

PRELIMINARY NOT FOR CONSTRUCTION	THOMAS HUTTON INCORPORATED 2100 HEMLOCK ROAD DUNWOODY, GA 30328 www.thomashutton.com	GENERAL NOTES, INDEX, AND LEGEND	HOMESTEAD GARDENS	PROJECT LOCATION: 2200 Homestead Road Dorset Hill, NC	CLIENT: Self-Help Veterans Fund 301 West King Street Apt. 100 Apt. Tucker Barlett															
<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 20%;">DATE:</td> <td>10/11/2011</td> <td style="width: 20%;">DRAWN BY:</td> <td>MMW</td> <td style="width: 20%;">CHECKED BY:</td> <td>MMW</td> <td style="width: 20%;">SCALE:</td> <td>AS SHOWN</td> </tr> <tr> <td>DATE:</td> <td>10/11/2011</td> <td>DRAWN BY:</td> <td>MMW</td> <td>CHECKED BY:</td> <td>MMW</td> <td>SCALE:</td> <td>AS SHOWN</td> </tr> </table>					DATE:	10/11/2011	DRAWN BY:	MMW	CHECKED BY:	MMW	SCALE:	AS SHOWN	DATE:	10/11/2011	DRAWN BY:	MMW	CHECKED BY:	MMW	SCALE:	AS SHOWN
DATE:	10/11/2011	DRAWN BY:	MMW	CHECKED BY:	MMW	SCALE:	AS SHOWN													
DATE:	10/11/2011	DRAWN BY:	MMW	CHECKED BY:	MMW	SCALE:	AS SHOWN													

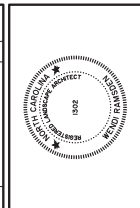
Sheet Number	Sheet Title	Sheet Title
C0	COVER SHEET	
C0.1	GENERAL NOTES, INDEX, & LEGEND	
D1.1	EXISTING CONDITIONS & DEMOLITION PLAN	
C1.1	SITE PLAN - OVERALL	
C1.2	SITE PLAN - SOUTH	
C1.3	SITE PLAN - CENTER	
C1.4	SITE PLAN - NORTH	
C1.5	SITE DETAILS	
C1.6	SITE DETAILS - FENCES AND WALLS	
C1.7	SITE DETAILS - TRAIL	
C2.1	WATER & SEWER PLAN - OVERALL	
C2.2	WATER & SEWER PLAN - SOUTH	
C2.3	WATER & SEWER PLAN - CENTER	
C2.4	WATER & SEWER PLAN - NORTH	
C2.5	SEWER DETAILS	
C2.6	SEWER DETAILS	
C2.7	WATER DETAILS	
C3.1	PAVING GRADING & DRAINAGE - OVERALL	
C3.2	PAVING GRADING & DRAINAGE - SOUTH	
C3.3	PAVING GRADING & DRAINAGE - CENTER	
C3.4	PAVING GRADING & DRAINAGE - NORTH	
C3.5	DRAINAGE DETAILS	
L1.1	LANDSCAPE PLAN - OVERALL	
L1.2	LANDSCAPE PLAN - SOUTH	
L1.3	LANDSCAPE PLAN - CENTER	
L1.4	LANDSCAPE PLAN - NORTH	
L1.5	LANDSCAPE CALCULATIONS	
L1.6	LANDSCAPE DETAILS	

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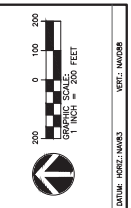
PRELIMINARY NOT FOR CONSTRUCTION	THOMAS HUTTON INCORPORATED 2100 HEMLOCK ROAD DUNWOODY, GA 30328 www.thomashutton.com	GENERAL NOTES, INDEX, AND LEGEND	HOMESTEAD GARDENS	PROJECT LOCATION: 2200 Homestead Road Dorset Hill, NC	CLIENT: Self-Help Veterans Fund 301 West King Street Apt. 100 Apt. Tucker Barlett

