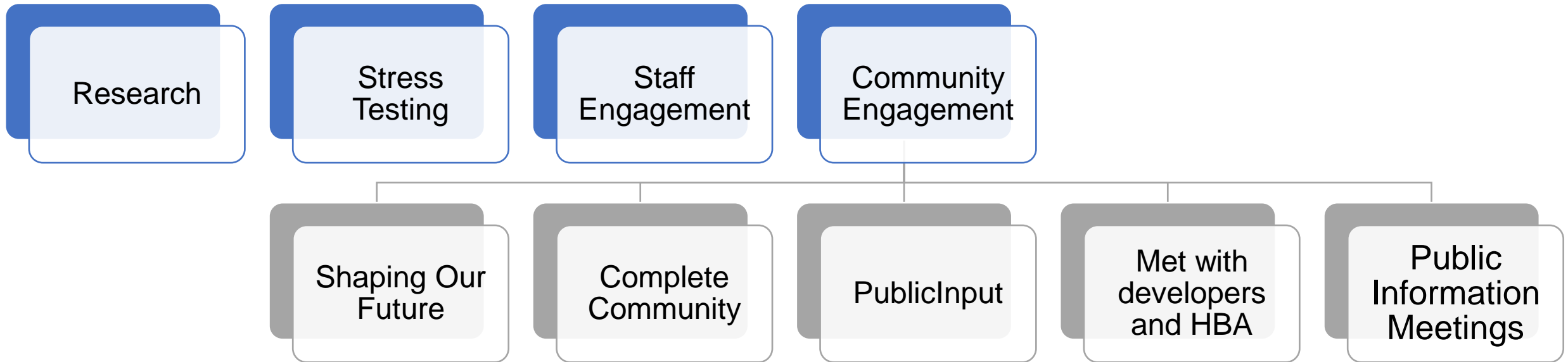


**Council
Opens
Public
Hearing
1/25/2023**



**Council to
Consider
Action**

Work Completed



Text Amendment Summary

Part 1: Proposed Text Amendments

- Setback & Height Exceptions
- Townhouses
 - Definition
 - Development Standards
 - Subdivision Standards
- Updated standards for duplexes and accessory apartments

Part 2: Opportunities to Increase Missing Middle Housing

- Add Missing Middle Housing Types & Development Standards
 - Triplexes
 - Fourplexes
 - Cottage Courts
- Allow these in most zoning districts
- Remove density limitations
- Allow triplexes and fourplexes to be approved administratively
- Introduce cottages on compact lots

Definitions

“Missing Middle is a range of multi-unit or clustered housing types compatible in scale with single-family homes that help meet the growing demand for walkable urban living. These types provide diverse housing options along a spectrum of affordability, including duplexes, fourplexes, and bungalow courts, to support walkable communities, locally-serving retail, and public transportation options.”

–MissingMiddleHousing.com

Definitions

Gentle Densification:
Process of increasing density in existing single-family neighborhoods through the construction of townhomes, two- to four-family homes, and small-scale apartment or condominium buildings.

–*Brookings Metro*

FIGURE 1

More homes, less yard



One single-family detached
3,000 square feet
2.5 stories



Three townhouses
2,000 sq. ft./house
2.5 stories



Six condominiums
1,200 sq. ft./condo
3 stories

Note: These are hypothetical examples created for this analysis. Structure types and building dimensions are typical of homes in Washington, D.C., verified against Computer Assisted Mass Appraisal residential data from opendata.dc.gov.

Who else has done this?

Select cities that have expanded housing types in residential zones:

- Aberdeen, TX
- Asheville, NC
- Atlanta, GA
- Boise, ID
- Durham, NC
- Gainesville, FL
- Grand Rapids, MI
- Minneapolis, MN
- Olympia, WA
- Portland, OR
- Prince George County, MD
- Raleigh, NC
- Seattle, WA
- Walla Walla, WA

Outcomes of Expanding Housing Choices:

MINNEAPOLIS 2040 Minneapolis, MN (January 2020-2022)	EXPANDING HOUSING CHOICES (EHC) Durham, NC (October 2019 – November 2022)	MISSING MIDDLE REFORMS Raleigh, NC (August 2021-October 2022)
Population: 425,336 (2001) Housing Units: 194,532 (2001)	Population: 326,126 (2001) Housing Units: 149,204 (2001)	Population: 469,124 (2001) Housing Units: 209,792 (2018)
<ul style="list-style-type: none"> • Duplexes • Triplexes <p>**70% of land zoned for single family</p>	<ul style="list-style-type: none"> • Accessory Dwelling Units (ADUs) • Duplexes • 3+ Multi-family • Small house/lot options 	<ul style="list-style-type: none"> • Eliminated density • Tiny houses up to 1,200 SF Floor Area • Duplexes • Townhouses, including with ADUs • 3-unit multi-family allowed on smaller lots • Cottage Courts • Transit-oriented development (TOD)
New housing units permitted: <ul style="list-style-type: none"> • 62 new duplexes (0.68%) • 17 new triplexes (0.18%) 	407 EHC-related permits since 2019 <ul style="list-style-type: none"> • 15 SFRES + ADU • 11 SFRES • 15 Duplex • 60 ADUs • 152 Lot Splits • 132 Small House/Small Lot building permits • 47 demolitions related to EHC 	Submitted Applications for Missing Middle Housing: <ul style="list-style-type: none"> • 11 subdivisions • 90 ADUs • 0 Townhouses

