

Rosemary/Columbia Hotel

110 West Rosemary Street

ZONING COMPLIANCE PERMIT
CHAPEL HILL, NORTH CAROLINA

CONTRACT PURCHASER / CLIENT:

SMART OLYMPIA CAROLINA LLC
20600 CHAGRIN BOULEVARD, SUITE 705
SHAKER HEIGHTS, OH 44122
216-533-0500
CONTACT: ED SMALL

APPLICANT / CONSULTANT:

LANDSCAPE ARCHITECT / LAND PLANNER:
THOMAS & HUTTON
111 WEST MAIN STREET
DURHAM, NC 27701
919-682-0368
CONTACT: WENDI RAMSDEN

CIVIL ENGINEER:
THOMAS & HUTTON
111 WEST MAIN STREET
DURHAM, NC 27701
919-682-0368
CONTACT: CHUCK HILL

RESOURCE CONSERVATION NOTES

STREAM BUFFERS:
THERE ARE NO MAPPED STREAMS ON SITE.

FLOODPLAIN PROTECTION:
THE SITE IS NOT IN AN AREA AFFECTED BY A MAPPED FLOODPLAIN ACCORDING TO FIRM MAP 3710978800K EFFECTIVE 11-17-17.

STEEP SLOPE PROTECTION:
THERE ARE 2,173 SF OF STEEP SLOPES ON SITE - ALL ARE CONSTRUCTED (NOT NATURAL) SLOPES

WETLANDS:
THERE ARE NO MAPPED WETLANDS ONSITE.

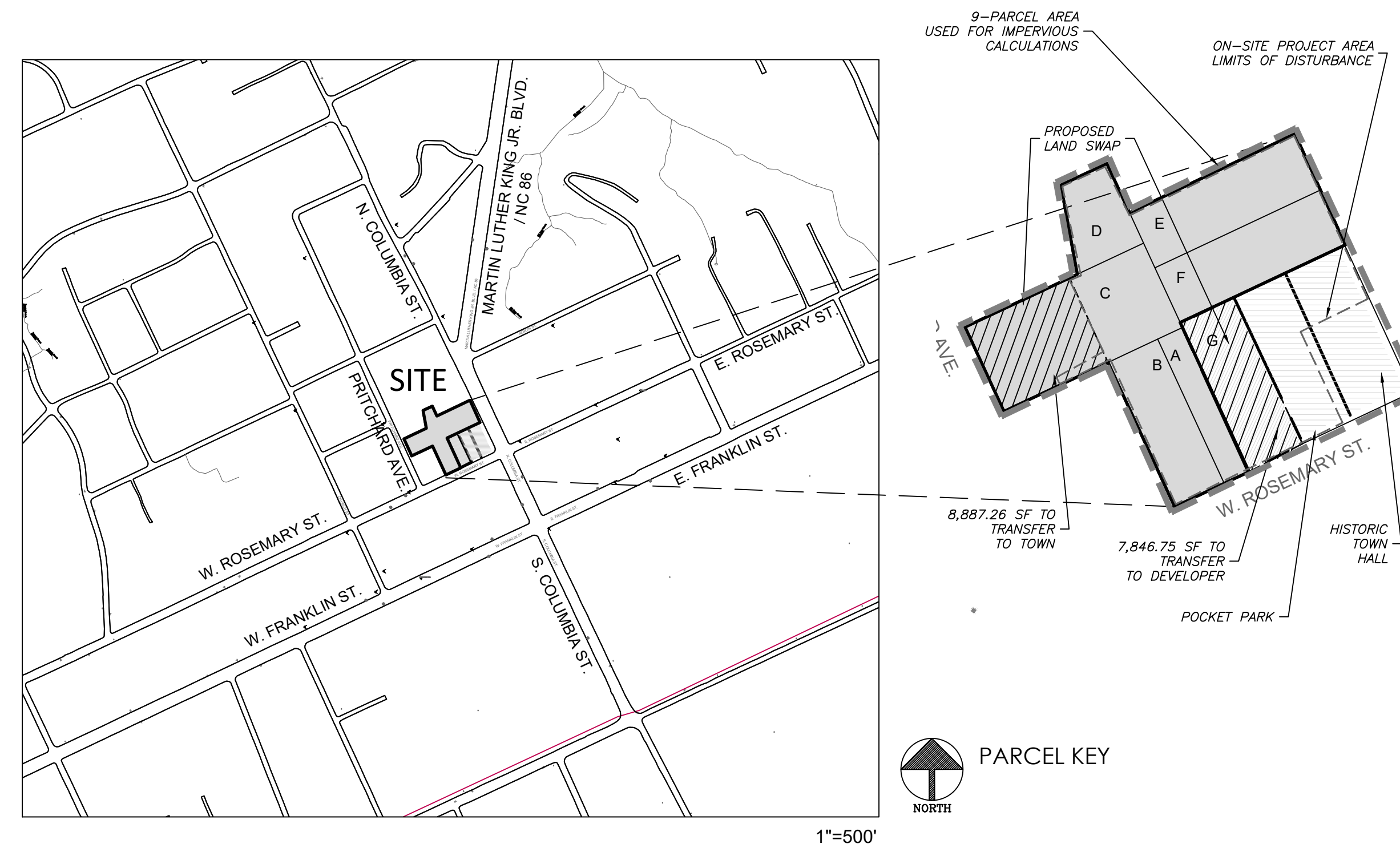
PROJECT NOTES

BOUNDARY AND TOPOGRAPHIC SURVEY PROVIDED BY BALLANTINE ASSOCIATES, PA
DATED AUGUST 26, 2019

SURROUNDING SITE AND PROPERTY INFORMATION PER CHAPEL HILL GIS

TOWN OF CHAPEL HILL NOTES

- P.E. CERTIFICATION: PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR ANY PHASE, THE APPLICANT SHALL PROVIDE A CERTIFICATION, SIGNED AND SEALED BY A NORTH CAROLINA-LICENSED PROFESSIONAL ENGINEER, THAT ANY REQUIRED STORMWATER MANAGEMENT FACILITY IS CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS.
- AS-BUILT PLANS: PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY, THE APPLICANT SHALL PROVIDE CERTIFIED AS-BUILT PLANS FOR BUILDING FOOTPRINTS, PARKING LOTS, STREET IMPROVEMENTS, STORM DRAINAGE SYSTEMS AND ANY STORMWATER MANAGEMENT STRUCTURES, AND ALL OTHER IMPERVIOUS SURFACES, AND A TALLY OF THE CONSTRUCTED IMPERVIOUS AREA. THE AS-BUILT PLANS SHOULD BE IN DXF BINARY FORMAT USING STATE PLANE COORDINATES AND NAVD 88.



IMPERVIOUS AREA CALCULATION

9-PARCEL TOTAL LAND AREA	= 74,134 SF	
PRE-DEVELOPMENT IMPERVIOUS	= 50,738 SF	1.16 AC (68.4%)
POST-DEVELOPMENT IMPERVIOUS	= 51,174 SF	1.17 AC (69.0%)

DISTURBED AREA

PROJECT AREA	59,700 SF	1.37 AC
STREET RIGHT-OF-WAY	5,051 SF	0.12 AC
TOTAL DISTURBED AREA	64,751 SF	1.49 AC

PROJECT DATA:

EXISTING PARCEL AREAS

PARCEL A:
ADDRESS: 108 WEST ROSEMARY STREET
PIN: 9788-37-0680
OWNER: KW RC PROPERTIES LLC
ACREAGE: 3,624.9 SF
ZONING: TC-2-CZD

PARCEL B:
ADDRESS: 114 WEST ROSEMARY STREET
PIN: 9788-37-0549
OWNER: KW RC PROPERTIES LLC
ACREAGE: 7,249.8 SF
ZONING: TC-2-CZD

PARCEL C:
ADDRESS: 208 PRITCHARD AVENUE
PIN: 9788-27-9667
OWNER: KW RC PROPERTIES LLC
ACREAGE: 15,262.3 SF
ZONING: TC-2-CZD and R-3

PARCEL D:
ADDRESS: N/A (NO STREET FRONTAGE)
PIN: 9788-27-9700
OWNER: KW RC PROPERTIES LLC
ACREAGE: 4,527.3 SF
ZONING: TC-2-CZD

PARCEL E:
ADDRESS: 205 NORTH COLUMBIA STREET
PIN: 9788-37-0721
OWNER: KW RC PROPERTIES LLC
ACREAGE: 9,320.0 SF
ZONING: TC-2-CZD

PARCEL F:
ADDRESS: 205 NORTH COLUMBIA STREET
PIN: 9788-37-0647
OWNER: KW RC PROPERTIES LLC
ACREAGE: 9,166.9 SF
ZONING: TC-2-CZD

PARCEL G:
ADDRESS: 110 WEST ROSEMARY STREET
PIN: 9788-37-0535
OWNER: TOWN OF CHAPEL HILL
ACREAGE: 7,846.75 SF
ZONING: TC-2-CZD

POCKET PARK PARCEL
W ROSEMARY STREET
9788-37-0577
TOWN OF CHAPEL HILL
8,180 SF

HISTORIC TOWN HALL PARCEL
N COLUMBIA STREET
9788-37-1539
TOWN OF CHAPEL HILL
8,954 SF

TOTAL PRIVATE OWNERSHIP AREA: 49,151.2 SF / 1.13 AC
TOTAL TOWN AREA: 7,846.75 SF / 0.18 AC

TOTAL PARCEL NET AREA: 56,998 SF / 1.31 AC
TOTAL PARCEL GROSS AREA: 62,698 SF / 1.44 AC

POST-DEVELOPMENT HOTEL PARCEL AREA: 48,110.69 / 1.10 AC
POST-DEVELOPMENT TOWN PARCEL AREA: 8,887.26 / 0.20 AC
TOTAL POST-DEVELOPMENT PARCEL AREA: 56,997.95 / 1.31 AC

PROJECT AREA: 1.37 AC
INCLUDES TOWN LAND TO BE DEVELOPED

LAND USE:
EXISTING: VACANT COMMERCIAL, CONVERTED RESIDENCES, AND ONE SINGLE FAMILY RESIDENTIAL HOTEL
PROPOSED: HOTEL

ZONING: TC-2-CZD

ALLOWABLE FAR FOR PROPOSED ZONE: 1.97 MAX.

EXISTING BUILDINGS:
- 1,250 SF ONE STORY BRICK BUILDING TO BE REMOVED
- 1,689 SF TWO STORY WOOD FRAME HOUSE TO BE REMOVED
2,939 SF TOTAL SQUARE FOOTAGE TO BE REMOVED

1,800 SF BUILDING TO REMAIN, TO BE DEEDED TO TOWN (LOCATED ON PARCEL C)

PROPOSED BUILDINGS:
HOTEL: 88,862 SF TOTAL
132 ROOMS

BUILDING HEIGHT: 5 STORIES PLUS PARTIAL LOWER LEVEL ACCESSED FROM NORTH DRIVEWAY

VEHICULAR PARKING:
REQUIRED: N/A (TOWN CENTER DISTRICT)
MAXIMUM: 119 (0.9 PER LODGING UNIT - 132 X 0.9)

PROPOSED: 39 SPACES ON-SITE + 1 ADA SPACE AT HISTORIC TOWN HALL
+ 1 MOTORCYCLE/MOPED SPACE ON UPPER PARKING LEVEL

BICYCLE PARKING:
REQUIRED: 9 (1 PER 15 LODGING UNITS 132 / 15)
PROPOSED: 9 SPACES (5 LOOPS)
4 LOOPS IN PROTECTED PARKING DECK, 1 LOOP ON ROSEMARY FRONTAGE
+ SPACE ALLOCATED IN PARK FOR FUTURE BIKE SHARE STATION

LIST OF SHEETS:

- C-0.0 COVER SHEET
- C-0.1 AREA MAP
- C-1.0 EXISTING CONDITIONS PLAN
- C-1.1 CONSTRUCTION CONDITIONS
- C-1.2 CONSTRUCTION MANAGEMENT PLAN
- C-1.3 LANDSCAPE PROTECTION PLAN
- C-1.4 PEDESTRIAN DETOUR PLAN
- C-2.0 SITE PLAN
- C-3.0 GRADING & STORMWATER PLAN
- C-3.1 DRIVEWAY PROFILE
- C-4.0 EROSION CONTROL PLAN
- C-5.0 UTILITY PLAN
- C-5.1 UTILITY PROFILE
- C-6.0 LIGHTING PLAN
- C-7.0 LANDSCAPE PLAN
- C-8.0 SITE DETAILS
- C-8.01 SITE SIGNAGE DETAILS
- C-8.1 SITE DETAILS
- C-8.2 SITE DETAILS
- C-8.3 SITE DETAILS
- C-8.4 SITE DETAILS
- C-8.5 SITE DETAILS
- C-8.6 SITE DETAILS

Project:

**Rosemary/
Columbia
Hotel**

110 W. Rosemary St.

Orange County,
North Carolina

PIN:
9788-37-0680
9788-37-0549
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Site Revisions

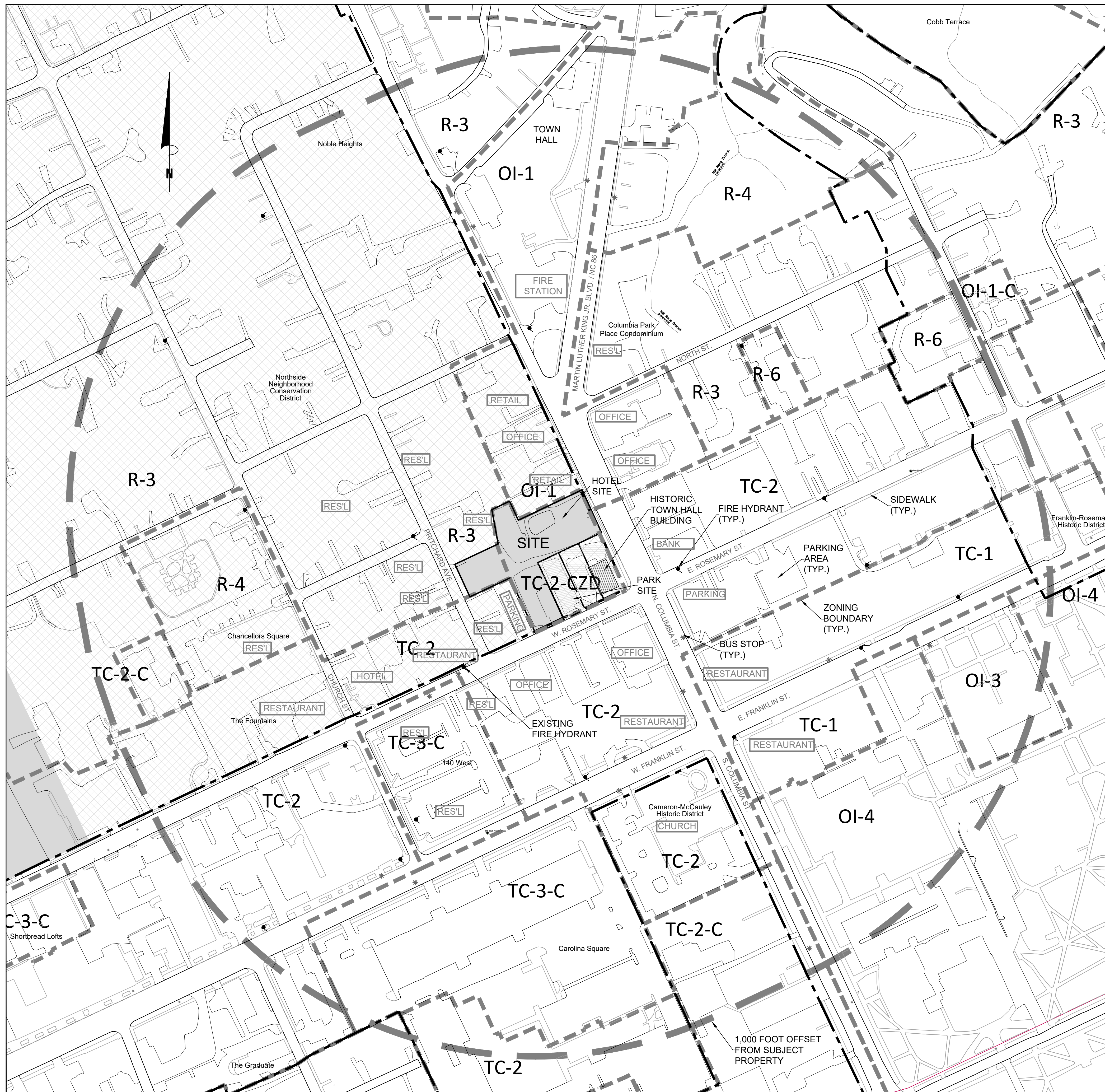
Zoning Compliance Permit

Sheet Title:

COVER SHEET

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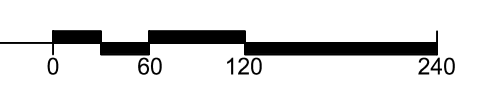
C-0.0



LEGEND

FIRE HYDRANT	
ZONING BOUNDARY	
EXISTING ZONING	OI-4
NCD BOUNDARY	
NORTHSIDE NEIGHBORHOOD	
LAND USE	COMM'L

1
C-0.1
AREA MAP
1" = 120'-0"



THOMAS & HUTTON
111 WEST MAIN STREET
DURHAM, NC 27701 • 919.482.0368
www.thomasandhutton.com

NC BOARD OF EXAMINERS FOR ENGINEERS AND SURVEYORS
LIC # F-0871
NC BOARD OF LANDSCAPE ARCHITECTS
LIC # C-104

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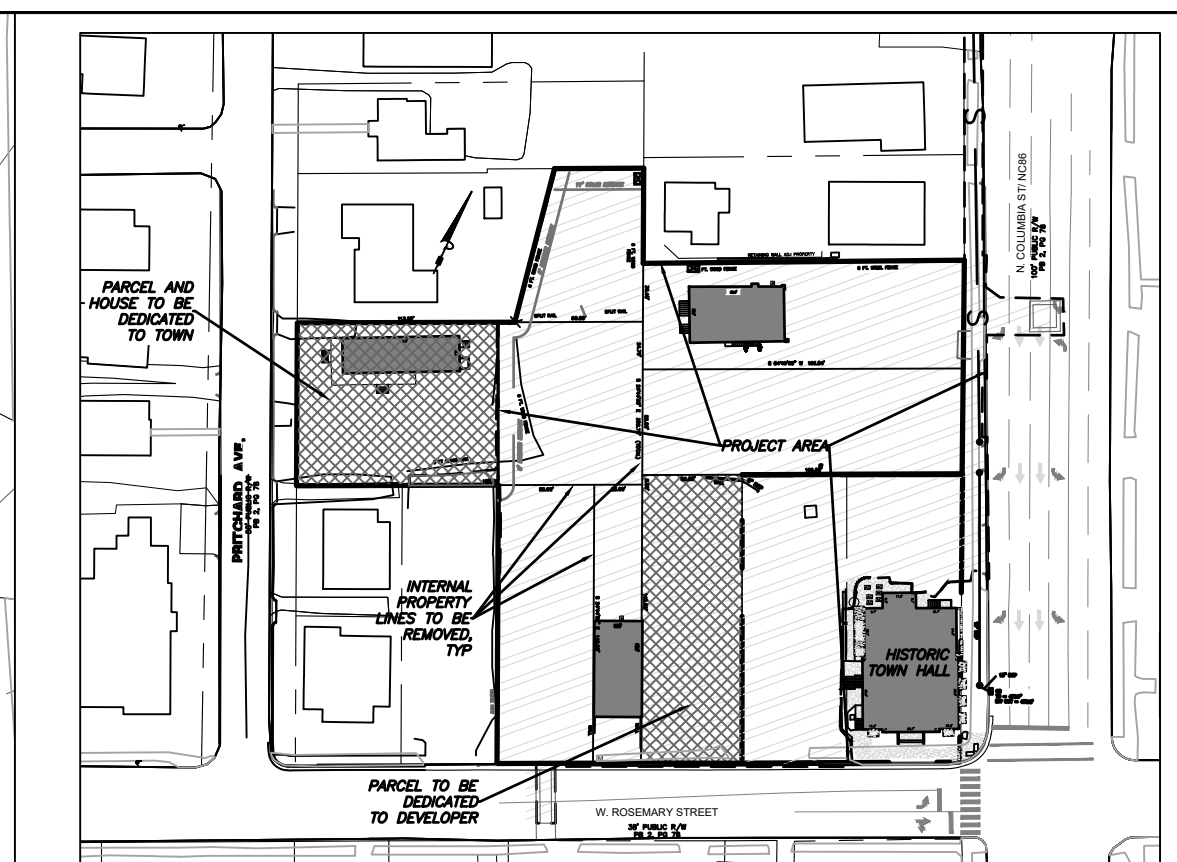
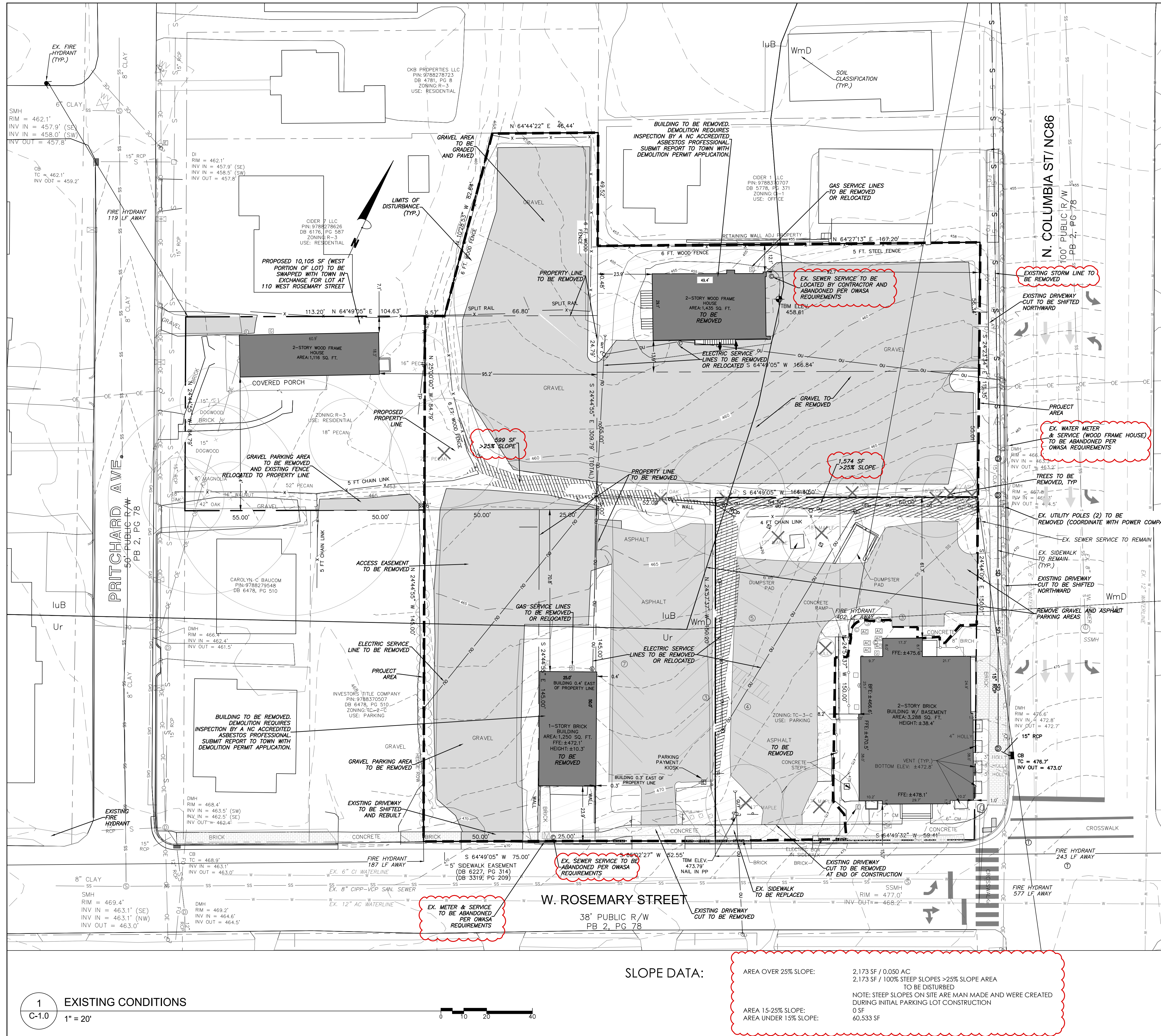
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AREA MAP
Sheet Number:
C-0.1



2 PROJECT AREA
 C-1.0 1" = 100'

- ENSURE ALL EROSION CONTROL MEASURES ARE IN PLACE AND IN WORKING ORDER PRIOR TO THE START OF ANY DEMOLITION AND CONSTRUCTION.
- SEE SITE PLAN SHEET C-2.0 FOR LAYOUT DIMENSIONS OF EXTENT OF DEMOLISHED AREAS. PAVED AREAS NOT INDICATED TO BE REMOVED, ARE TO REMAIN. ALL CONCRETE SAW CUTS ARE TO BE CLEAN, STRAIGHT AND NEAT.
- UTILITIES: SEE UTILITY PLAN C-5.0. CONTRACTOR TO COORDINATE WITH UTILITY COMPANIES AND VERIFY LOCATION, REMOVAL AND RELOCATION OF ANY UTILITIES. CONTRACTOR RESPONSIBLE FOR DETERMINING EXTENT AND LOCATION OF UTILITIES. THIS MAY INCLUDE CONTACTING "NO-CUTS" TO HELP LOCATE SOME UTILITIES.
- CONTRACTOR TO ADJUST ALL MANHOLES, VALVES, JUNCTION BOXES, CATCH BASINS, CLEAN-OUTS, ETC., AS NECESSARY TO ACCOMMODATE NEW LAYOUT AND GRADES.
- CONTRACTOR RESPONSIBLE FOR OBTAINING ANY PERMITS FOR WORK IN THE NC DOT AND TOWN OF CHAPEL HILL RIGHTS OF WAY. ANY DAMAGED INFRASTRUCTURE IN THE RIGHT OF WAY CAUSED BY CONSTRUCTION ACTIVITIES MUST BE REPAIRED TO TOWN OF CHAPEL HILL STANDARDS. THIS INCLUDES, BUT IS NOT LIMITED TO UTILITIES, SIDEWALKS, CURB AND GUTTER, ASPHALT.
- CONTRACTOR RESPONSIBLE FOR REMOVING EVERYTHING WITHIN THE CLEARING LIMITS AND OFF-SITE WORK ZONE INCLUDING TREES, STUMPS, TRASH, FENCING, OR BUILDING MATERIALS.
- CONTRACTOR TO USE CAUTION WORKING AROUND AND NEAR EXISTING STORM, WATER AND SEWER. CONTRACTOR RESPONSIBLE FOR DAMAGE TO EXISTING UTILITIES.
- ABANDONMENT OF WATER SERVICES SHALL INCLUDE EXCAVATING DOWN TO CORPORATION, TURNING IT OFF AND CUTTING SERVICE LINE FREE FROM CORPORATION. THE METER, IF PRESENT, SHALL BE RETURNED TO OWASA.
- ABANDONMENT OF SANITARY SEWER SERVICE LINES SHALL CONSIST OF PLUGGING THE LATERAL AT THE RIGHT-OF-WAY LINE.
- ALL PAVEMENT PATCHING SHALL BE PERFORMED PER TOWN SPECIFICATIONS AND STANDARDS.
- A DECONSTRUCTION ASSESSMENT MUST BE CONDUCTED BY OCSW STAFF PRIOR TO THE APPROVAL OF THE DEMOLITION PERMIT FOR THE EXISTING STRUCTURES. CONTACT OCSW ENFORCEMENT STAFF AT 919-968-2788 TO REQUEST THE ASSESSMENT. BUILDINGS TO BE DEMOLISHED MUST BE INSPECTED BY A NC ACCREDITED ASBESTOS PROFESSIONAL. SUBMIT REPORT WITH DEMOLITION PERMIT APPLICATION.
- A SEPARATE DEMOLITION PERMIT IS REQUIRED FOR EACH BUILDING.
- BY ORANGE COUNTY ORDINANCE, CLEAN WOOD WASTE, SCRAP METAL AND CORRUGATED CARDBOARD, ALL PRESENT IN CONSTRUCTION WASTE, MUST BE RECYCLED, AND ALL HAULERS OF CONSTRUCTION WASTE MUST BE PROPERLY LICENSED.
- PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE THE APPLICANT WILL HOLD A PRE-DEMOLITION/PRE-CONSTRUCTION CONFERENCE WITH THE COUNTY'S SOLID WASTE STAFF. THIS MAY BE THE SAME MEETING HELD WITH OTHER DEVELOPMENT OFFICIALS.
- THE PRESENCE OF ANY ASBESTOS CONTAINING MATERIAL (ACM) OR OTHER HAZARDOUS MATERIALS IN CONSTRUCTION AND DEMOLITION WASTE SHALL BE HANDLED IN ACCORDANCE WITH ANY AND ALL LOCAL, STATE, AND FEDERAL REGULATIONS AND GUIDELINES.
- ANY INVASIVE, EXOTIC PLANT MATERIAL WILL BE REMOVED. A SURVEY OF EXISTING LANDSCAPE BUFFERS TO REMAIN WILL BE CONDUCTED FOLLOWING INITIAL CLEARING, AND ANY INVASIVE OR EXOTIC SPECIES FOUND WILL BE REMOVED.
- DEMOLITION PERMIT REQUIRED TO REMOVE 5,200 SF STORE.
- ASBESTOS ABATEMENT REPORT REQUIRED BEFORE DEMOLITION PERMIT MAY BE ISSUED.
- A PERMIT FROM THE CHAPEL HILL FIRE MARSHAL'S OFFICE IS REQUIRED TO REMOVE ANY FLAMMABLE / COMBUSTIBLE LIQUIDS FROM UNDERGROUND OR ABOVE-GROUND TANKS OTHER THAN BY THE ON-SITE PUMPS. 2018 NC FIRE CODE SECTION 105.6.17 #5.
- A PERMIT FROM THE CHAPEL HILL FIRE MARSHAL'S OFFICE IS REQUIRED TO REMOVE ANY UNDERGROUND OR ABOVE-GROUND TANKS THAT CONTAINED FLAMMABLE / COMBUSTIBLE LIQUIDS. 2018 NC FIRE CODE SECTION 105.6.17 #7.
- TREE PROTECTION SEMINAR TO BE COMPLETED BY CONTRACTOR PRIOR TO TREE PROTECTION FENCE INSTALLATION. PLEASE CALL ADAM NICHOLSON AT 919-969-5006

3 DEMOLITION NOTES
 C-1.0

LEGEND	
Water Valve	⊙
Hand Hole	⊙
Curb Inlet/Catch Basin	⊠
Man Box	⊠
Traffic Signal Box	⊠
Electric Transformer	⊠
Electric Junction Box	⊠
Gas Meter	⊠
Sanitary Sewer Manhole	⊠
Storm Sewer Manhole	⊠
Telephone Manhole	⊠
Electric Manhole	⊠
Sign	⊠
Telephone Pedestal	⊠
Fire Hydrant	⊠
Fire Department Connection	⊠
Post Indicator Valve	⊠
Water Manhole	⊠
Water Meter	⊠
Hot Box	⊠
Utility Pole	⊠
Guy Wire	⊠
Service Pipe	⊠
Sewer Cleanout	⊠
Flange End Section	⊠
Gas Valve	⊠
Existing Iron Pipe (3/4" unless noted)	⊠
1/2" Meter	⊠
1/2" Iron Pipe Set	⊠
Existing PVC Pipe	⊠
PK Nail Set	⊠
Computed Point	⊠
Concrete Monument	⊠
Tree Line	⊠
Fence	⊠
Underground Electric	⊠
Underground Telephone	⊠
Gas Line	⊠
Water Line	⊠
Overhead Utilities	⊠
Storm Sewer	⊠
Sanitary Sewer	⊠
Guard Rail	⊠
Slope Slopes	⊠

SLOPE DATA:

AREA OVER 25% SLOPE:	2,173 SF / 0.050 AC
2,173 SF / 100% STEEP SLOPES >25% SLOPE AREA TO BE DISTURBED	
NOTE: STEEP SLOPES ON SITE ARE MAN MADE AND WERE CREATED DURING INITIAL PARKING LOT CONSTRUCTION	
AREA 15-25% SLOPE:	0 SF
AREA UNDER 15% SLOPE:	60,533 SF

NO BOARD OF EXAMINERS FOR ENGINEERS AND SURVEYORS LIC #F-0871
 NO BOARD OF LANDSCAPE ARCHITECTS LIC #C-104

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Zoning Compliance Permit
 Sheet Title:

EXISTING CONDITIONS
 Sheet Number
C-1.0

PROJECT LIMITATIONS PER CONDITIONAL ZONING APPROVAL

MAXIMUM FLOOR AREA: 92,500 SF
MAXIMUM # GUEST ROOMS: 135
MAXIMUM IMPERVIOUS SURFACE: 53,727 SF
MAXIMUM LAND DISTURBANCE: 63,200 SF
MAXIMUM BUILDING HEIGHT AT STREET - COLUMBIA FRONTAGE: 42'
MAXIMUM BUILDING HEIGHT AT STREET - W ROSEMARY FRONTAGE: 53'
MAXIMUM SECONDARY BUILDING HEIGHT: 65'
ZCP FILING DATE: NO LATER THAN NOVEMBER 17, 2023

SPECIAL CONDITIONS OF CONDITIONAL ZONING APPROVAL

- 1. BIKESHARE: AS LONG AS A BIKESHARE HUB NETWORK OPERATES IN THE DOWNTOWN AREA, THE DEVELOPER WILL ALLOW INSTALLATION AND MAINTENANCE OF A BIKESHARE HUB IN A LOCATION TO BE COORDINATED WITH THE TOWN.
2. WATER LINE: THE DEVELOPER SHALL RUN A WATERLINE TO THE HISTORIC TOWN HALL BUILDING TO MAINTAIN THE PARK'S LANDSCAPING.
3. RECOMBINATION: PRIOR TO ISSUANCE OF A ZONING COMPLIANCE PERMIT THE MULTIPLE PROPERTIES SHALL BE RECOMBINED INTO ONE PARCEL.
4. LAND SWAP: PRIOR TO ISSUANCE OF A ZONING COMPLIANCE PERMIT THE PROPOSED LAND SWAP BETWEEN THE DEVELOPER AND THE TOWN SHALL OCCUR AS OUTLINED IN THE MAY 19,2019 COUNCIL MEETING.
5. EMPLOYING LOCAL RESIDENTS: THE DEVELOPER WILL CONTINUE TO MEET WITH LOCAL AGENCIES THAT PROMOTE EMPLOYMENT INCLUDING EMPOWERMENT INC, THE JACKSON CENTER, AND EL CENTRO, TO PROVIDE OUTREACH TO LOCAL RESIDENTS SUCH AS NEIGHBORHOOD LIST SERVES, VIRTUAL AND PHYSICAL JOB BOARDS AND HOSTING JOB FAIRS FOR LOCAL CITIZENS AT LOCATIONS SUCH AS THE JACKSON CENTER, MIDWAY BUSINESS CENTER, AND HARGRAVES CENTER - FOR THE PURPOSE OF IDENTIFYING POTENTIAL EMPLOYEES DURING THE CONSTRUCTION OF THE HOTEL AS WELL AS PERMANENT HOTEL EMPLOYEES.
6. OFF-SITE CONSTRUCTION EASEMENTS: PRIOR TO ANY DEVELOPMENT ASSOCIATED LAND DISTURBANCE ON ABUTTING PROPERTIES, THE DEVELOPER SHALL PROVIDE DOCUMENTATION OF APPROVAL FROM THE AFFECTED PROPERTY OWNER(S). [LUMO 5.8.1]
7. PHASING PLAN: IF PHASING OF THE PROJECT IS PROPOSED, THEN THE APPLICANT SHALL PROVIDE A PHASING PLAN AS PART OF THE ZONING COMPLIANCE PERMIT. THE PHASING PLAN SHALL ALSO DETAIL WHICH PUBLIC IMPROVEMENTS AND STORMWATER MANAGEMENT STRUCTURES WILL BE COMPLETED IN EACH PHASE PRIOR TO REQUESTING A CERTIFICATE OF OCCUPANCY. CONSTRUCTION FOR ANY PHASE SHALL NOT BEGIN UNTIL ALL PUBLIC IMPROVEMENTS IN PREVIOUS PHASES HAVE BEEN COMPLETED, AND A NOTE TO THIS EFFECT SHALL BE PROVIDED ON THE FINAL PLANS. [LUMO 4.5.3]
8. NORTH CAROLINA DEPARTMENT OF TRANSPORTATION: PRIOR TO ISSUANCE OF A ZONING COMPLIANCE PERMIT PLANS FOR ANY IMPROVEMENTS TO STATE-MAINTAINED ROADS OR IN ASSOCIATED RIGHTS-OF-WAY SHALL BE APPROVED BY NCDOT.
9. NEW STREET NAMES AND NUMBERS: THE NAME OF THE DEVELOPMENT AND ITS STREETS AND HOUSE/BUILDING NUMBERS SHALL BE APPROVED BY THE TOWN MANAGER PRIOR TO ISSUANCE OF A ZONING COMPLIANCE PERMIT.

SOLID WASTE STIPULATIONS

- 1. CONSTRUCTION WASTE: CLEAN WOOD WASTE, SCRAP METAL, AND CORRUGATED CARDBOARD, ALL PRESENT IN CONSTRUCTION WASTE, MUST BE RECYCLED. ALL HAULERS OF CONSTRUCTION WASTE CONTAINING REGULATED RECYCLABLE MATERIALS MUST BE PROPERLY LICENSED WITH ORANGE COUNTY SOLID WASTE. THE DEVELOPER SHALL PROVIDE THE NAME OF THE PERMITTED WASTE DISPOSAL FACILITY TO WHICH ANY LAND CLEARING OR DEMOLITION WASTE WILL BE DELIVERED. [ORANGE COUNTY SOLID WASTE]
2. DECONSTRUCTION ASSESSMENT: FOR ANY EXISTING STRUCTURE 500 SQUARE FEET OR LARGER A DECONSTRUCTION ASSESSMENT SHALL BE CONDUCTED BY OCSW STAFF PRIOR TO THE ISSUANCE OF A DEMOLITION PERMIT PURSUANT TO THE COUNTY'S REGULATED RECYCLABLE MATERIALS ORDINANCE (RRMO). PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE, THE DEVELOPER SHALL HOLD A PRE-DEMOLITION/PRE-CONSTRUCTION CONFERENCE WITH SOLID WASTE STAFF. THIS MAY BE HELD AT THE SAME PRE-CONSTRUCTION MEETING HELD WITH OTHER DEVELOPMENT ENFORCEMENT OFFICIALS.