NO.	REVISIONS	BY	DATE

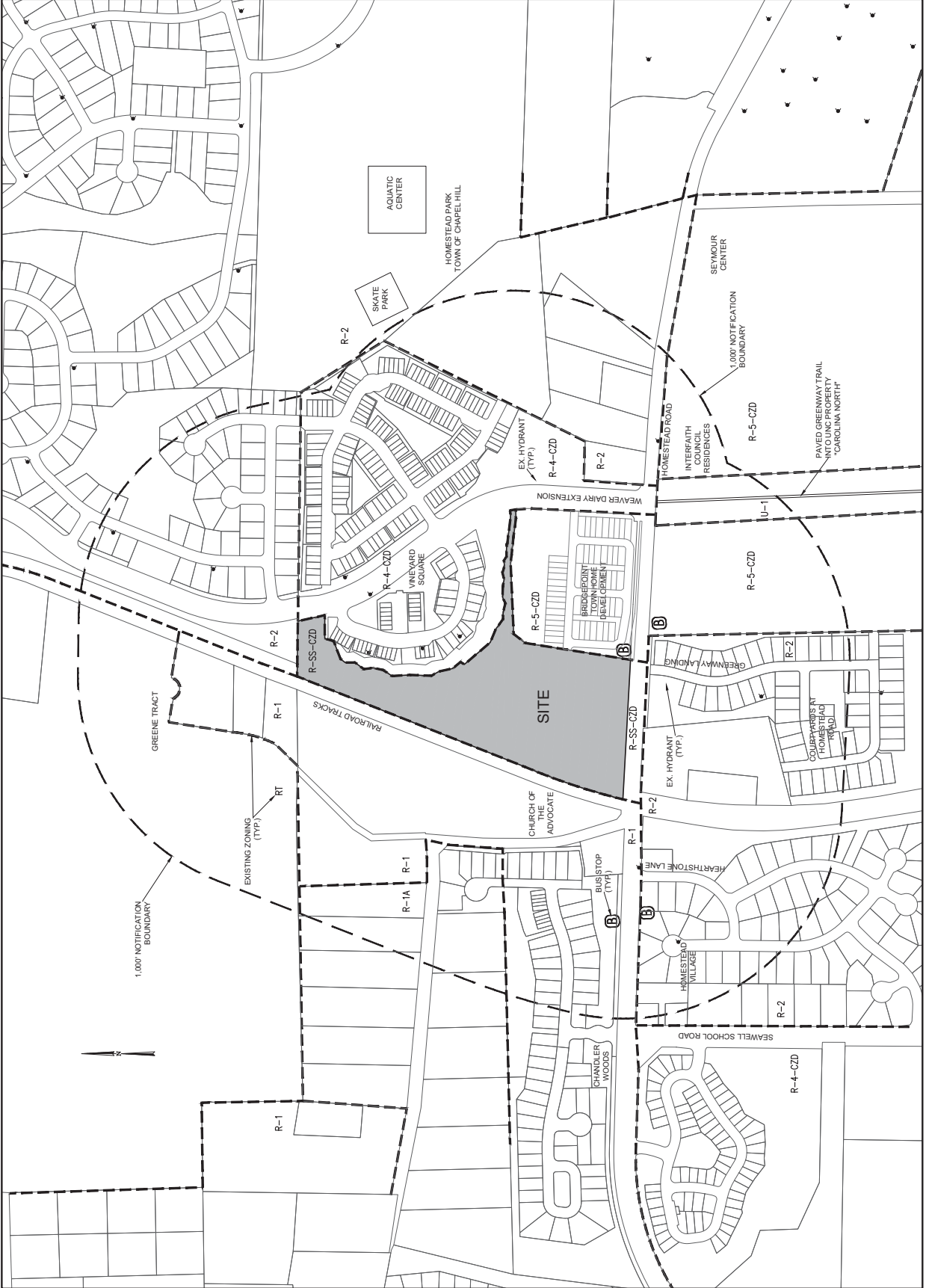


THOMAS HUTTON
 1100 West Main Street
 Chapel Hill, NC 27510
 www.thomashutton.com

AREA MAP
 HOMESTEAD GARDENS
 PROJECT LOCATION:
 2500 Homestead Road
 Chapel Hill, NC
 CLIENT:
 Seawell Venture Fund
 301 West Main Street
 Micro Tuxer Barlett



AM1.1
 DATE: 10/21/2015
 DRAWN: MJA/AMC
 CHECKED: MJA/AMC
 APPROVED: MJA/AMC
 SCALE: 1" = 200'



NO.	REVISIONS	BY	DATE
1	REVISED PER TYP COMMENTS	WJH	8.1.23

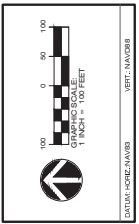


EXISTING CONDITIONS & DEMOLITION PLAN

HOMESTEAD GARDENS

PROJECT LOCATION:
2500 Homestead Road
Chapel Hill, NC

CLIENT:
Safaris Ventures Fund
301 West Main Street
Chapel Hill, NC 27514
Attn: Taylor Barlett