Allowed Housing Types

	R-LD5	RT	R-LD1	R-1A	R-1	R-2	R-2A	R-3	R-4	R-5	R-6	HR-L	HR-M	HR-X
Single Family	P	P	P	P	P	P	P	P	P	P	P	P	P	P
Single Family + Accessory Apartment	P	P	P	P	P	P	P	P	P	P	P	P	P	P
<u>Cottages on Compact Lots</u>	-	-	-	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>
Duplex	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	P	<u>P</u>	P	P	P	P	P	P	P
Triplex	-	-	-	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	P	P	P
<u>Fourplex</u>	-	-	-	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	-	-	<u>P</u>
<u>Cottage Courts</u>	-	-	-	-	-	-	-	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	-	-	<u>P</u>
Multi-Family (<u>5-10 units</u>)	-	-	-	-	-	-	-	<u>P</u>	P	P	P	-	-	P
Multi-Family (<u>10+ units</u>)	-	-	-	-	-	-	-	-	-	-	CZ	-	-	-

P: Proposed as a permitted use



Proposed Housing Types

Single Family Residential

Minimum Lot Size	5,500 SF – 217,800 SF*
Minimum Lot Width	50 – 250 feet*
Minimum Street Setback	20-30 feet*
Minimum Interior Setback	6- 16 feet*
Minimum Solar Setback	8- 20 feet*
Tree Canopy Coverage	0% required
Impervious Surface	0.50
Parking Requirements	N/A
Stormwater Management	Not Required for less than 20,000 SF of land disturbance
<u>Building Dimensions</u>	
Maximum Footprint	No maximum
Maximum Floor Area of Primary Structure	No maximum, unless specified by NCD
Maximum Height	35-60 feet

Detached Single Family



** Determined by underlying zoning or Neighborhood Conservation District (NCD)*

Cottage on Compact Lot



Cottage on Compact Lot

Minimum Lot Size	2,700 square feet
Minimum Lot Width	30 feet
Minimum Street Setback	Follows underlying zoning
Minimum Interior Setback	5 feet
Minimum Solar Setback	8 feet
Impervious Surface	0.50
Stormwater Management	Not required for less than 20,000 SF land disturbance
<u>BUILDING DIMENSIONS</u>	
Maximum Footprint	1,000 square feet
Maximum Floor Area of Primary Structure	1,600 square feet
Maximum Height	29 feet
Number of Units	1-2
Maximum Unit Size	1,600 square feet

Triplex/Fourplex



Triplex/Fourplex

Minimum Lot Size	Follow Zoning District
Minimum Lot Width	Follow Zoning District
Minimum Street Setback	Follow Zoning District
Minimum Interior Setback	Follow Zoning District
Minimum Solar Setback	Follow Zoning District
Maximum Height	Follow Zoning District
Tree Canopy Coverage	20%
Parking	Follows Multi-Family Requirements
Impervious Surface	0.50
Stormwater Management	Required
Unit Size	Min. 500 square feet – Max. 1,600 square feet