CONDITIONS PRIOR TO ANY LAND DISTURBING ACTIVITIES

- 1. AT LEAST ONE PERSON FROM THE CONTRACTOR'S FIRM WILL BE REQUIRED TO ATTEND THE TOWN'S TREE PROTECTION SEMINAR AND INSPECTION REVIEW. CONTACT ADAM NICHOLSON AT 919-969-5006 TO ARRANGE.
2. TREE PROTECTION FENCING: TREE PROTECTION FENCING WILL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES.
3. DEMOLITION PLAN: PRIOR TO BEGINNING ANY PROPOSED DEMOLITION ACTIVITY, THE DEVELOPER MUST OBTAIN DEMOLITION PERMITS FROM BOTH THE PLANNING AND INSPECTION DEPARTMENTS. WHILE THE DEMOLITION COMPONENT MAY BE SUBMITTED TO PLANNING IN TANDEM WITH THE ZONING COMPLIANCE PERMIT FOR NEW CONSTRUCTION, A SEPARATE STAND-ALONE PERMIT SHALL BE ISSUED PRIOR TO AN INSPECTION'S DEMOLITION PERMIT. FURTHER, PRIOR TO THE ISSUANCE OF A DEMOLITION PERMIT FOR ALL EXISTING STRUCTURES 500 SQUARE FEET OR LARGER, ORANGE COUNTY SOLID WASTE STAFF SHALL CONDUCT A DECONSTRUCTION ASSESSMENT PURSUANT TO THE COUNTY'S REGULATED RECYCLABLE MATERIALS ORDINANCE (RRMO).
4. EROSION CONTROL BOND: IF ONE ACRE OR MORE IS TO BE UNCOVERED BY LAND-DISTURBING ACTIVITIES FOR THE PROJECT, THEN A PERFORMANCE GUARANTEE IN ACCORDANCE WITH SECTION 5-97.1 BONDS OF THE TOWN CODE OF ORDINANCES SHALL BE REQUIRED PRIOR TO FINAL AUTHORIZATION TO BEGIN LAND-DISTURBING ACTIVITIES. [TOWN CODE 5-98]

REQUIREMENTS RELATED TO EROSION CONTROL MEASURES

- 1. AN EROSION CONTROL PERMIT APPROVAL FROM NORTH CAROLINA DEPARTMENT OF ENVIRONMENTAL QUALITY IS REQUIRED PRIOR TO LAND DISTURBING ACTIVITIES ON THIS PROJECT.
2. SEDIMENT CONTROL: THE DEVELOPER SHALL TAKE APPROPRIATE MEASURES TO PREVENT AND REMOVE THE DEPOSIT OF WET OR DRY SEDIMENTS ON ADJACENT ROADWAYS. [TOWN CODE 5-86]
3. EROSION CONTROL INSPECTIONS: IN ADDITION TO THE REQUIREMENT DURING CONSTRUCTION FOR INSPECTION AFTER EVERY RAINFALL, THE DEVELOPER SHALL INSPECT THE EROSION AND SEDIMENT CONTROL DEVICES DAILY, MAKE ANY NECESSARY REPAIRS OR ADJUSTMENTS TO THE DEVICES, AND MAINTAIN INSPECTION LOGS DOCUMENTING THE DAILY INSPECTIONS ANDY ANY NECESSARY REPAIRS. [ORANGE COUNTY EROSION CONTROL]
4. EROSION CONTROL: THE DEVELOPER SHALL PROVIDE A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PERMIT FROM ORANGE COUNTY EROSION CONTROL DIVISION PRIOR TO RECEIVING A ZONING COMPLIANCE PERMIT. DURING THE CONSTRUCTION PHASE, ADDITIONAL EROSION AND SEDIMENT CONTROLS MAY BE REQUIRED IF THE PROPOSED MEASURES DO NOT CONTAIN THE SEDIMENT. SEDIMENT LEAVING THE PROPERTY IS A VIOLATION OF THE TOWN'S EROSION AND SEDIMENT CONTROL ORDINANCE. [TOWN CODE 5-98]
5. THE PROPOSED STORMWATER CONTROL MEASURES FOR THE SITE SHALL BE DESIGNED TO MEET THE CURRENT NORTH CAROLINA DIVISION OF ENVIRONMENTAL QUALITY DESIGN MANUAL AND TOWN OF CHAPEL HILL PUBLIC WORKS ENGINEERING DESIGN MANUAL. [LUMO 5.4.3]

CONDITIONS DURING CONSTRUCTION

- 1. OPEN BURNING OF TREES, LIMBS, STUMPS, AND CONSTRUCTION DEBRIS ASSOCIATED WITH THIS DEVELOPMENT IS PROHIBITED. [TOWN CODE, ARTICLE 9]
2. PRIOR TO ANY LANE CLOSURES, IT WILL BE NECESSARY TO CONTACT THE CHAPEL HILL ENGINEERING DIVISION AT 919-968-2833 AT LEAST 5 WORKING DAYS BEFORE THE PROPOSED WORK TO APPLY FOR A LANE CLOSURE PERMIT.
5. EXISTING IMPROVEMENTS NOT DESIGNATED FOR DEMOLITION (SIDEWALKS, CURB & GUTTER, PAVEMENTS, TREES, PROPERTY CORNERS, ETC) WILL BE PROTECTED DURING CONSTRUCTION. IF DAMAGED BY THE CONTRACTOR, ANY DAMAGE WILL BE REPAIRED BY THE CONTRACTOR AT NO COST TO THE OWNER.
6. FIRE DEPARTMENT CONNECTIONS AND STANDPIPES: WHEN THE BUILDING BEING CONSTRUCTED REQUIRES STANDPIPES, A TEMPORARY STANDPIPE CONNECTION WILL BE CONSTRUCTED WITH READY FIRE DEPARTMENT ACCESS WHEN THE BUILDING IS NOT MORE THAN 40 FEET IN HEIGHT. SUCH STANDPIPES SHALL PROVIDE USABLE CONNECTIONS ADJACENT TO THE STAIRS AND SHALL CONTINUE WITH BUILDING PROGRESSION ALWAYS BEING NOT MORE THAN ONE FLOOR BELOW THE HIGHEST FLOOR OF THE BUILDING. [NC FPC 912 AND NC FPC 2018 3313]
7. ALL CONSTRUCTION AND DEMOLITION CONDUCTED SHALL BE IN COMPLIANCE OF THE CURRENT EDITION OF THE NC FIRE CODE. 2018 NCFE CHAPTER 33.
8. DURING CONSTRUCTION AND DEMOLITION WHERE HOT WORK, MATERIALS SUBJECT TO SPONTANEOUS COMBUSTION, OR OTHER HAZARDOUS CONSTRUCTION OR DEMOLITION IS OCCURRING, THE OWNER OR THEIR DESIGNEE SHALL BE RESPONSIBLE FOR MAINTAINING A FIRE WATCH. THE FIRE WATCH SHALL CONSIST OF AT LEAST ONE PERSON WITH A MEANS OF COMMUNICATING AN ALARM TO 911, SHALL HAVE A WRITTEN ADDRESS POSTED IN A CONSPICUOUS LOCATION, AND SHALL MAINTAIN CONSTANT PATROLS. 2018 NCFE SECTION 3304.5.
9. HYDRANTS ACTIVE: THE DEVELOPER WILL PROVIDE ACTIVE FIRE HYDRANT COVERAGE, ACCEPTABLE TO THE FIRE DEPARTMENT, FOR ANY AREAS WHERE COMBUSTIBLE CONSTRUCTION MATERIAL WILL BE STORED OR INSTALLED, PRIOR TO HAVING SUCH MATERIALS DELIVERED TO THE SITE. ALL REQUIRED FIRE HYDRANTS MUST BE INSTALLED, ACTIVE, AND ACCESSIBLE FOR FIRE DEPARTMENT USE PRIOR TO THE ARRIVAL OF COMBUSTIBLE MATERIALS ON SITE. FIRE PROTECTION SYSTEMS SHALL BE INSTALLED ACCORDING TO TOWN ORDINANCE, THE NC FIRE CODE, AND NFPA 13. [NC FPC 2018 SECTION 501.1 & 3313]
10. FIREFIGHTING ACCESS DURING CONSTRUCTION: VEHICLE ACCESS FOR FIREFIGHTING SHALL BE PROVIDED TO ALL CONSTRUCTION OR DEMOLITION SITES INCLUDING VEHICLE ACCESS TO WITHIN 100 FEET OF TEMPORARY OR PERMANENT FIRE DEPARTMENT CONNECTIONS AND HYDRANTS. VEHICLE ACCESS SHALL BE PROVIDED BY EITHER TEMPORARY OR PERMANENT ROADS CAPABLE OF SUPPORTING VEHICLE LOADING UNDER ALL WEATHER CONDITIONS. [NC FPC 2018 SECTION 3310.1]
11.CURB BUTS AND ACCESSIBLE ROUTES PER ICC A117.1 2009 ED - CROSS SLOPES LIMITED TO MAXIMUM 2%. CALL FOR INSPECTION BEFORE PLACEMENT OF CONCRETE.
12.PROVIDE A TIRE WASH FOR TRUCKS ON SITE BEFORE THEY EXIT ONTO MAIN ROADS.
13.PROVIDE ON-SITE PARKING FOR INSPECTORS AT EACH BUILDING FOR THE DURATION OF THE CONSTRUCTION PROJECT.
14.COMPLIANCE WITH THE TOWN OF CHAPEL HILL NOISE ORDINANCE IS MANDATORY. (CODE OF ORDINANCES, MISCELLANEOUS PROVISIONS AND OFFENSES, ARTICLE III. NOISE.)
15.RETAINING WALLS OVER 5' HIGH SHALL BE PERMITTED SEPARATELY FROM THE BUILDING AND MUST BE SIGNED BY A DESIGN PROFESSIONAL.

REQUIREMENTS PRIOR TO WORK IN A PUBLIC RIGHT OF WAY

- 1. DRIVEWAY PERMIT: THE DEVELOPER MUST OBTAIN AN APPROVED DRIVEWAY PERMIT AND/OR ENCROACHMENT AGREEMENT(S) PRIOR TO BEGINNING ANY PROPOSED WORK WITHIN THE NCDOT RIGHT-OF-WAY. AS A CONDITION OF THE PERMIT, THE PERMITTEE SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF STIPULATED IMPROVEMENTS IN ACCORDANCE WITH NCDOT REQUIREMENTS. AN APPROVED PERMIT WILL BE ISSUED UPON RECEIPT OF APPROVED ROADWAY AND SIGNAL CONSTRUCTION PLANS, INSPECTION FEES, AND ANY NECESSARY PERFORMANCE AND INDEMNITY BONDS.
2. PAVEMENT MARKINGS: ANY PAVEMENT MARKINGS PROPOSED WITHIN THE PUBLIC STREET RIGHTS-OF-WAY SHALL BE LONG LIFE THERMOPLASTIC. PAVEMENT MARKERS SHALL BE INSTALLED IF THEY PREVIOUSLY EXISTING ON THE ROADWAYS.
3. ENGINEERING CONSTRUCTION PERMIT FROM THE TOWN ENGINEERING DIVISION IS REQUIRED PRIOR TO ANY WORK IN THE RIGHT-OF-WAY.

CONDITIONS RELATED TO FIRE CODE

- 1. GATES AND BARRICADES: WHERE REQUIRED OR AUTHORIZED BY THE FIRE CODE OFFICIAL AND PERMANENT OR TEMPORARY (CONSTRUCTION), ANY GATES ACROSS FIRE APPARATUS ROADS SHALL BE A MINIMUM WIDTH OF 20 FEET, BE OF SWINGING OR SLIDING TYPE, HAVE EMERGENCY MEANS OF OPERATION, SHALL BE OPENABLE BY EITHER FORCEIBLE ENTRY OR KEVED, CAPABLE OF BEING OPERATED BY ONE PERSON, AND SHALL BE INSTALLED AND MAINTAINED ACCORDING TO UL 325 AND ASTM F 2200. [NC FPC 2018, 503.5, 503.6, D103.5]
2. GRADE AND APPROACH: FIRE APPARATUS ACCESS ROADS SHALL NOT EXCEED 10 PERCENT IN GRADE UNLESS APPROVED BY THE FIRE CHIEF, AND ALL APPROACH AND DEPARTURE ANGLES SHALL BE WITHIN THE LIMITS ESTABLISHED BASED ON THE FIRE DEPARTMENTS' APPARATUS. [NC FPC 2018, 503.5, 503.6, D103.2]
3. FIRE COMMAND CENTER: WHERE REQUIRED IN THE NORTH CAROLINA FIRE PROTECTION CODE AND IN ALL HIGH RISE BUILDINGS, A FIRE COMMAND CENTER MUST BE CONSTRUCTED IN ACCORDANCE WITH SECTION 508, NC FPC 2018.
4. EMERGENCY RESPONDER RADIO COVERAGE IN NEW BUILDINGS: ALL NEW BUILDINGS SHALL HAVE APPROVED RADIO COVERAGE FOR EMERGENCY RESPONDERS WITHIN THE BUILDING BASED UPON THE EXISTING COVERAGE LEVELS OF THE PUBLIC SAFETY COMMUNICATION SYSTEMS OF THE JURISDICTION AT THE EXTERIOR OF THE BUILDING. THIS SECTION SHALL NOT REQUIRE IMPROVEMENT OF THE EXISTING PUBLIC SAFETY COMMUNICATION SYSTEMS. [NC FPC 2018 SECTION 510.1]
5. FIRE WATCH: DURING CONSTRUCTION AND DEMOLITION WHERE HOT WORK, MATERIALS SUBJECT TO SPONTANEOUS COMBUSTION, OR OTHER HAZARDOUS CONSTRUCTION OR DEMOLITION IS OCCURRING, THE OWNER OR THEIR DESIGNEE SHALL BE RESPONSIBLE FOR MAINTAINING A FIRE WATCH. THE FIRE WATCH SHALL CONSIST OF AT LEAST ONE PERSON WITH A MEANS OF COMMUNICATING AN ALARM TO 911, SHALL HAVE A WRITTEN ADDRESS POSTED IN A CONSPICUOUS LOCATION, AND SHALL MAINTAIN CONSTANT PATROLS. 2018 NCFE SECTION 3304.5
6. AERIALS: WHERE A BUILDING EXCEEDS 30 FEET IN HEIGHT OR 3 STORIES ABOVE THE LOWEST LEVEL OF FIRE DEPARTMENT ACCESS, OVERHEAD POWER AND UTILITY LINES SHALL NOT BE ALLOWED WITHIN THE AERIAL APPARATUS ACCESS ROADWAY AND THE ROADWAY SHALL HAVE AN UNOBSTRUCTED WIDTH OF 26 FEET EXCLUSIVE OF THE SHOULDERS. AT LEAST ONE OF THE APPARATUS ACCESS ROADWAYS SHALL BE LOCATED WITHIN A MINIMUM OF 15 FEET AND A MAXIMUM OF 30 FEET FROM ONE COMPLETE SIDE OF THE BUILDINGS. [NC FPC 2018 D105.1, D105.2, D105.3, D105.4]
7. FIRE APPARATUS ACCESS ROADS: ANY FIRE APPARATUS ACCESS ROADS (ANY PUBLIC/PRIVATE STREET, PARKING LOT ACCESS, FIRE LANES, AND ACCESS ROADWAYS) USED FOR FIRE DEPARTMENT ACCESS SHALL BE ALL-WEATHER AND DESIGNED TO CARRY THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING AT LEAST 80,000 LBS. STRUCTURES EXCEEDING 30 FEET IN HEIGHT SHALL BE PROVIDED WITH AN AERIAL APPARATUS ACCESS ROAD 26 FEET IN WIDTH IN THE IMMEDIATE VICINITY OF THE BUILDING OR PORTION THEREOF, AND SHALL PROVIDE AT LEAS ONE OF THE REQUIRED ACCESS ROADS TO BE LOCATED NOT LESS THAN 15 FEET AND NOT MORE THAN 30 FEET FROM THE STRUCTURE PARALLEL TO ONE ENTIRE SIDE OF THE STRUCTURE [NC FPC 2018 502.1, 503.1.1, 503.2.1, D102.1 SECOND ACCESS DEPENDENT UPON NORTH CAROLINA DEPARTMENT OF TRANSPORTATION APPROVAL]
8. BUILDING HEIGHT: BUILDINGS EXCEEDING 30 FEET OR THREE STORIES IN HEIGHT MUST HAVE AT LEAST TWO MEANS OF FIRE APPARATUS ACCESS SEPARATED BY AT LEAST ON HALF OF THE DIAGONAL DISTANCE OF THE BUILDING . [NC FPC 2018 D104.1, D104.3 DEPENDENT UPON NORTH CAROLINA DEPARTMENT OF TRANSPORTATION APPROVAL]
9. AUTOMATED FIRE SPRINKLER SYSTEM REQUIRED: AN AUTOMATIC FIRE SPRINKLER SYSTEM MEETING THE REQUIREMENTS OF NFPA STANDARD #13 AND TOWN CODE 7-56 IS REQUIRED TO BE INSTALLED IN NON-RESIDENTIAL CONSTRUCTION.
10.FIRE DEPARTMENT CONNECTIONS, LOCATIONS: ANY REQUIRED FDCs FOR ANY BUILDINGS SHALL MEET THE DESIGN AND INSTALLATION REQUIREMENTS FOR CURRENT, APPROVED EDITION OF NFPA 13, 13D, 13R, OR 14 OF THE NC FPC 2018 AND TOWN CODE 7-38 FOR LOCATION. FDCs SHALL BE INSTALLED WITHIN 100 FEET OF A HYDRANT UNLESS OTHERWISE APPROVED BY THE FIRE CODE OFFICIAL, AND SHALL NOT BE OBSTRUCTED OR HINDERED BY PARKING OR LANDSCAPING. FDCs SHALL BE EQUIPPED WITH NATIONAL STANDARD THREAD (NST) AND BE A 2.5" SIAMSE.
11.FIRE DEPARTMENT CONNECTIONS, INSTALLATION; A WORKING SPACE OF NOT LESS THAN 36" IN WIDTH AND DEPTH AND A WORKING SPACE OF 78" IN HEIGHT SHALL BE PROVIDED ON ALL SIDES WITH THE EXCEPTION OF WALL MOUNTED FDCS UNLESS OTHERWISE APPROVED BY THE FIRE CODE OFFICIAL. THE FDCS WHERE REQUIRED MUST BE PHYSICALLY PROTECTED FROM IMPACTS BY AN APPROVED BARRIER. [NC FPC 2018 912.1, 912.2, 912.2.1,312]

CONDITIONS PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY

- 1. ACCESSIBILITY REQUIREMENTS: PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY, THE DEVELOPER SHALL PROVIDE THE MINIMUM REQUIRED HANDICAPPED INFRASTRUCTURE ACCORDING TO AMERICANS WITH DISABILITIES ACT AND ASSOCIATED CODES AND STANDARDS. [LUMO 5.9.5]
2. REPAIR/REPLACEMENT OF DAMAGED STORMWATER INFRASTRUCTURE: EXISTING STORMWATER INFRASTRUCTURE THAT IS DAMAGED AS A RESULT OF THE PROJECT DEMOLITION OR CONSTRUCTION MUST BE REPAIRED OR REPLACED, AS SPECIFIED BY THE STORMWATER MANAGEMENT ENGINEER, PRIOR TO REQUESTING A CERTIFICATE OF OCCUPANCY. [TOWN OF CHAPEL HILL DESIGN MANUAL]
3. IRRIGATION: IF PERMANENT IRRIGATION IS PROPOSED TO SUPPORT LANDSCAPING, AN IRRIGATION PLAN SHALL BE SUBMITTED WHICH INCLUDES THE USE OF SMART TECHNOLOGIES TO CONSERVE WATER AND ENERGY.
4. REPAIRS IN PUBLIC RIGHTS-OF-WAY: PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY, THE DEVELOPER SHALL REPAIR ALL DAMAGE FOR WORK IN THE PUBLIC RIGHT OF WAY RELATED TO THE CONSTRUCTION OF THIS PROJECT, WHICH MAY INCLUDE PAVEMENT MILLING AND OVERLAY. THE DESIGN MUST BE REVIEWED AND APPROVED BY NCDOT (WHERE APPLICABLE) AND THE TOWN MANAGER PRIOR TO ISSUANCE OF A ZONING COMPLIANCE PERMIT. [TOWN CODE 6.1]
5. NO CERTIFICATES OF OCCUPANCY SHALL BE ISSUED UNTIL ALL REQUIRED PUBLIC IMPROVEMENTS ARE COMPLETE.
6. AS-BUILT PLANS: PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY, THE DEVELOPER SHALL PROVIDE TO THE TOWN CERTIFIED AS-BUILT PLANS FOR BUILDING FOOTPRINTS, PARKING LOTS, STREET IMPROVEMENTS, STORM DRAINAGE SYSTEMS AND STORMWATER MANAGEMENT STRUCTURES, AND ALL OTHER IMPERVIOUS SURFACES, AND A TALLY OF THE CONSTRUCTED IMPERVIOUS AREA. THE AS-BUILT PLANS SHALL BE IN DXF BINARY FORMAT USING STATE PLANE COORDINATES AND NAVD 88. [TOWN DESIGN MANUAL CHAPTER 10]
7. TRAFFIC SIGNS: THE DEVELOPER SHALL BE RESPONSIBLE FOR PLACEMENT AND MAINTENANCE OF TEMPORARY REGULATORY SIGNS BEFORE ISSUANCE OF ANY CERTIFICATES OF OCCUPANCY
8. FIRE SPRINKLERS: THE DEVELOPER SHALL INSTALL SPRINKLERS UNDER THE NORTH CAROLINA FIRE PROTECTION CODE (NC FPC) PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
9. FIRE ACCESS: PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY, FIRE ACCESS SHALL BE REVIEWED AND APPROVED BY THE TOWN OF CHAPEL HILL.
10. KEY BOX: WHERE REQUIRED BY THE FIRE CODE OFFICIAL, A SECURE KEY BOX MOUNTED ON THE ADDRESS SIDE OF THE BUILDING NEAR THE MAIN ENTRANCE, SHALL BE PROVIDED TO ENSURE ADEQUATE ACCESS TO THE BUILDING BASED ON LIFE SAFETY AND/OR FIRE PROTECTION NEEDS. [NC FPC 506]
11. PREMISE IDENTIFICATION: APPROVED BUILDING ADDRESS NUMBERS , PLACED IN A POSITION ACCEPTABLE TO THE FIRE CODE OFFICIAL, SHALL BE REQUIRED ON ALL NEW BUILDINGS. [NC FPC 2018, 505.1]
12. FIRE APPARATUS ACCESS FOR CHAPEL HILL FIRE DEPARTMENT: ALL FIRE DEPARTMENT ACCESS DETERMINATIONS SHALL BE BASED UPON CHAPEL HILL FIRE DEPARTMENT APPARATUS SPECIFICATIONS AND FIELD VERIFICATION. ALL PROPOSED FIRE DEPARTMENT ACCESS DESIGNS SHALL BE REVIEWED AND SHALL ALSO PASS FIELD INSPECTION.
13. FIRE LANE: PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY, ANY FIRE LANE SHALL BE MARKED AND SIGNED IN ACCORDANCE WITH TOWN STANDARDS PER THE ASSOCIATED PLANS APPROVED IN THE ZONING COMPLIANCE PERMIT.
14. THE PROJECT IS REQUIRED TO HAVE ELECTRIC VEHICLE (EV) CHARGING STATIONS SERVING 3% OF ALL PARKING SPACES (2 TOTAL SPACES). A TOTAL OF 20% OF ALL PARKING SPACES MUST BE MADE "EV READY" FOR FUTURE CHARGING STATIONS - WHICH INCLUDES THE INSTALLATION OF DEDICATED ELECTRICAL CIRCUITS AND UNDERGROUND CONDUITS (34 SPACES).
15. UTILITY EASEMENTS: PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY, THE DEVELOPER WILL RECORD ALL PROPOSED PUBLIC WATER AND SANITARY SEWER EASEMENTS LOCATED AS SHOWN IN THIS SET OF PLANS.



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NC BOARD OF LANDSCAPE ARCHITECTS LIC # C-104

Project:

Rosemary/ Columbia Hotel

110 W. Rosemary St.

Orange County, North Carolina

PIN: 9788-37-0680
9788-37-0549
9788-27-9667
9788-27-9700
9788-37-0721
9788-37-0647



PRELIMINARY-DO NOT USE FOR CONSTRUCTION

Job Number: 1963

Table with 2 columns: Field (Drawn, Checked, Date, Revisions) and Value (WLR, MTO; WLR, CHN; 5-9-2022; 4-20-2023 Site Revisions)

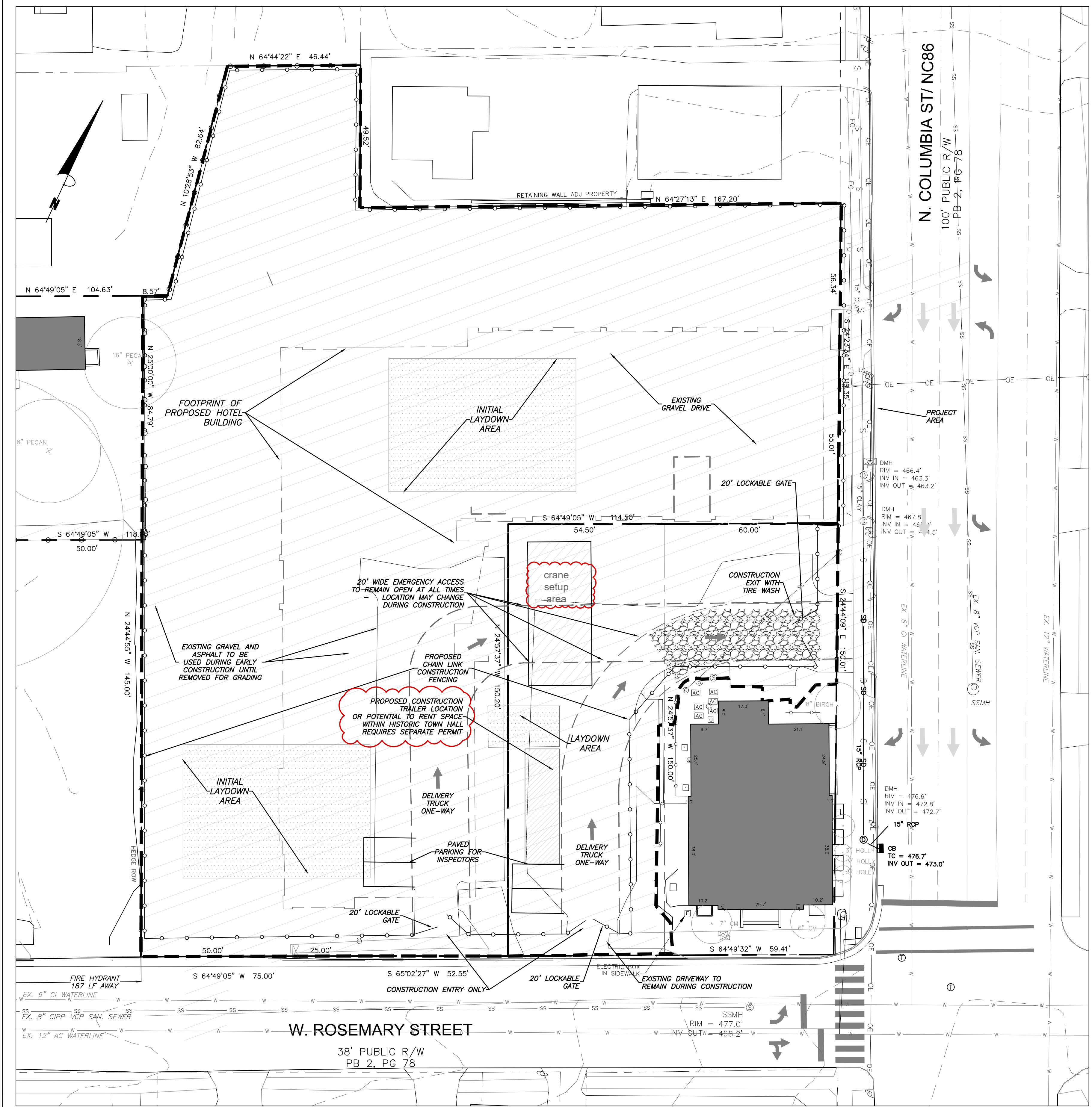
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Sheet Title:

CONSTRUCTION CONDITIONS

Sheet Number

C-1.1



CONSTRUCTION STAGING NOTES

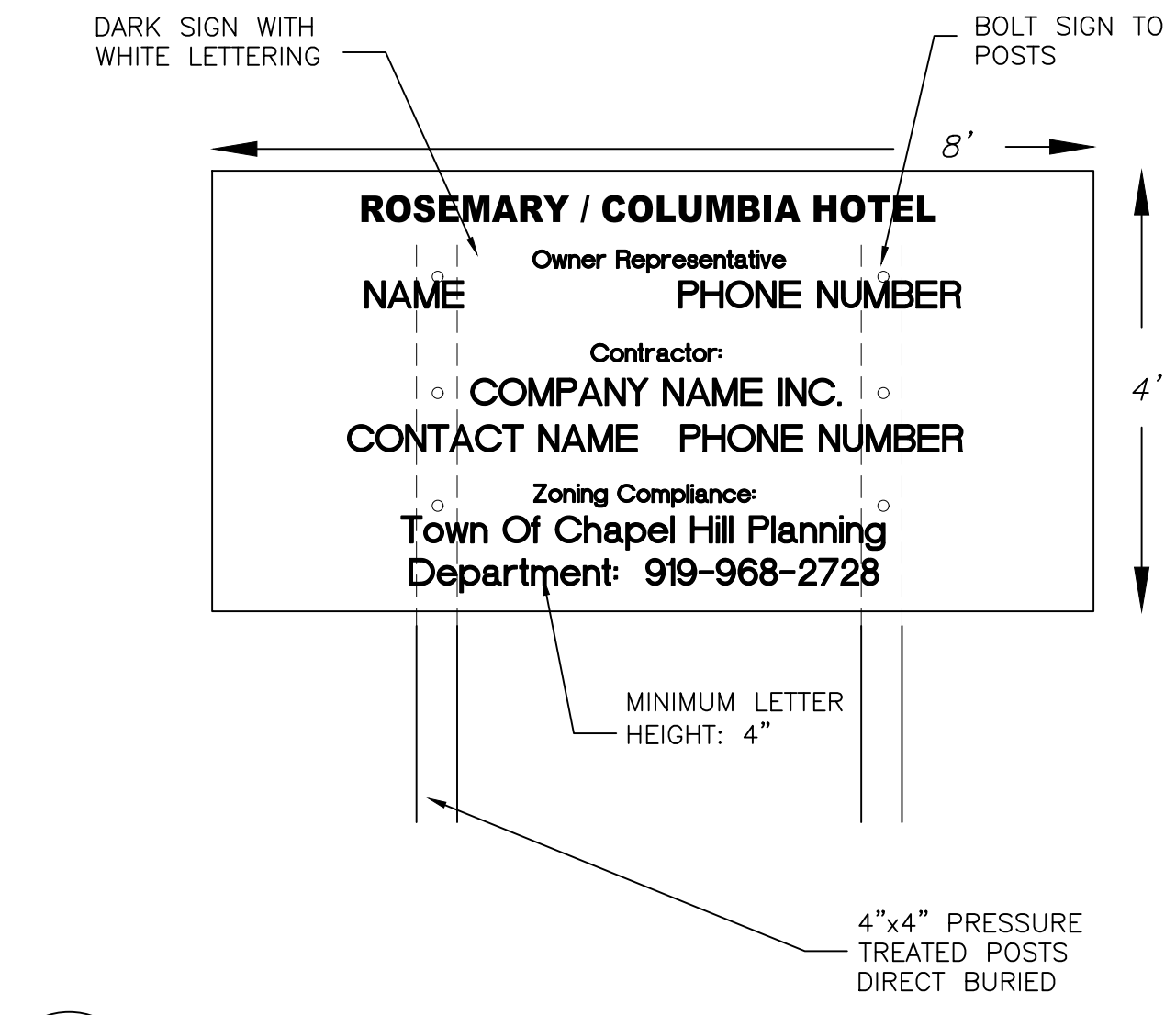
- EXISTING GRAVEL PARKING IS TO BE LEFT INTACT FOR CONSTRUCTION WORKERS UNTIL WORK IS DONE IN EACH AREA AND GRAVEL NEEDS TO BE REMOVED.
- NO CONSTRUCTION PARKING WILL BE ALLOWED ON ADJACENT RESIDENTIAL STREETS.
- HOURS OF CONSTRUCTION ARE MONDAY TO FRIDAY 7 AM TO 6 PM, AND SATURDAY AS NEEDED BETWEEN 8 AM AND 6 PM. THERE WILL BE NO CONSTRUCTION ON SUNDAYS. THE TOWN OF CHAPEL HILL NOISE ORDINANCE MUST BE COMPLIED WITH. THE TOWN ORDINANCE SPECIFICS CONSTRUCTION OPERATIONS ARE LIMITED TO 7 AM TO 9 PM WEEKDAYS, AND 8 AM TO 9 PM WEEKENDS. ANY ROCK REMOVAL WORK NEEDS TO BE COORDINATED WITH TOWN ADMINISTRATION, AND NEIGHBORS NOTIFIED IN ADVANCE.
- PROVIDE ON-SITE PARKING FOR INSPECTORS AT EACH BUILDING FOR THE DURATION OF THE CONSTRUCTION PROJECT.

FIRE PROTECTION NOTES

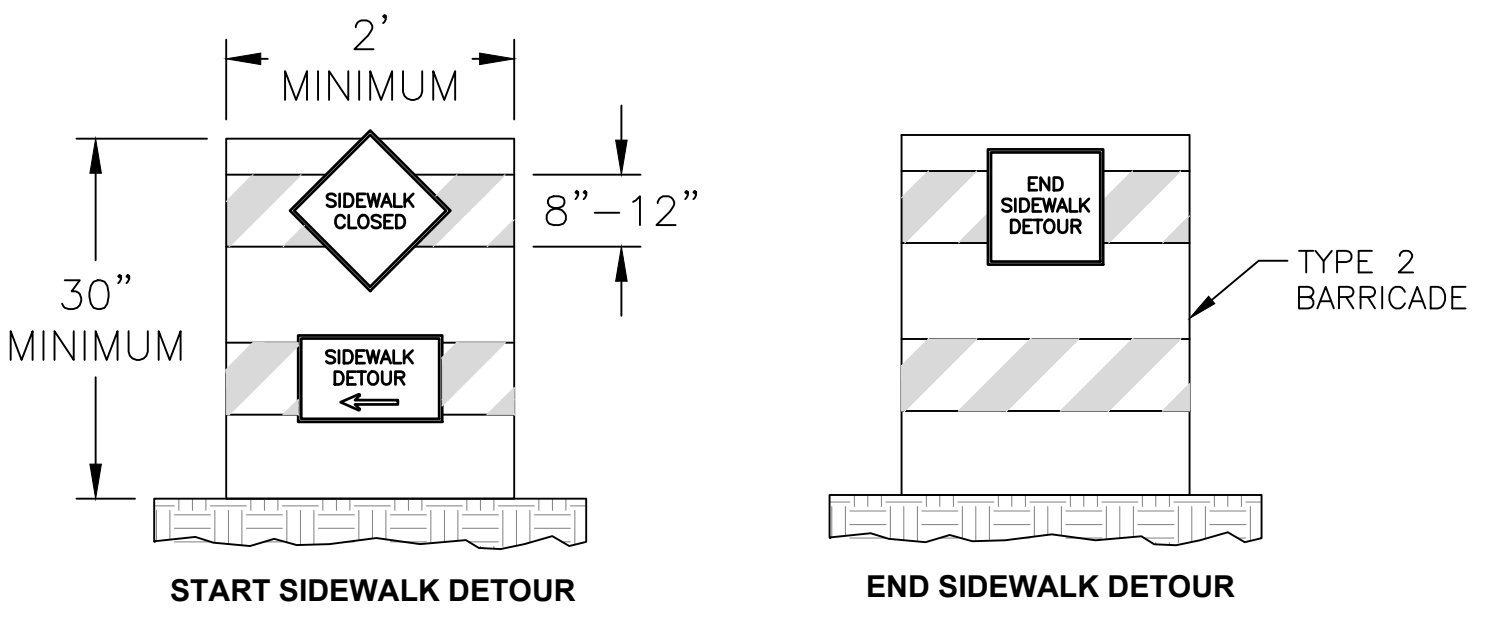
- CONTRACTOR SHALL MAINTAIN A FIRE WATCH DURING THE CONSTRUCTION OR DEMOLITION OF "HOT WORK" THAT MAY SUBJECT MATERIALS TO SPONTANEOUS COMBUSTION. THE FIRE WATCH SHALL CONSIST OF AT LEAST ONE PERSON WITH A MEANS OF COMMUNICATING AN ALARM TO 911, SHALL HAVE A WRITTEN ADDRESS POSTED IN A CONSPICUOUS LOCATION, AND SHALL MAINTAIN CONSTANT PATROLS.
- ALL CONSTRUCTION AND DEMOLITION SHALL COMPLY WITH THE CURRENT EDITION OF CHAPTER 14 OF THE NC FPC (FIRE CODE).
- ANY PERMANENT OR TEMPORARY GATES ACROSS FIRE ACCESS DRIVES SHALL BE A MINIMUM WIDTH OF 20', EITHER SWINGING OR SLIDING TYPE, HAVE AN EMERGENCY MEANS OF OPERATION, AND SHALL BE OPERABLE BY EITHER FORCIBLE ENTRY OR KEYS, CAPABLE OF BEING OPERATED BY ONE PERSON, AND SHALL BE INSTALLED AND MAINTAINED ACCORDING TO UL 325 AND ASTM F 2200 NC FPC 2012.

TRAFFIC/PEDESTRIAN CONTROL NOTES

- SIGNS SHOWN ON THIS PLAN ARE REQUIRED DURING THE CONSTRUCTION OF THIS PROJECT.
- CONSTRUCTION WILL REQUIRING TEMPORARY LANE CLOSURES ON PUBLIC STREETS NEED TOWN APPROVAL. TEMPORARY LANE CLOSURES ARE ONLY ALLOWED DURING DAYLIGHT HOURS.
- ALL WORK ZONE SIGNAGE SHALL COMPLY WITH APPLICABLE M.U.C.D. STANDARDS AND DETAILS.
- PRIOR TO ANY TRAFFIC LANE CLOSURES, IT WILL BE NECESSARY TO CONTACT DALE MAY AT 919-969-5096, OF THE CHAPEL HILL ENGINEERING DIVISION, AT LEAST 5 WORKING DAYS BEFORE THE PROPOSED WORK TO APPLY FOR A LANE CLOSURE PERMIT.
- SIGNS AND TEMPORARY BARRICADES AS SHOWN BELOW WILL BE PLACED TO DIRECT PEDESTRIANS WHEN SIDEWALKS ARE IN THE CONSTRUCTION AREAS.

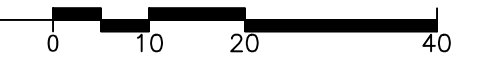


2 CONSTRUCTION SIGN
C-1.2 NOT TO SCALE



3 SIDEWALK CLOSURE SIGNAGE
C-1.2 NOT TO SCALE

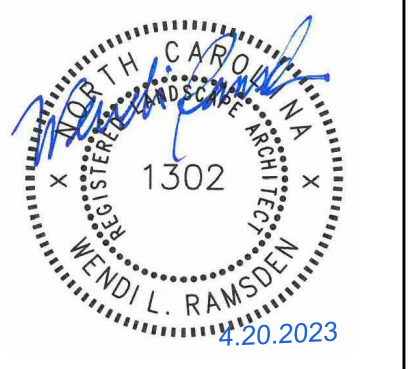
1 CONSTRUCTION MANAGEMENT PLAN
C-1.2 1" = 20'



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Project:
Rosemary/Columbia Hotel
110 W. Rosemary St.
Orange County, North Carolina

PIN:
9788-37-0680
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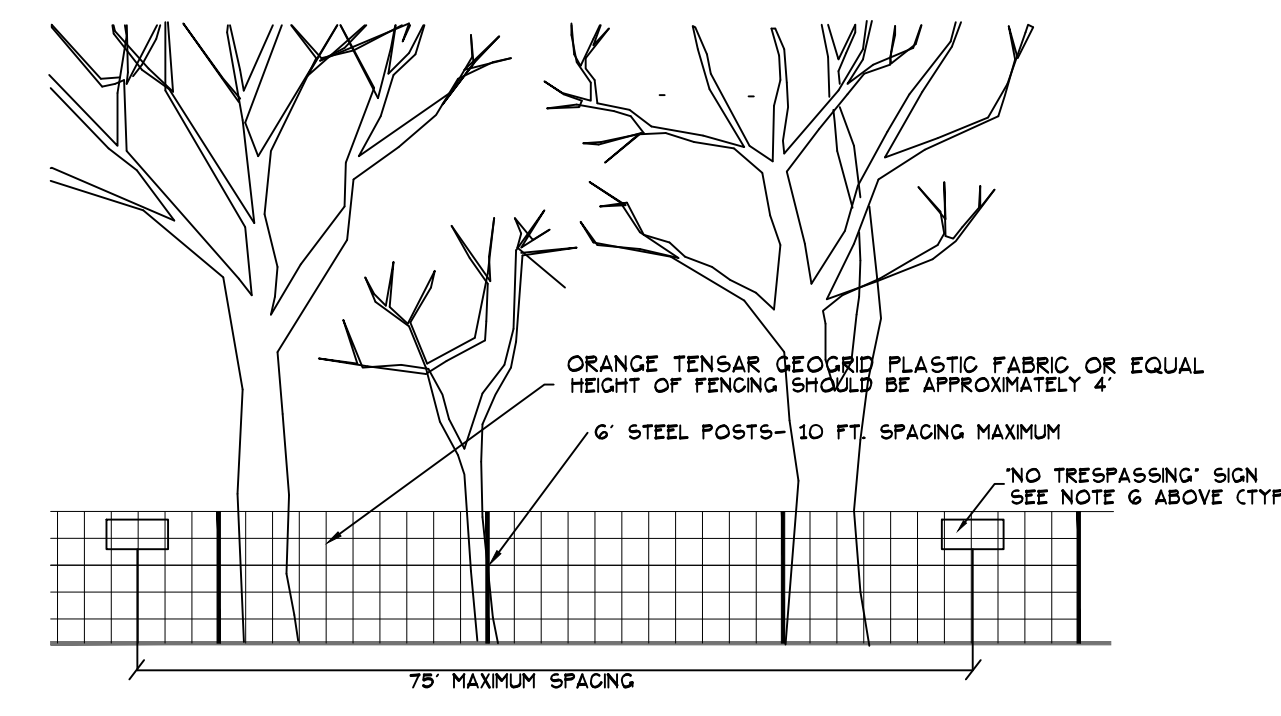
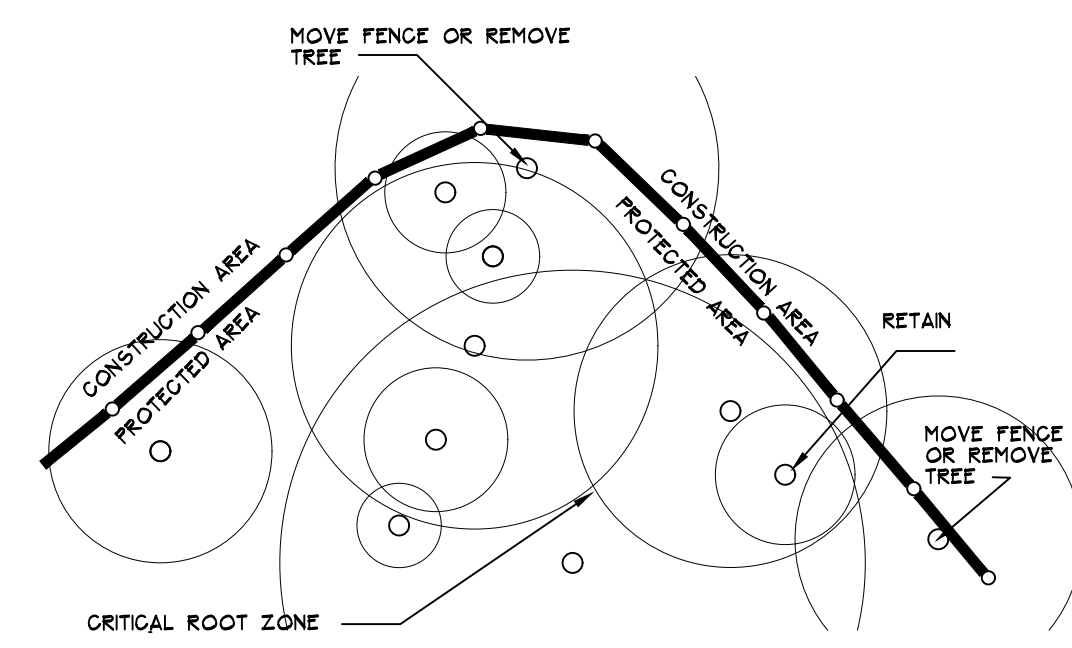
PRELIMINARY-DO NOT USE FOR CONSTRUCTION
Job Number: 1963
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Sheet Title:
CONSTRUCTION MANAGEMENT PLAN
Sheet Number:
C-1.2



LEGEND

Water Valve	⊗
Yard Inlet	⊗
Curb Inlet/Catch Basin	⊗
Mail Box	⊗
Traffic Signal Box	⊗
Electric Transformer	⊗
Electric Junction Box	⊗
Gas Meter	⊗
Sanitary Sewer Manhole	⊗
Storm Sewer Manhole	⊗
Telephone Manhole	⊗
Electric Manhole	⊗
Sign	⊗
Telephone Pedestal	⊗
Fire Hydrant	⊗
Fire Department Connection	⊗
Post Indicator Valve	⊗
Water Manhole	⊗
Water Meter	⊗
Hot Box	⊗
Utility Pole	⊗
Guy Wire	⊗
Light Pole	⊗
Sewer Cleanout	⊗
Flared End Section	⊗
Gas Valve	⊗
Existing Iron Pipe (3/4" unless noted)	⊗
1/2" Rebar	⊗
Existing PK Nail	⊗
PK Nail Set	⊗
Computed Point	⊗
Concrete Monument	⊗
Tree Line	⊗
Fence	⊗
Underground Electric	⊗
Underground Telephone	⊗
Gas Line	⊗
Water Line	⊗
Overhead Utilities	⊗
Storm Sewer	⊗
Sanitary Sewer	⊗
Guard Rail	⊗
Steep Slopes	⊗



NOTES:

1. MOVE FENCE OR REMOVE TREE IF MORE THAN 20% OF A TREE'S CRITICAL ROOT AREA IS UNPROTECTED.
2. TREES TO BE REMOVED WITHIN THE TREE PROTECTION AREA (BECAUSE >20% OF ROOT ZONE IS DISTURBED) WILL BE FELLED TOWARD THE CLEARED CONSTRUCTION AREA.
3. ROOT PRUNE TREES TO REMAIN, WHERE CONSTRUCTION ACTIVITIES WILL SEVER ROOTS.
4. ANY TREE ROOTS EXPOSED BY CONSTRUCTION SHALL BE SEVERED CLEANLY WITH A PRUNING TOOL.
5. THE SOIL WITHIN THE CRITICAL ROOT ZONES OF EXISTING TREES WILL NOT BE DRIVEN ON OR OTHERWISE DISTURBED DURING THE INSTALLATION OF LANDSCAPING.
6. DO NOT DISPOSE OF ANY CHEMICALS OR REMOVE SOIL OUTSIDE THE LIMITS OF WORK.
7. WHEN INSTALLING NEW LANDSCAPE PLANTS, DO NOT DRIVE EQUIPMENT UPON OR DISTURB THE SOIL WITHIN THE CRITICAL ROOT ZONE OF EXISTING TREES.
8. SIGNAGE MUST BE PLACED ON TREE PROTECTION FENCING WITH A MAXIMUM SPACING OF 75' ON CENTER, TO READ "TREE PROTECTION AREAS - NO TRESPASSING WITHIN FENCE".