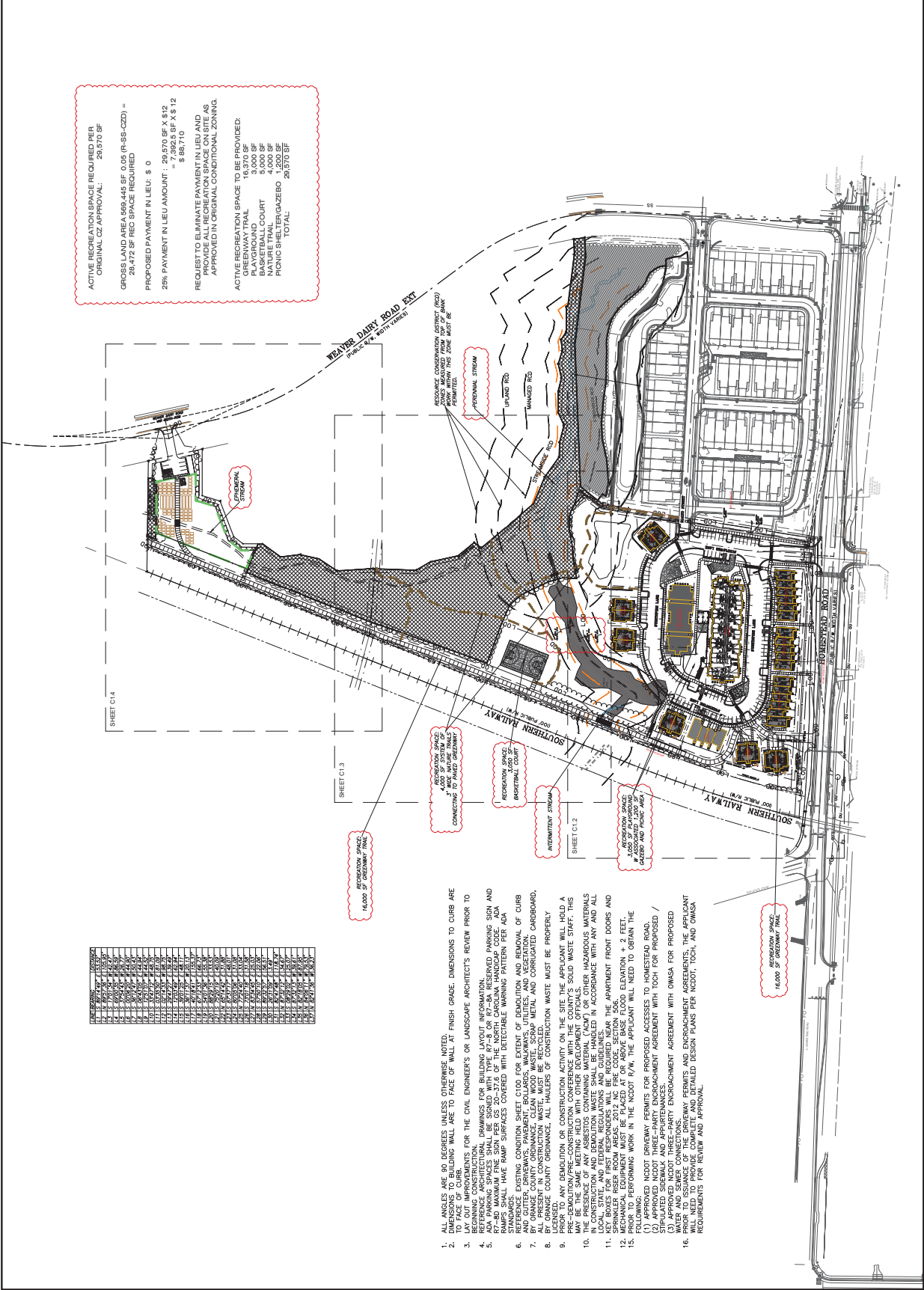
D1.1

DATE PLOTTED: 08/08/2023
DRAWN: WJH
CHECKED: WJH
APPROVED: WJH
SCALE: 1" = 100'

slope >25%
 total area on site of slope >25% = 14,464 sf
 total proposed disturbance = 4,050 sf (28.0%)

STEEP SLOPES CALCULATION





ACTIVE RECREATION SPACE REQUIRED PER ORIGINAL CZ APPROVAL: 29,970 SF
 GROSS LAND AREA 969,448 SF @ 0.05 (R-SS-CZD) = 28,472 SF RECREATION SPACE REQUIRED
 PROPOSED PAYMENT IN LIEU: \$ 0
 25% PAYMENT IN LIEU AMOUNT: 7,243.25 SF X \$ 12 = \$ 88,710

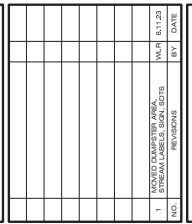
REQUEST TO ELIMINATE PAYMENT IN LIEU AND PROVIDE ALL RECREATION SPACE ON SITE AS APPROVED IN ORIGINAL CONDITIONAL ZONING.