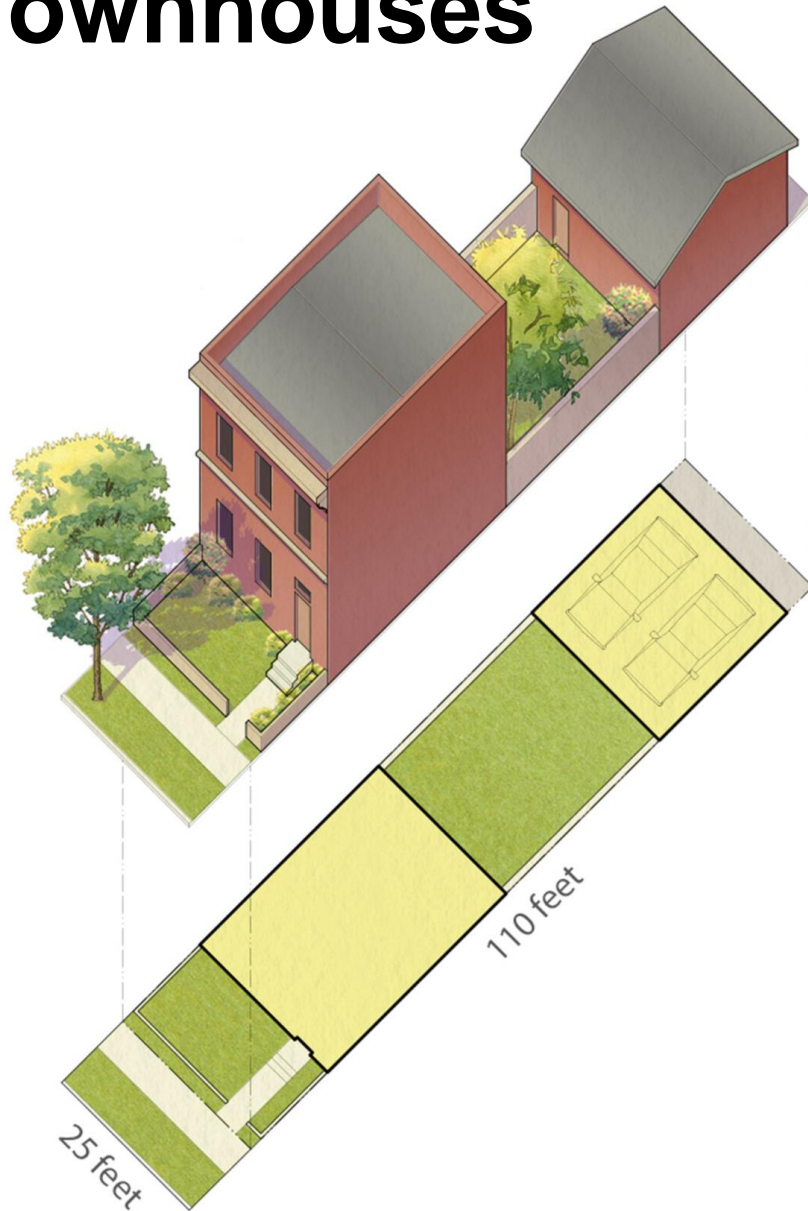
Cottage Courts



Cottage Court Development Standards

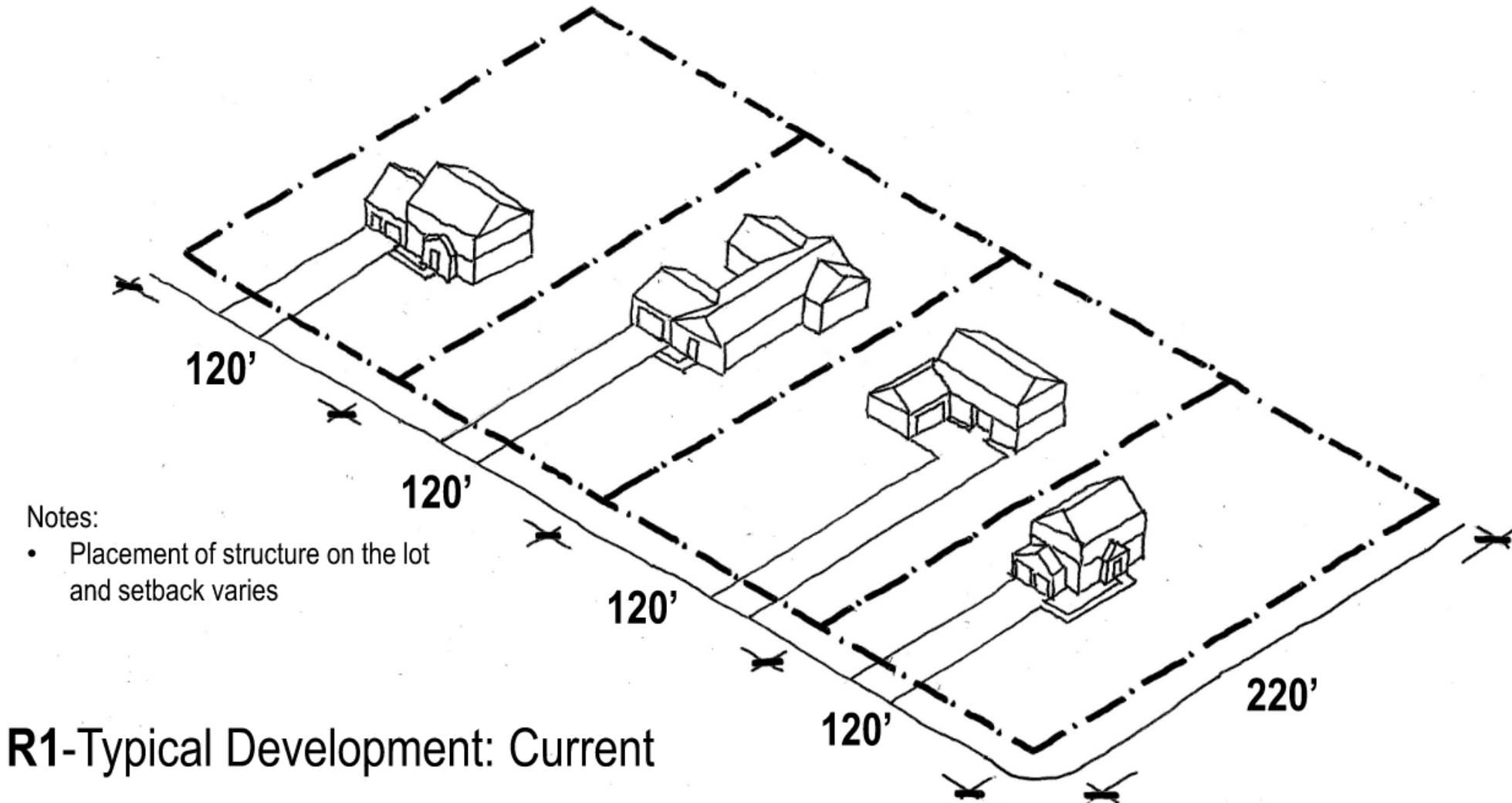
Minimum Lot Size	10,000 to 24,000 square feet
Number of Dwelling Units	3 to 12 units
Lot Width	Front Loaded: 115-160 feet Rear Loaded: 110-150 feet
Setbacks	Follow underlying zoning
Tree Canopy Coverage	30%
Parking	1-2 vehicular spaces/dwelling unit 1 bicycle space/3 dwelling units
Impervious Surface	0.50
Stormwater Management	Required
<u>BUILDING DIMENSIONS</u>	
Building Width	18 to 24 feet
Building Depth	24 to 36 feet
Building Height	12 to 25 feet
Floor Area (Inc. Garages)	500 to 1,600 square feet
Separation Between Buildings	Min. 10 feet