2 TREE PROTECTION FENCING
C-1.3 NTS

CANOPY COVERAGE WITHIN PROJECT AREA: 10,492 SF
CANOPY AREA TO BE REMOVED: 10,087 SF

3 TREE COVERAGE CALCULATION
C-1.3 NTS

1 EXISTING CONDITIONS - LANDSCAPE PROTECTION PLAN
C-1.3 1" = 20'

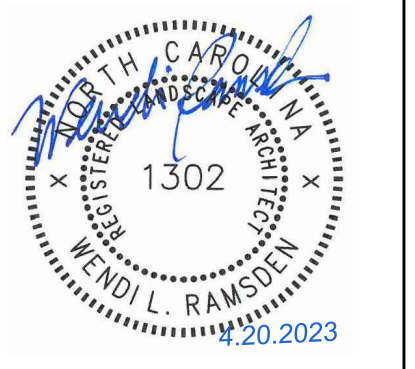
1. ALL SPECIMEN AND RARE TREES WERE SURVEYED AND ARE SHOWN.
2. THERE ARE NO SIGNIFICANT TREE STANDS IN THE PROJECT AREA.
3. TREES ARE DRAWN TO SIZE REPRESENTING THE CRITICAL ROOT ZONE.
4. A PRE-CONSTRUCTION MEETING WITH THE TOWN'S URBAN FORESTER IS REQUIRED PRIOR TO STARTING ANY WORK ON SITE.
5. THE DEVELOPER SHALL DESIGNATE A LANDSCAPE PROTECTION SUPERVISOR WHO HAS COMPLETED INSTRUCTION IN LANDSCAPE PROTECTION PROCEDURES WITH THE TOWN.
6. IT SHALL BE THE DUTY OF THE LANDSCAPE PROTECTION SUPERVISOR TO ENSURE THE PROTECTION OF NEW OR EXISTING LANDSCAPE ELEMENTS, AS DEFINED IN THE LANDSCAPE PROTECTION PLAN. AT LEAST ONE IDENTIFIED LANDSCAPE PROTECTION SUPERVISOR SHALL BE PRESENT ON THE DEVELOPMENT SITE AT ALL TIMES WHEN ACTIVITY THAT COULD DAMAGE OR DISTURB SOIL AND ADJACENT LANDSCAPE ELEMENTS OCCURS, INCLUDING BUT NOT LIMITED TO: DURING CLEARING AND GRUBBING, DURING ANY EXCAVATION GRADING TRENCHING OR MOVING OF SOIL, DURING REMOVAL INSTALLATION OR MAINTENANCE OF LANDSCAPE ELEMENTS AND TREE PROTECTION FENCING, OR DURING DELIVERY TRANSPORTING AND PLACEMENT OF CONSTRUCTION MATERIALS AND EQUIPMENT ON SITE.

NC BOARD OF EXAMINERS FOR ENGINEERS AND SURVEYORS LIC # F-0871
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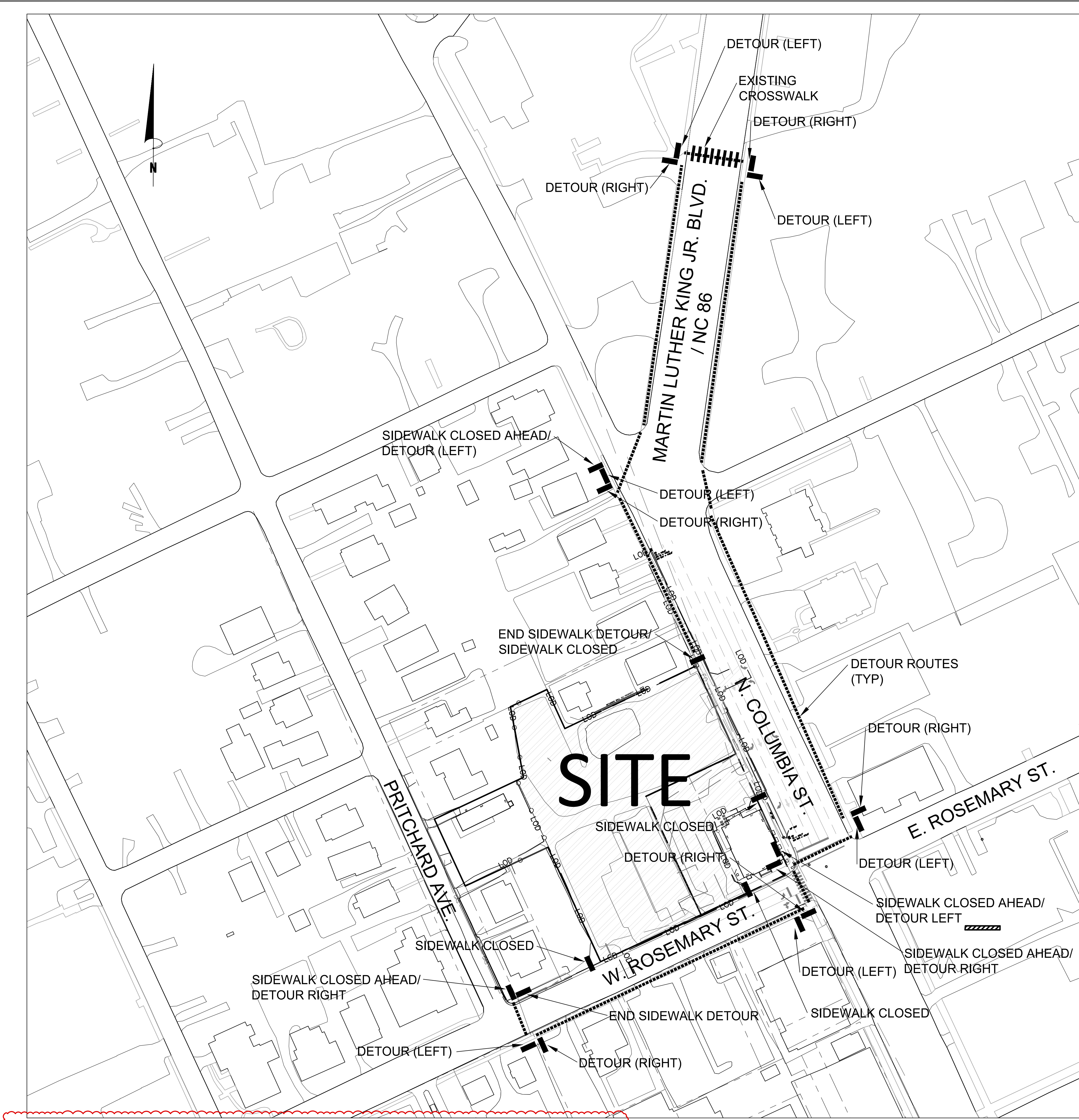
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Sheet Title:
LANDSCAPE PROTECTION PLAN

Sheet Number
C-1.3

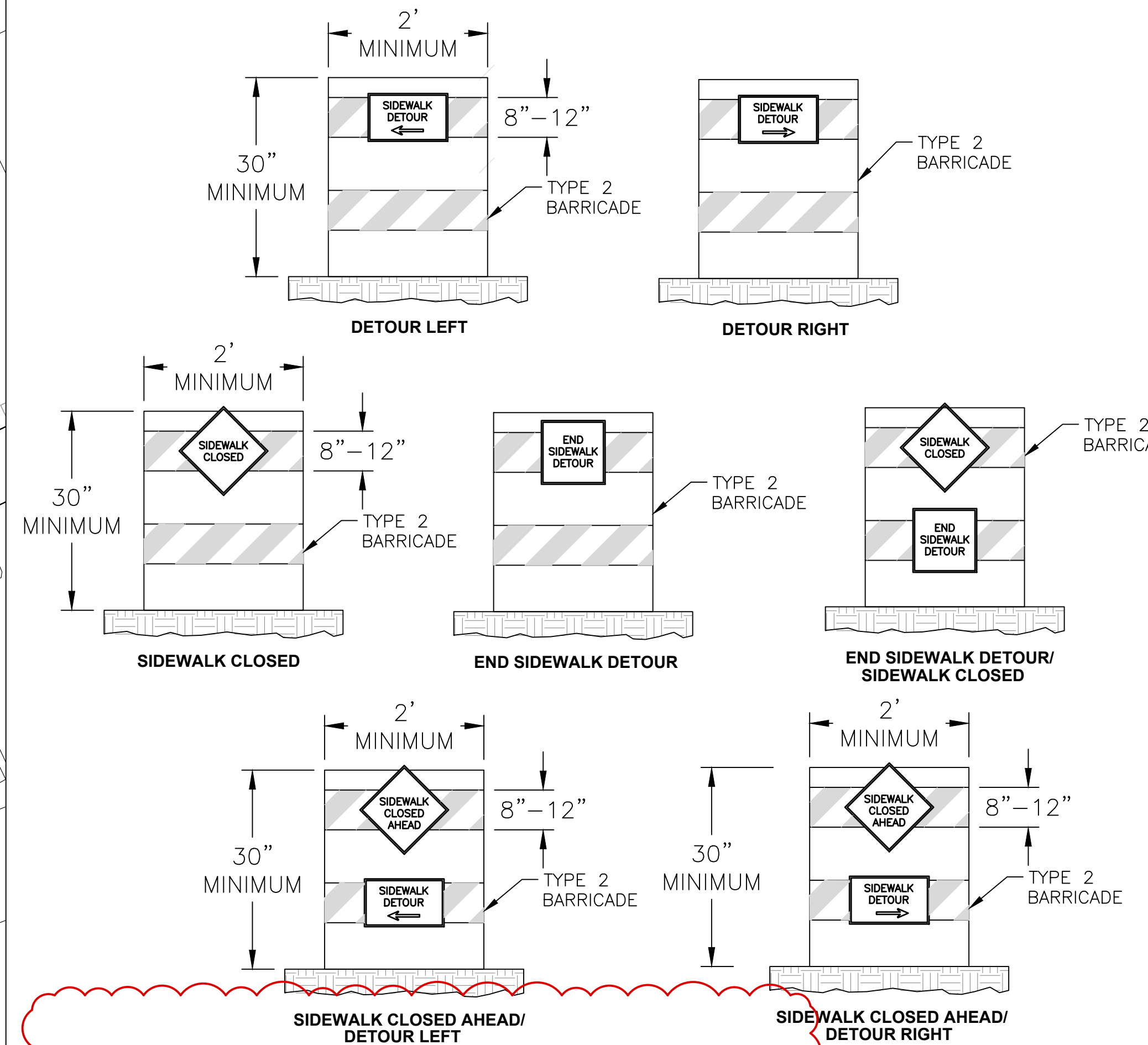
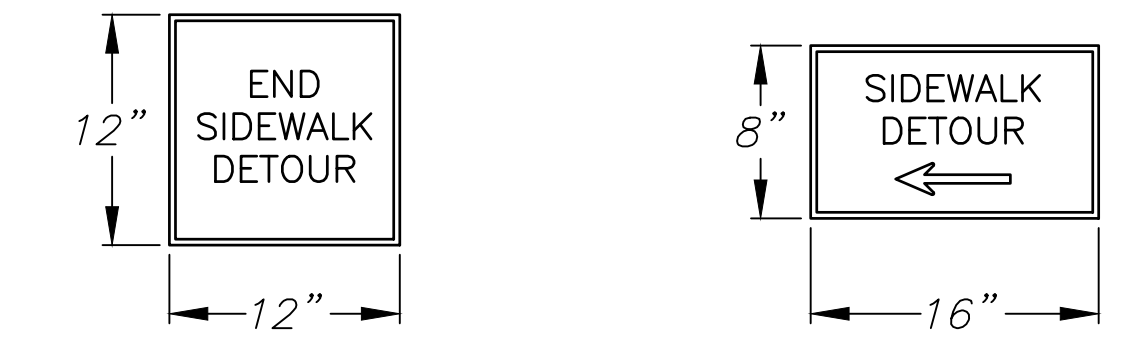
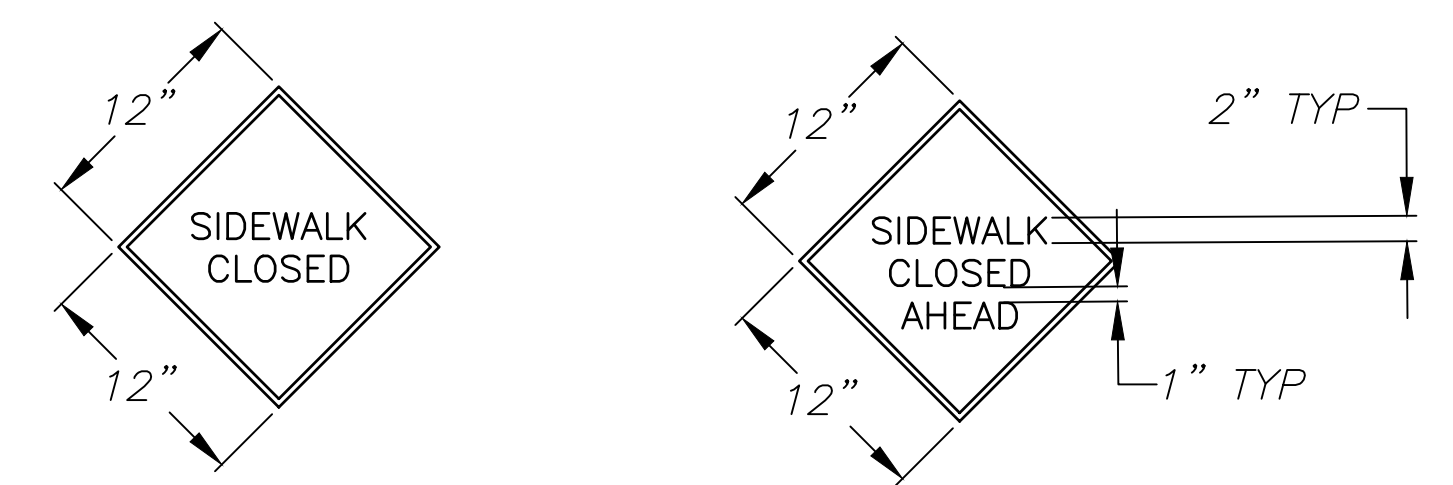


1 PEDESTRIAN DETOUR PLAN
C-1.4 1" = 60'

TRAFFIC/PEDESTRIAN CONTROL NOTES

- SIGNS SHOWN ON THIS PLAN ARE REQUIRED DURING THE CLOSURE OF SIDEWALKS DURING THE PROJECT.
- CONSTRUCTION REQUIRING TEMPORARY SIDEWALK CLOSURES REQUIRES TOWN APPROVAL.
- PRIOR TO ANY SIDEWALK CLOSURES, IT WILL BE NECESSARY TO CONTACT DALE MAY AT 919-969-5096, OF THE CHAPEL HILL ENGINEERING DIVISION, AT LEAST 5 WORKING DAYS BEFORE THE PROPOSED WORK.

2 SIDEWALK CLOSURE NOTES
C-1.4 NOT TO SCALE



2 SIDEWALK CLOSURE SIGNAGE
C-1.4 NOT TO SCALE

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NC BOARD OF LANDSCAPE ARCHITECTS LIC # C-104

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Orange County, North Carolina

PIN:
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9788-37-0549
9788-27-9667
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PRELIMINARY-DO NOT USE FOR CONSTRUCTION

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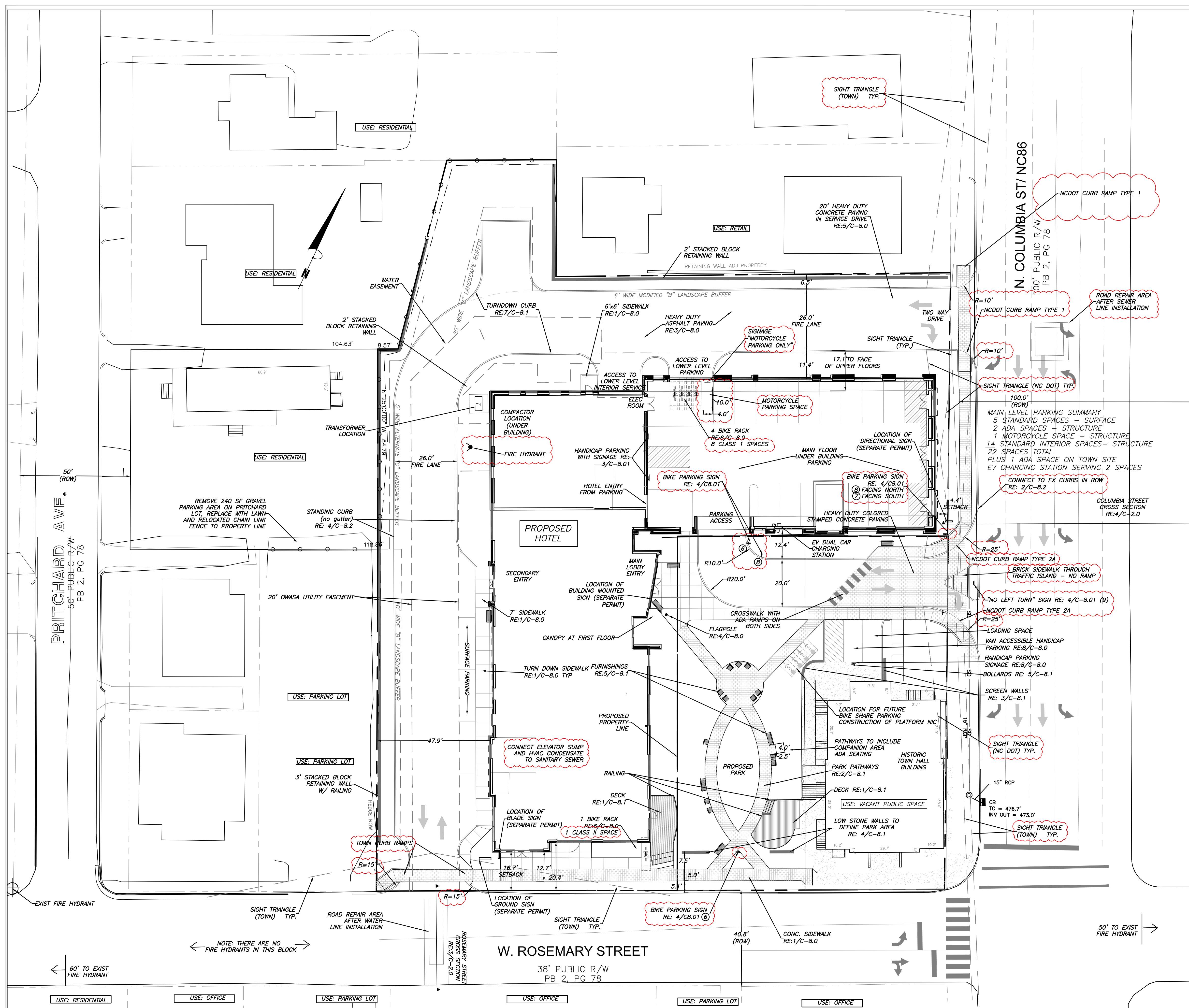
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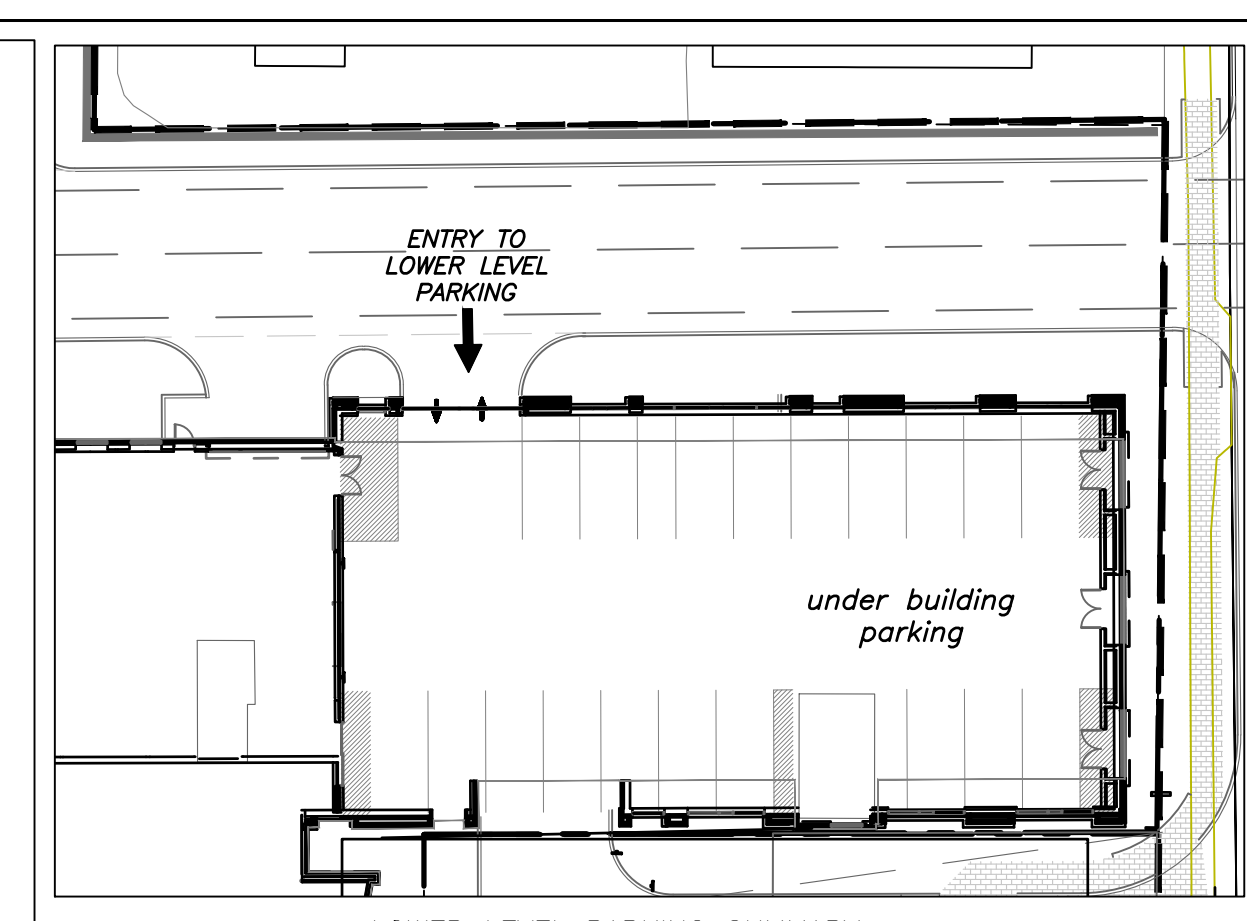
PEDESTRIAN DETOUR PLAN

Sheet Number:

C-1.4



1 SITE PLAN
C-2.0 1" = 20'



2 LOWER LEVEL UNDERGROUND PARKING LAYOUT
C-2.0 1" = 30'

- ALL ANGLES ARE 90 DEGREES UNLESS OTHERWISE NOTED.
- DIMENSIONS TO BUILDING WALL ARE TO FACE OF WALL AT FINISH GRADE. DIMENSIONS TO CURB ARE TO FACE OF CURB.
- LAY OUT IMPROVEMENTS FOR THE CIVIL ENGINEER'S OR LANDSCAPE ARCHITECT'S REVIEW PRIOR TO BEGINNING CONSTRUCTION.
- REFERENCE ARCHITECTURAL DRAWINGS FOR BUILDING LAYOUT INFORMATION.
- ADA PARKING SPACES SHALL BE SIGNED WITH TYPE R7-8 OR R7-8A RESERVED PARKING SIGN AND R7-8D MAXIMUM FINE SIGN PER 20-37.6 OF THE NORTH CAROLINA HANDICAP CODE. ADA RAMPS SHALL HAVE RAMP SURFACES COVERED WITH DETECTABLE WARNING PATTERN PER ADA STANDARDS.
- REFERENCE EXISTING CONDITION SHEET ZCP-1.0 FOR EXTENT OF DEMOLITION AND REMOVAL OF CURB AND GUTTER, DRIVEWAYS, PAVEMENT, BOLLARDS, WALKWAYS, UTILITIES, AND VEGETATION.
- BY ORANGE COUNTY ORDINANCE, CLEAN WOOD WASTE, SCRAP METAL AND CORRUGATED CARDBOARD, ALL PRESENT IN CONSTRUCTION WASTE, MUST BE RECYCLED.
- BY ORANGE COUNTY ORDINANCE, ALL HAULERS OF CONSTRUCTION WASTE MUST BE PROPERLY LICENSED.
- PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE THE APPLICANT WILL HOLD A PRE-DEMOLITION/PRE-CONSTRUCTION CONFERENCE WITH THE COUNTY'S SOLID WASTE STAFF. THIS MAY BE THE SAME MEETING HELD WITH OTHER DEVELOPMENT OFFICIALS.
- THE PRESENCE OF ANY ASBESTOS CONTAINING MATERIAL ('ACM') OR OTHER HAZARDOUS MATERIALS IN CONSTRUCTION AND DEMOLITION WASTE SHALL BE HANDLED IN ACCORDANCE WITH ANY AND ALL LOCAL, STATE, AND FEDERAL REGULATIONS AND GUIDELINES.
- MASONRY WALLS WILL NOT BE REPAIRED BY THE TOWN RESULTING FROM MAINTENANCE ON TOWN OF CHAPEL HILL AND OWASA MAINTAINED UTILITIES.
- KEY BOXES FOR FIRST RESPONDERS WILL BE REQUIRED NEAR THE FRONT DOOR AND SPRINKLER RISER ROOM AREAS. 2012 NC FIRE CODE, SECTION 506.
- MECHANICAL EQUIPMENT MUST BE PLACED AT OR ABOVE BASE FLOOD ELEVATION + 2 FEET.
- PRIOR TO PERFORMING WORK IN THE NCDOT R/W, THE APPLICANT WILL NEED TO OBTAIN THE FOLLOWING:
 - APPROVED NCDOT DRIVEWAY PERMITS FOR PROPOSED ACCESSES TO NC 86.
 - APPROVED NCDOT THREE-PARTY ENCROACHMENT AGREEMENT WITH TOCH FOR PROPOSED / STIPULATED SIDEWALK AND APPURTENANCES.
 - APPROVED NCDOT THREE-PARTY ENCROACHMENT AGREEMENT WITH OWASA FOR PROPOSED WATER AND SEWER CONNECTIONS.
- PRIOR TO ISSUANCE OF THE DRIVEWAY PERMITS AND ENCROACHMENT AGREEMENTS, THE APPLICANT WILL NEED TO PROVIDE COMPLETE AND DETAILED DESIGN PLANS PER NCDOT, TOCH, AND OWASA REQUIREMENTS FOR REVIEW AND APPROVAL.

3 SITE LAYOUT NOTES
C-2.0

- FOR ALL SIDEWALKS THE FOLLOWING APPLIES:
- SIDEWALK SLOPES TO BE A MAXIMUM 4.8%.
 - SIDEWALK CROSS SLOPES TO BE A MAXIMUM 1.8%.
 - MINIMUM 1' SHOULDER AT MAXIMUM 2% SLOPE ADJACENT TO ADA PAVED ROUTES UNLESS A HANDRAIL IS CALLED OUT.
 - ADA PARKING TO BE A MAXIMUM 1.8% SLOPE IN ANY DIRECTION FOR ENTIRE AREA - PARKING SPACES AND AISLES.
 - ALL DOORS EXITING THE BUILDING REQUIRE AN ADA ACCESSIBLE COMPLIANT ROUTE TO A PUBLIC WAY.
 - PARKING - NUMBER OF SPACES TO COMPLY WITH NCBC 2012 SECTION 1106.1, 1 PER 6 COMPLIANT SPACES OR PORTION THEREOF MUST BE VAN ACCESSIBLE, NO SLOPE TO EXCEED 2% IN ANY DIRECTION. SIGNAGE PER NC REQUIREMENTS, MUT-CD AND ICC A 117.1.
 - CURB CUTS AND ACCESSIBLE ROUTES PER ICC A117.1 2009 ED. CROSS SLOPE LIMITED TO 2%, CALL FOR INSPECTION BEFORE PLACEMENT OF CONCRETE.
 - SLOPE GREATER THAN 5% REQUIRES CONSTRUCTION AS A RAMP.

4 ADA NOTES
C-2.0

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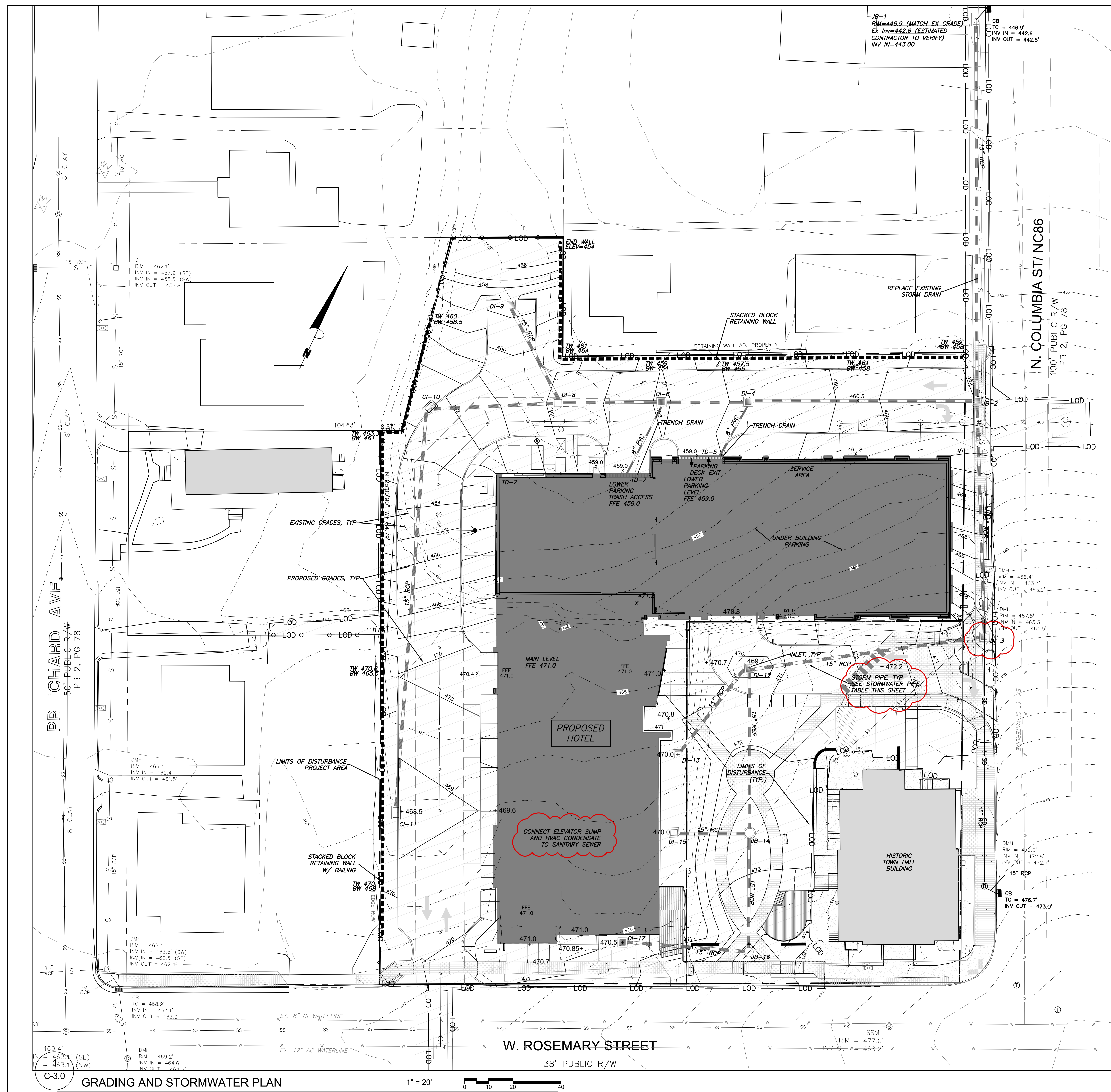
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SITE PLAN

Sheet Number

C-2.0



GRADING NOTES

1. ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH TOWN OF CHAPEL HILL AND NCDOT STANDARDS AND SPECIFICATIONS.
3. CONTRACTOR SHALL NOTIFY "NORTH CAROLINA ONE CALL" (1-800-632-4949) AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR TO CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NORTH CAROLINA ONE CALL".
4. CONSTRUCTION, MAINTENANCE AND REMOVAL OF ALL EROSION CONTROL DEVICES ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
5. EXISTING UTILITIES AND STRUCTURES SHOWN, BOTH UNDERGROUND AND ABOVE GROUND, ARE BASED ON A FIELD SURVEY AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY FIELD CONDITIONS PRIOR TO BEGINNING RELATED CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE IMMEDIATELY.
6. SOIL UNDER BUILDING PAD, PAVED AREAS AND WITHIN SLOPES GREATER THAN 3:1 (H:V) SHALL BE APPROVED, PLACED AND COMPACTED AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER. THESE SOILS SHALL BE COMPACTED AS SPECIFIED UNLESS OTHERWISE RECOMMENDED BY THE GEOTECHNICAL ENGINEER. ANY UNDERCUT OF SOILS IN THESE AREAS SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER & OWNER. THE UNDERCUT SOILS SHALL ALSO QUANTIFIED BY THE GEOTECHNICAL ENGINEER.
7. ALL GRADING MUST PRODUCE SURFACE DRAINAGE ADEQUATE TO PREVENT STANDING WATER OR WET LAWN AREAS, AND TO ENSURE THAT ALL STORM WATER FLOWS TO INLETS OR OTHER POINTS OF DISCHARGE.
8. ALL SIDEWALKS SHALL BE CONSTRUCTED WITH A MAXIMUM 1.8% CROSS SLOPE IN THE DIRECTION SHOWN ON THE PLAN.
9. CONNECT ALL ROOF LEADERS AND DOWNSPOUTS TO STORM DRAINAGE SYSTEM WITH PVC PIPE. SEE ARCHITECTURAL PLANS FOR LOCATIONS.
10. CURB INLETS: PROVIDE PRE-CAST CURB INLET HOODS AND COVERS STATING, "DUMP NO WASTE! DRAINS TO JORDAN LAKE", IN ACCORDANCE WITH THE SPECIFICATIONS OF THE TOWN STANDARD DETAIL SD-5A, FOR ALL NEW CURB INLETS FOR PRIVATE, TOWN AND STATE RIGHTS-OF-WAY.
11. BW (BOTTOM OF WALL) ELEVATION IS FINISH GRADE, NOT THE FOOTING. REFERENCE RETAINING WALL PLANS/DETAILS FOR DEPTH OF FOOTING.
12. ANY DISTURBANCE WITHIN THE FORESTED "NO LAND DISTURBANCE AREA" WILL REQUIRE AN UPDATE TO THE JORDAN ACCOUNTING TOOL.

STORMWATER NOTES

1. ALL STORM DRAINAGE PIPES SHOWN ARE TO BE CLASS III REINFORCED CONCRETE (RCP) UNLESS NOTED OTHERWISE.
2. ALL STORM DRAINAGE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF CHAPEL HILL AND NCDOT STANDARDS.
3. ALL CONCRETE SHALL MEET A MINIMUM 3000 PSI COMPRESSIVE STRENGTH.
4. ALL PIPE IN STORM DRAIN STRUCTURES SHALL BE STRUCK EVEN WITH INSIDE WALL.
5. ALL PIPE JOINTS SHALL BE MADE WITH PREFORMED JOINT SEALER, WHICH CONFORMS TO AASHTO SPECIFICATION M-198 FOR TYPE B FLEXIBLE PLASTIC GASKETS UNLESS OTHERWISE NOTED.
6. THE INTERIOR SURFACES OF ALL STORM DRAINAGE STRUCTURES SHALL BE POINTED AND SMOOTHED TO AN ACCEPTABLE STANDARD USING MORTAR MIXED TO MANUFACTURER'S SPECIFICATIONS.
7. ALL BACKFILL SHALL BE NON-PLASTIC IN NATURE, FREE FROM ROOTS, VEGETATION MATTER, WASTE CONSTRUCTION MATERIAL OR OTHER OBJECTIONABLE MATERIAL. SAID MATERIAL SHALL BE CAPABLE OF BEING COMPACTED BY MECHANICAL MEANS AND SHALL HAVE NO TENDENCY TO FLOW OR BEHAVE IN A PLASTIC MANNER UNDER THE TAMPING BLOWS OR PROOF ROLLING.
8. MATERIALS DEEMED BY THE OWNER'S REPRESENTATIVE AS UNSUITABLE FOR BACKFILL PURPOSES SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL.
9. BACKFILLING OF TRENCHES SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PIPE IS LAID. THE FILL AROUND THE PIPE SHALL BE THOROUGHLY COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY OBTAINABLE WITH THE STANDARD PROCTOR TEST. THE TOP EIGHT (8) INCHES SHALL BE COMPACTED TO 100% STANDARD PROCTOR.
10. UNDER NO CIRCUMSTANCES SHALL WATER BE ALLOWED TO RISE IN UNBACKFILLED TRENCHES AFTER PIPE HAS BEEN PLACED.
11. RISER STRUCTURES WITH MULTIPLE BARREL SECTIONS SHALL HAVE GASKETTED JOINTS, AND EACH SECTION SHALL BE BOLTED TO ADJACENT SECTIONS WITH STAINLESS STEEL STRAPS.
- 12.