ACTIVE RECREATION SPACE TO BE PROVIDED:
 PLAYGROUND 3,000 SF
 BASKETBALL COURT 5,000 SF
 PRONIC SHELTER/GAZEBO 1,200 SF
 TOTAL: 29,270 SF

NO.	DESCRIPTION	DATE	BY	DATE
1	INITIAL	11/15/23		
2	REVISED	11/15/23		
3	REVISED	11/15/23		
4	REVISED	11/15/23		
5	REVISED	11/15/23		
6	REVISED	11/15/23		
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100	REVISED	11/15/23		

1. ALL ANGLES ARE 90 DEGREES UNLESS OTHERWISE NOTED.
2. CONSTRUCTION SHALL BE TO FACE OF CURB.
3. LAY OUT IMPROVEMENTS FOR THE CIVIL ENGINEER'S OR LANDSCAPE ARCHITECT'S REVIEW PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
4. REFERENCE ARCHITECTURAL DRAWINGS FOR BUILDING LAYOUT INFORMATION.
5. ALL DRIVEWAYS SHALL BE CONFORMED WITH THE NATIONAL STANDARD HANDICAP PARKING AND RAMP DESIGN GUIDE, 2012 EDITION, CHAPTER 5, AND THE NATIONAL STANDARD HANDICAP PARKING AND RAMP DESIGN GUIDE, 2012 EDITION, CHAPTER 6.
6. REFERENCE EXISTING CONDITION SHEET C100 FOR EXTENT OF DEMOLITION AND REMOVAL OF CURB AND GUTTER, DRIVEWAYS, PAVEMENT BOLLARDS, MAILBOXES, UTILITIES, AND VEGETATION.
7. ALL PRESENT IN-CONSTRUCTION WASTE MUST BE RECYCLED.
8. ALL PRESENT IN-CONSTRUCTION WASTE MUST BE RECYCLED.
9. PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE THE APPLICANT WILL HOLD A MEETING WITH THE NC DOT TO DISCUSS THE WASTE MANAGEMENT PLAN FOR THE PROJECT.
10. THE PRESENCE OF ANY ASBESTOS CONTAINING MATERIAL (TCM) OR OTHER HAZARDOUS MATERIALS SHALL BE THE RESPONSIBILITY OF THE APPLICANT.
11. ALL MECHANICAL EQUIPMENT SHALL BE PLACED AT OR ABOVE BASE FLOOD ELEVATION + 2 FEET.
12. MECHANICAL EQUIPMENT MUST BE PLACED AT OR ABOVE BASE FLOOD ELEVATION + 2 FEET.
13. ALL MECHANICAL EQUIPMENT MUST BE PLACED AT OR ABOVE BASE FLOOD ELEVATION + 2 FEET.
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16. PRIOR TO OBTAINING THE NC DOT DRIVEWAY PERMITS AND ENCROACHMENT AGREEMENTS, THE APPLICANT WILL NEED TO PROVIDE COMPLETE AND DETAILED DESIGN PLANS PER NC DOT, TOCH, AND OWMSA REQUIREMENTS FOR REVIEW AND APPROVAL.