Townhouses



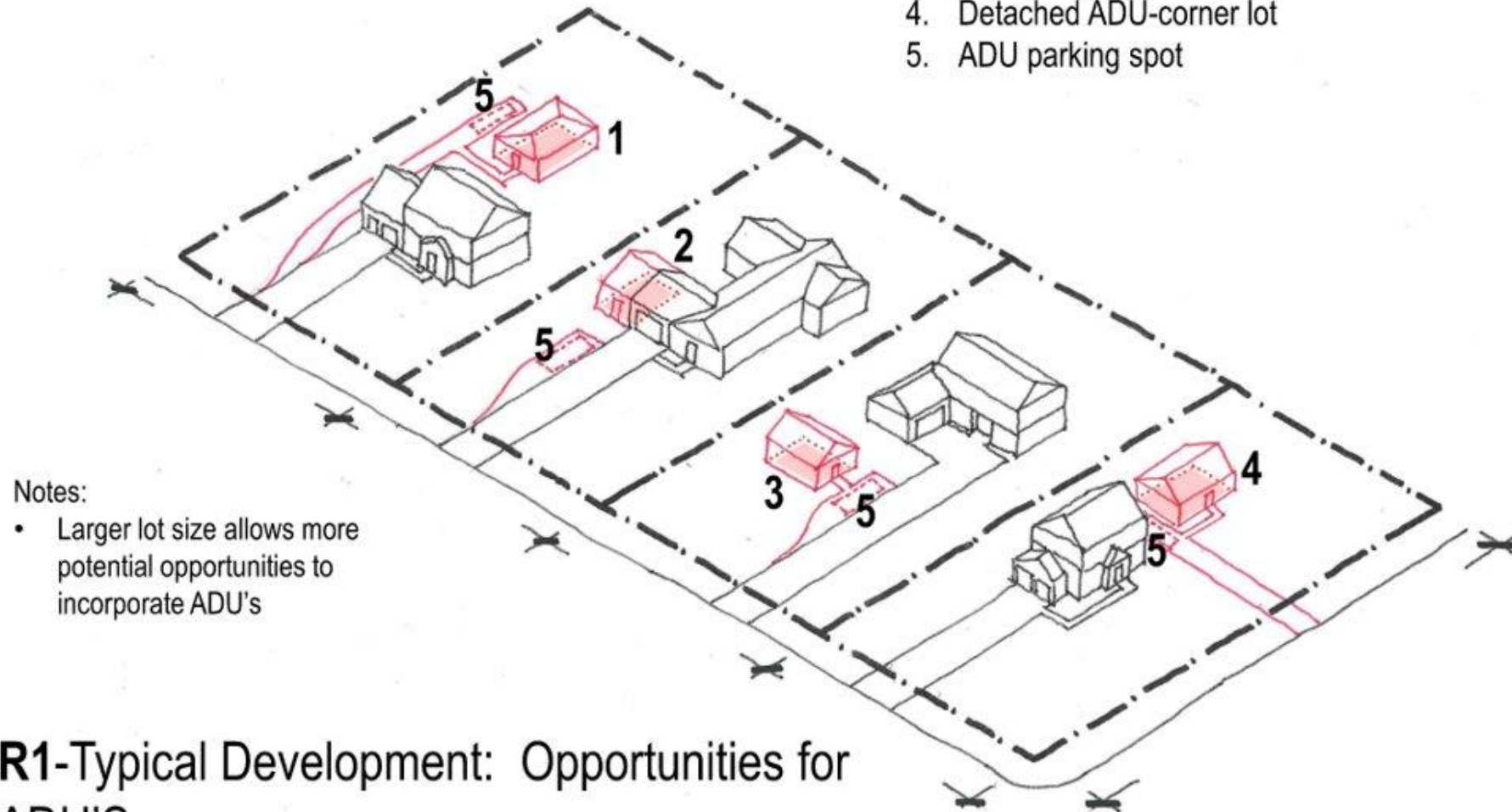
Cottage Court Development Standards	
Gross Land Area	Follows Underlying Zoning
Minimum Lot Size	1,600 square feet (Individual Townhouse Lot)
Number of Dwelling Units	1 unit/lot
Lot Width	16 feet (Individual Townhouse Lot)
Setbacks	Follow underlying zoning (Overall Lot)
Tree Canopy Coverage	30%
Parking	1 – 2 parking spaces/townhouse 1 Bicycle space/4 townhouse
Impervious Surface	0.70
Stormwater Management	Required
<u>BUILDING DIMENSIONS</u>	
Separation Between Townhouse Rows	Min. 10 feet
Unit Sizes	No minimum