STORMWATER PIPE TABLE * Back of Curb / **Top of Grate

PIPE SEGMENT	UPSTREAM RIM	INVERT DOWN	INVERT UPSTREAM	LENGTH (FT)	DIA. (IN.)	SLOPE (%)	PIPE MATERIAL	O-RING/GASKETT
1 TO 2	459.0**	443.00	449.00	158	15	3.80%	CONC	YES
2 TO 3	468.3**	451.00	458.15	98	15	7.30%	CONC	YES
3 TO 12	469.7**	458.35	460.48	98	15	2.17%	CONC	YES
12 TO 14	472.60	460.70	462.13	69	15	2.07%	CONC	YES
14 TO 16	474.00	462.35	463.35	49	15	2.04%	CONC	YES
12 TO 13	470.0**	460.70	461.73	47	15	2.19%	CONC	YES
14 TO 15	470.0**	463.50	464.50	31	15	3.23%	CONC	YES
2 TO 4	459.1**	450.50	452.50	95	15	2.11%	CONC	YES
4 TO 6	457.7**	452.70	453.45	36	15	2.08%	CONC	YES
6 TO 8	459.6**	453.65	454.55	43	15	2.09%	CONC	YES
8 TO 10	462.2*	454.75	455.85	54	15	2.04%	CONC	YES
10 TO 11	468.4*	456.05	459.45	168	15	2.02%	CONC	YES
16 TO 17	470.5**	463.55	464.65	53	8	2.08%	PVC	YES
4 TO 5	458.9**	454.00	455.00	26	8	3.85%	PVC	YES
6 TO 7	458.9**	453.65	454.40	34	8	2.21%	PVC	YES
8 TO 9	459.6**	454.75	455.70	45	15	2.11%	PVC	YES

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 DURHAM, NC 27701 • 919.482.0368
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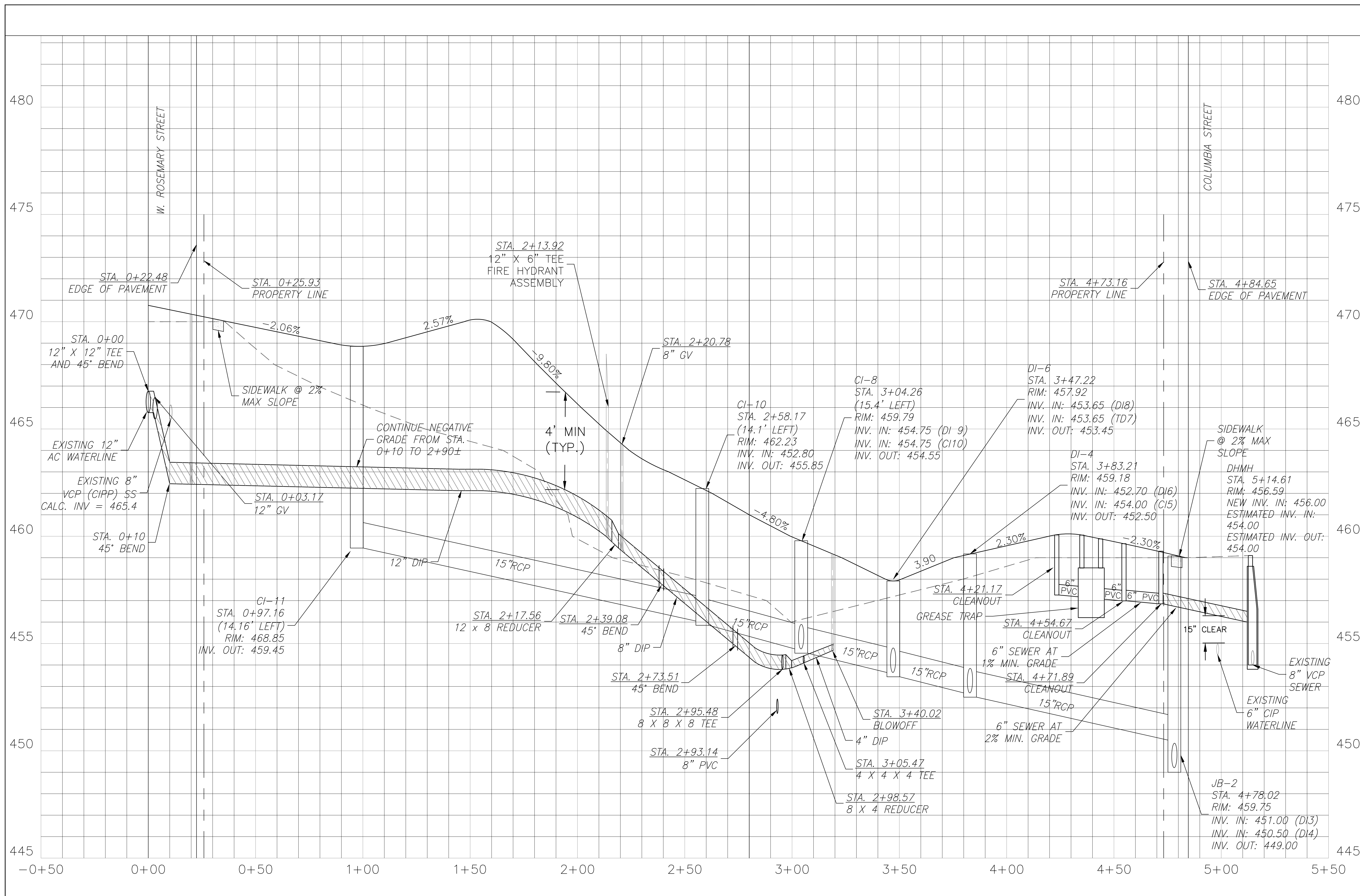
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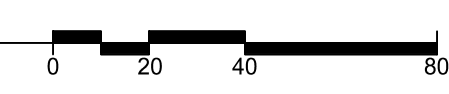
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 Sheet Title:

GRADING AND STORMWATER PLAN

Sheet Number:
C-3.0



1
C-3.1
DRIVEWAY PROFILE
1" = 20' H
1" = 2' V



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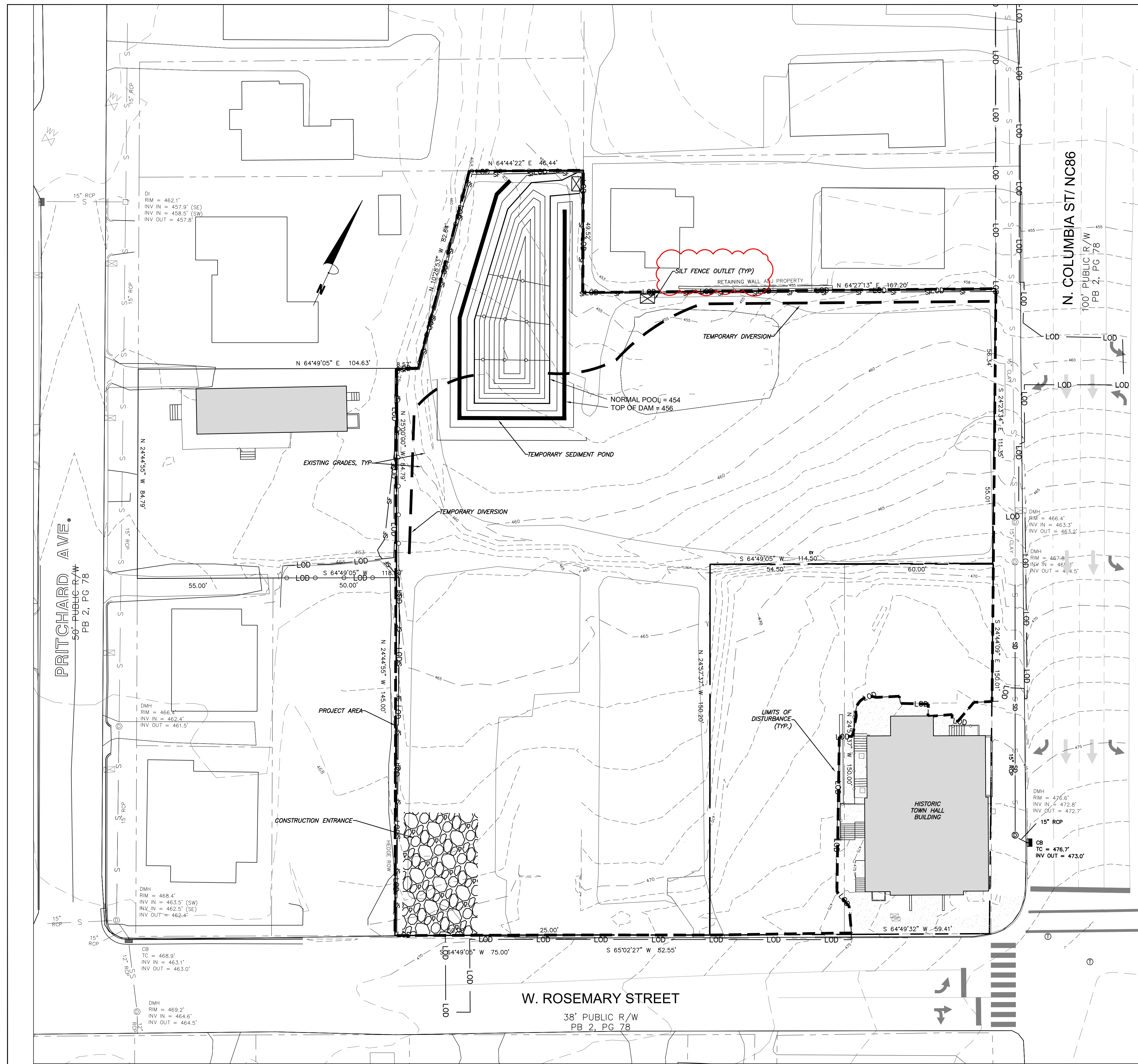
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**DRIVEWAY
 PROFILE**
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C-3.1



1. EROSION CONTROL BOND: IF ONE (1) ACRE OR MORE IS UNCOVERED BY LAND-DISTURBING ACTIVITIES FOR THIS PROJECT, THEN A PERFORMANCE GUARANTEE IN ACCORDANCE WITH SECTION 5-97.1 BONDS OF THE TOWN CODE OF ORDINANCES SHALL BE REQUIRED PRIOR TO FINAL AUTHORIZATION TO BEGIN LAND-DISTURBING ACTIVITIES. THIS FINANCIAL GUARANTEE IS INTENDED TO COVER THE COSTS OF RESTORATION OF FAILED OR FAILING SOIL EROSION AND SEDIMENTATION CONTROLS, AND/OR TO REMEDY DAMAGES RESULTING FROM LAND-DISTURBING ACTIVITIES, SHOULD THE RESPONSIBLE PARTY OR PARTIES FAIL TO PROVIDE PROMPT AND EFFECTIVE REMEDIES ACCEPTABLE TO THE TOWN.
2. THE APPLICANT SHALL PROVIDE A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PERMIT FROM ORANGE COUNTY EROSION CONTROL DIVISION PRIOR TO RECEIVING A ZONING COMPLIANCE PERMIT. DURING THE CONSTRUCTION PHASE, ADDITIONAL EROSION AND SEDIMENT CONTROLS MAY BE REQUIRED IF THE PROPOSED MEASURES DO NOT CONTAIN THE SEDIMENT, SEDIMENT LEAVING THE PROPERTY IS A VIOLATION OF THE TOWN'S EROSION AND SEDIMENT CONTROL ORDINANCE.
3. THE CONTRACTOR SHALL TAKE THE APPROPRIATE MEASURES TO PREVENT AND REMOVE THE DEPOSIT OF WET OR DRY SILT ON ADJACENT PAVED ROADWAYS.
4. EROSION CONTROL INSPECTIONS: IN ADDITION TO THE REQUIREMENT DURING CONSTRUCTION FOR INSPECTION AFTER EVERY RAINFALL, THE APPLICANT SHALL INSPECT THE EROSION AND SEDIMENT CONTROL DEVICES WEEKLY, MAKE ANY NECESSARY REPAIRS OR ADJUSTMENTS TO THE DEVICES, AND MAINTAIN INSPECTION LOGS DOCUMENTING THE DAILY INSPECTIONS AND ANY NECESSARY REPAIRS.

2
C-4.0 EROSION CONTROL NOTES
N.T.S.

LEGEND	
Water Valve	○
Yard Inlet	○
Curb Inlet/Catch Basin	○
Mail Box	○
Traffic Signal Box	○
Electric Transformer	○
Electric Junction Box	○
Gas Meter	○
Sanitary Sewer Manhole	○
Storm Sewer Manhole	○
Telephone Manhole	○
Electric Manhole	○
Sign	○
Telephone Pedestal	○
Fire Hydrant	○
Fire Department Connection	○
Post Indicator Valve	○
Water Manhole	○
Water Meter	○
Hot Box	○
Utility Pole	○
Day Wire	○
Light Pole	○
Sewer Cleanout	○
Flared End Section	○
Gas Valve	○
Existing Iron Pipe (1/4" unless noted)	○
1/2" Riser	○
1/2" Iron Pipe Set	○
Existing 2" Riser	○
PK Riser	○
Computed Point	○
Concrete Monument	○
Tree Line	○
Fence	○
Underground Electric	○
Underground Telephone	○
Gas Line	○
Water Line	○
Overhead Utilities	○
Storm Sewer	○
Sanitary Sewer	○
Guard Rail	○
Slope Slopes	○

1
C-4.0 EROSION CONTROL PLAN
1" = 20'



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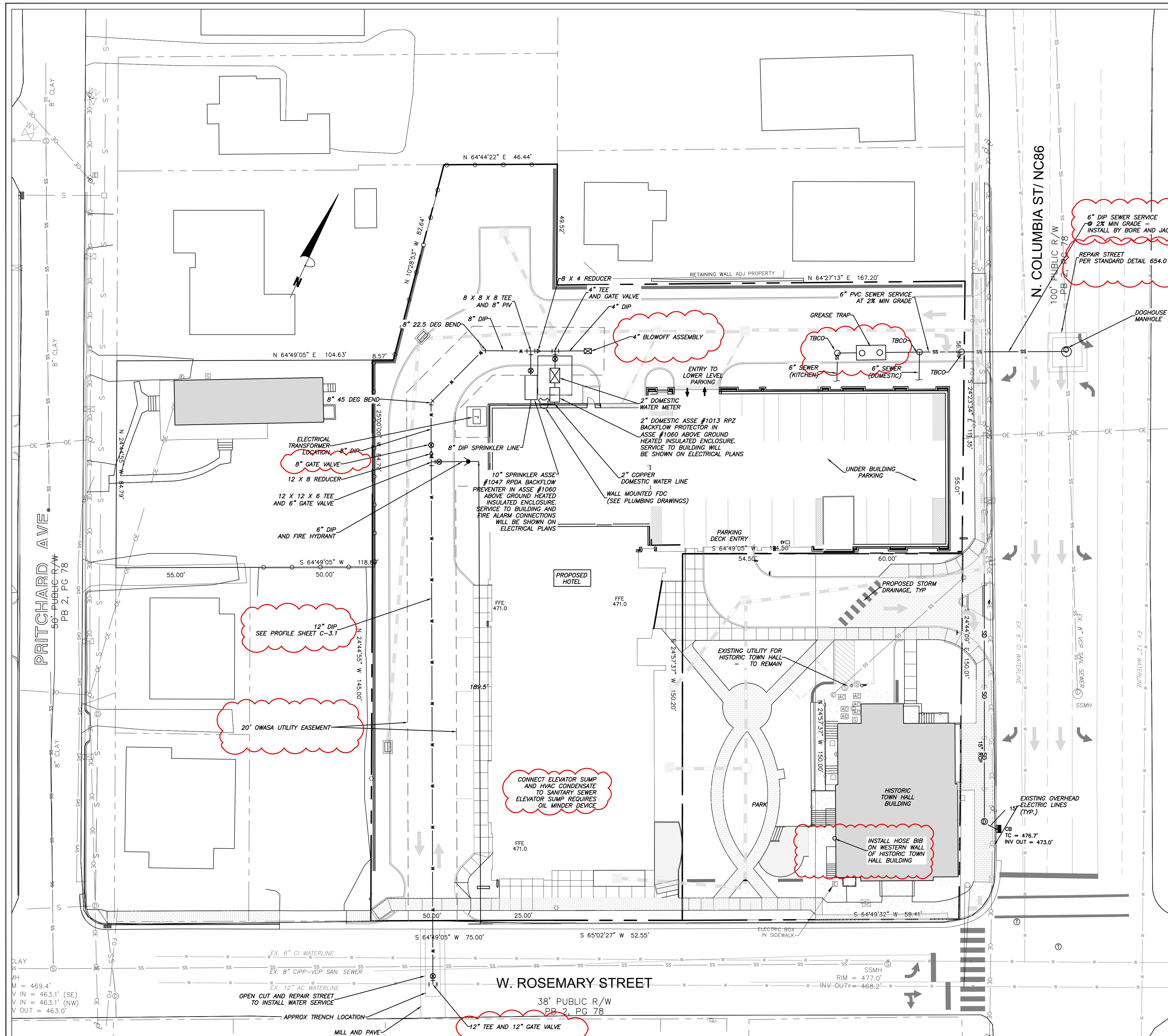
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UTILITY NOTES

- CONTRACTOR SHALL NOTIFY "NORTH CAROLINA ONE CALL" (1-800-632-4949) AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR TO CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICE INDEPENDENT OF "NORTH CAROLINA ONE CALL".
- ALL WATER AND SEWER MAINS WITHIN PUBLIC EASEMENTS AND RIGHT-OF-WAYS TO BE OWNED, OPERATED AND MAINTAINED BY OWASA.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF CHAPEL HILL AND OWASA STANDARDS AND SPECIFICATIONS.
- ALL EXISTING UNDERGROUND UTILITIES ARE APPROXIMATELY LOCATED. ACTUAL LOCATION AND DEPTH SHALL BE CONFIRMED IN THE FIELD PRIOR TO CONSTRUCTION.
- BEFORE STARTING ANY CONSTRUCTION OF IMPROVEMENTS WITHIN ANY TOWN OR N.C.D.O.T. STREET OR HIGHWAY RIGHT-OF-WAY THE FOLLOWING PROCEDURES SHOULD BE UNDERTAKEN; TOWN RIGHT-OF-WAY: CONTACT LOCAL AUTHORITIES' TRAFFIC ENGINEERING DEPT. FOR INFORMATION ON DETOURS, OPEN CUTTING OF STREETS OR FOR ANY CONSTRUCTION WITHIN RIGHT-OF-WAY. N.C.D.O.T. RIGHT-OF-WAY: CONTACT PROJECT ENGINEERS AND OBTAIN ALL PERMITS AND ENCROACHMENTS (KEEP COPIES ON CONSTRUCTION SITE, ALSO CONTACT N.C.D.O.T. DISTRICT OFFICE 24 HOURS IN ADVANCE BEFORE PLACING CURB AND GUTTER).
- ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNER IF ANY DISCREPANCIES EXIST. PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADING CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- POWER, TELEPHONE, AND GAS SERVICES TO BUILDINGS SHALL BE UNDERGROUND. ACCESS AND SERVICE ROUTES TO BE COORDINATED WITH THE PUBLIC UTILITIES, CONTRACTOR AND THE OWNER.
- RESURFACING OF STREET DUE TO UTILITY CUTS SHALL BE REQUIRED AT THE DIRECTION OF ENGINEERING. (MINIMUM 50' TO EITHER SIDE OF UTILITY CUTS).
- PROVIDE 10-FT OF HORIZONTAL SEPARATION BETWEEN PROPOSED NEW WATER AND SEWER MAINS

SANITARY SEWER:

- BACKFLOW PREVENTORS SHALL BE PROVIDED FOR ALL UNITS WITH FINAL FLOOR ELEVATIONS OF BUILDINGS LESS THAN 1'-0" ABOVE UPSTREAM MANHOLE.
- MINIMUM COVER OF 5 FEET IN TRAFFIC AREAS TO BE PROVIDED FOR ALL COLLECTOR LINES 4 INCHES AND LARGER. IF LESS THAN 5 FEET, DUCTILE IRON PIPE SHALL BE REQUIRED.
- MINIMUM SLOPE FOR 4 INCH SANITARY SEWER COLLECTION LINES SHALL BE NO LESS THAN 2.0% WITH CLEANOUTS EVERY 75 LINEAL FEET.
- MINIMUM SLOPE FOR 6 INCH SANITARY SEWER COLLECTION LINES SHALL BE NO LESS THAN 1.0% WITH CLEANOUTS EVERY 75 LINEAL FEET.

WATER:

- WATERLINES WILL BE 3' OFF CURB AND GUTTER UNLESS SHOWN OTHERWISE.
- LAY WATER MAINS AT LEAST 10 FEET Laterally FROM EXISTING OR PROPOSED SANITARY SEWERS. IF LOCAL CONDITIONS OR BARRIERS PREVENT A 10 FOOT SEPARATION, LAY THE WATER MAIN WITH AT LEAST 18" VERTICAL SEPARATION ABOVE THE TOP OF THE SANITARY SEWER PIPE EITHER IN A SEPARATE TRENCH OR IN THE SAME TRENCH ON A BENCH OF UNDISTURBED EARTH.
- WHEN A PROPOSED WATER MAIN CROSSES OVER A PROPOSED OR EXISTING SANITARY SEWER, LAY THE WATER MAIN WITH AT LEAST 18" VERTICAL SEPARATION ABOVE THE TOP OF THE SANITARY SEWER. IF LOCAL CONDITIONS PREVENT AN 18" VERTICAL SEPARATION, CONSTRUCT BOTH THE WATER MAIN AND THE SANITARY SEWER FOR A DISTANCE OF 10 FEET ON EACH SIDE TO THE POINT OF CROSSING WITH FERROUS PIPE HAVING WATER MAIN QUALITY JOINTS.
- WHEN A PROPOSED WATER MAIN CROSSES UNDER A PROPOSED OR EXISTING SANITARY SEWER, CONSTRUCT BOTH THE WATER MAIN AND THE SANITARY SEWER OF FERROUS MATERIALS WITH JOINTS THAT ARE EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING. CENTER THE SECTION OF WATER PIPE AT THE POINT OF CROSSING.
- MAINTAIN A MINIMUM COVER OF 36" AND MAXIMUM COVER OF 42" BELOW FINISHED GRADE OVER ALL PIPES UNLESS OTHERWISE DIRECTED OR SHOWN ON THE PLANS. DUE TO THE HEIGHTS OF VALVES, INCREASE THE COVER DEPTHS ADJACENT TO THE VALVES OR VARIED AT POINTS OF TIE-IN TO EXISTING LINES.
- ALL FDC(S) AND HYDRANT(S) SHALL BE SIAMESE CONNECTIONS AND MEET TOWN OF CHAPEL HILL AND OWASA STANDARDS.
- A FIRE SPRINKLER SYSTEM WILL BE REQUIRED FOR THE HOTEL.
- A PERMIT FROM THE CHAPEL HILL FIRE MARSHAL'S OFFICE IS REQUIRED TO INSTALL ANY NEW UNDERGROUND OR ABOVE-GROUND TANKS THAT CONTAINED FLAMMABLE/COMBUSTIBLE LIQUIDS. 2018 NC FIRE CODE SECTION 105.6.17.

NC BOARD OF EXAMINERS FOR ENGINEERS AND SURVEYORS
 LIC # F-0871
 NC BOARD OF LANDSCAPE ARCHITECTS
 LIC # C-104

Project:

**Rosemary/
Columbia
Hotel**

110 W. Rosemary St.
 Orange County,
 North Carolina

PIN:
 9788-37-0680
 9788-37-0549
 9788-27-9667
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PRELIMINARY-DO NOT USE FOR CONSTRUCTION

Job Number: 1963

Drawn | WLR, MTO
 Checked | WLR, CHH
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 Revisions | 4-20-2023
 Site Revisions

Zoning Compliance Permit

Sheet Title:

UTILITY PLAN

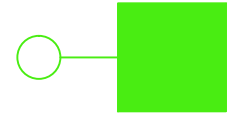

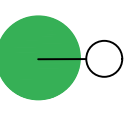
Sheet Number

C-5.0



1 LIGHTING PLAN
C-6.0 1" = 20'



- LEGEND**
-  LED SHOEBOX FIXTURE
RE: 3/C-6.0
 -  LED BOLLARD LIGHT
RE: 4/C-6.0
 -  SANIBEL LIGHT
RE: 5/C-6.0

LIGHTING CONDUIT

- LIGHTING CONDUIT SHALL MEET THE FOLLOWING GUIDELINES.
- CONDUIT DESIGN MUST BE APPROVED BY DUKE ENERGY PRIOR TO INSTALLATION. CHANGING THE CONDUIT LAYOUT CAN CAUSE CONDUCTOR LENGTH TO EXCEED ACCEPTABLE VOLTAGE LEVEL WHICH WILL AFFECT THE LIGHT'S ABILITY TO OPERATE.
 - ALL CONDUITS ARE TO BE 2" SCHEDULE 40 GRAY ELECTRICAL PVC.
 - ALL JOINTS ARE TO BE GLUED.
 - ALL ENDS ARE TO BE MARKED WITH SCRAP CONDUIT OR A BOARD (PAINTING THE GROUND WITH MARKING PAINT IS NOT ACCEPTABLE). IT IS STRONGLY SUGGESTED THAT THE ENDS SHOULD BE IDENTIFIED BY GPS COORDINATES.
 - ALL ENDS ARE TO BE CAPPED TO PREVENT ENTRY OF DEBRIS.
 - ALL CONDUITS MORE THAN 30' IN LENGTH SHALL HAVE A STRING INSTALLED.
 - TO COMPLY WITH NES; ALL CONDUIT ARE TO BE INSTALLED AT A MINIMUM DEPTH OF 30" FROM FINISH GRADE TO TOP OF CONDUIT. CONDUITS THAT CAN NOT MEET THIS CRITERIA MUST BE ENCASED IN 3" MINIMUM CONCRETE ENVELOPE. (FLOWABLE FILL IS ACCEPTABLE IN PLACE OF CONCRETE).
 - IF CONCRETE ENCASED CONDUIT IS REQUIRED AT ANY POINT, IT MUST BE ENCASED IN CONCRETE UNTIL PIPE IS BACK DOWN TO REQUIRED DEPTH.
 - PEDESTAL AREAS WHERE MULTIPLE CONDUIT ENDS TERMINATE ARE TO HAVE THE CONDUIT ENDS WITHIN 12" OF EACH OTHER.
 - DIRECT BURIED LIGHT POLE AREAS ARE TO HAVE CONDUITS TERMINATE 36" APART AND 12" BACK OF POLE LOCATION.
 - CONDUITS SERVING LIGHTS ON CONCRETE REVEALS ARE TO BE CONTINUOUS FROM REVEAL TO REVEAL.

2 LIGHTING NOTES
C-6.0



- LED SHOEBOX**
- LEASED FROM DUKE ENERGY
 - 25' POLE
 - COLOR:BLACK
 - PROVIDE 2" PVC CONDUIT UNDER PAVEMENT & UNDER HEAVILY LANDSCAPED AREAS
 - CUT-OFF STYLE
 - LIGHT COLOR TO BE 3000 K



- LED SQUARE BOLLARD**
- MANUFACTURER:KIM
 - MODEL: PAVILLION
 - 42" HEIGHT
 - LED
 - COLOR:BLACK
 - LIGHT COLOR: 3000 K

3 LED SHOEBOX FIXTURE
C-6.0



- LED SANIBEL DROP FIXTURE**
- LED (Light Emitting Diode) 70 | 150 watts
 - Mounting heights 15', 20', 25'
 - Colors Black Green

5 LED ROSEMARY STREET FIXTURE SANIBEL FIXTURE
C-6.0

4 LED SQUARE BOLLARD FIXTURE
C-6.0

LIGHTING NOTES

- MEASURES SHALL BE PROVIDED TO PREVENT LIGHT SPILLOVER ONTO ADJACENT PROPERTIES AND GLARE TOWARD MOTOR VEHICLE OPERATORS. EXTERIOR LIGHTS SHALL BE SHIELDED SO THEY DO NOT CAST DIRECT LIGHT BEYOND THE PROPERTY LINE.
- PROVIDE 2" PVC CONDUIT UNDER PAVEMENT, UNDER HEAVILY LANDSCAPED AREAS AS NECESSARY, AND AS DETERMINED BY DUKE ENERGY TO PROVIDE ACCESS TO ALL LIGHT FIXTURES. COORDINATE WITH DUKE ENERGY TO FINALIZE CONDUIT LOCATIONS AND LENGTHS.

SPECIAL COORDINATION NOTES:

- CONTRACTOR IS TO COORDINATE PARKING LOT LIGHT POLE AND CONDUIT LOCATIONS WITH DUKE ENERGY PRIOR TO INSTALLATION OF WALLS AND PAVING.
- ABOVE GROUND PEDESTALS AND LIGHT POLES WILL BE PROVIDED AND INSTALLED BY DUKE ENERGY FOR THE 25' PARKING LOT LIGHTS.
- CONTRACTOR IS TO REFER TO DUKE ENERGY SPECIFICATIONS FOR CONDUIT INSTALLATION.
- CONDUIT IS TO BE FURNISHED AND INSTALLED BY CONTRACTOR.

THOMAS & HUTTON
111 WEST MAIN STREET
DURHAM, NC 27701 • 919.482.0368
www.thomasandhutton.com

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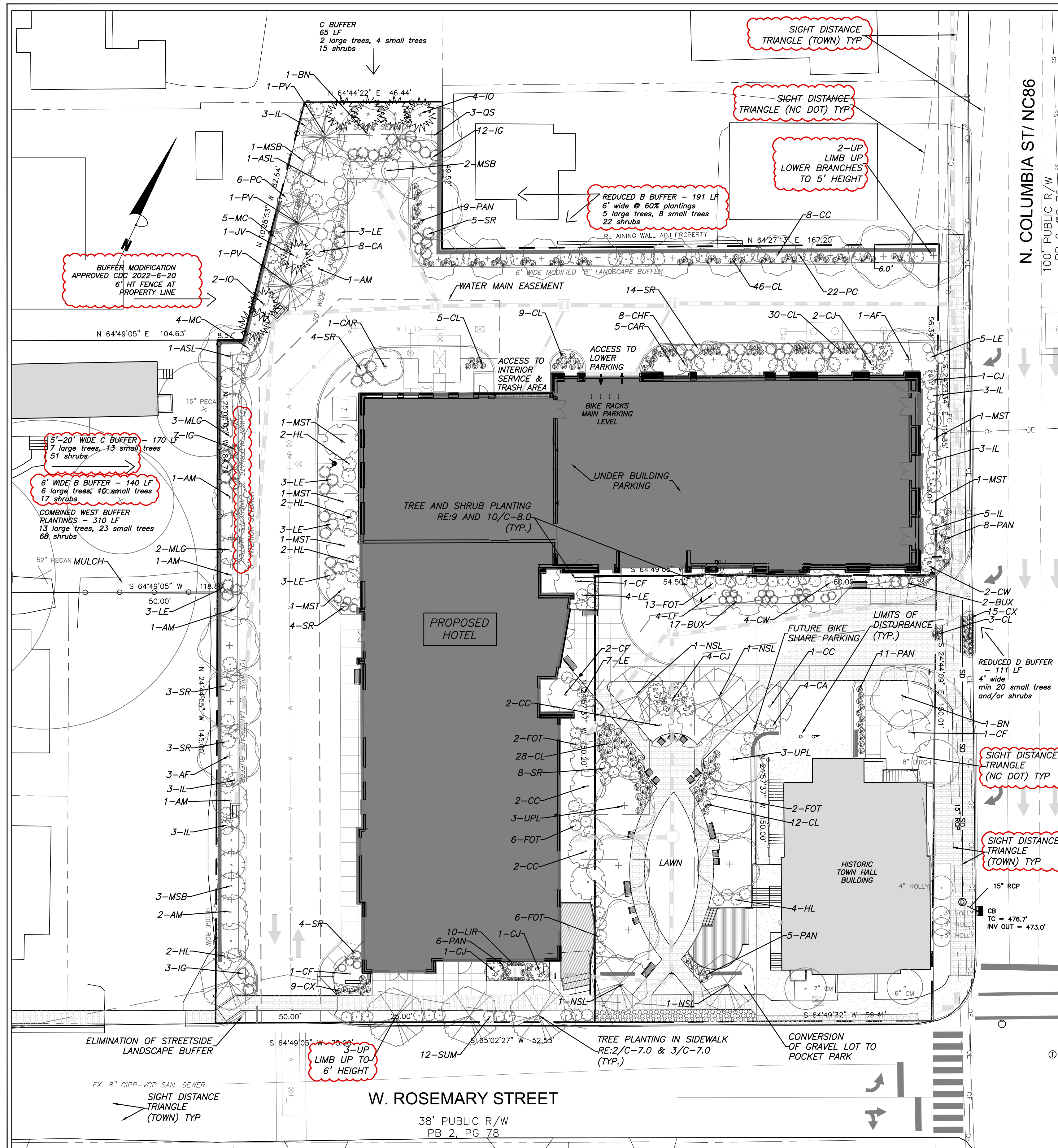
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Checked WLR, CNH
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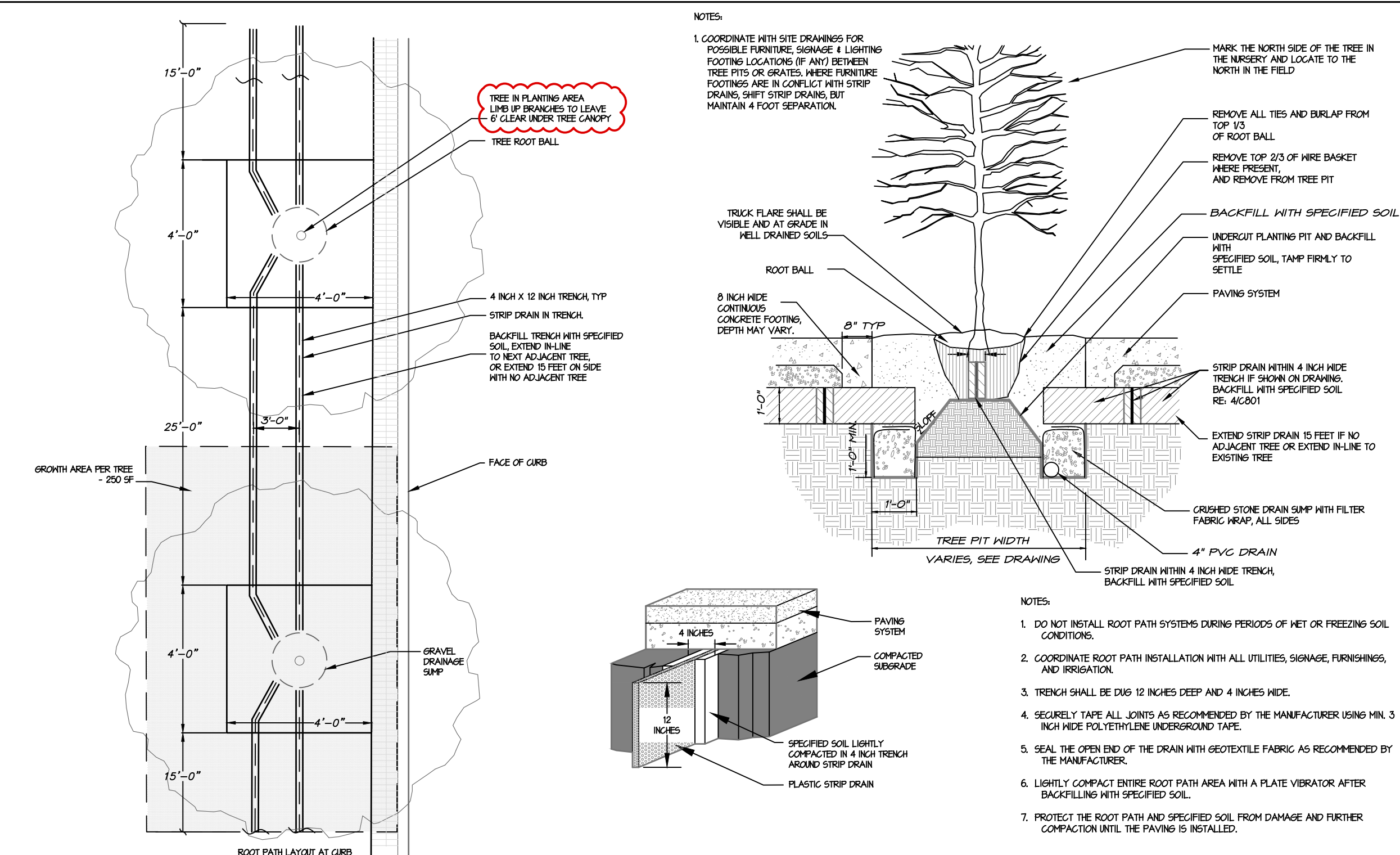
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C-6.0



TREE CANOPY CALCULATION

N. COLUMBIA ST/ NC86
100' PUBLIC R/W
PB 2, PG 78

2 ROOT PATH STREET TREE PLANTING DETAIL
C-7.0



PLANTING NOTES

- LANDSCAPING MUST BE IN PLACE PRIOR TO REQUEST FOR A CERTIFICATE OF OCCUPANCY OR CERTIFICATE OF COMPLIANCE.
- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, DEPTHS, QUANTITIES, DISTANCES, ANGLES AND SLOPES PRIOR TO ORDERING MATERIALS OR INSTALLING PROJECT.
- IN AREAS OF GROUND COVER, MAINTAIN A 12" MINIMUM DISTANCE BETWEEN PLANTS AND HARD IMPROVEMENTS.
- BED LINES SHALL CONFORM TO CONFIGURATION SHOWN ON THE PLANS. BED LINES SHALL MEET CURBS, WALKS, BUILDINGS, ETC. AT RIGHT ANGLES UNLESS SHOWN OTHERWISE.
- CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH ACTUAL CONDITIONS AND VERIFY EXISTING CONDITIONS IN THE FIELD. CONTRACTOR SHALL REPORT ALL DISCREPANCIES TO LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL ACCEPT ACTUAL CONDITIONS AT SITE AND PERFORM THE WORK SPECIFIED INCLUDING FINE GRADING AND INCORPORATION OF TOP SOIL INTO PLANTING AREAS, WITHOUT ADDITIONAL COMPENSATION FOR POSSIBLE VARIATION FROM GRADES AND CONDITIONS SHOWN, WHETHER SURFACE OR SUBSURFACE, EXCEPT AS PROVIDED FOR IN CONTRACT DOCUMENTS.
- CONTRACTOR WILL OBTAIN WRITTEN APPROVAL FROM LANDSCAPE ARCHITECT FOR ANY PLANT SUBSTITUTIONS OF SPECIES, SIZE, OR TYPE OF CONTAINER.
- CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF THESE UTILITIES DURING INSTALLATION, AND SHALL PROMPTLY REPAIR AND RESTORE SERVICES AT NO ADDITIONAL COST TO THE OWNER IF DAMAGE OCCURS DURING INSTALLATION.
- CONTRACTOR SHALL BECOME THOROUGHLY FAMILIAR WITH THE FULL SET OF CONSTRUCTION DRAWINGS AND SPECIFICATIONS FOR COORDINATION WITH UTILITIES, ARCHITECTURAL FEATURES, AND IRRIGATION. CONTRACTOR WILL LEAVE DISTURBED AREAS LEVEL AND RAKED SMOOTH, REMOVING ALL ROCKS AND DEBRIS.
- MULCH IS TO BE A 3" LAYER OF TRIPLE SHREDDED HARDWOOD MULCH. MULCH IS TO BE KEPT AWAY FROM TREE TRUNKS.
- ANY DAMAGE TO EXISTING CONDITIONS OUTSIDE THE CONTRACT LIMITS, INCLUDING CURBS, SIDEWALKS, TURF AREAS AND PAVING, SHALL BE RESTORED TO ORIGINAL CONDITION BY THE CONTRACTOR WITHOUT EXTRA COST TO THE OWNER.
- IN CASE OF DISCREPANCY BETWEEN THE QUANTITY OF PLANTS ON THE PLANS COMPARED TO THE PLANT LIST, THE CONTRACTOR SHALL SUPPLY QUANTITIES AS SHOWN ON THE PLANS.
- ALL UNPAVED SURFACES ARE TO BE COVERED IN PLANTS, MULCH, OR GRASS.
- LINE OF SIGHT NOTE: NO PROPOSED LANDSCAPING WITHIN THE LINE OF SIGHT EASEMENT SHALL EXCEED 24" AT MATURITY. ANY NEW TREES SHALL BE LIMBED TO 7' ABOVE FINISHED GRADE.
- ANY INVASIVE, EXOTIC PLANT MATERIAL WILL BE REMOVED. A SURVEY OF EXISTING THE LANDSCAPE BUFFERS TO REMAIN WILL BE CONDUCTED FOLLOWING INITIAL CONSTRUCTION, AND ANY INVASIVE OR EXOTIC SPECIES FOUND WILL BE REMOVED.
- THE AREA WITHIN THE SIGHT TRIANGLE AREA SHALL BE THINNED OF ALL SHRUBS, UNDERSTORY TREES UNDER 1" IN CALIPER, VINES, AND DEAD PLANT MATERIAL. EXISTING TREES LARGER THAN 1" SHALL BE LIMBED UP TO 7' ABOVE EXISTING GRADE TO IMPROVE VISIBILITY.