NO.	REVISIONS	BY	DATE
1	ISSUE FOR PERMITS, PLAN NOTES	WLR	8.1.23



SITE PLAN - SOUTH

HOMESTEAD GARDENS

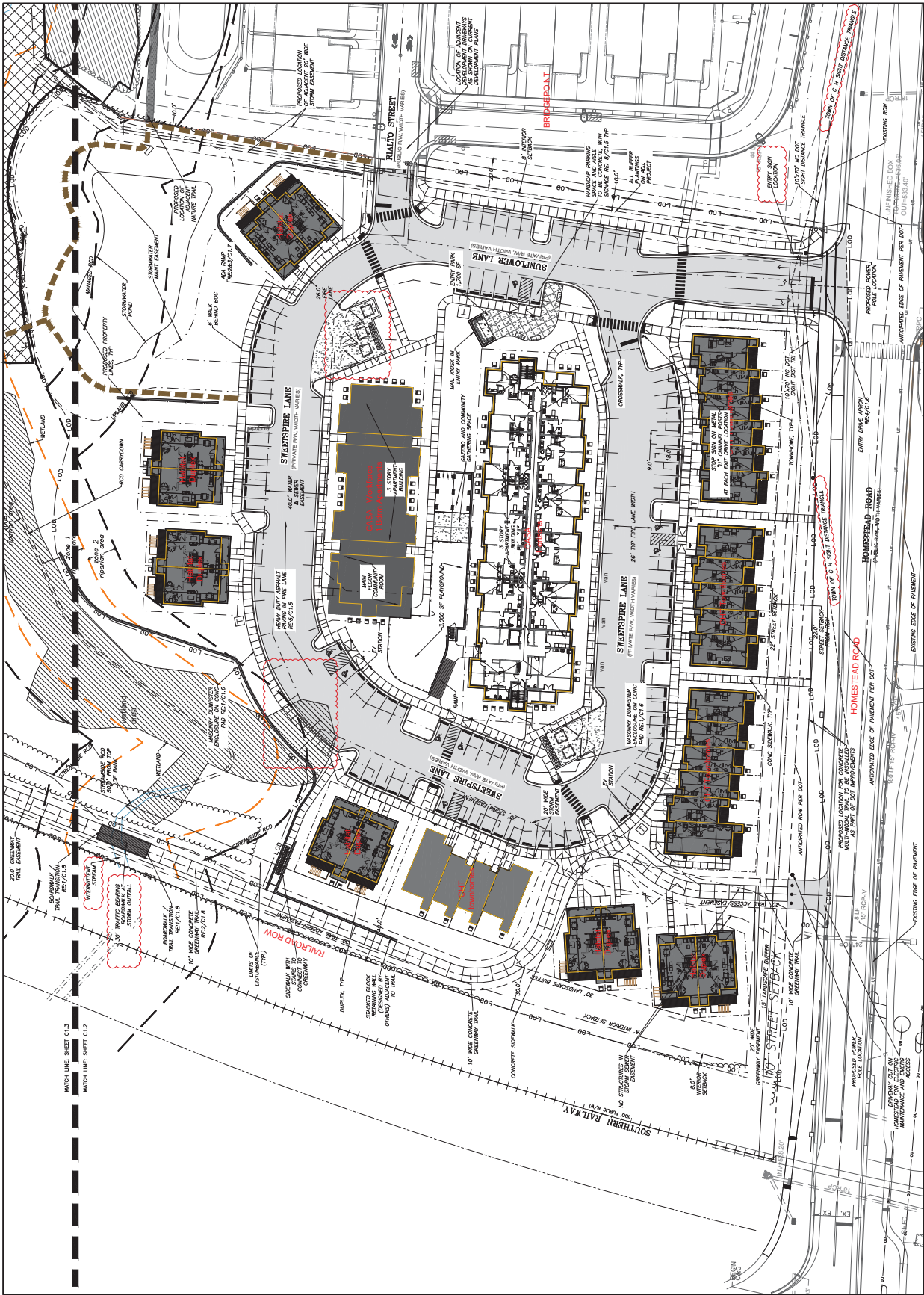
PROJECT LOCATION:
2500 Homestead Road
Chesler Hill, MD

CLIENT:
S&H&S Ventures Fund
301 West Main Street
Arlington, VA 22201

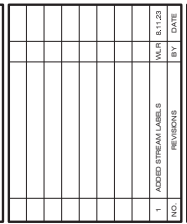
DATE: 8/1/23

SCALE: 1" = 30'

DATE: 8/1/23	VERT. HATCH:
SCALE: 1" = 30'	



NO.	REVISIONS	BY	DATE
1	ADDED STREAM LABELS	WLP	8.11.23

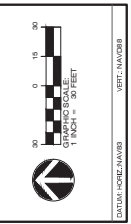


THOMAS HUTTON
 CIVIL ENGINEER
 2000 HUNTERS BLVD
 CHARLOTTE, NC 28203
 www.thomashutton.com