Neighborhood Character



Neighborhood Character

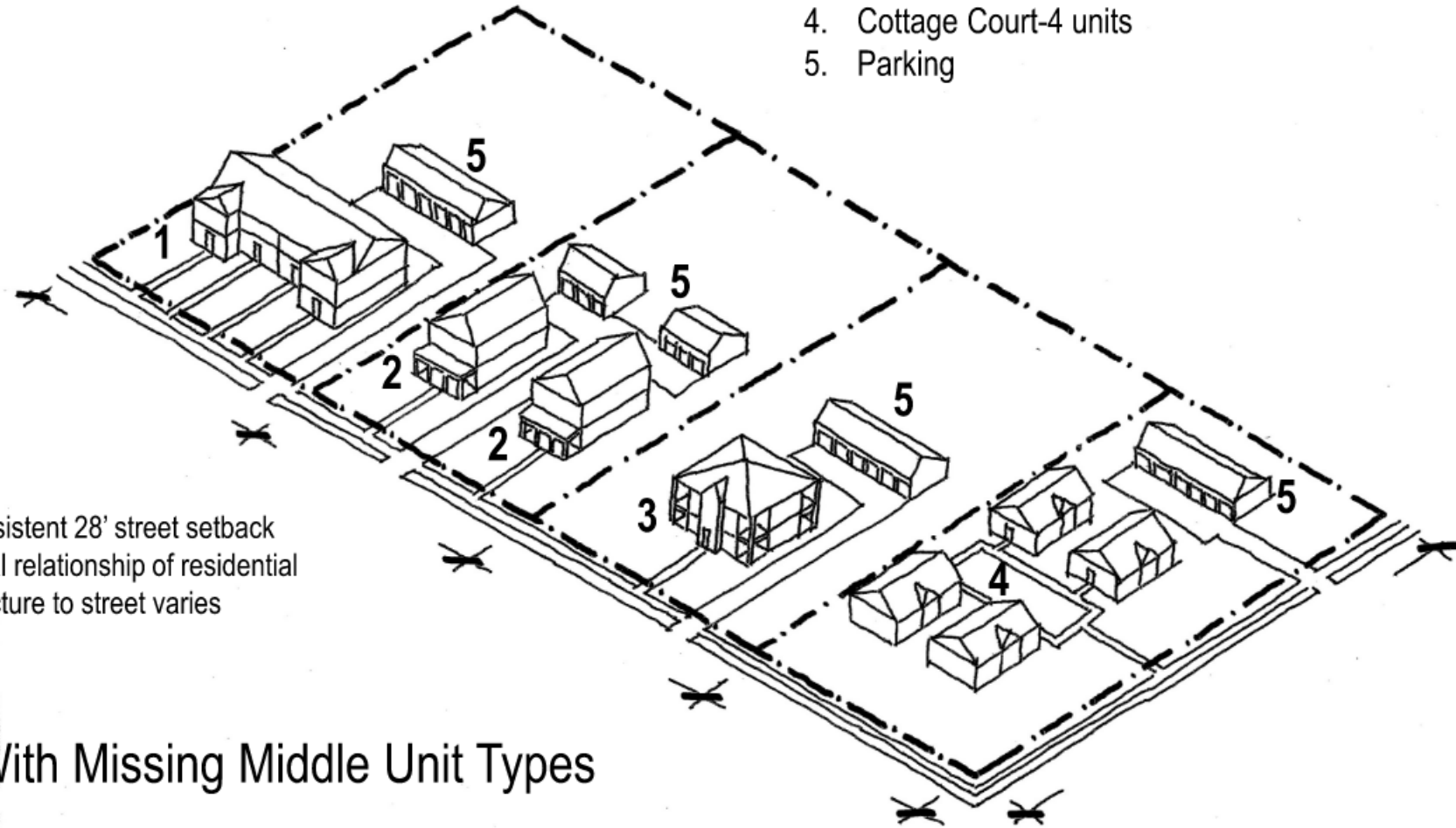
1. Detached ADU-back yard
2. Attached ADU addition
3. Detached ADU-front yard
4. Detached ADU-corner lot
5. ADU parking spot