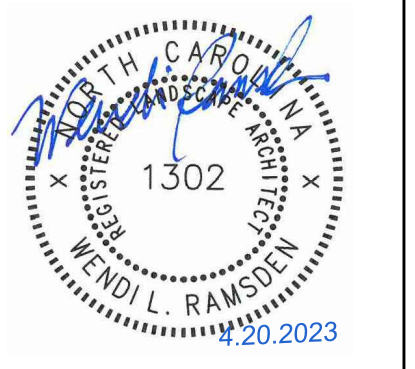
QTY	EVGN	KEY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	REMARKS	
CANOPY TREES								
4	N	AF	Acer freemanii	Freeman Maple	2.5" CAL.	AS SHOWN	SINGLE TRUNK & LEADER	
2	N	ASL	Acer saccharum 'Legacy'	Legacy Sugar Maple	2.5" CAL.	AS SHOWN	SINGLE TRUNK & LEADER	
2	N	BN	Betula nigra	River Birch	10' HT	AS SHOWN	MULTI-TRUNK, 3 STEM	
6	N	CAR	Carpinus betulus fastigiata	Upright Hornbeam	2.5" CAL.	AS SHOWN	SINGLE TRUNK & LEADER	
4	N	NSL	Nyssa sylvatica	Black gum	4" CAL.	AS SHOWN	SINGLE TRUNK & LEADER	
3	Y	PV	Pinus virginiana	Virginia Pine	2" cal.	12' ht.	AS SHOWN	SINGLE TRUNK & LEADER
3	N	QS	Quercus shumardii	Shumard Oak	2.5" CAL.	AS SHOWN	SINGLE TRUNK & LEADER	
5	N	UP	Ulmus americana 'Princeton'	Princeton American Elm	2.5" CAL.	AS SHOWN	SINGLE TRUNK & LEADER	
6	N	UPL	Ulmus americana 'Princeton'	Princeton American Elm	4" CAL.	AS SHOWN	SINGLE TRUNK & LEADER	
35								
UNDERSTORY TREES								
7	N	AM	Amerlanchar arborea	Serviceberry	1" cal.	8' HT.	AS SHOWN	MULTI-TRUNK
15	N	CC	Cercis canadensis 'Hearts of Gold'	Hearts of Gold Redbud	1" cal.	8' HT.	AS SHOWN	SINGLE TRUNK & LEADER
5	N	CF	Cornus florida	Dogwood	1" cal.	8' HT.	AS SHOWN	FULL
6	Y	IO	Ilex opaca	American Holly	1" cal.	6' HT.	8' O.C.	SINGLE TRUNK & LEADER
1	Y	JV	Juniperus virginiana	Eastern Redcedar	8' HT.	AS SHOWN	FULL AND MATCHING	
4	N	LF	Lagerstroemia faurii 'Townhouse'	Townhouse Crape Myrtle	8' HT.	AS SHOWN	MULTI STEM, MATCHING	
9	N	MC	Myrica cerifera	Eastern Waxmyrtle	8' HT.	AS SHOWN	FULL	
5	Y	MLG	Magnolia grandiflora 'Little Gem'	Little Gem Magnolia	1.5" cal.	8' ht.	10' O.C.	FULL AND MATCHING
6	Y	MSB	Magnolia virginiana	Sweetbay Magnolia	1.5" cal.	8' ht.	AS SHOWN	FULL
6	N	MST	Magnolia stellata 'Royal Star'	Royal Star Magnolia	1.5" cal.	8' ht.	AS SHOWN	FULL
64								
SHRUBS								
19	Y	BUX	Buxus microphylla koreana	Korean Boxwood	18" ht.	4' o.c.	FULL AND MATCHING	
12	N	CA	Calliandra americana	American Beautyberry	24" ht.	5' o.c.	FULL AND MATCHING	
9	Y	CI	Camellia x 'Taylor's Perfection'	Taylor's Perfection Camellia	24" ht	5' o.c.	FULL AND MATCHING	
6	Y	CW	Camellia 'Polar Ice'	Polar Ice Camellia	24" ht	4' o.c.	FULL AND MATCHING	
8	Y	CHF	Cephalotaxus harringtonia 'Fastigiata'	Upright Yew	36" ht	AS SHOWN	FULL AND MATCHING	
30	N	FOT	Fothergilla major 'Mount Airy'	Mount Airy Fothergilla	18" ht	4' o.c.	FULL AND MATCHING	
12	Y	HL	Hydrangea paniculata 'Jane'	Little Lime Hardy Hydrang	24" ht	5' o.c.	FULL AND MATCHING	
22	Y	IG	Ilex glabra	Inkberry Holly	15" HT.	36" O.C.	FULL AND MATCHING	
20	Y	IL	Illicium parvifolia	Anise	24" ht	4' o.c.	FULL AND MATCHING	
31	Y	LE	Loropetalum chinense 'Emerald'	Emerald Loropetalum	15" HT.	36" O.C.	FULL AND MATCHING	
24	Y	PC	Prunus caroliniana 'Otto Luyken'	Otto Luyken	18" HT.	36" O.C.	FULL AND MATCHING	
18	N	SUM	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac	12" HT	4' o.c.	FULL AND MATCHING	
45	Y	SR	Sarcococca rustica	Sweetbox	18" HT.	36" O.C.	FULL AND MATCHING	
237								
GROUND COVER								
23	Y	CX	Carex	Carex	1 gal	2' o.c.	FULL AND MATCHING	
130	S	CL	Chasmanthium latifolium	River Oats	1/2 gal	2' o.c.	FULL AND MATCHING	
10	Y	LIR	Liriope muscari	Liriope	1 gal	1.5' o.c.	FULL AND MATCHING	
31	S	PAN	Panicum virgatum	Switchgrass	1 gal	2' o.c.	FULL AND MATCHING	

PLANT LIST

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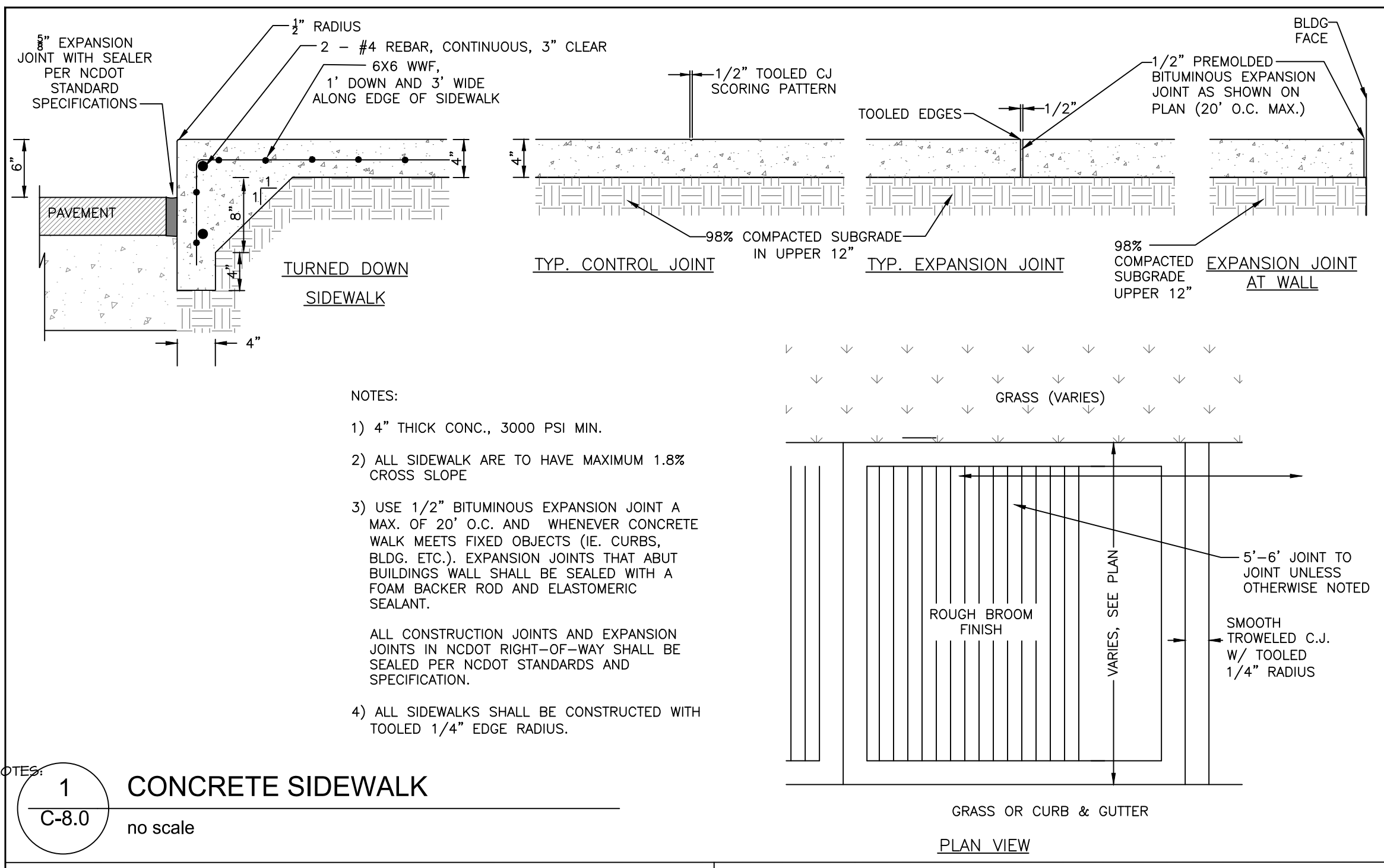
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LANDSCAPE PLAN

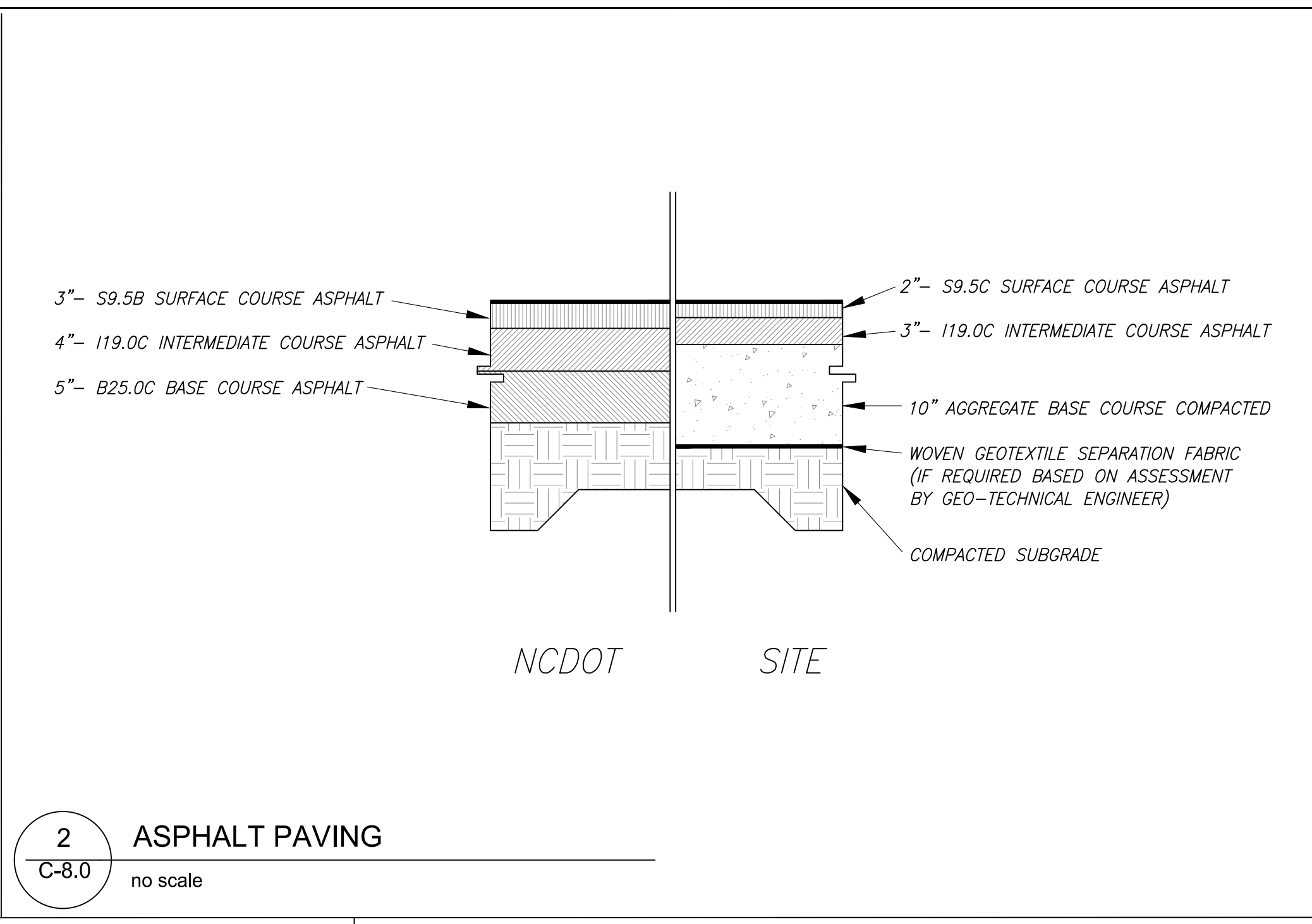
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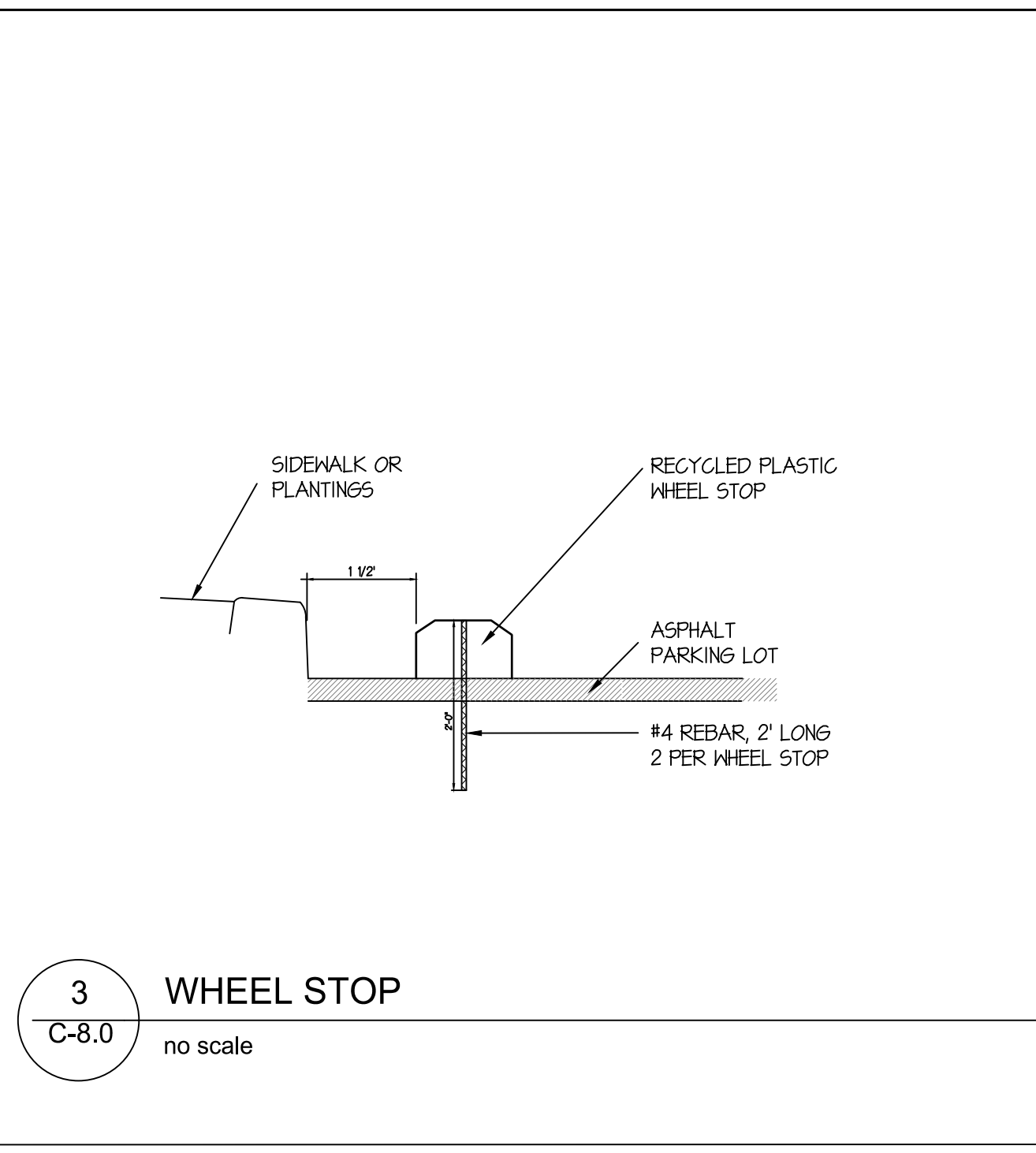


- NOTES:
- 1) 4" THICK CONC., 3000 PSI MIN.
 - 2) ALL SIDEWALK ARE TO HAVE MAXIMUM 1.8% CROSS SLOPE
 - 3) USE 1/2" BITUMINOUS EXPANSION JOINT A MAX. OF 20' O.C. AND WHENEVER CONCRETE WALK MEETS FIXED OBJECTS (I.E. CURBS, BLDG. ETC.), EXPANSION JOINTS THAT ABUT BUILDINGS WALL SHALL BE SEALED WITH A FOAM BACKER ROD AND ELASTOMERIC SEALANT.
ALL CONSTRUCTION JOINTS AND EXPANSION JOINTS IN NCDOT RIGHT-OF-WAY SHALL BE SEALED PER NCDOT STANDARDS AND SPECIFICATION.
 - 4) ALL SIDEWALKS SHALL BE CONSTRUCTED WITH TOOLED 1/4" EDGE RADIUS.

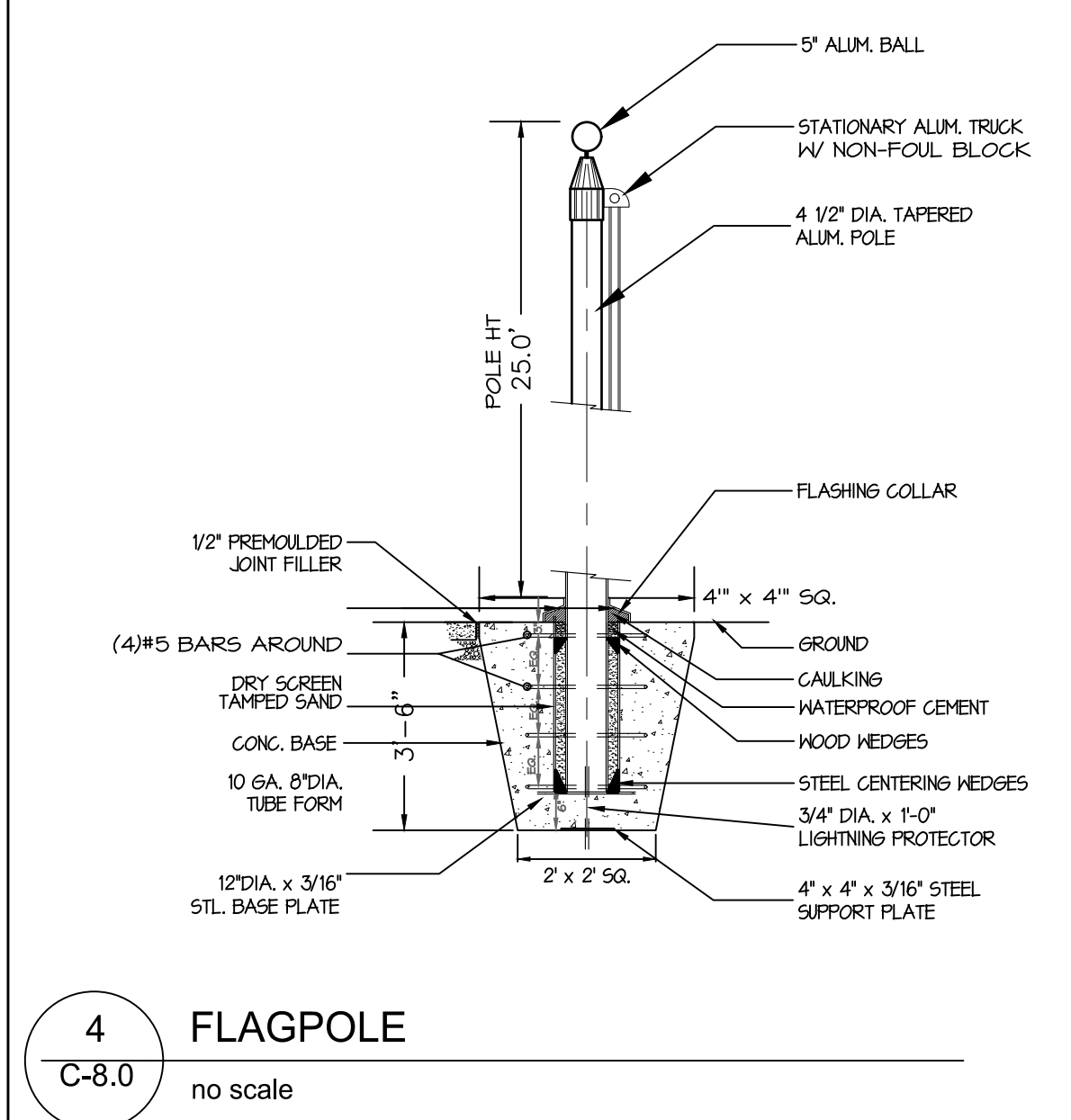
1
C-8.0
CONCRETE SIDEWALK
no scale



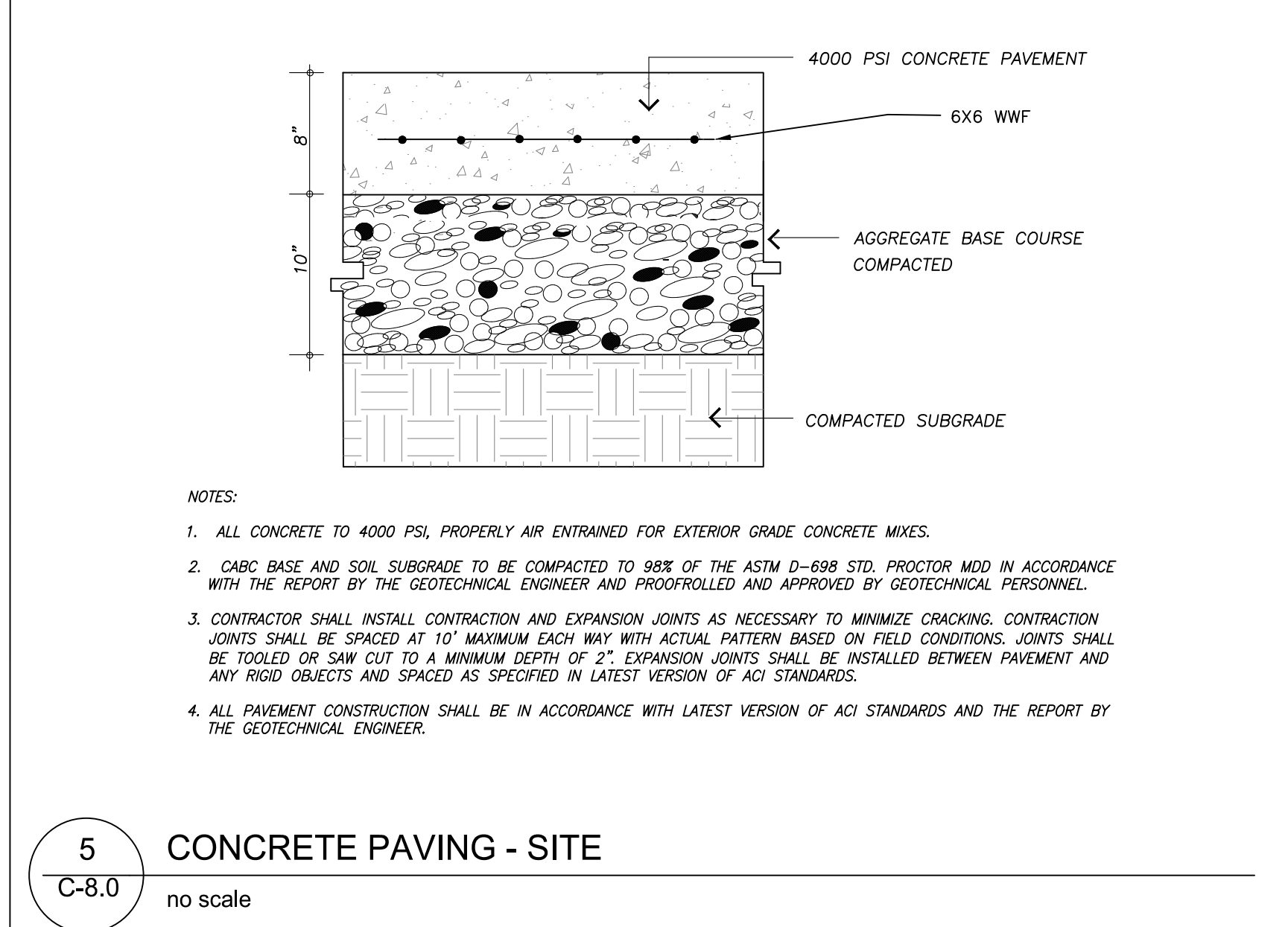
2
C-8.0
ASPHALT PAVING
no scale



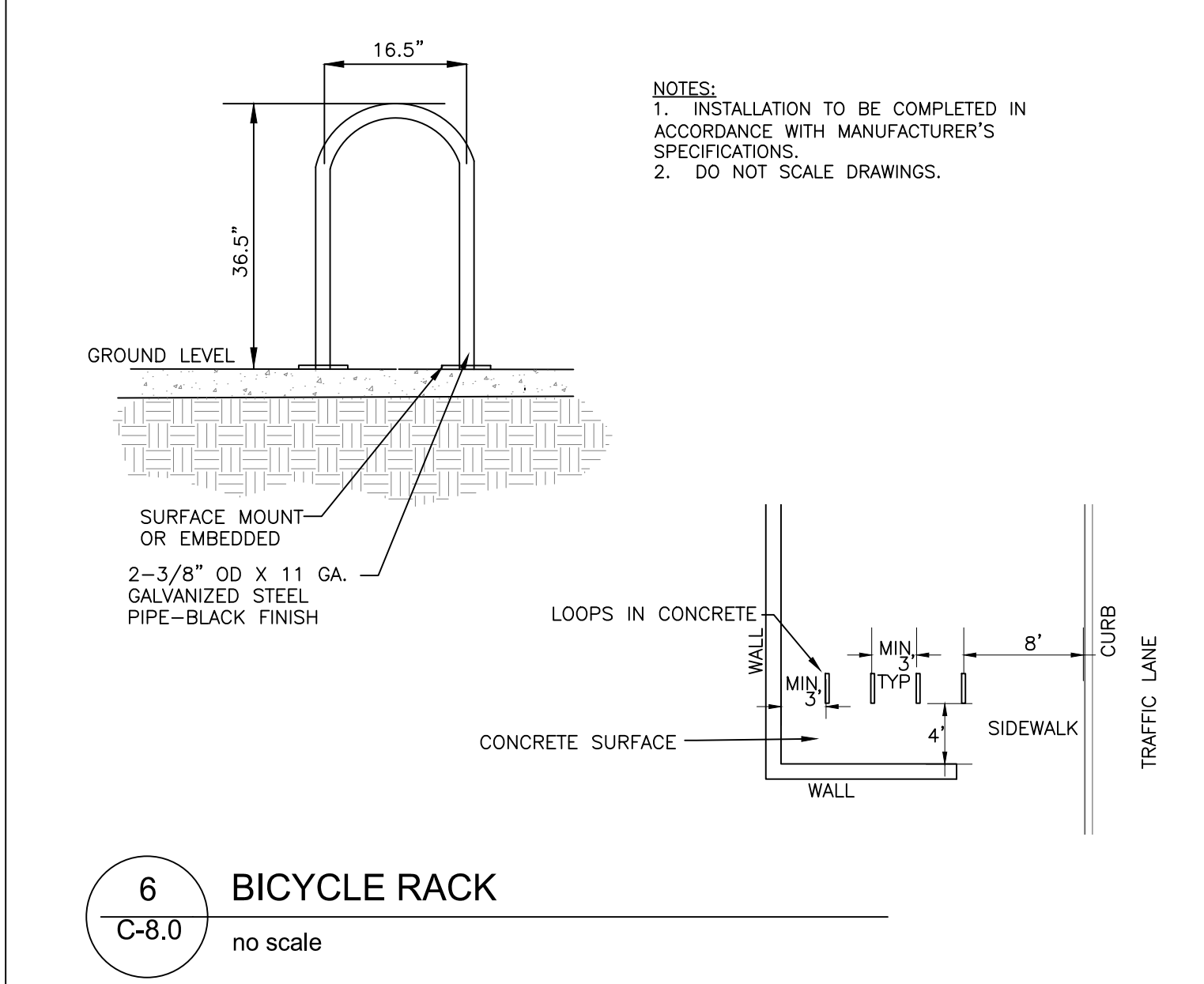
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C-8.0
WHEEL STOP
no scale



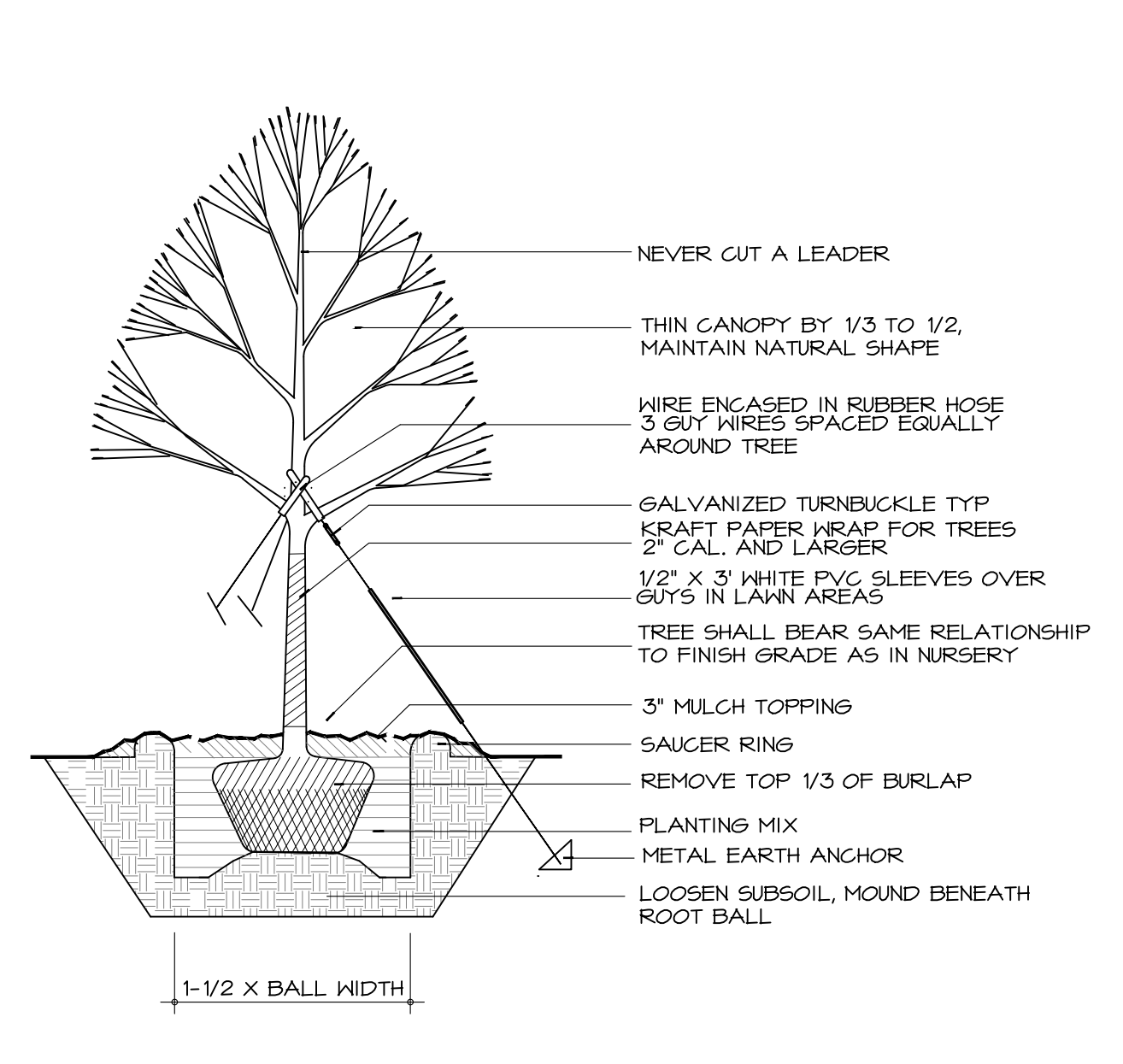
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C-8.0
FLAGPOLE
no scale