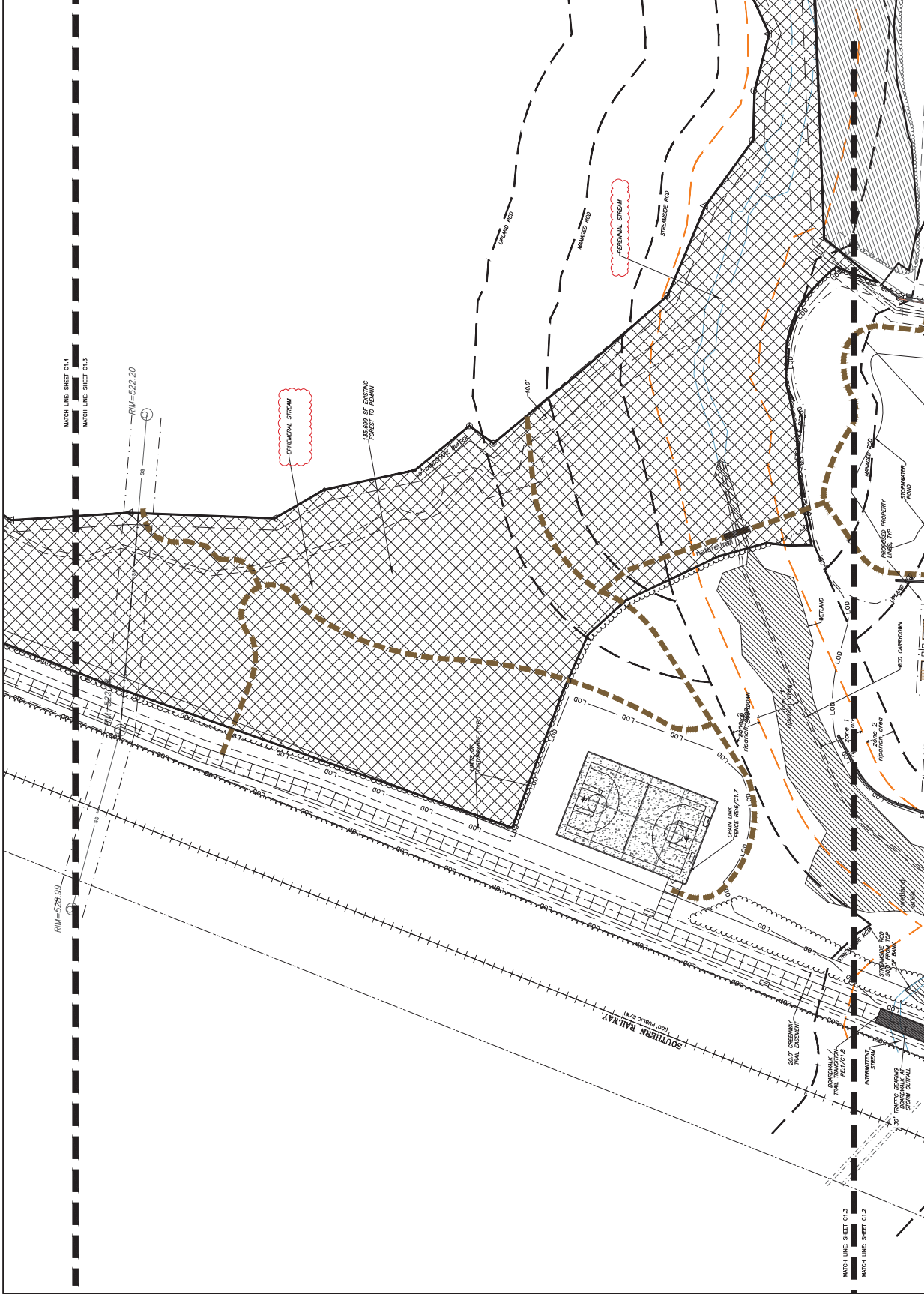
SITE PLAN - CENTER
HOMESTEAD GARDENS

PROJECT LOCATION:
 2000 Hunters Blvd
 Charlotte, NC

CLIENT:
 S&H Development Fund
 301 West Main Street
 Asheville, NC 28801



C1.3
 SCALE: 1" = 30'



NO.	REVISIONS	BY	DATE
1	ISSUED FOR PERMITS	WJH	8.1.23



THOMAS HUTTON
 ARCHITECTS & ENGINEERS
 2000 HAYWARD ROAD
 CHARLOTTE, NC 27203
 www.thomashutton.com