R1-Typical Development: Opportunities for ADU'S

Neighborhood Character

1. Townhouse-4 units
2. Duplex (stacked or side-by side)
3. Fourplex
4. Cottage Court-4 units
5. Parking

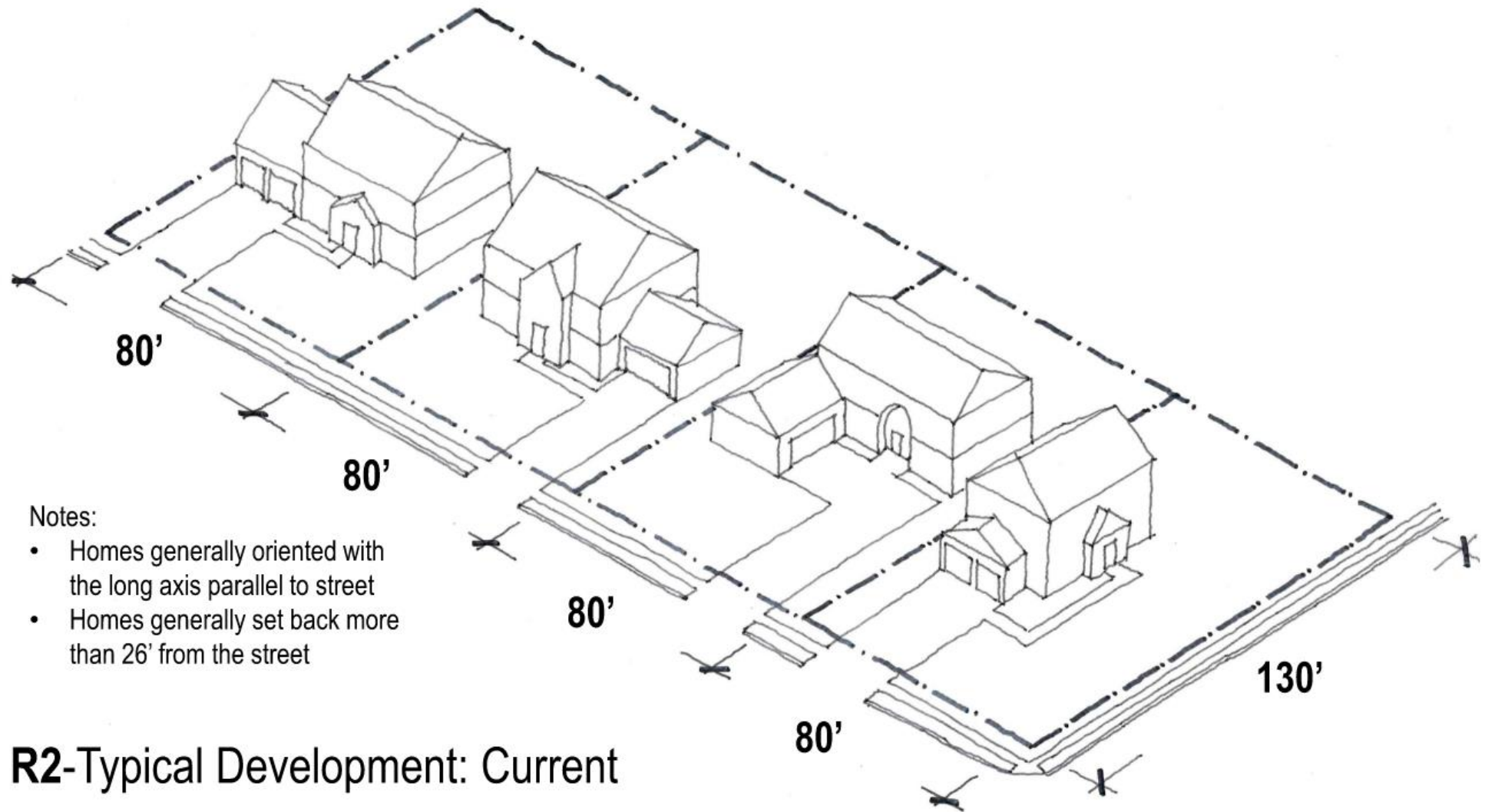


Notes:

- Consistent 28' street setback
- Axial relationship of residential structure to street varies