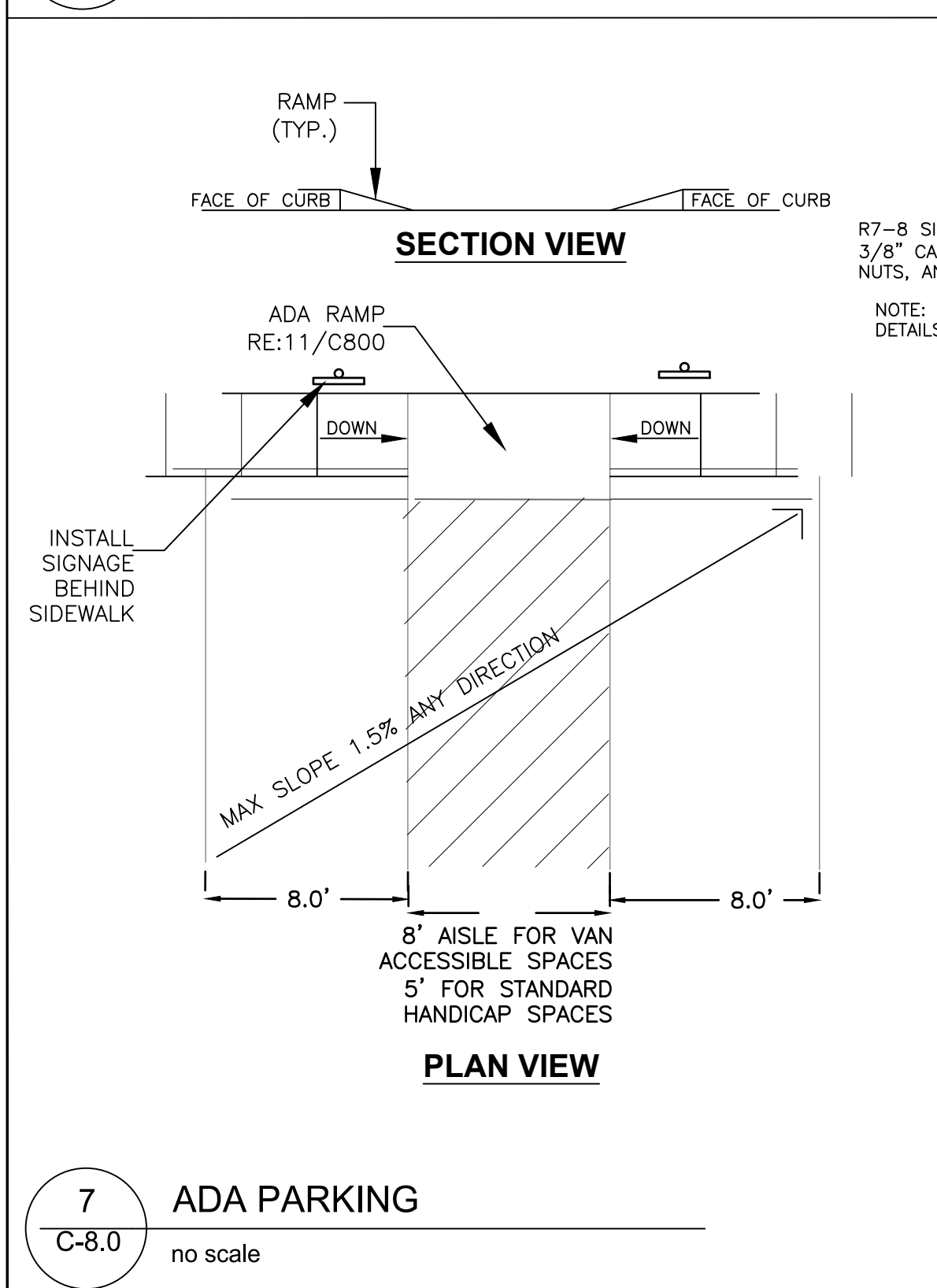
5
C-8.0
CONCRETE PAVING - SITE
no scale



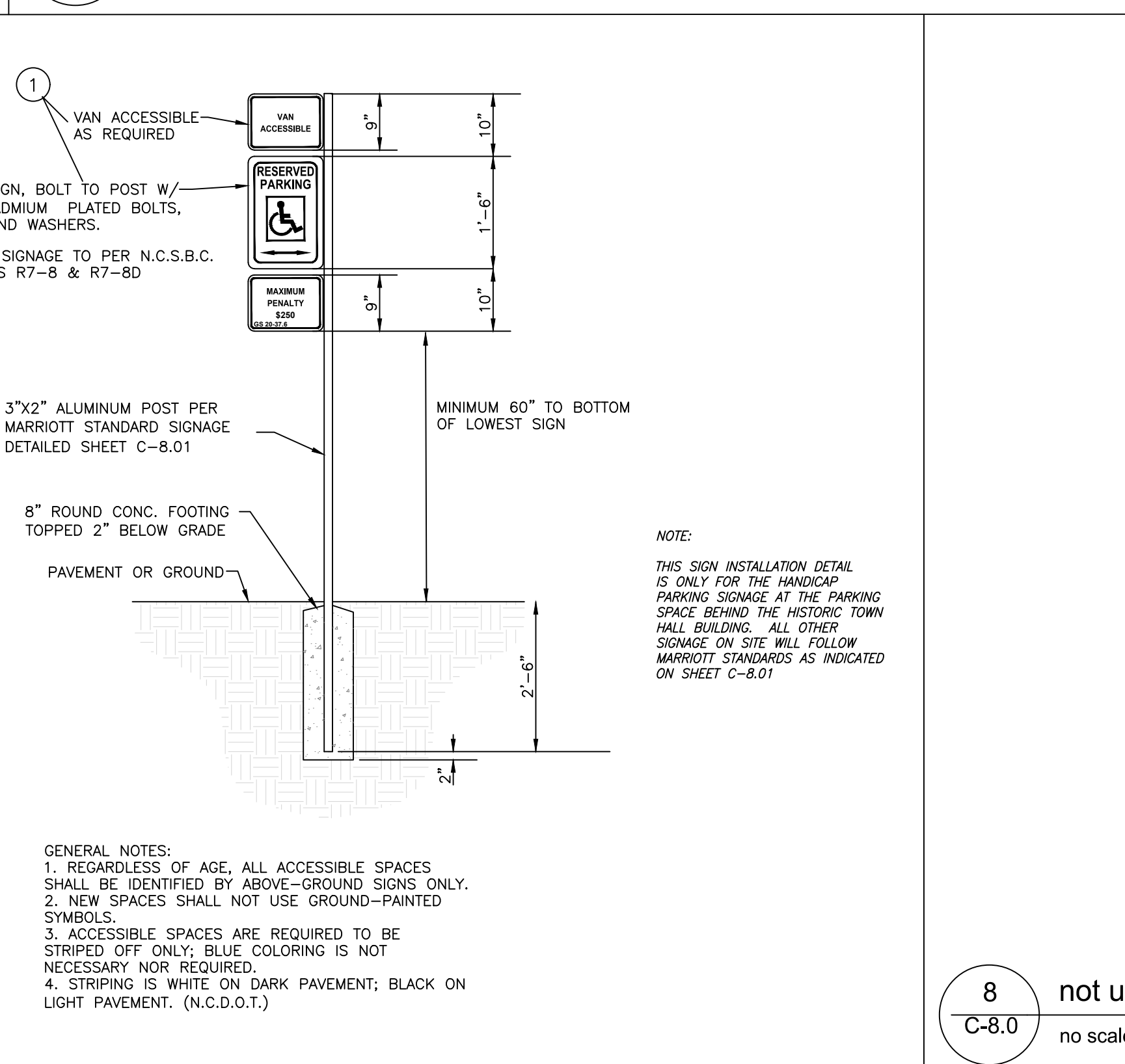
6
C-8.0
BICYCLE RACK
no scale



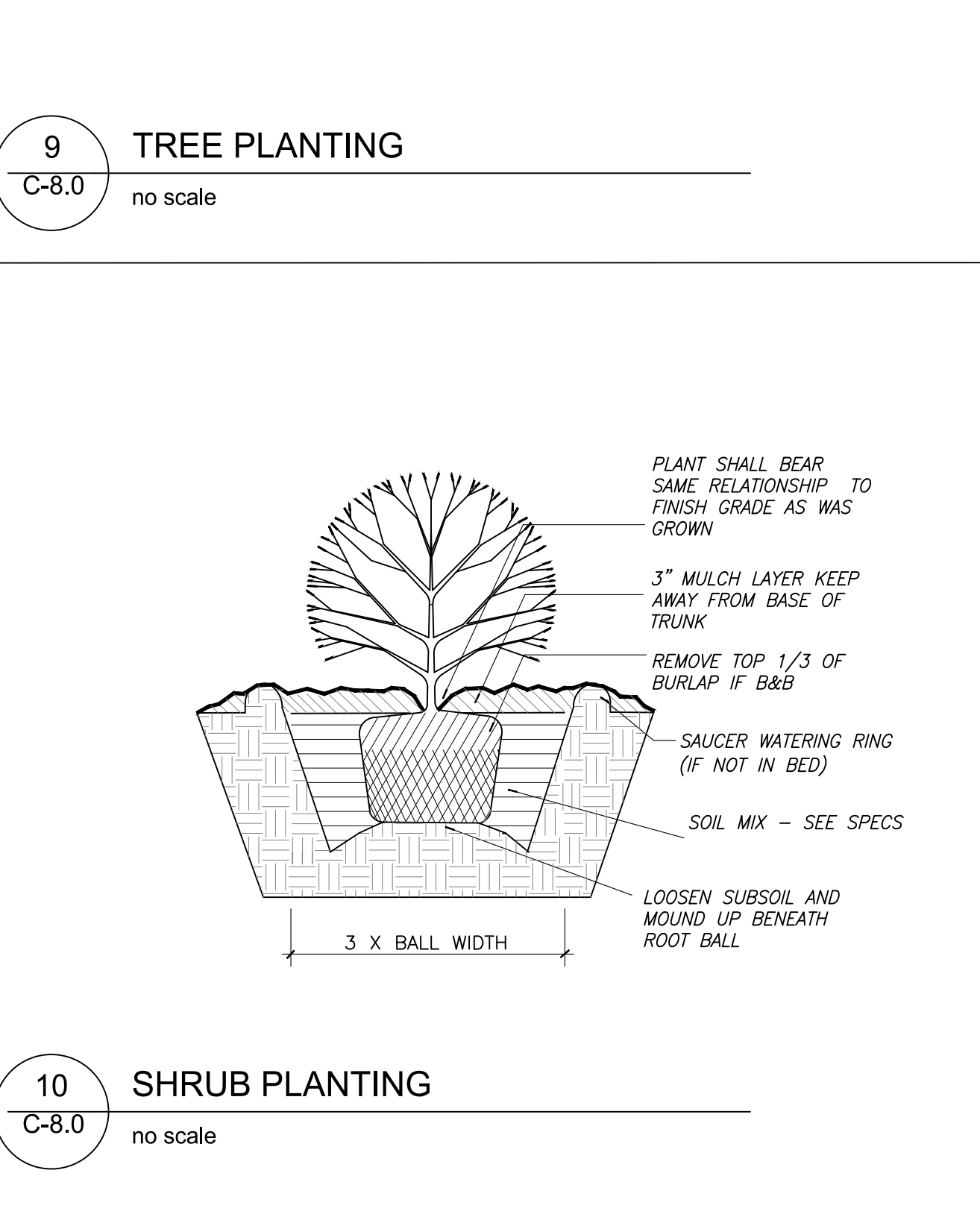
9
C-8.0
TREE PLANTING
no scale



7
C-8.0
ADA PARKING
no scale



8
C-8.0
not used
no scale

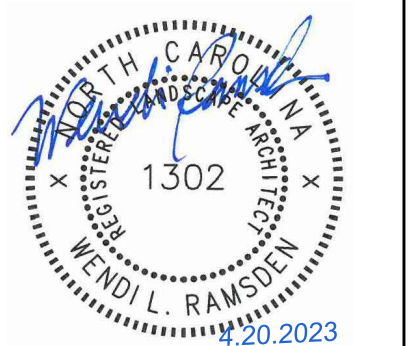


10
C-8.0
SHRUB PLANTING
no scale

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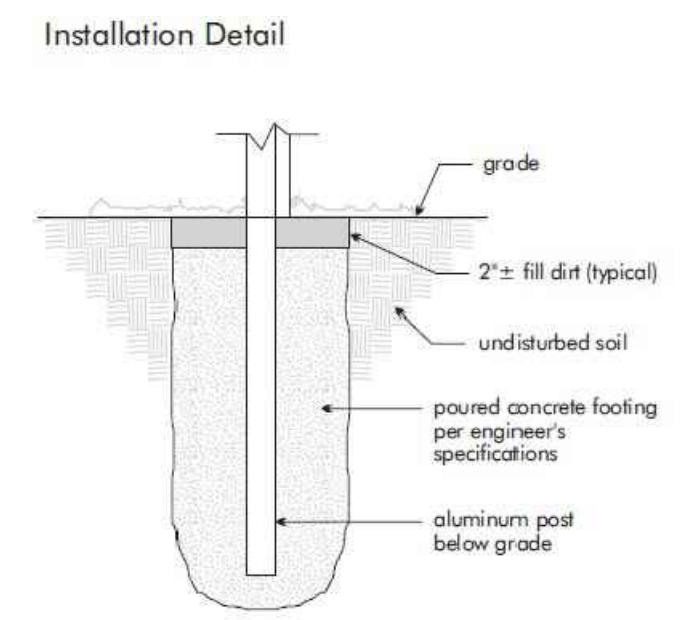
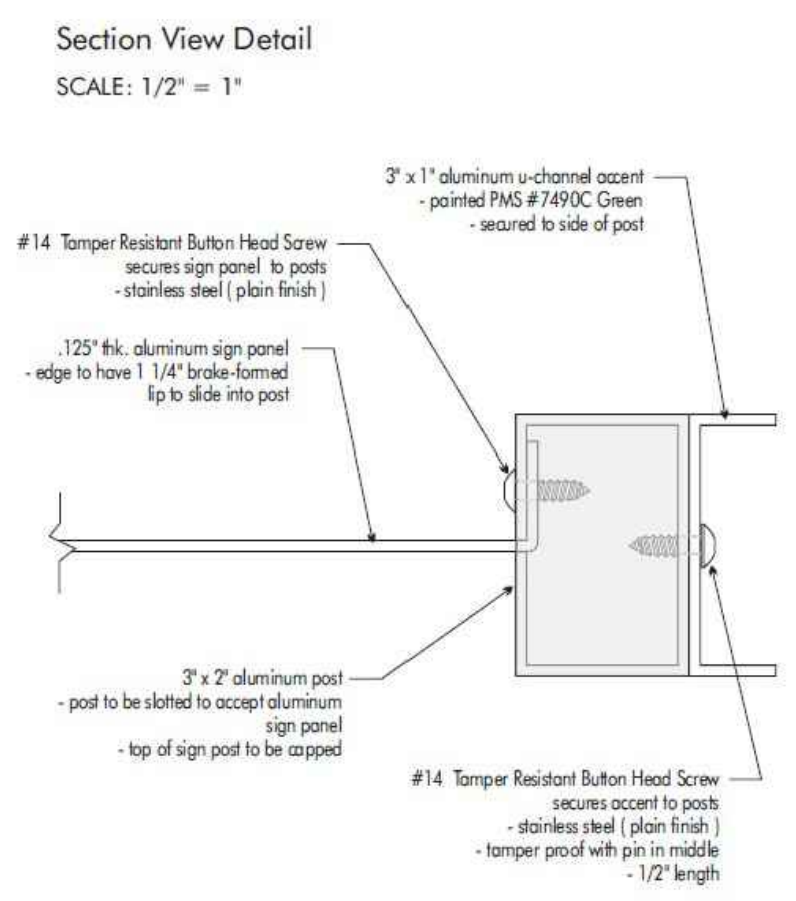
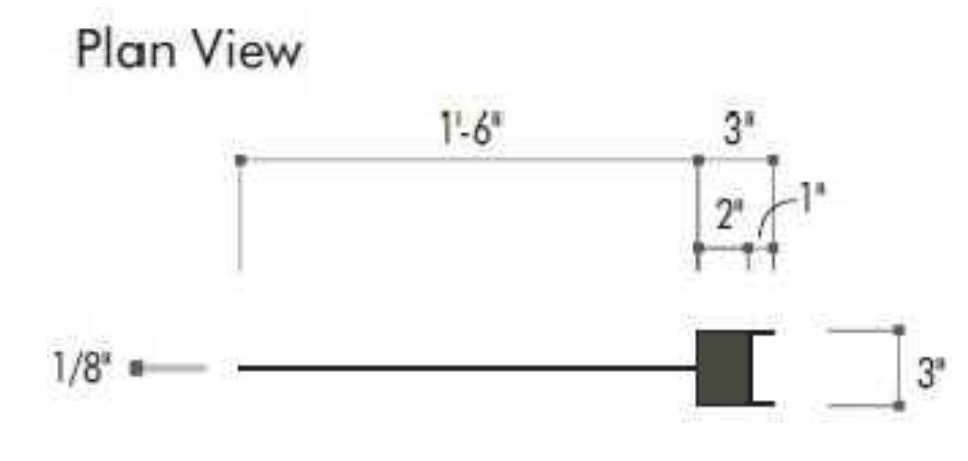
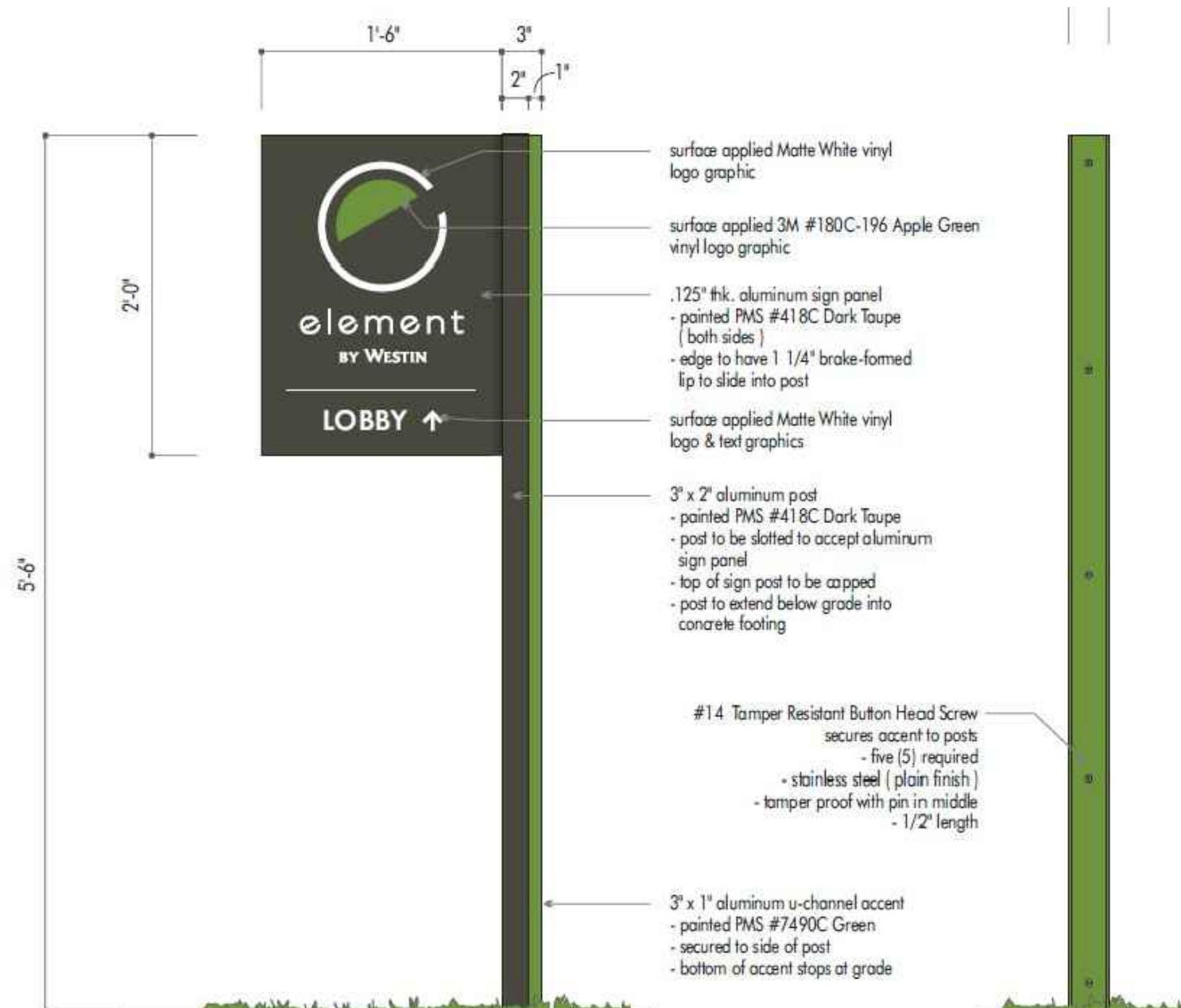


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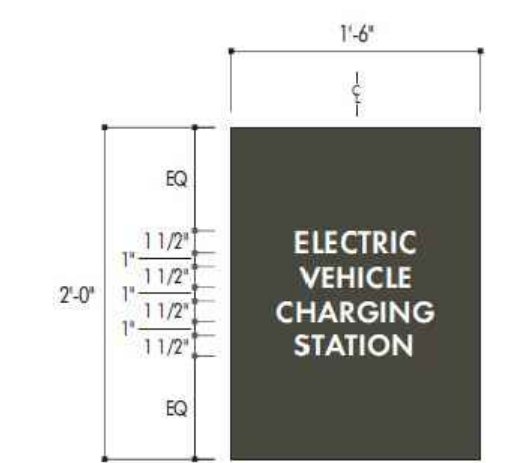
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SITE DETAILS
Sheet Number
C-8.0

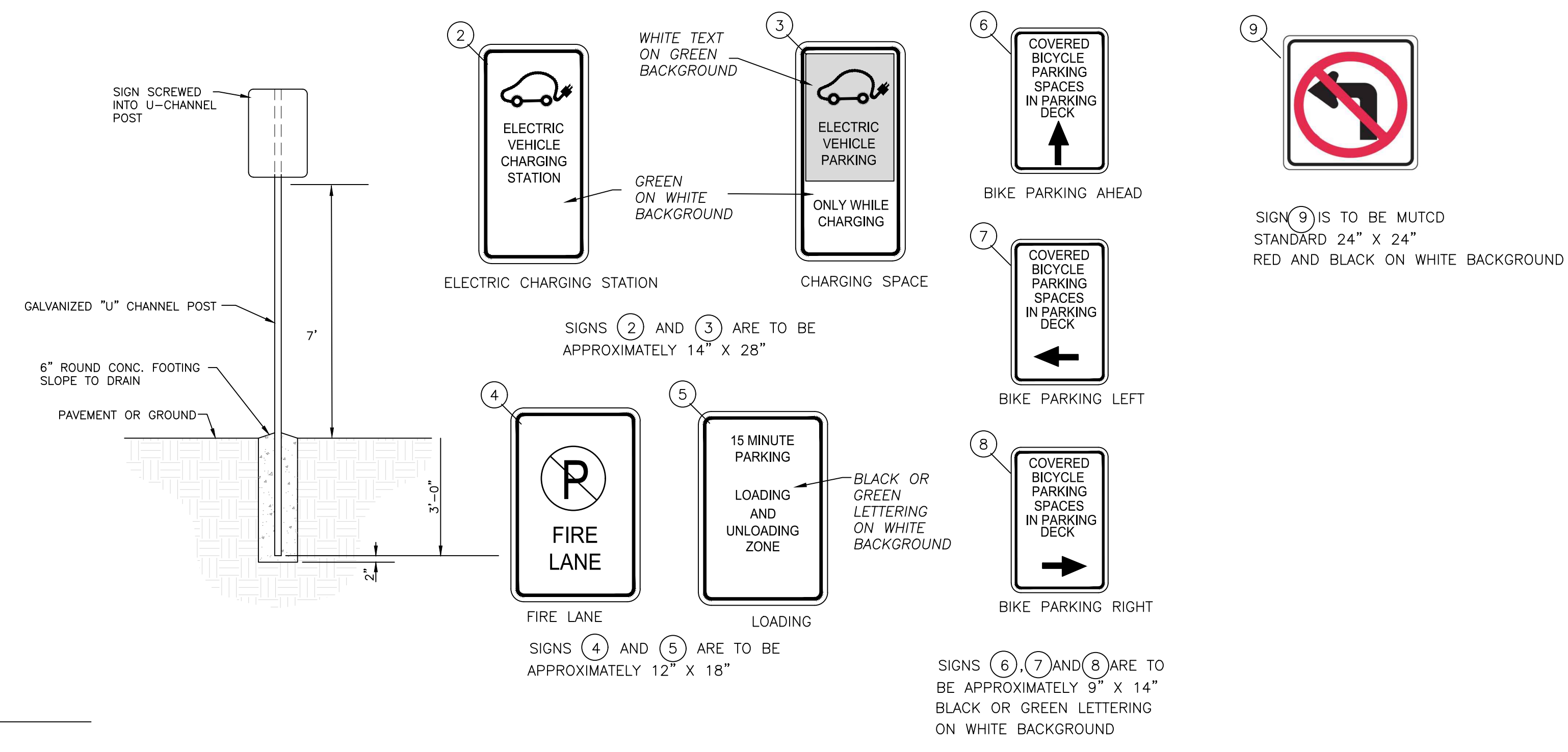


1 STANDARD SITE SIGN POLE DETAIL
C-8.01 no scale

2 SITE AFFIXED TO BUILDING FACE DETAIL
C-8.01 no scale



3 SIGN ON WALL DETAIL
C-8.01 no scale



4 SPECIFIC SIGN DETAILS
C-8.01 no scale

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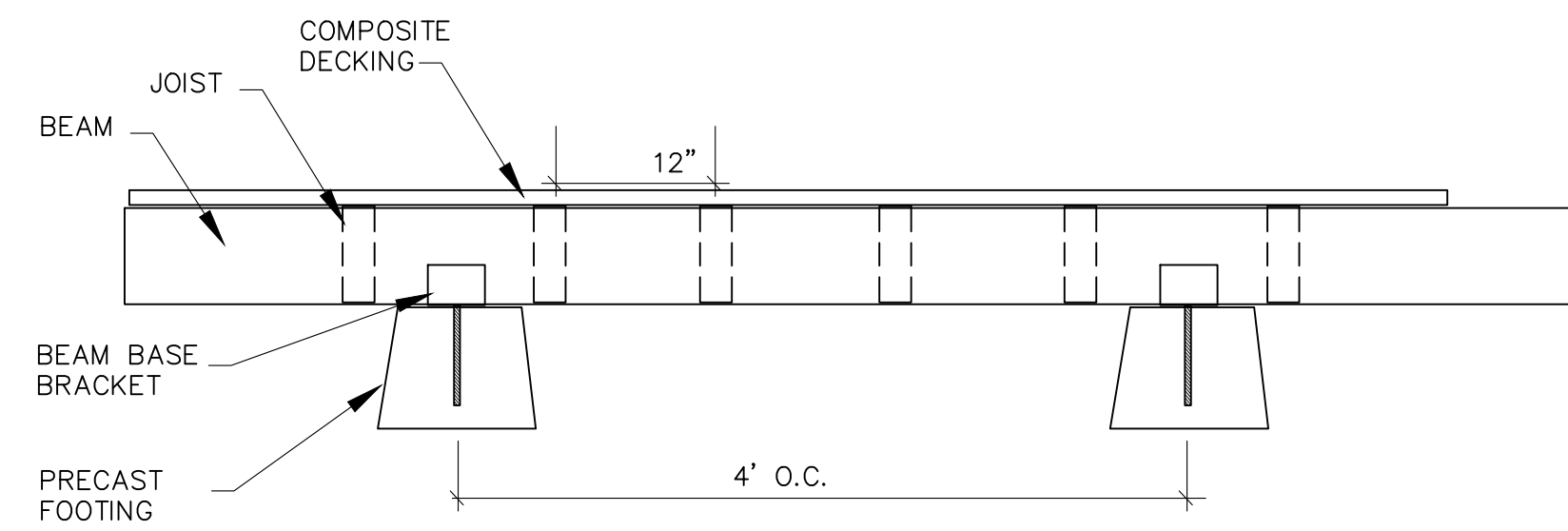
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SITE SIGNAGE DETAILS

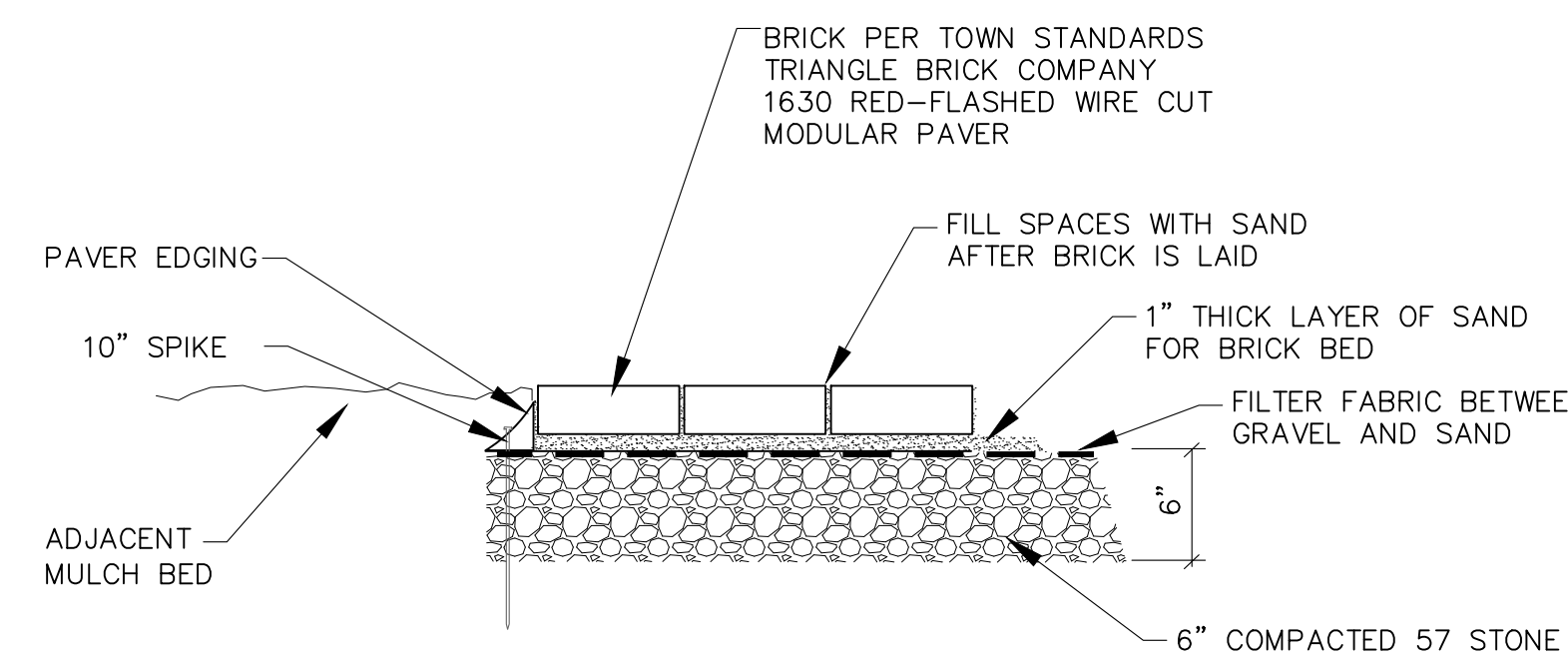
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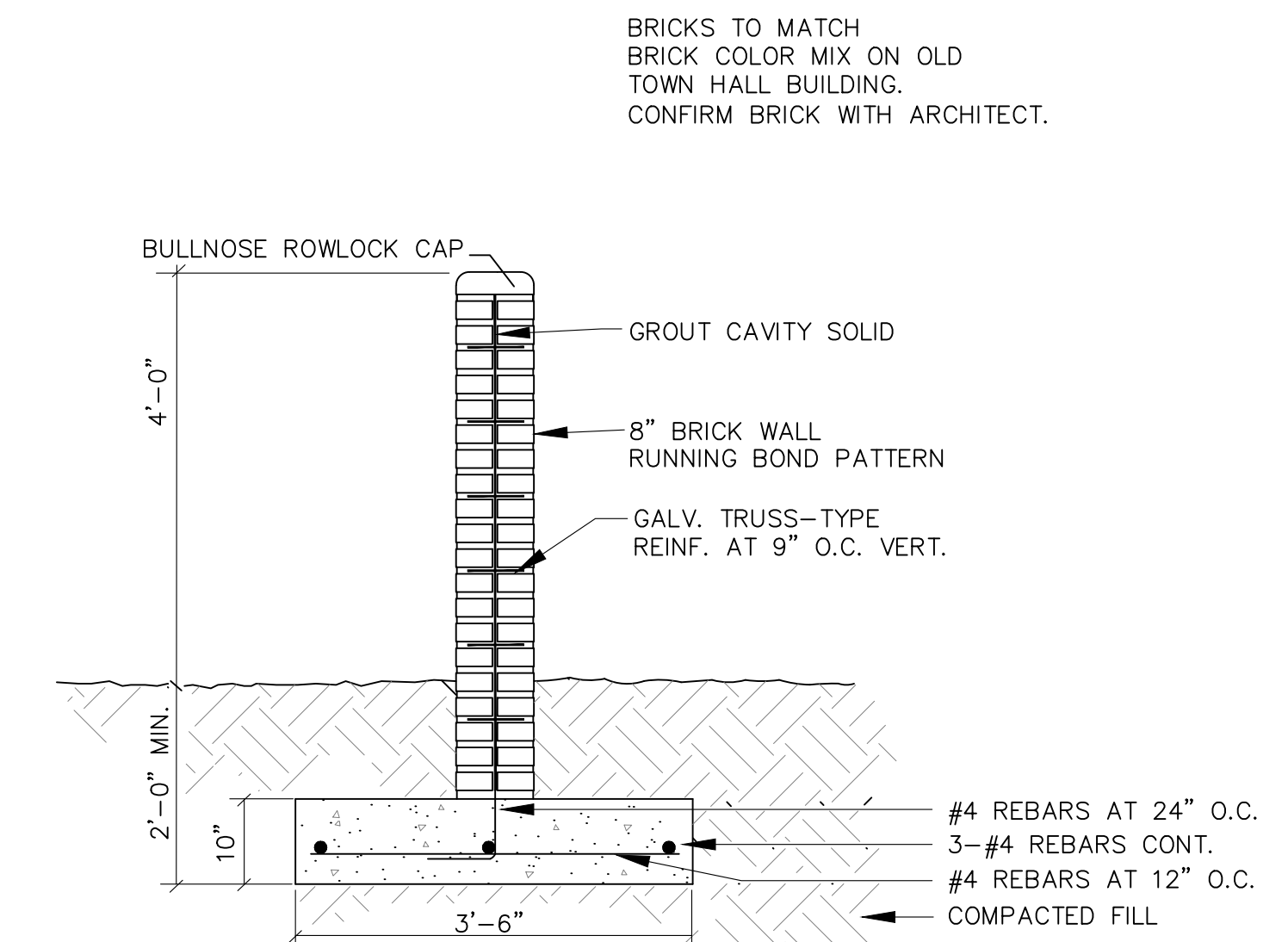


-CONCRETE PRECAST FOOTINGS
-WOOD/PLASTIC COMPOSITE LUMBER
FOR BEAMS, JOISTS, AND DECKING
-INTEGRATED COLOR

1 DECKING
C-8.1 no scale

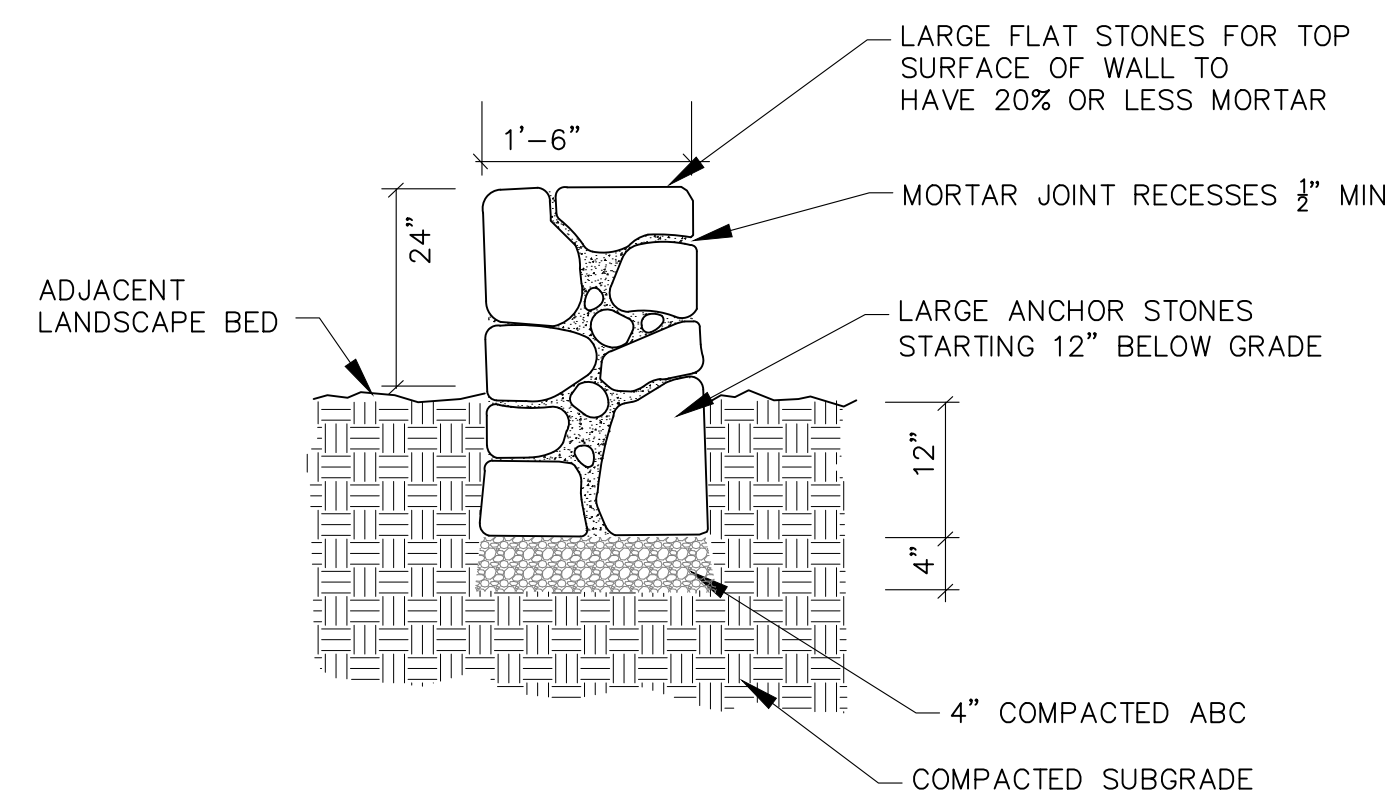


2 PARK PATHWAYS
C-8.1 no scale

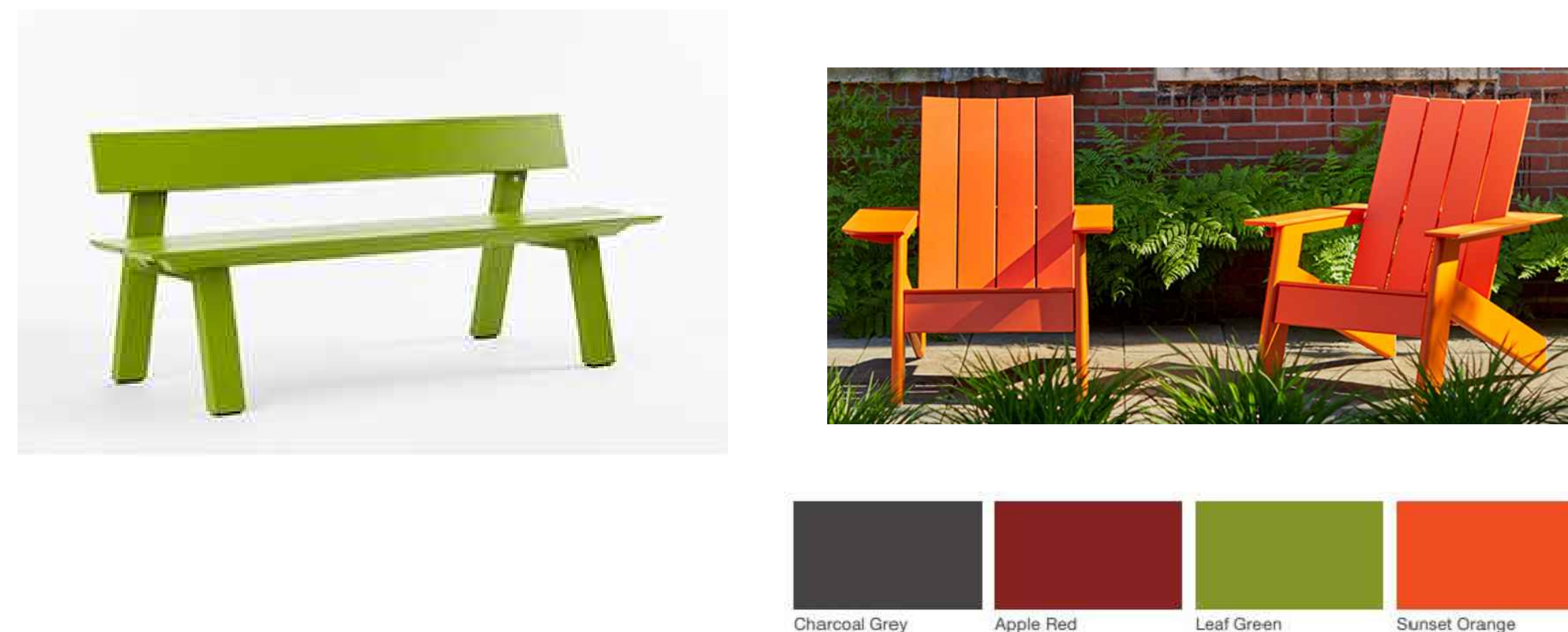


BRICKS TO MATCH
BRICK COLOR MIX ON OLD
TOWN HALL BUILDING.
CONFIRM BRICK WITH ARCHITECT.

3 SCREEN WALL
C-8.1 no scale



4 FREESTANDING STONE WALL
C-8.1 no scale



BASIS OF DESIGN:
LANDSCAPE FORMS GLIDE ARMLESS BENCH 75" LENGTH
LANDSCAPE FORMS AMERICANA CHAIR 37.5" DEEP x 33.5" WIDE
COLOR TO BE CHOSEN BY OWNER FROM MANUFACTURER'S STANDARD COLORS

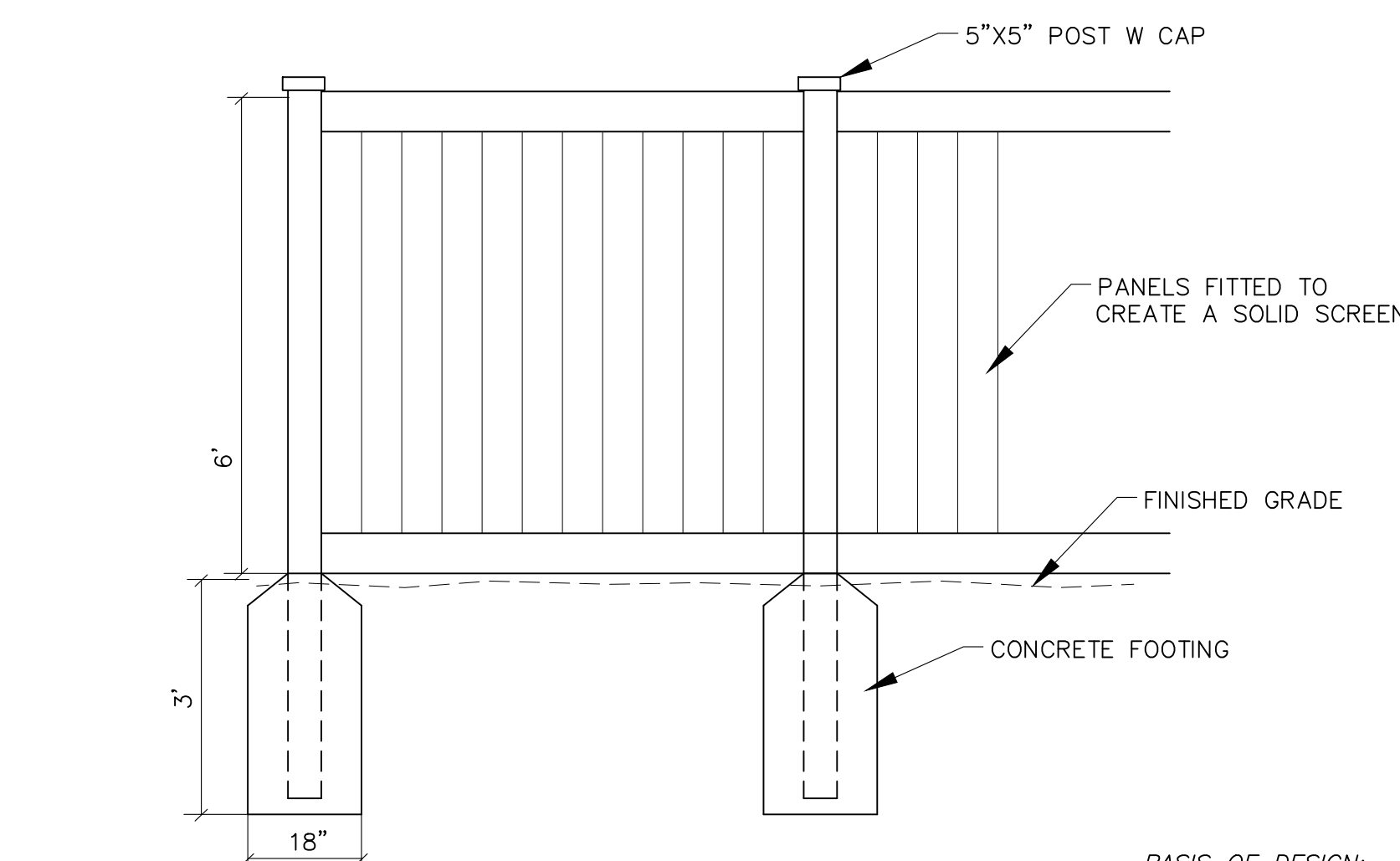
5 PARK FURNITURE
C-8.1 no scale



BASIS OF DESIGN:
DUMOR ARMLESS CHAIR MODEL 483
DUMOR 30" DIAM TABLE MODEL 484
COLOR TO BE CHOSEN BY OWNER FROM MANUFACTURER'S STANDARD COLORS

6 DECK FURNITURE
C-8.1 no scale

7 NOT USED
C-8.1 no scale



BASIS OF DESIGN:
-BLACKLINE FENCE
-6" HEIGHT
-VINYL SOLID FENCE

8 PERIMETER FENCE
C-8.1 no scale

9 NOT USED
C-8.1 no scale

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NC BOARD OF
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LIC # C-104

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PRELIMINARY-DO NOT
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Job Number: 1963

Drawn | WLR, MTC
Checked | WLR, CNH
Date | 5-9-2022
Revisions | 4-20-2023
Site Revisions

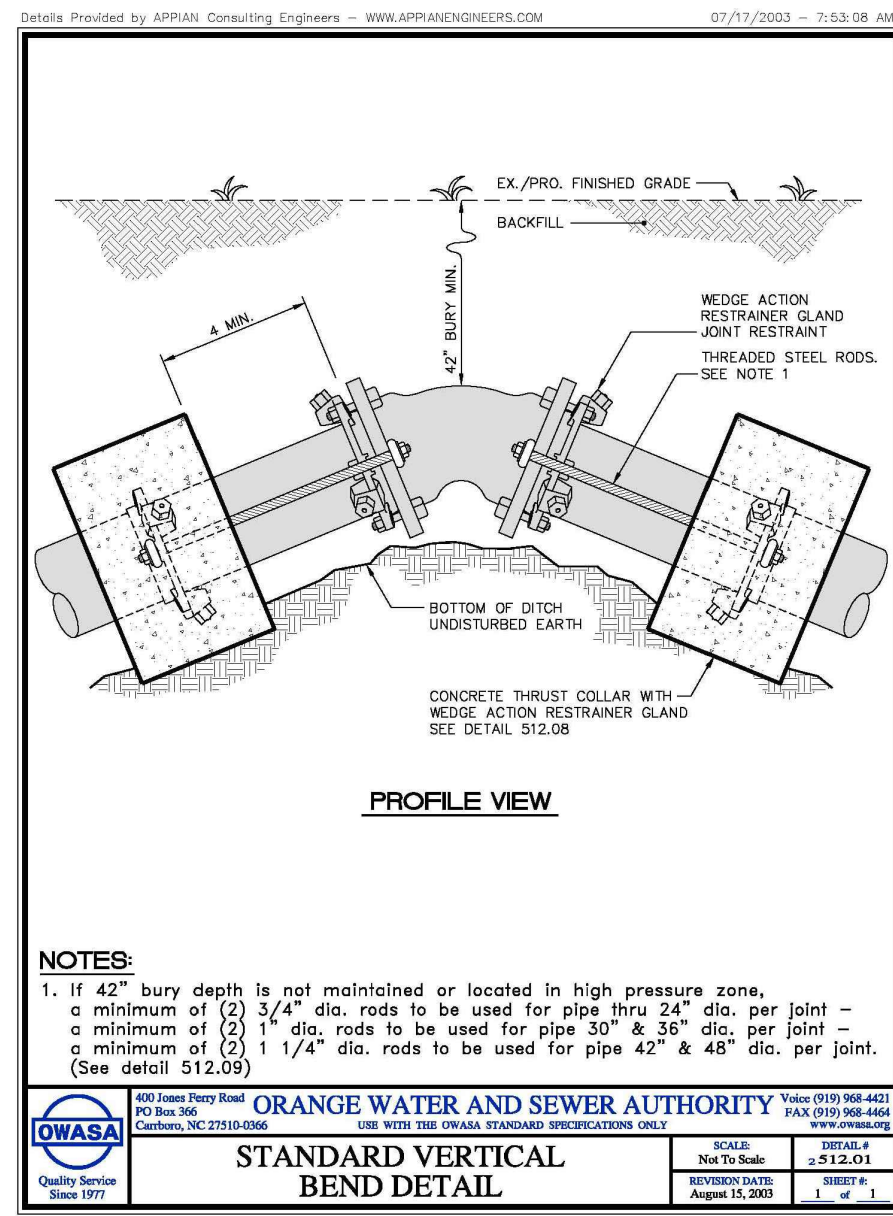
Zoning Compliance Permit

Sheet Title:

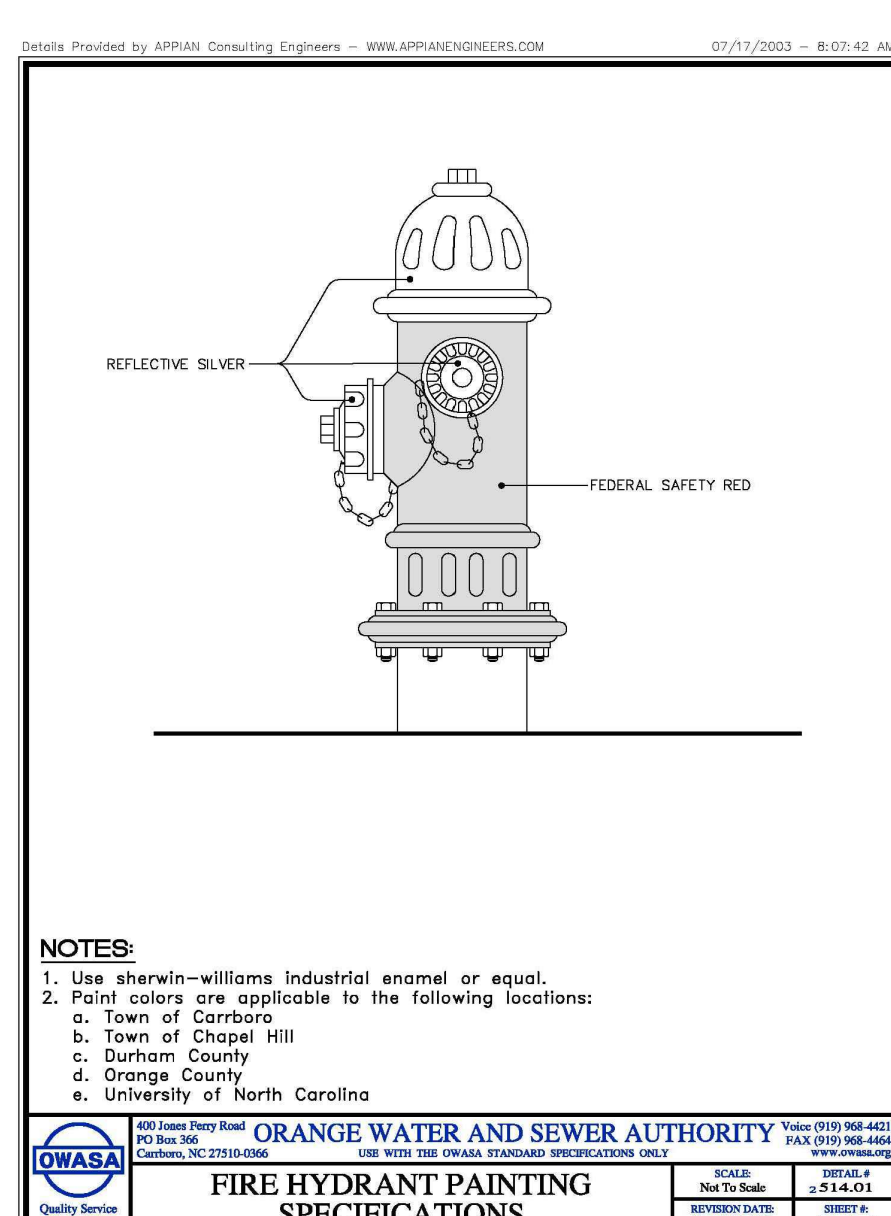
SITE DETAILS

Sheet Number

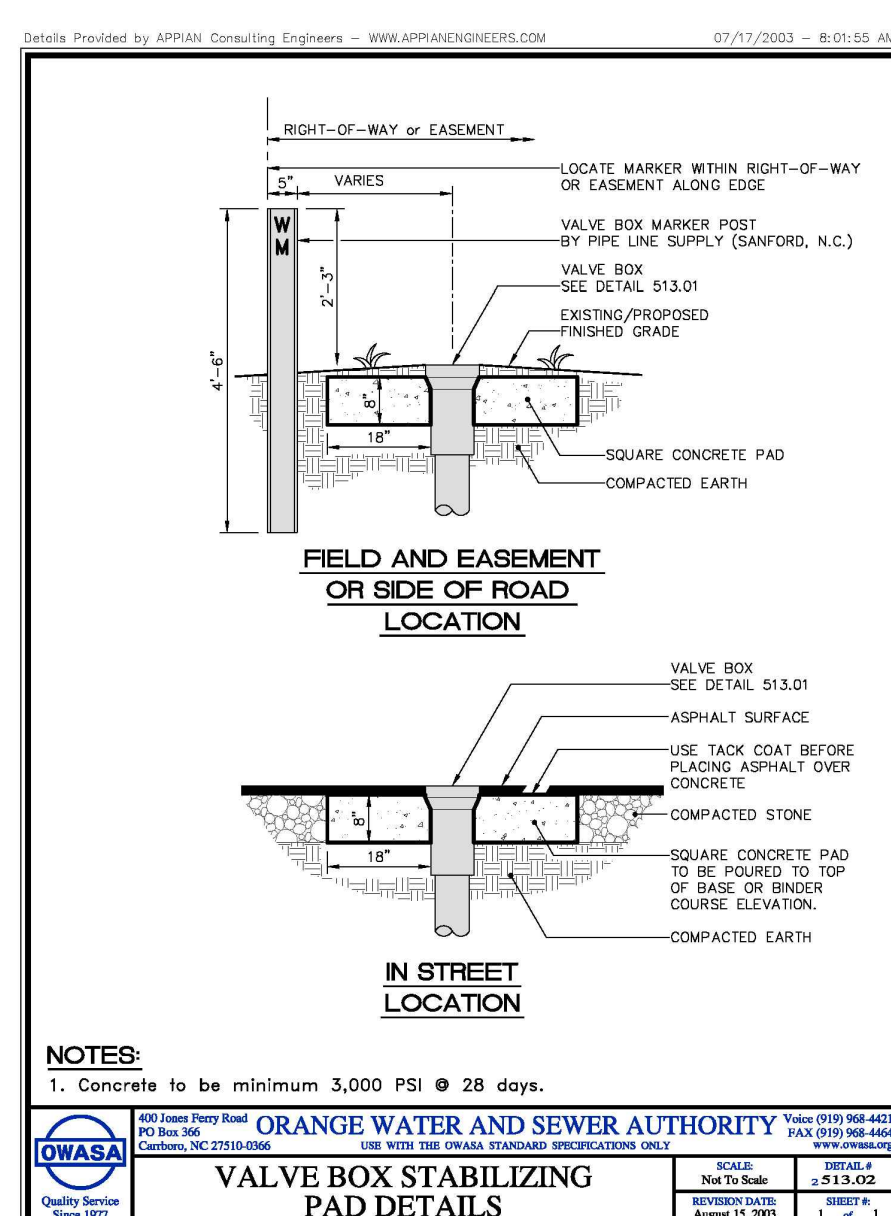
C-8.1



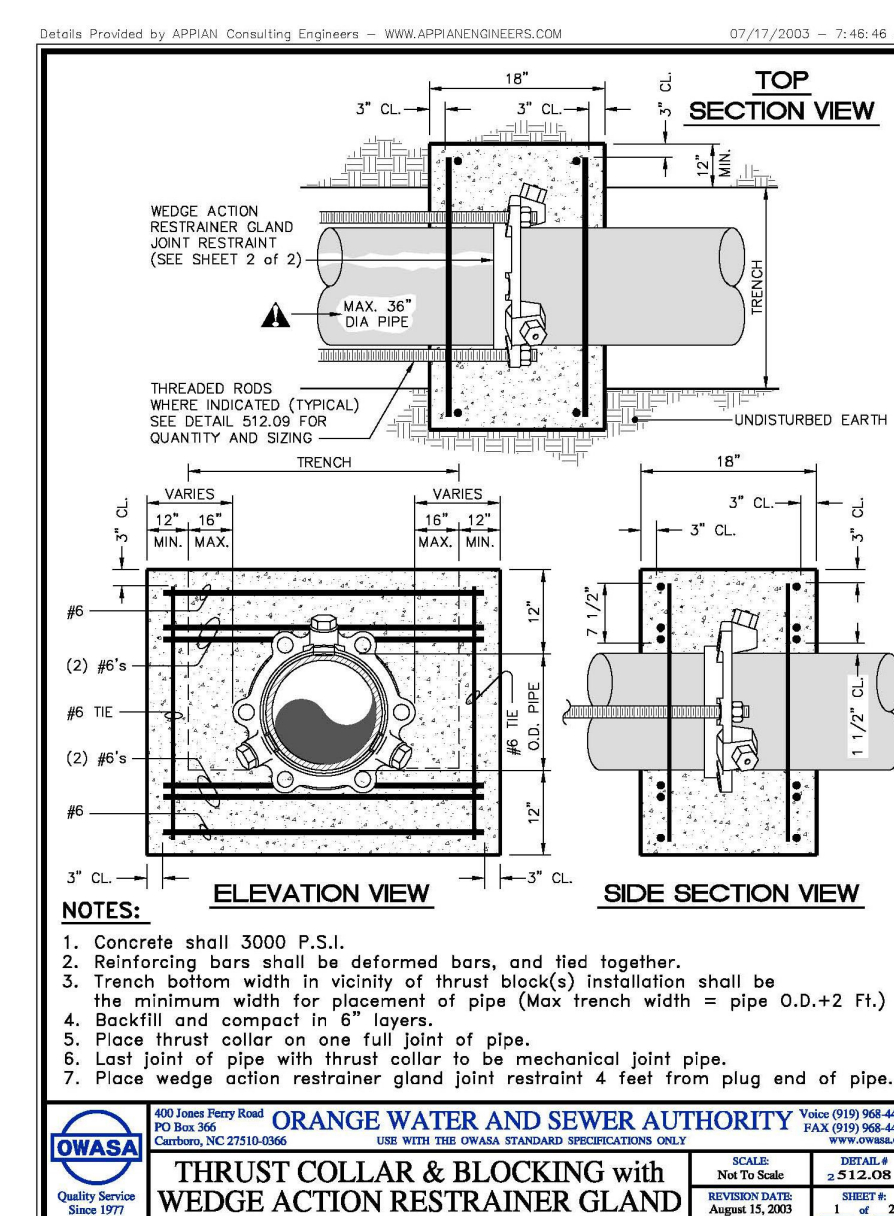
1 VERTICAL BENDS
C-8.3 no scale



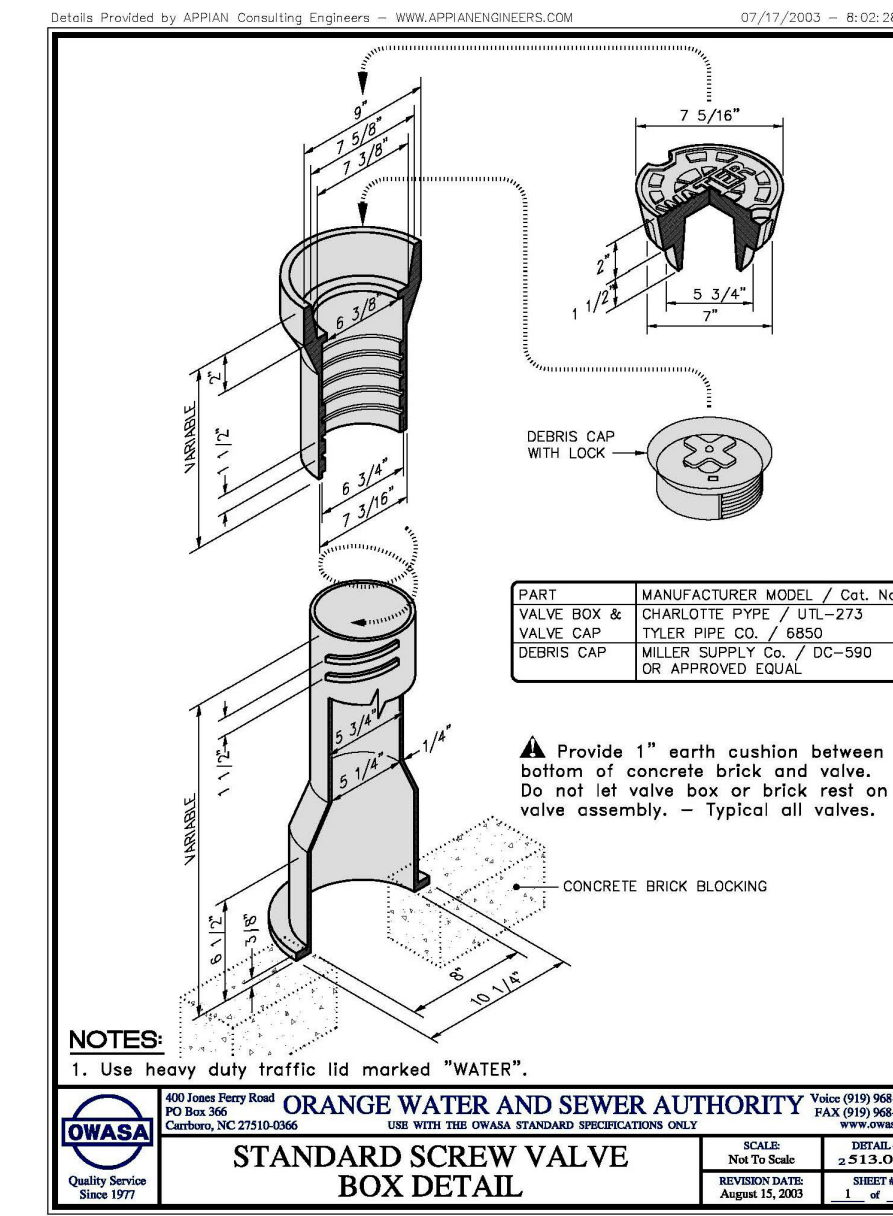
2 HYDRANT PAINTING
C-8.3 no scale



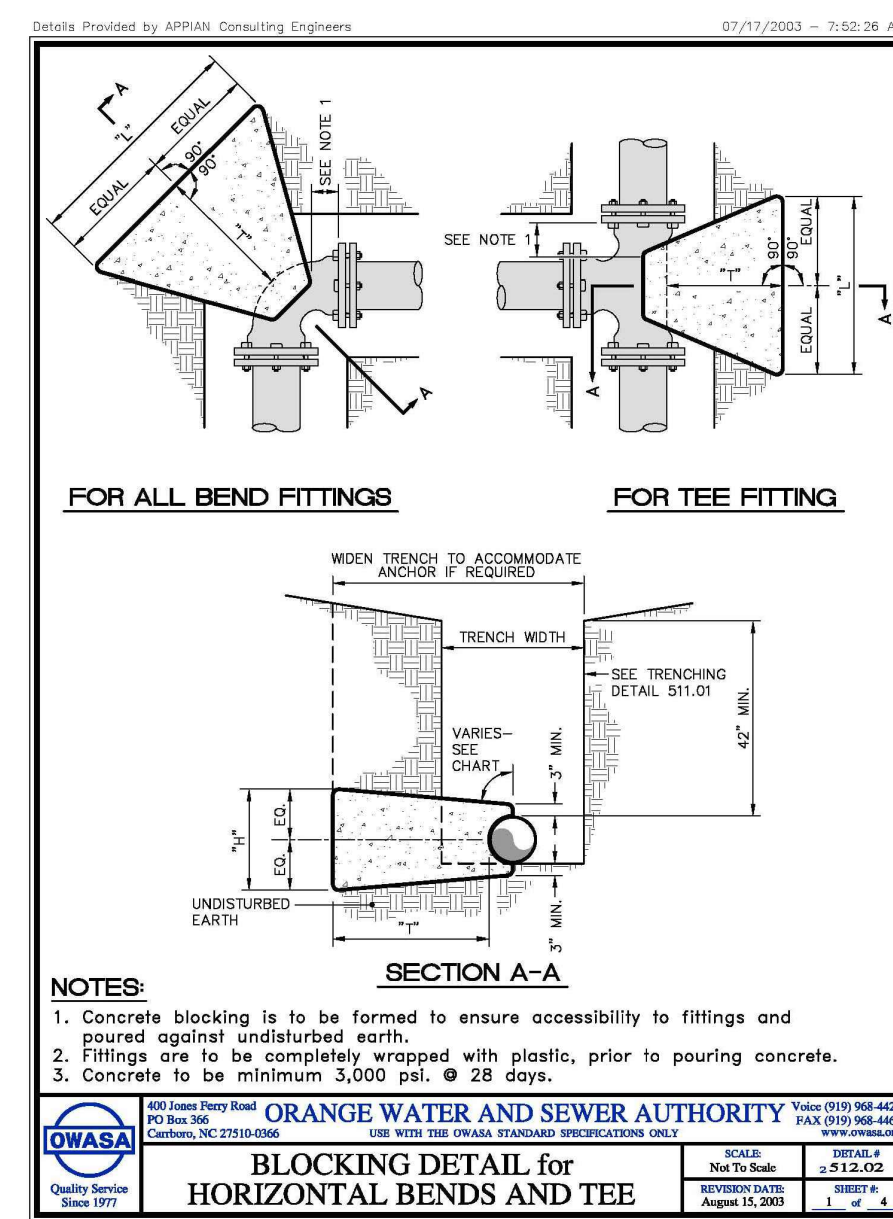
3 VALVE BOX PAD
C-8.3 no scale



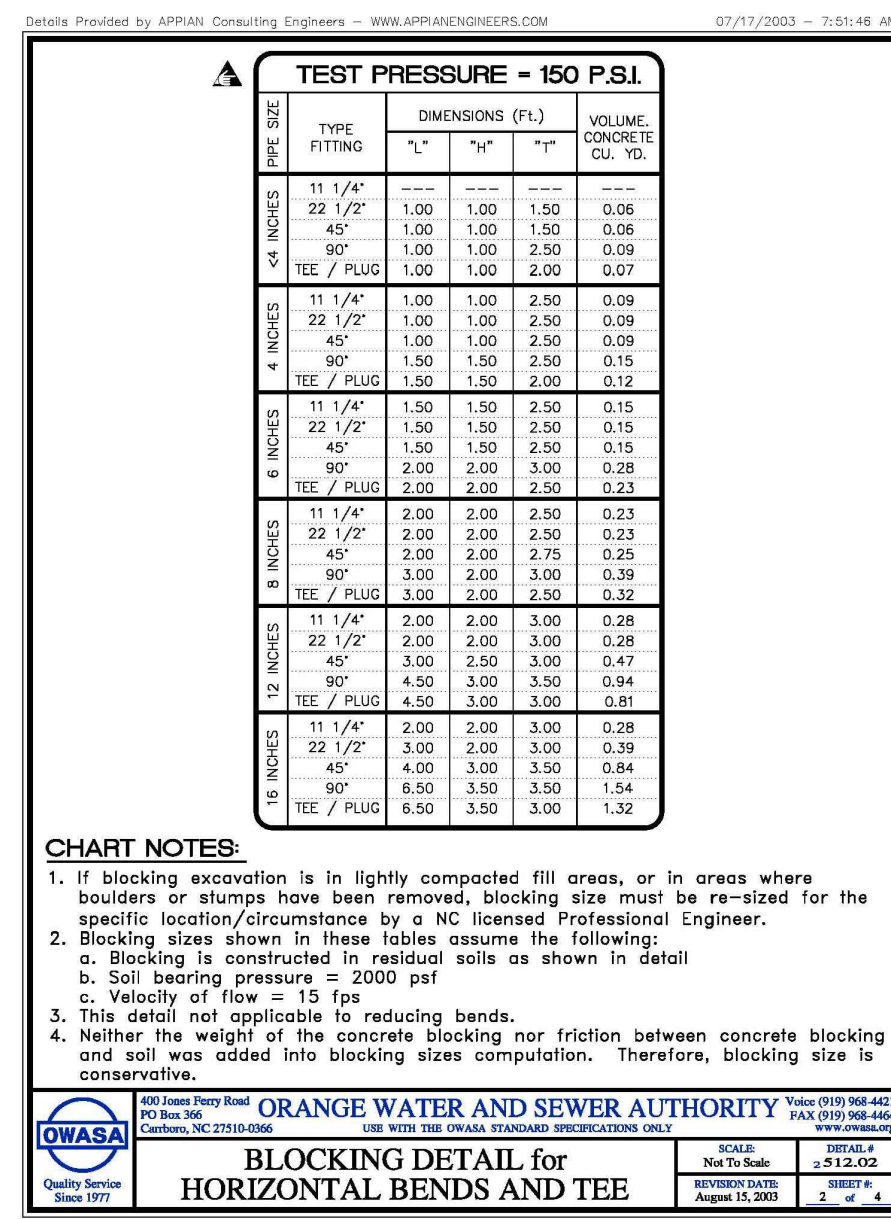
4 THRUST COLLAR
C-8.3 no scale



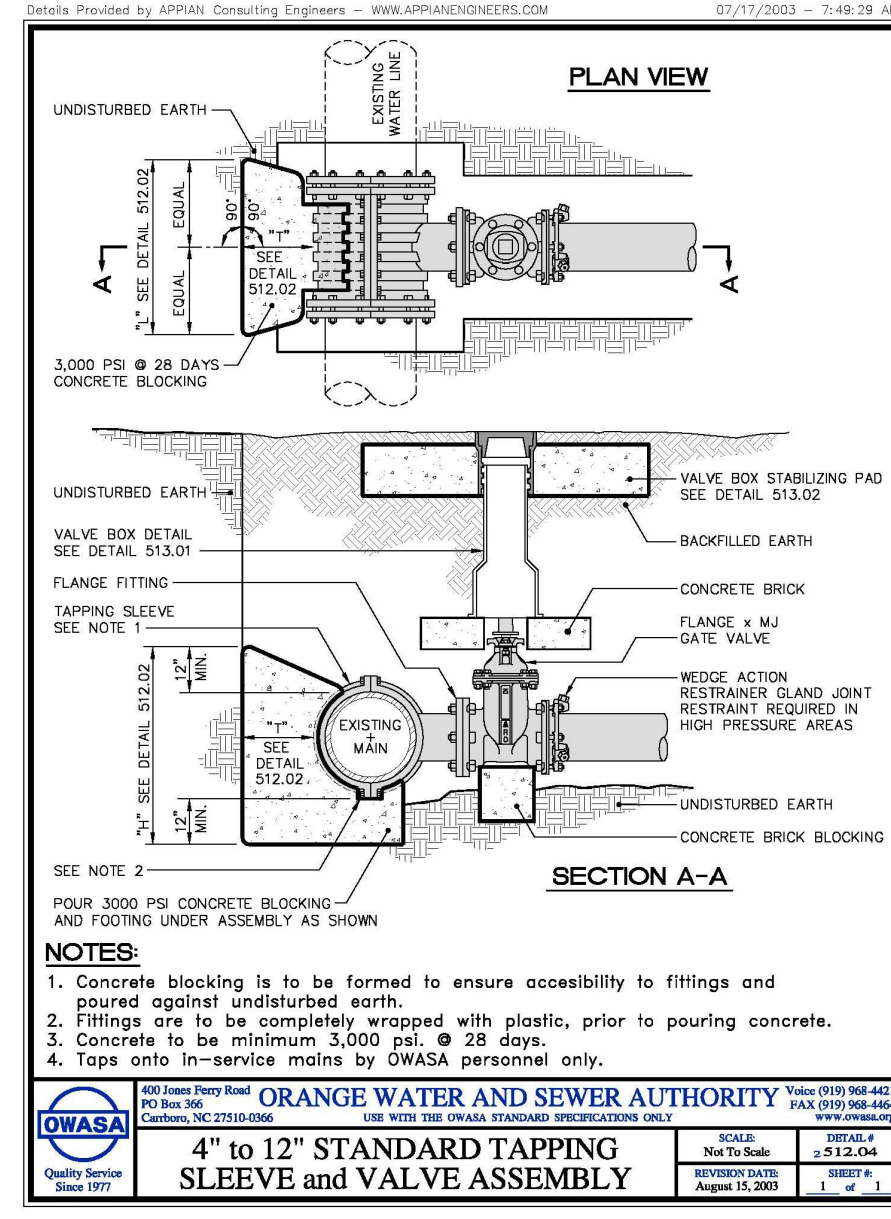
5 VALVE BOX
C-8.3 no scale



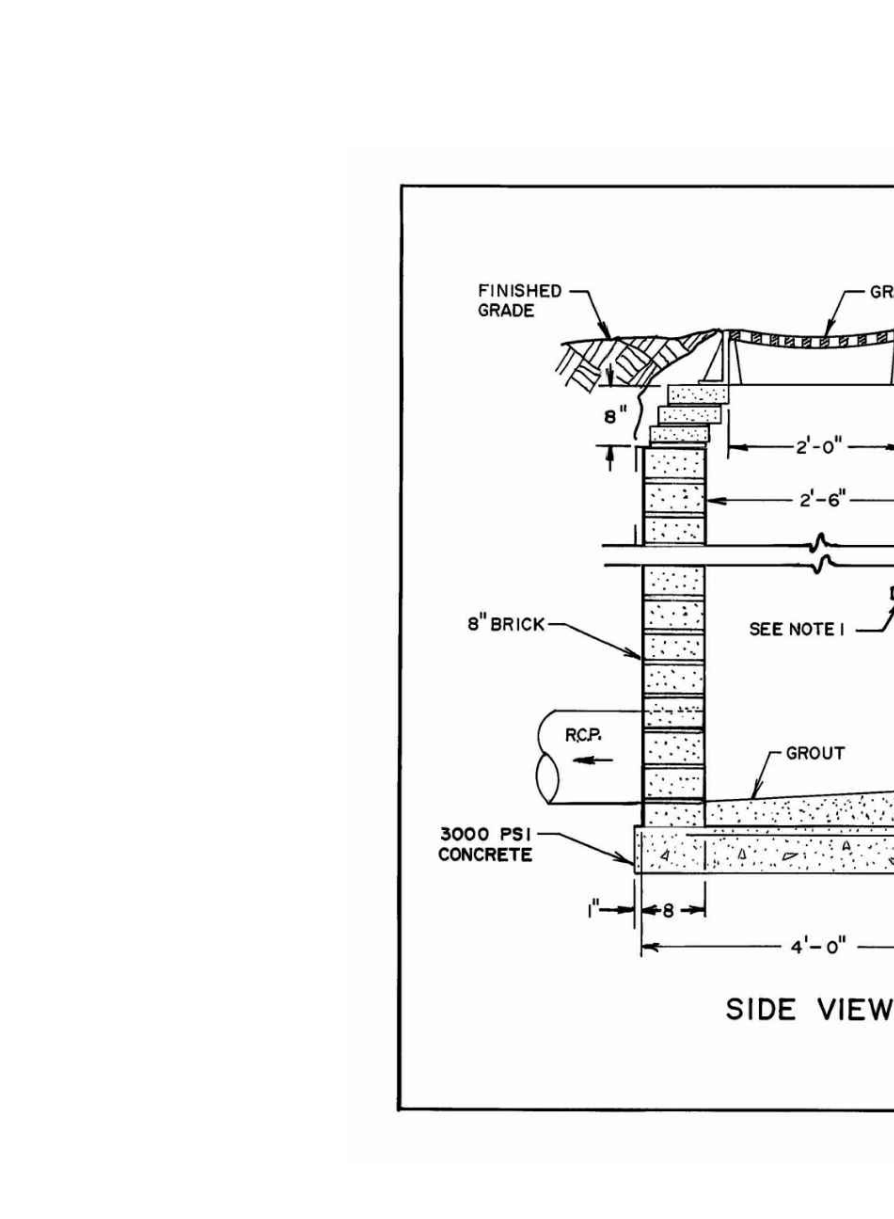
6 BLOCKING (1 OF 4)
C-8.3 no scale



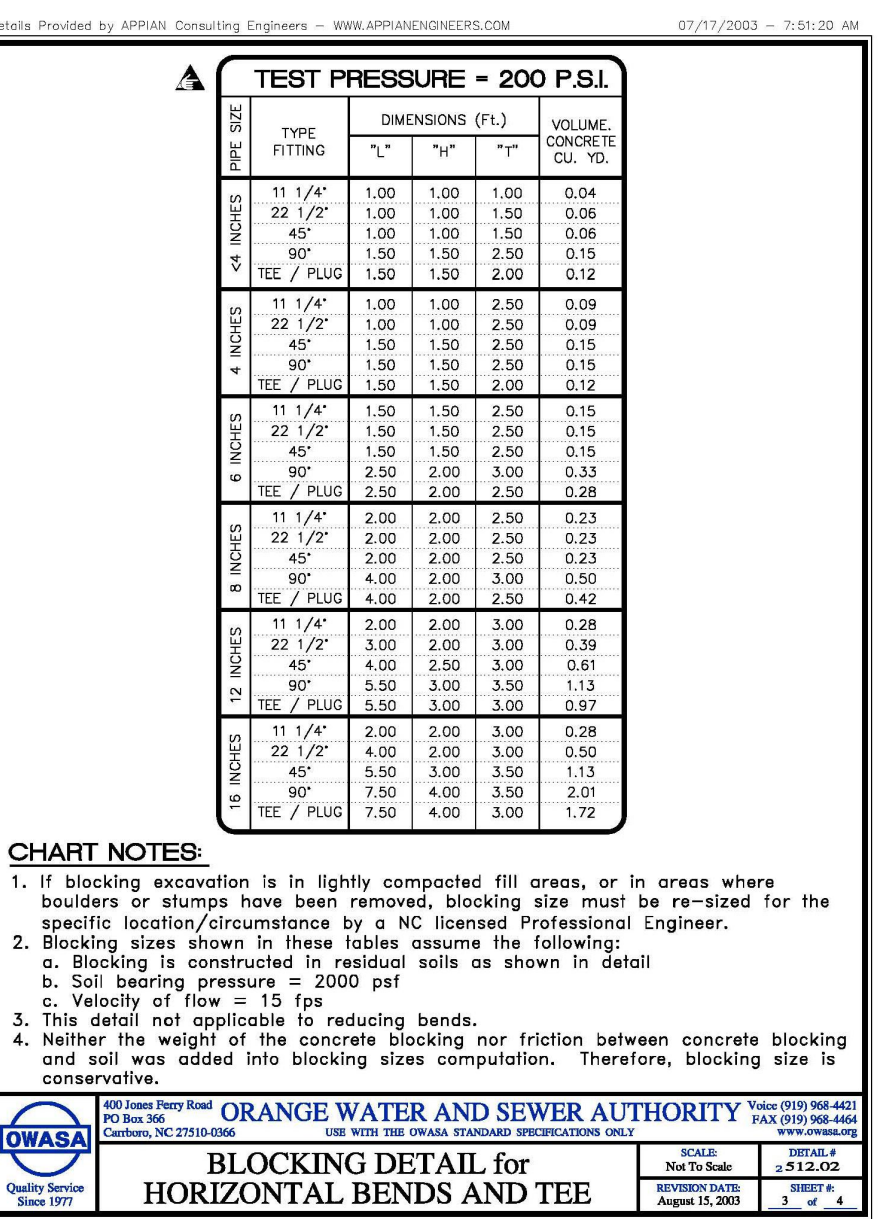
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C-8.3 no scale



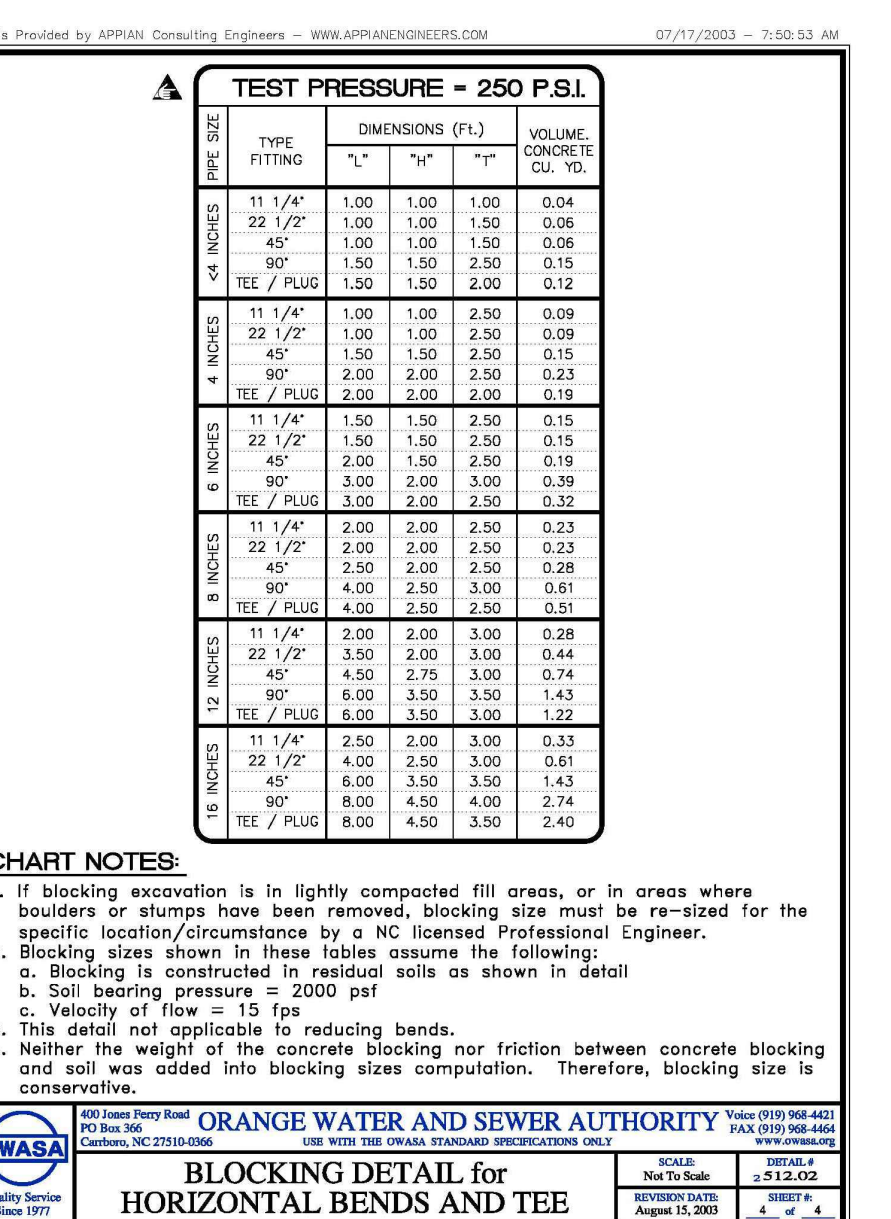
8 TAPPING SLEEVE AND VALVE
C-8.3 no scale



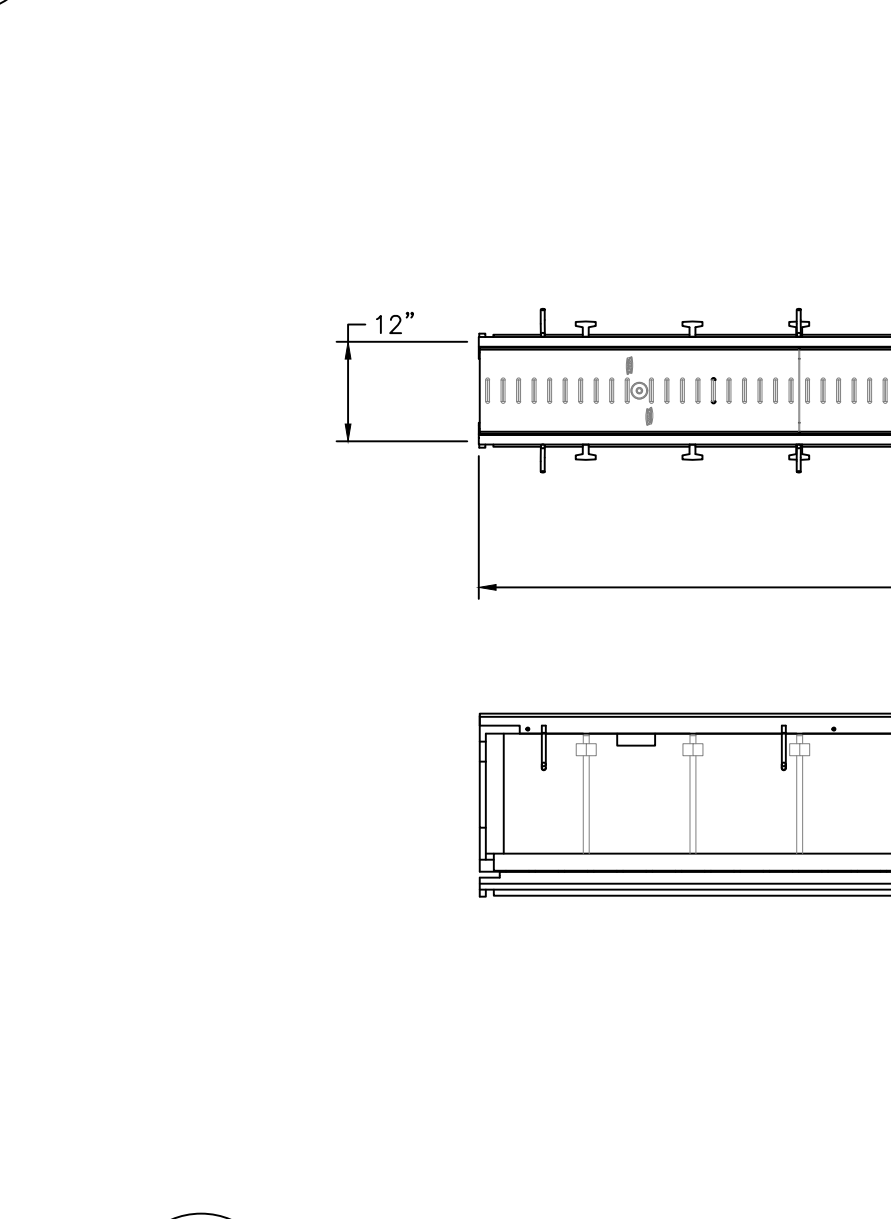
9 DROP INLET
C-8.3 no scale



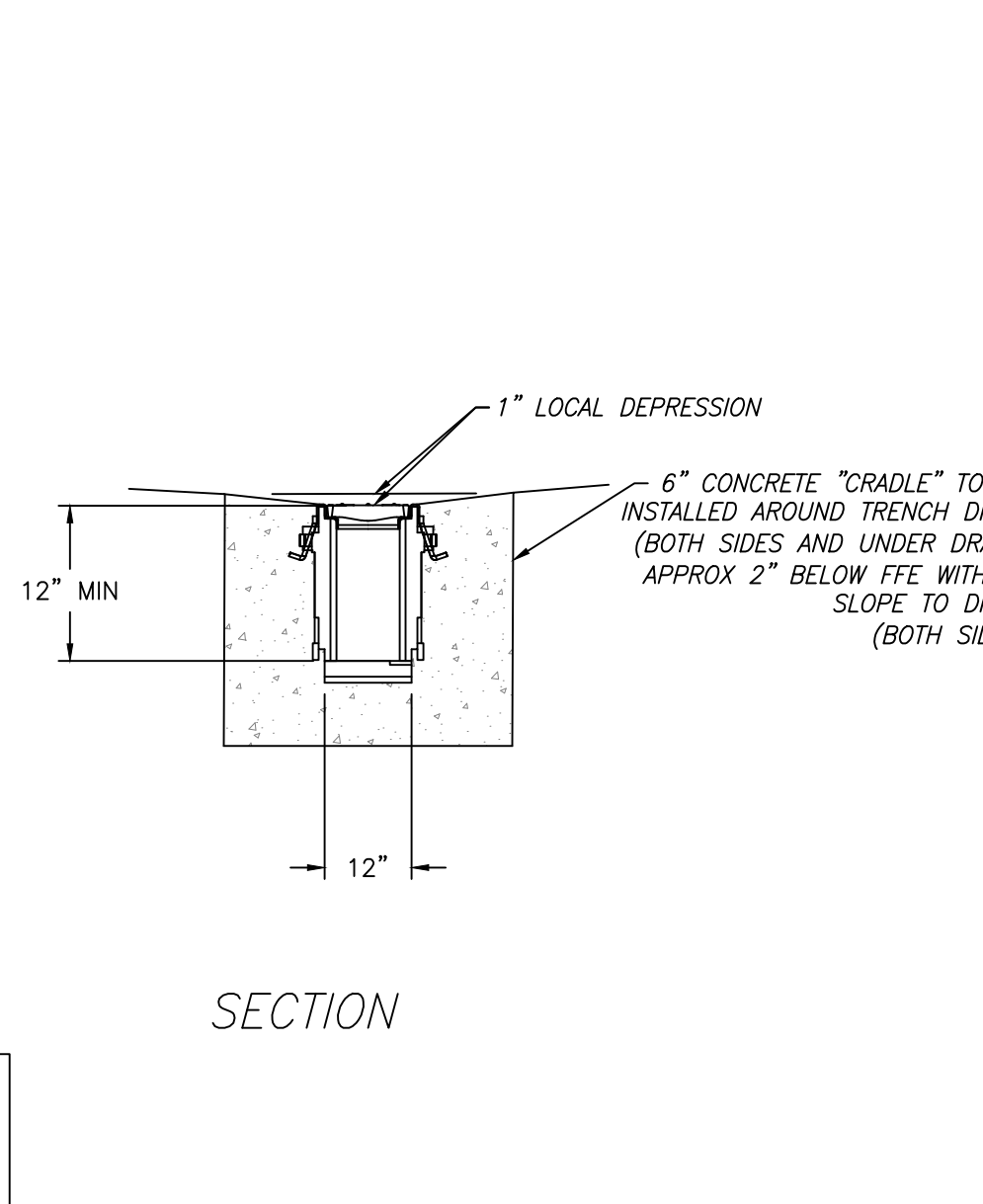
10 BLOCKING (3 OF 4)
C-8.3 no scale



11 BLOCKING (4 OF 4)
C-8.3 no scale



12 TRENCH DRAIN
C-8.3 no scale



13 SECTION
C-8.3 no scale

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 Site Revisions

Zoning Compliance Permit

Sheet Title:

SITE DETAILS

Sheet Number

C-8.3

STANDARD SEWER INVERT PLANS FOR MANHOLE

NOTES:

- Benches shall be sloped at 1/2 inch per foot (4 percent). Inverts shall be 3/4 the height of crown for outlet pipe and uniformly shaped to match outlet pipe.
- Precast inverts are not permitted.
- Radius of invert must have enough room to be able to insert air plugs and TV equipment.

ORANGE WATER AND SEWER AUTHORITY
 400 Jones Ferry Road
 PO Box 366
 Carboro, NC 27510-0366
 Voice (919) 968-4421
 FAX (919) 968-4464
 WWW.OWASA.ORG

SCALE: Not To Scale
 DETAIL # 532.02
 SHEET # 1 OF 1
 REVISION DATE: December 4, 2009

1 MANHOLE INVERT
 C-8.4 no scale

INFI-SHIELD EXTERNAL SEALING DETAIL

INSTALLATION NOTES:

- Clean casting frame, riser rings and cone section. Spray primer to areas where attaching non-hardening butyl mastic.
- Install the Infi-shield External Seal on the outside surface of the adjustment ring area covering all grade rings. Remove protective tape and fold back on to the structure.
- Using a rubber hammer, tap the sealing surface area.
- Ensure lid and casting is clean. Attach inspection tab to manhole lid and backfill.
- Contact Sealing Systems Inc. for additional installation instructions @ 800-478-2054.

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 WWW.OWASA.ORG

SCALE: Not To Scale
 DETAIL # 532.09
 SHEET # 1 OF 1
 REVISION DATE: April 13, 2007

2 MANHOLE SEAL
 C-8.4 no scale

SANITARY SEWER MANHOLE FRAME AND COVER

APPROVED MODELS	EAST JORDAN IRON WORKS V-1354	US FOUNDRY USF-669	CAPITOL FOUNDRY MH-2001
COVER WEIGHT	135 Lbs.	125 Lbs.	120 Lbs.
FRAME WEIGHT	180 Lbs.	190 Lbs.	190 Lbs.
LOAD RATING	HEAVY DUTY	HEAVY DUTY	HEAVY DUTY
MATERIAL	ASTM A 48 CLASS 35B	ASTM A 48 CLASS 35B	ASTM A 48 CLASS 35B
FINISH	UNCOATED	UNCOATED	UNCOATED

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 PO Box 366
 Carboro, NC 27510-0366
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SCALE: Not To Scale
 DETAIL # 533.01
 SHEET # 1 OF 1
 REVISION DATE: April 13, 2007

3 FRAME AND COVER
 C-8.4 no scale

DRIVEWAY SECTIONS

5 C-8.4 no scale

PRECAST CONCRETE DOGHOUSE MANHOLE

NOTES:

- Set doghouse base on concrete blocks. Doghouse opening shall be performed by manufacturer or saw cut to fit pipe outside diameter plus 6".
- Fill doghouse opening to flow a min. 1'-0" beyond base of structure.
- Contractor to apply water proofing sealant at joint.
- 8" min. cast-in place base.

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 WWW.OWASA.ORG

SCALE: Not To Scale
 DETAIL # 532.08
 SHEET # 2 OF 2
 REVISION DATE: April 13, 2007

4 DOGHOUSE MANHOLE
 C-8.4 no scale

GREASE INTERCEPTOR AND OIL SAND SEPARATION DETAIL

NOTES:

- All service laterals into manhole to be core drilled and booted.
- Maximum depth 4' dia. manhole = 10' (see specifications). Use 5' dia. manhole for depth greater than 10'.

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SCALE: Not To Scale
 DETAIL # 532.08
 SHEET # 2 OF 2
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7 GREASE TRAP
 C-8.4 no scale

STORM JUNCTION BOX

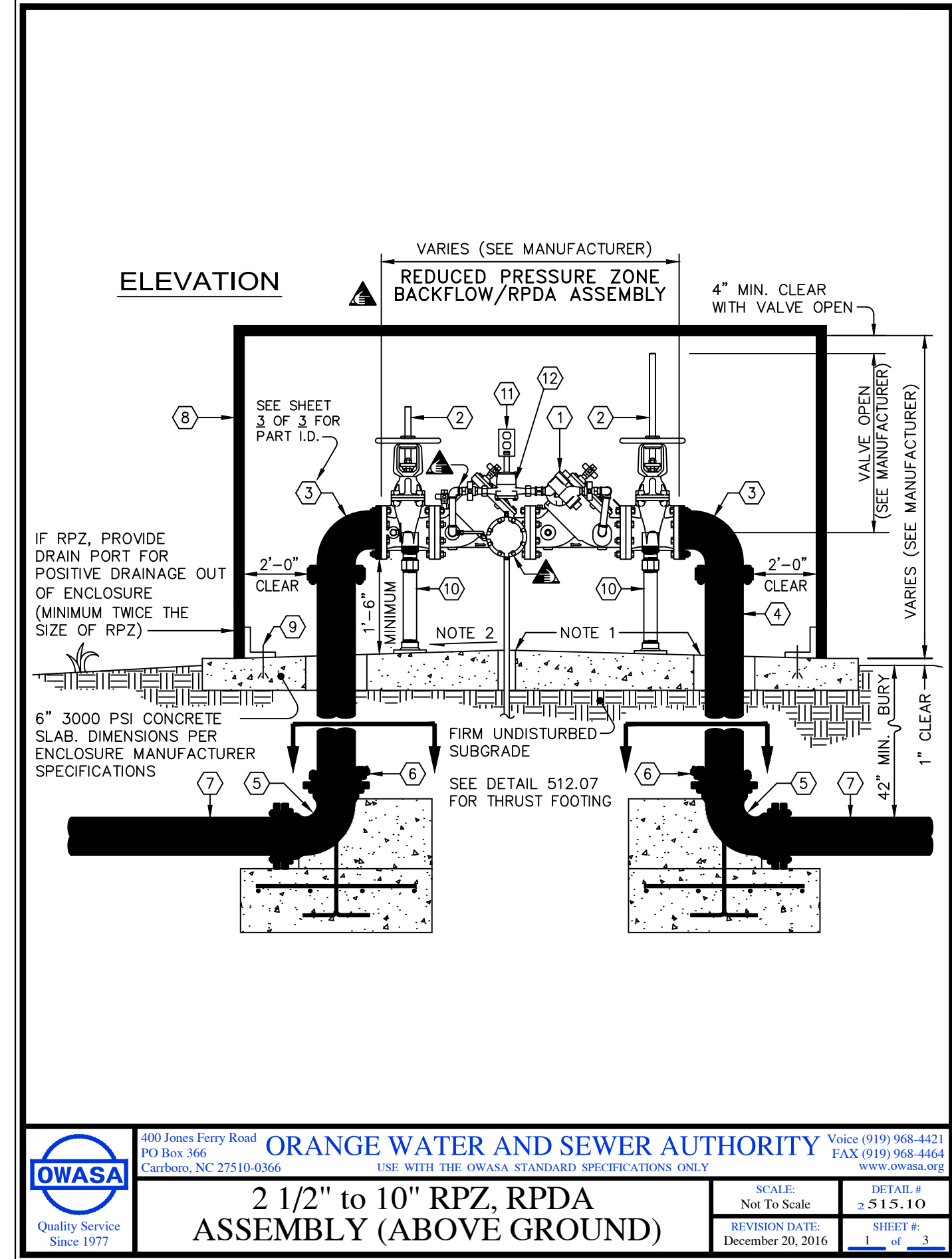
NOTES:

- Size and dimensions to be determined by NCFE and approved by OWASA.
- Concrete to be a minimum of 4,000 PSI @ 28 days.
- Reinforcing to comply with 9-20 detailing.
- See OWASA Std. detail 531.01 for pipe bedding and trenching.
- Third manhole required on grease traps of 1000 gallons or larger.