SITE PLAN - NORTH
HOMESTEAD GARDENS

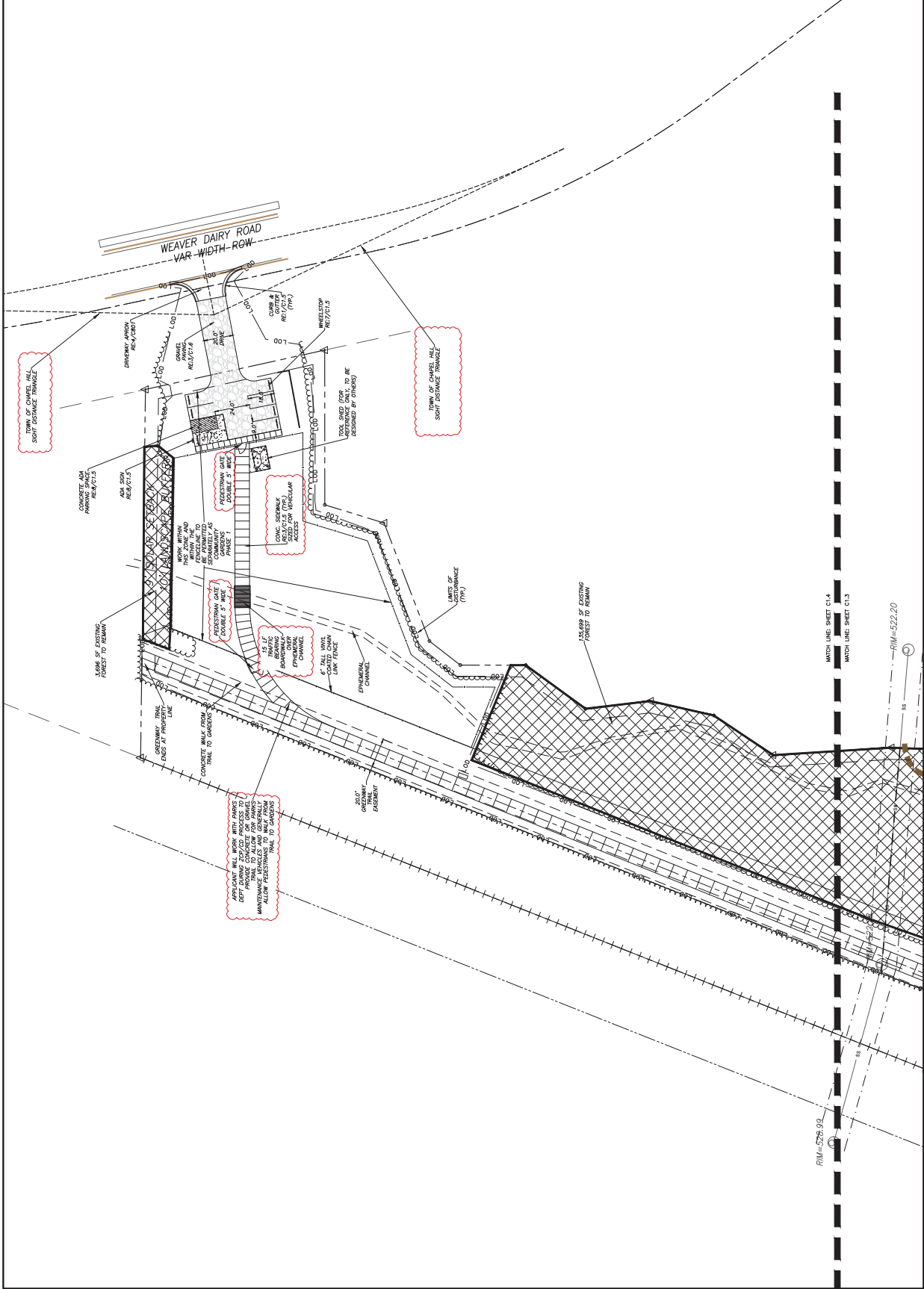
PROJECT LOCATION:
 2000 Haywood Road
 Charlotte, NC

CLIENT:
 S&H Holdings, LLC
 301 West Main Street
 Asheville, NC

C1.4

DATE: 08/01/2023
 TIME: 10:00 AM
 DRAWN: WJH
 CHECKED: WJH
 APPROVED: WJH

VERT. HORIZ. AND SCALE
 1" = 30'



THOMAS HUTTON	100 W. HARRIS STREET DURHAM, NC 27701 WWW.THOMASHUTTON.COM		SITE DETAILS - FENCES AND WALLS		HOMESTEAD GARDENS		C1.7
PROJECT LOCATION: 2000 Homestead Road Chapel Hill, NC				CLIENT: S&H&S Venture Fund 301 West Main Street Asheville, NC 28801		SCALE: N.T.S.	
REVISIONS:				DATE:		VERT. - HANDBE	
TITLE:				REVISIONS:			
DEF. NO.:							