R1- With Missing Middle Unit Types

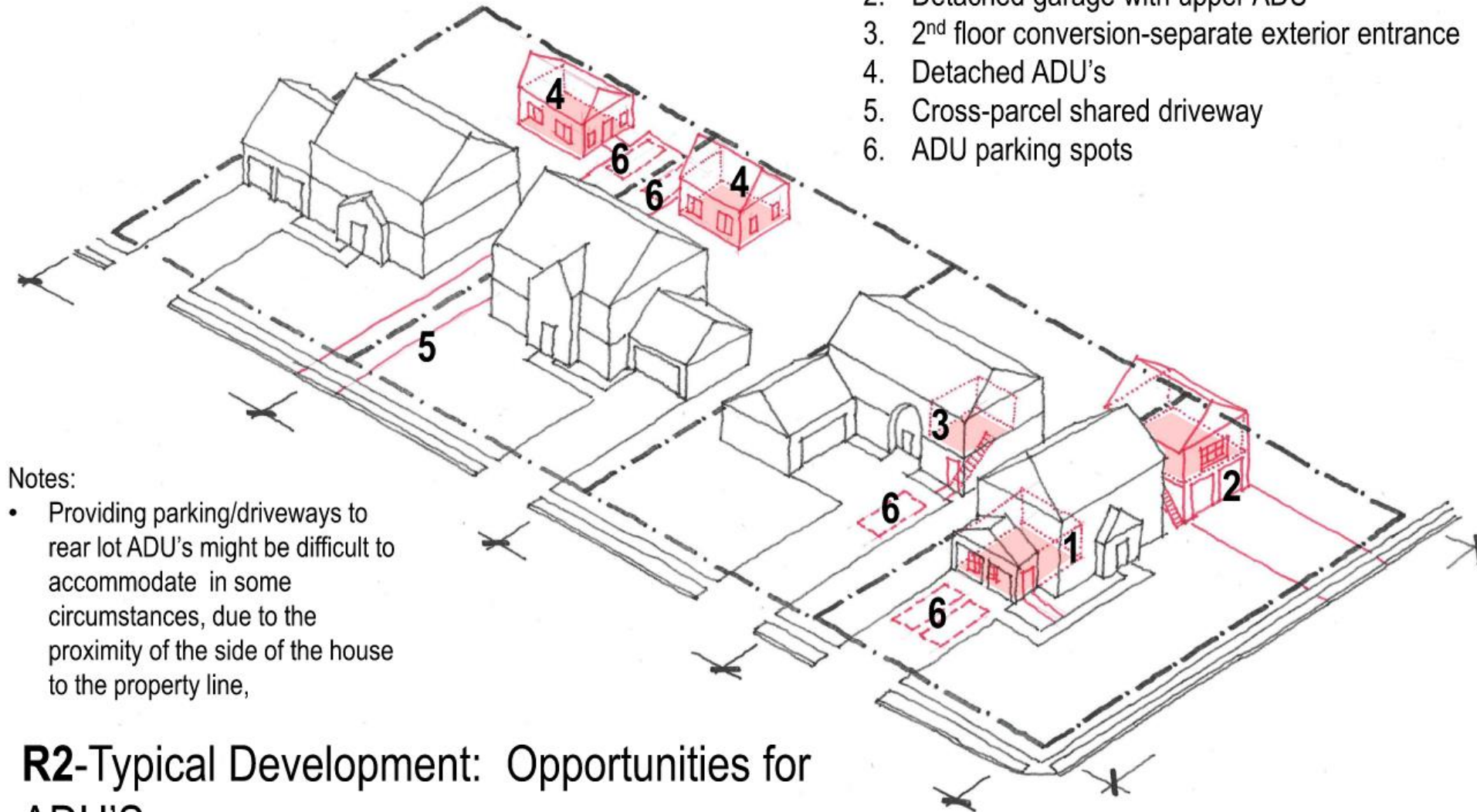
Neighborhood Character



R2-Typical Development: Current

Neighborhood Character

1. Garage conversion
2. Detached garage with upper ADU
3. 2nd floor conversion-separate exterior entrance
4. Detached ADU's
5. Cross-parcel shared driveway
6. ADU parking spots



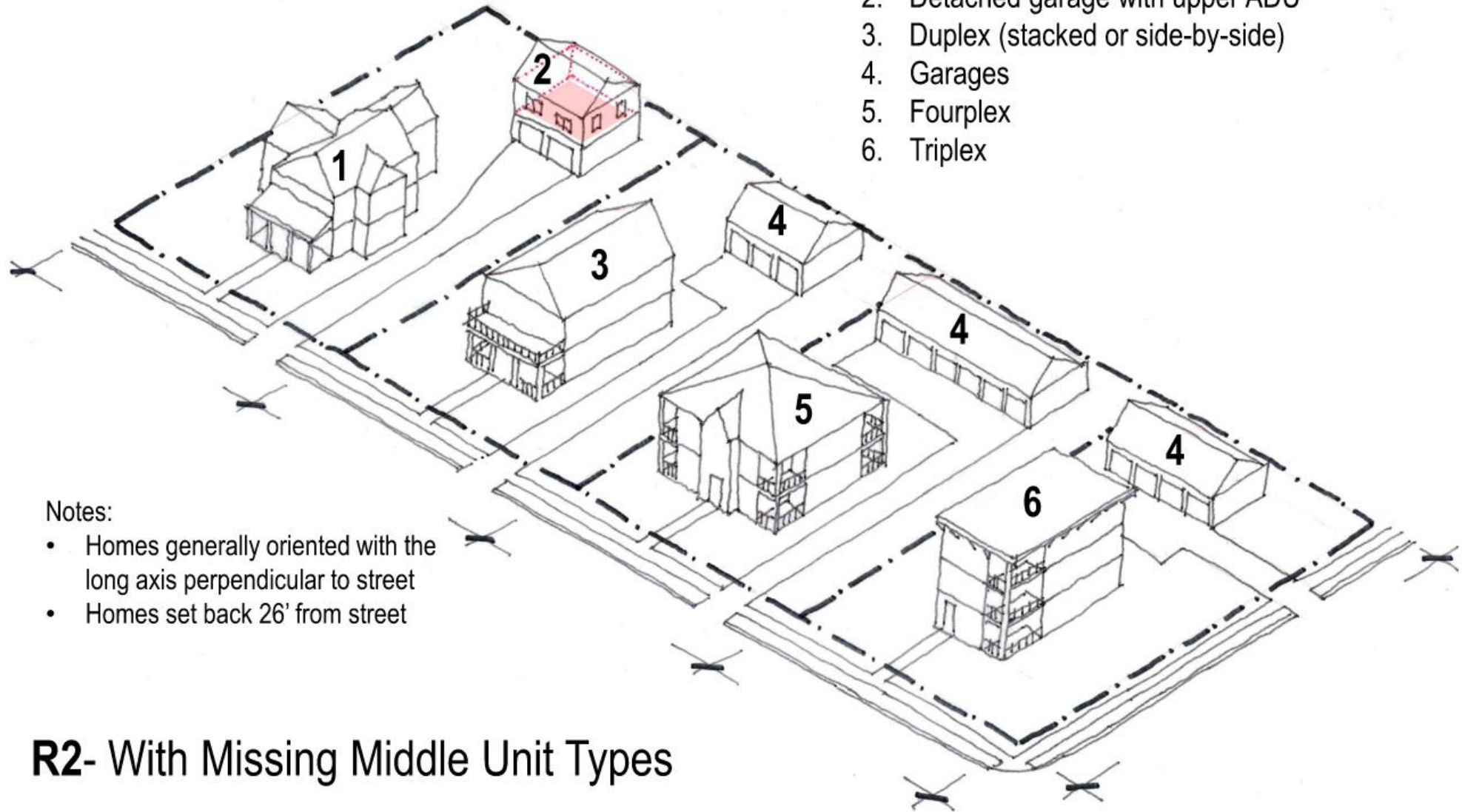
Notes:

- Providing parking/driveways to rear lot ADU's might be difficult to accommodate in some circumstances, due to the proximity of the side of the house to the property line,

R2-Typical Development: Opportunities for ADU'S

Neighborhood Character

1. Single Family
2. Detached garage with upper ADU
3. Duplex (stacked or side-by-side)
4. Garages
5. Fourplex
6. Triplex



Notes:

- Homes generally oriented with the long axis perpendicular to street
- Homes set back 26' from street

R2- With Missing Middle Unit Types

Neighborhood Character & Parking Requirements

- There are no parking restrictions for single-family homes.
- The proposed LUMOTA imposes parking maximums on all new housing types.
- Staff will monitor new missing middle developments and assess whether concerns over spillover parking materialize. If needed, on-street residential parking permits can be required.

Use		Vehicular Parking			
		Town-Center Zoning Districts		Non Town-Center Zoning Districts*	
		Minimum Number of Parking Spaces	Maximum Number of Parking Spaces	Minimum Number of Parking Spaces	Maximum Number of Parking Spaces
Duplex, Triplex, Fourplex, or multifamily	Efficiency	N/A	1 per DU	1 per DU	1.25 per DU
	1 bedroom	N/A	1 per DU	1 per DU	1.25 per DU
	2 bedrooms	N/A	1.25 per DU	1.4 per DU	1.75 per DU
	3 bedrooms	N/A	1.5 per DU	1.75 per DU	2.25 per DU
	4 or more bedrooms	N/A	1.67 per DU	2 per DU	2.5 per DU
Cottage Court		N/A	1 per DU	1 per DU	2 per DU
Townhouse		N/A	1 per DU	1 per DU	2 per DU

Neighborhood Character & Ownership

- Text amendments are geared towards creating housing for:
 - First-time buyers
 - Young families
 - Divorcees
 - Empty Nesters
 - Seniors
 - Owner-occupied multi-family
- Town cannot regulate ownership and age of renters.
- Student Housing
 - Occupancy – Limited to no more than 4 unrelated per dwelling unit
 - *Chapel Hill Housing Needs Analysis: 2020-2040*
 - 440 units/year needed for individual households
 - 45 units/year needed for students

Projected Housing Needs

2020-2040

Town of Chapel Hill

October 12, 2021



Inclusionary Zoning

- Amending Inclusionary Zoning Calculations for subdivisions (not developments)
 - 15% of lots reserved for affordable housing development
 - Considerations for payments in lieu



Obstacles

- No changes to the 13 Neighborhood Conservation Districts (NCDs)
 - Northside and Pine Knolls currently allow duplexes and triplexes as affordable housing
 - Most prohibit duplexes
- Many neighborhoods have HOAs, restrictive covenants, or entitlements limiting development to single family or single family + accessory apartment
- No proposed changes to stormwater requirements for multi-family (3+ units)
- Fire code may be more restrictive than LUMO, such as access requirements



Ways to be Involved:

- Project Webpage: <https://bit.ly/3ld1LXe>
- PublicInput: <https://publicinput.com/v3540>
- Public Information Meetings
 - Virtual Community Open House
Tuesday, January 31 from 5pm – 6pm
 - In-Person Community Open House
Thursday, February 2 from 12pm – 1pm, Room B, Chapel Hill Library



RECOMMENDATION

Review the proposed text amendments and forward a recommendation to the Town Council in time for the Council opening the public hearing at the January 25, 2023.