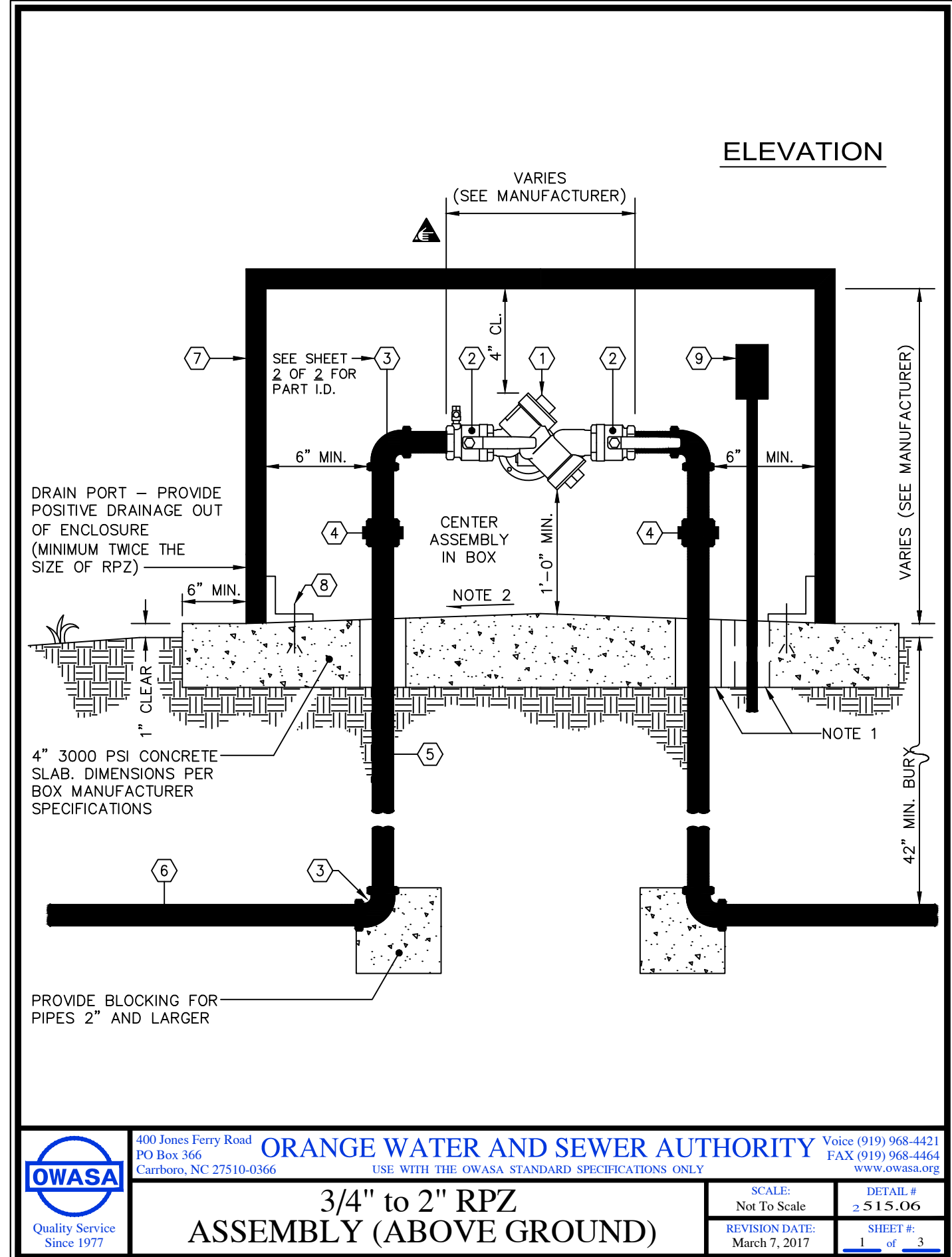
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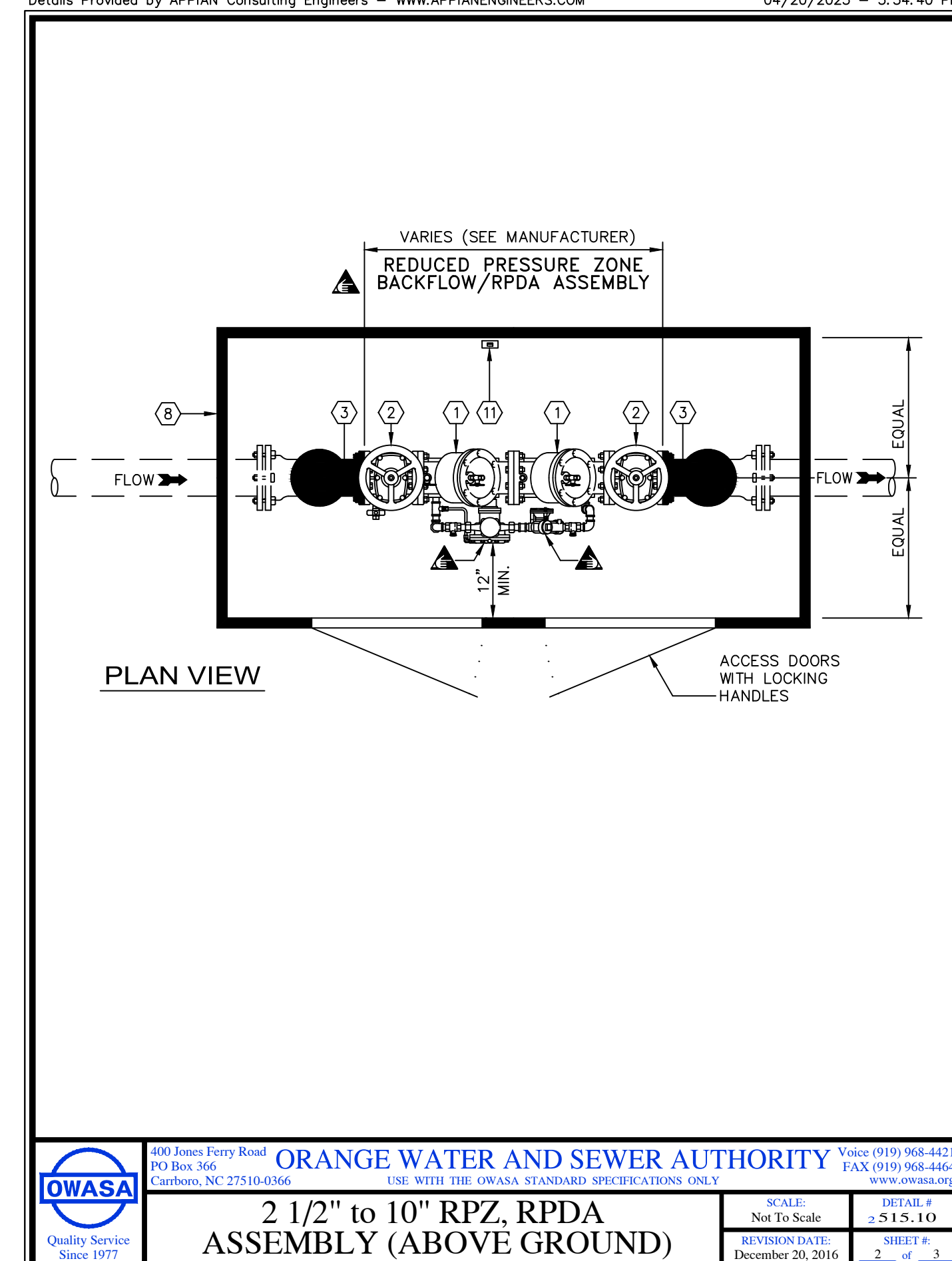
6 STORM JUNCTION BOX
 C-8.4 no scale



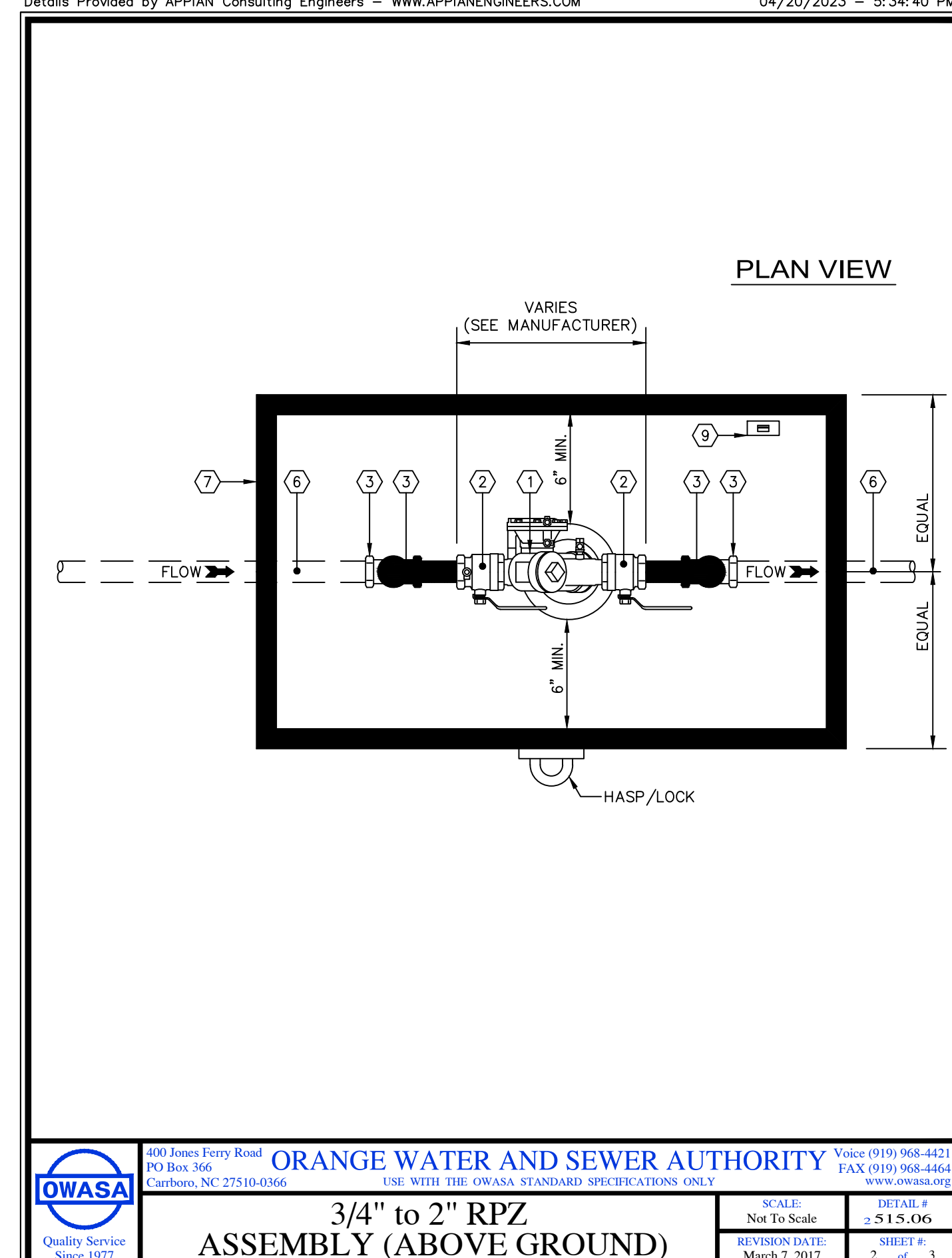
1 RPDA
C-8.5 no scale



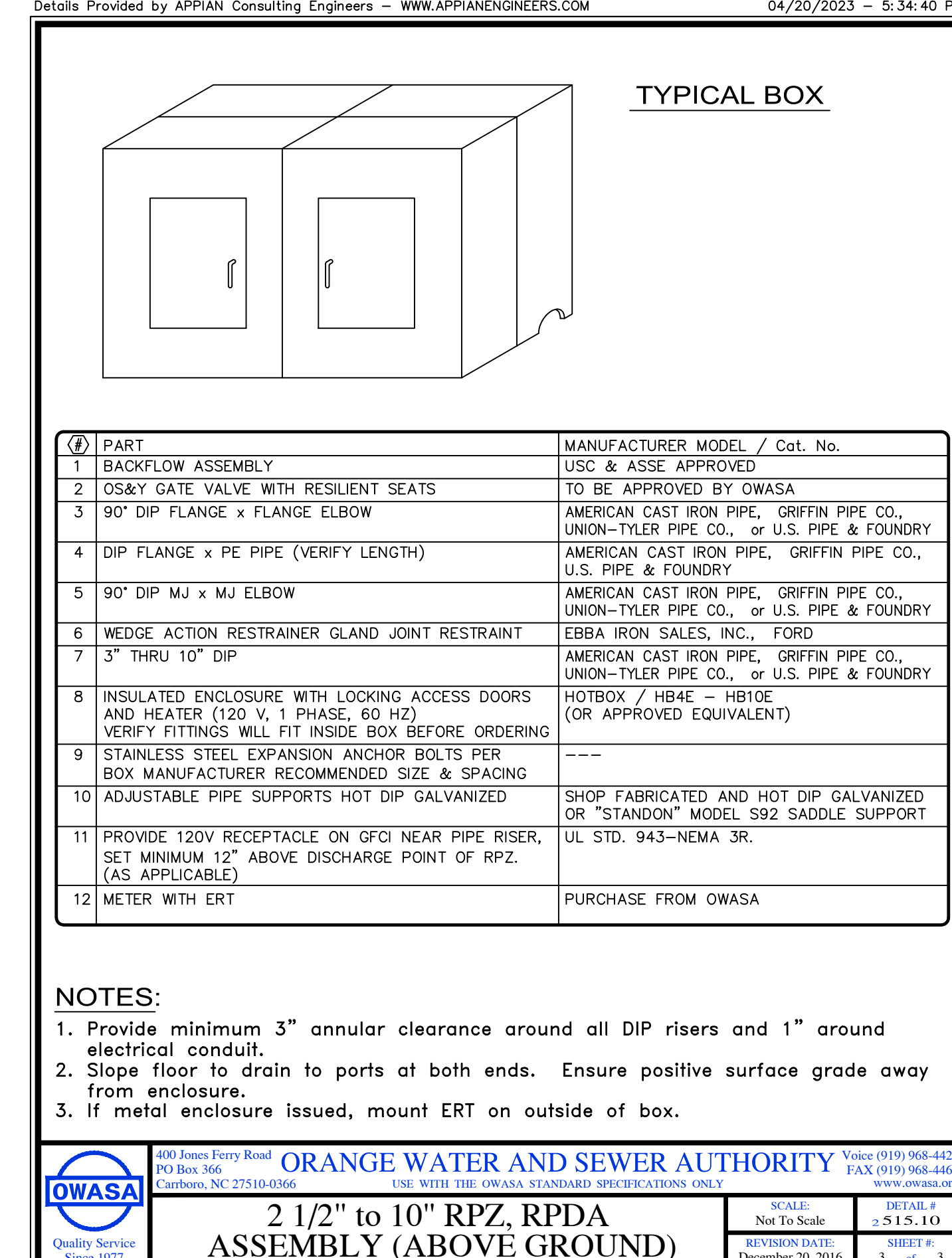
2 RPZ
C-8.5 no scale



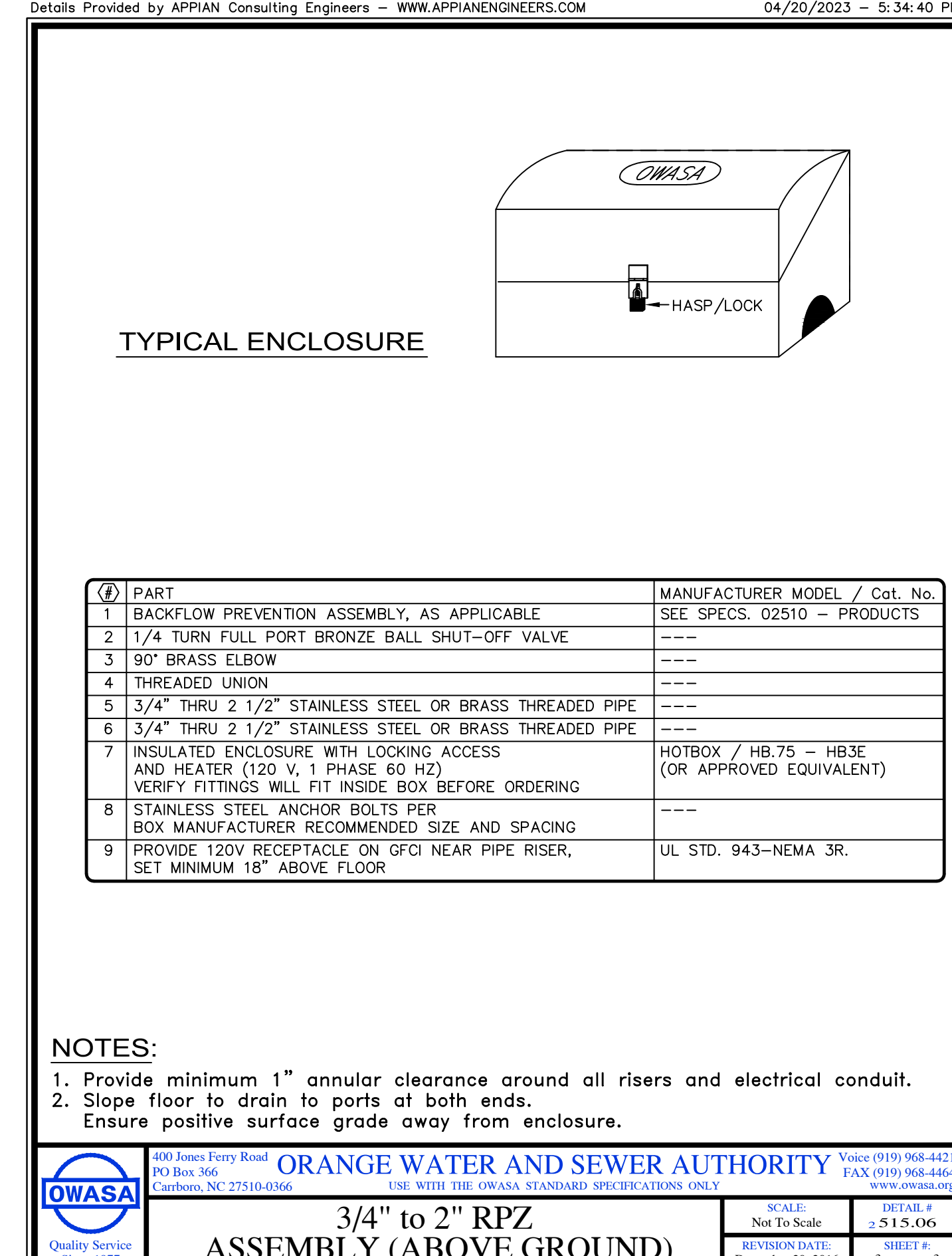
2 1/2" to 10" RPDA
C-8.5 no scale



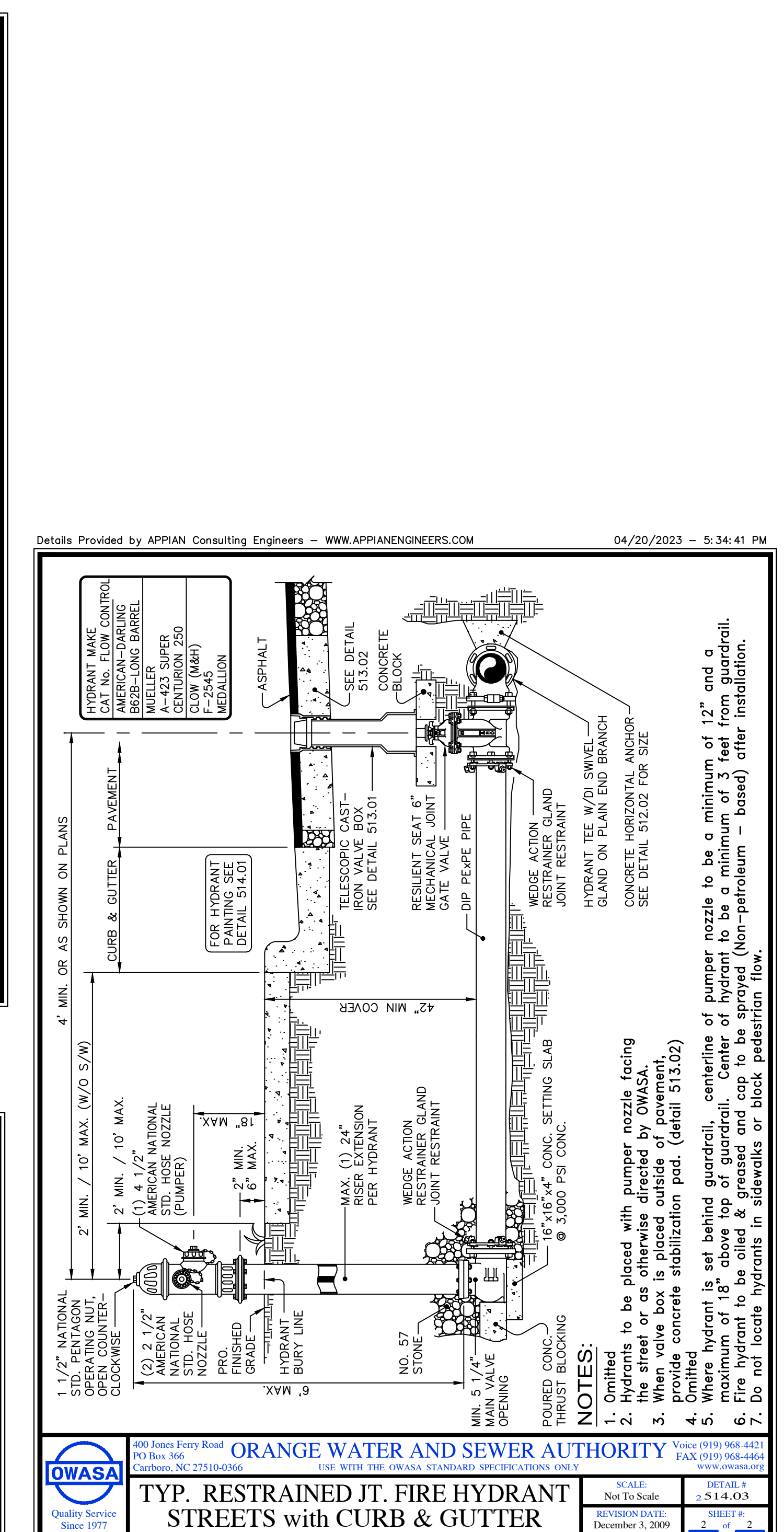
3/4" to 2" RPZ
C-8.5 no scale



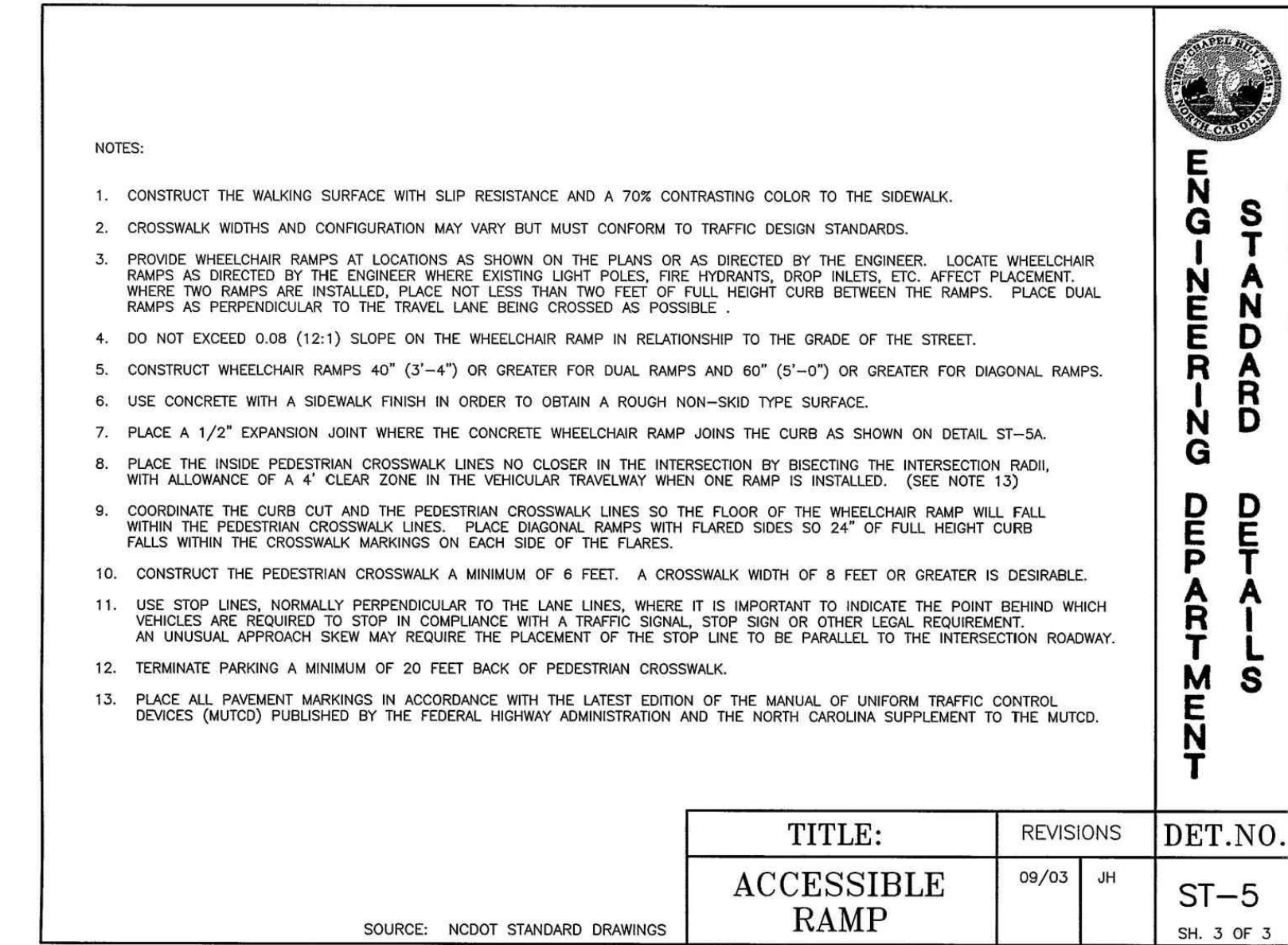
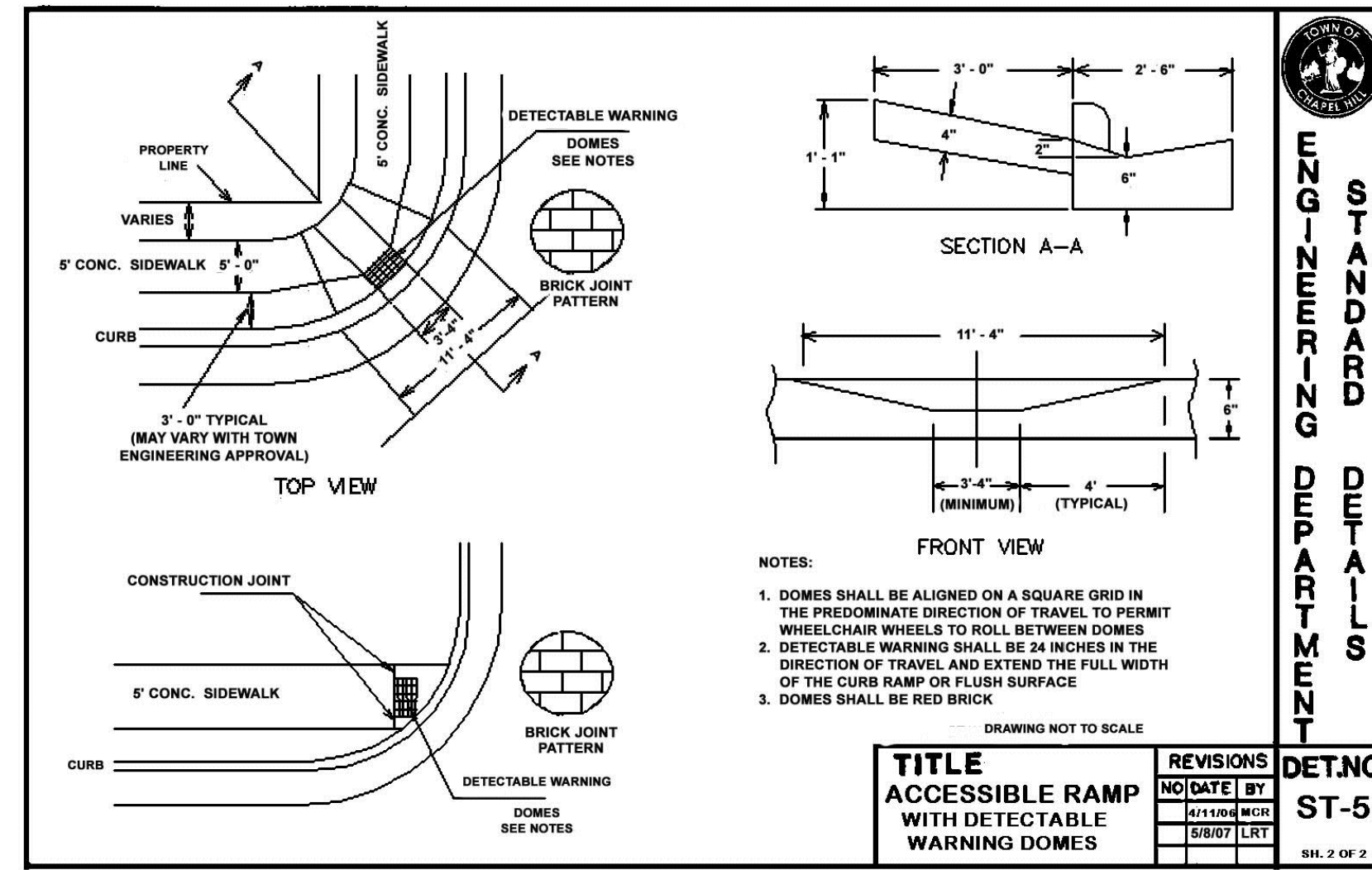
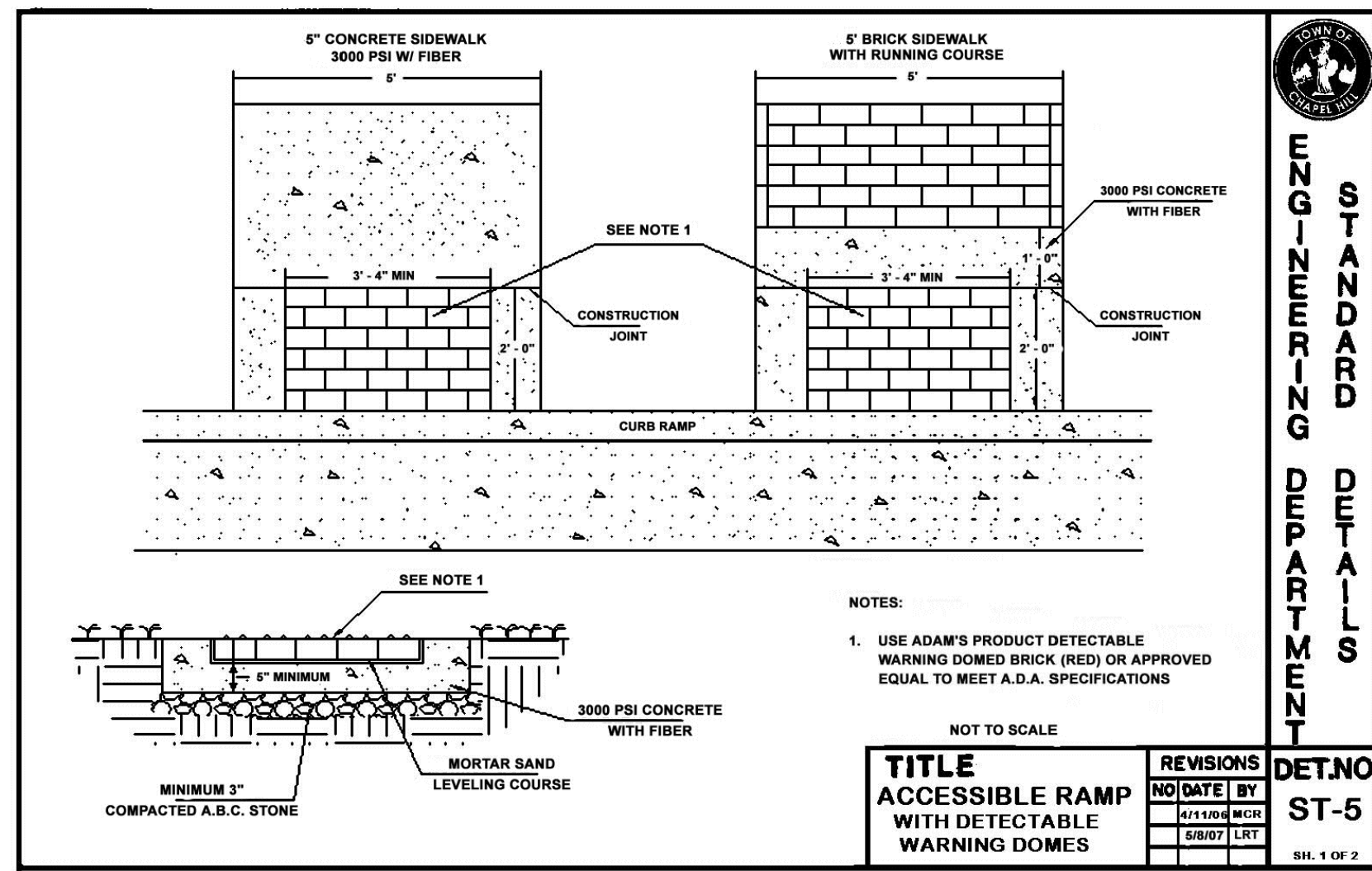
2 1/2" to 10" RPDA
C-8.5 no scale



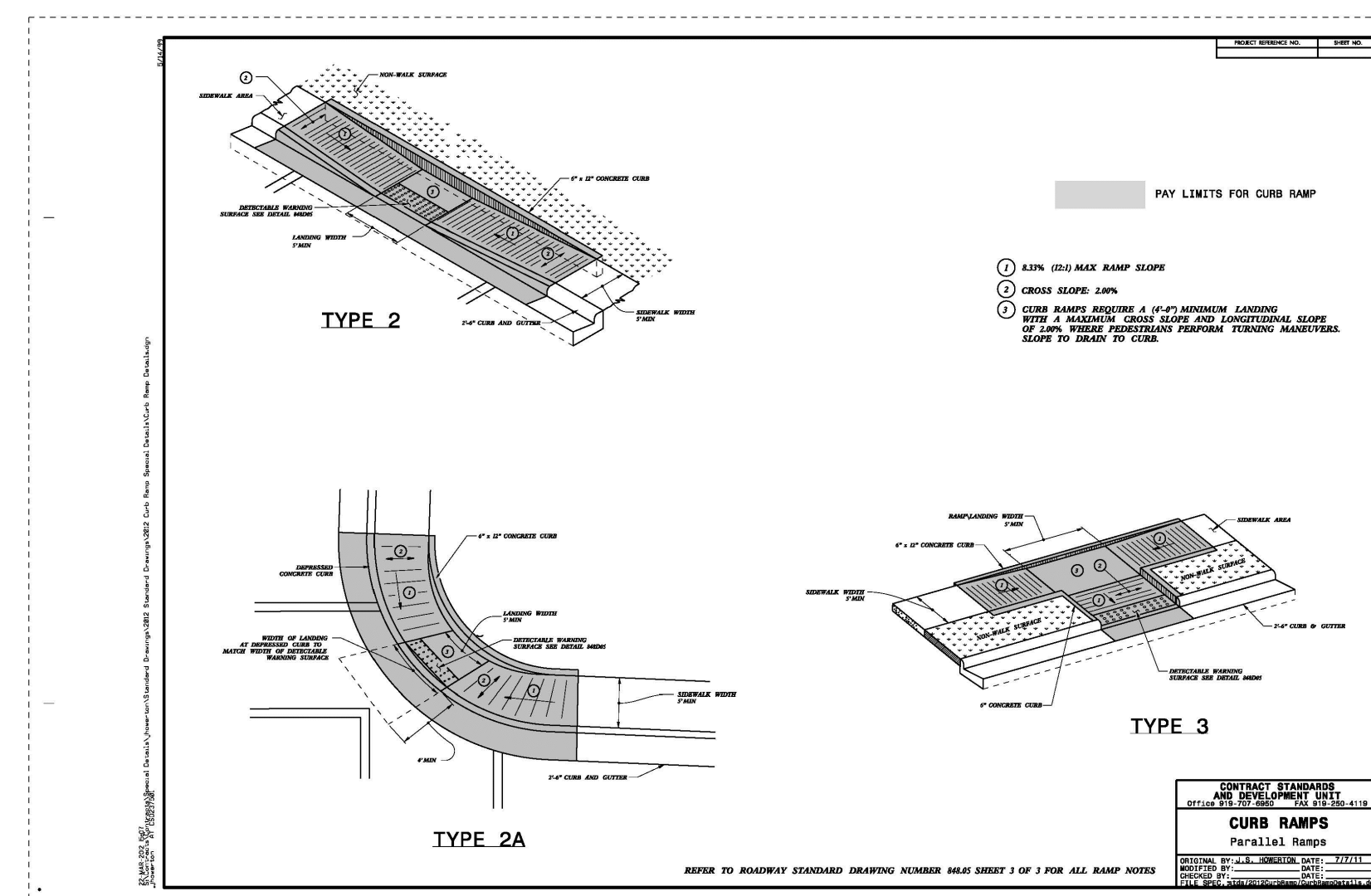
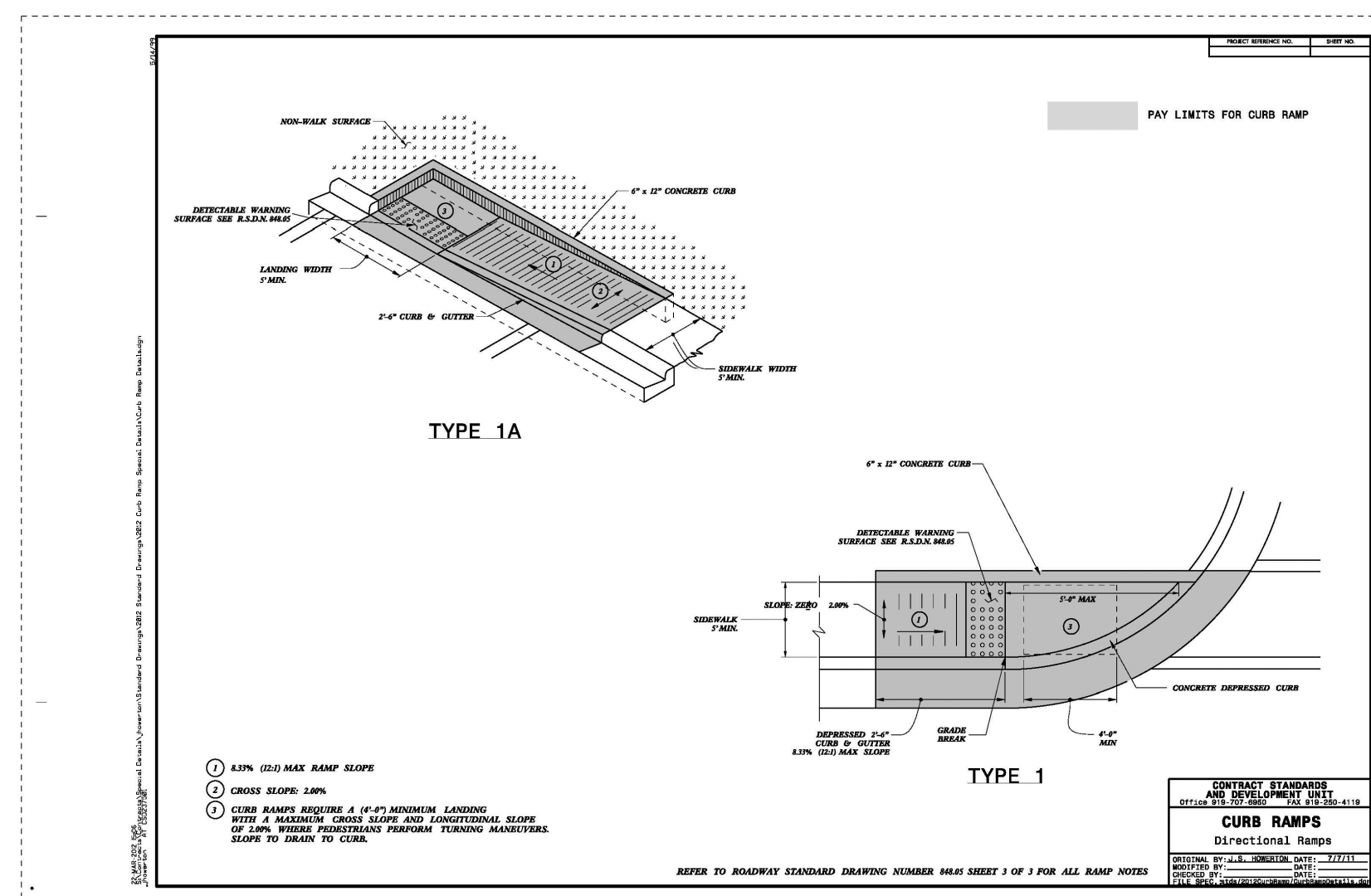
3/4" to 2" RPZ
C-8.5 no scale



3 FIRE HYDRANT
C-8.5 no scale



1 TOWN CURB RAMP DETAILS
 C-8.6 no scale



2 NCDOT CURB RAMP DETAILS
 C-8.6 no scale

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 Sheet Number:
C-8.6