ST-5.4

ACCESSIBLE RAMP

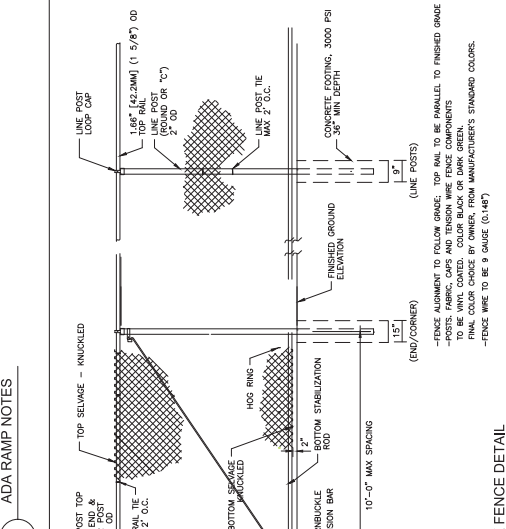
DEF. NO. ST-5.4

REVISIONS: 06/03/14

SOURCE: MOST STANDARD DETAILS

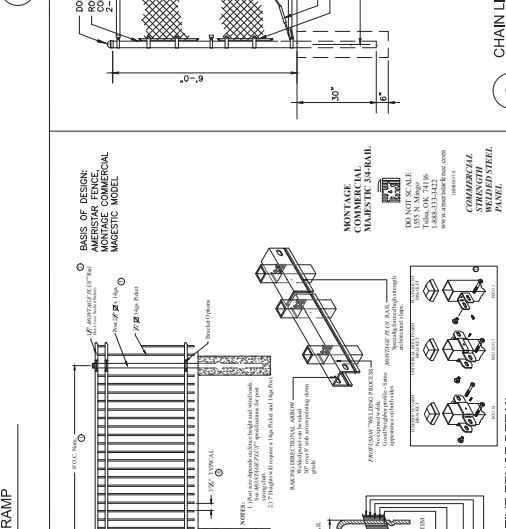
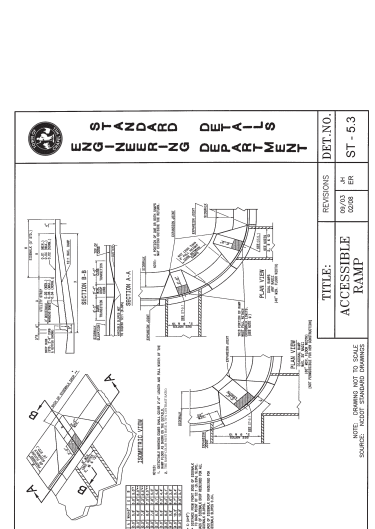
NOTES:

- CONSTRUCT THE WALKWAY SURFACE WITH S&P REINFORCEMENT AND A 1% CROSS-SLOPE TO THE SIDEWALK.
- CONCRETE WELLS AND CONCRETE CURBS SHALL BE 4" MINIMUM TO MATCH EXISTING SIDEWALKS.
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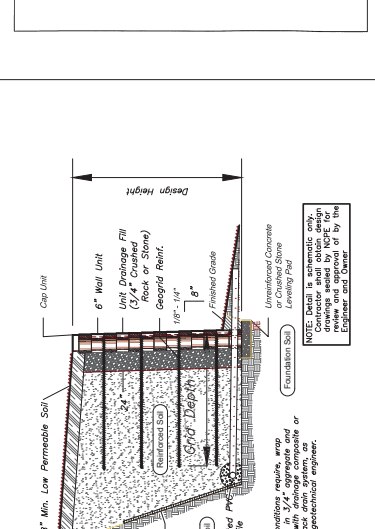
3 ADA RAMP NOTES

no scale



6 CHAIN LINK FENCE DETAIL

no scale



2 ADA RAMP

no scale



5 DECORATIVE FENCE DETAIL

no scale



1 SEGMENTAL BLOCK WALL CONCEPTUAL DETAIL

no scale



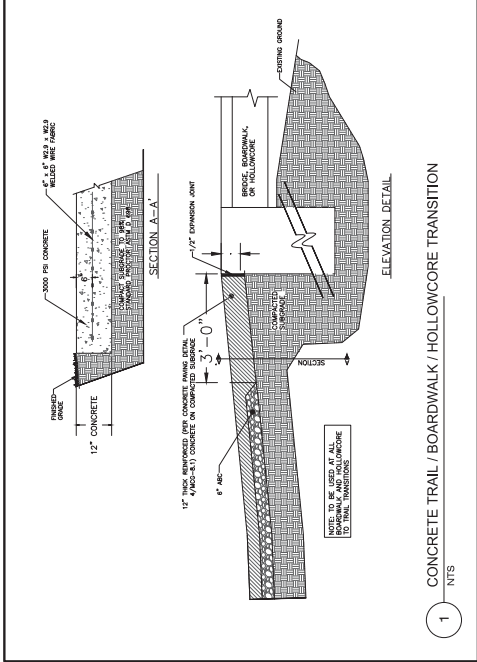
4 PRIVACY SCREEN FENCE DETAIL

no scale

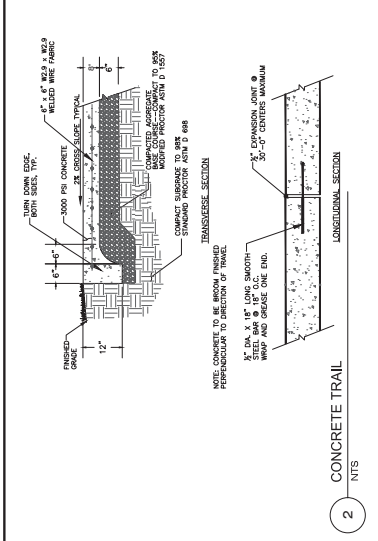


6 CHAIN LINK FENCE DETAIL

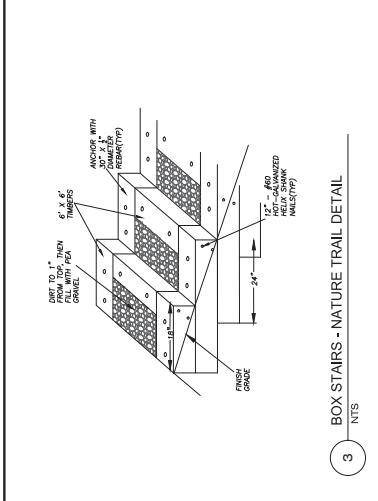
no scale



1
NTS



2
NTS



3
NTS

NO.	REVISIONS	BY	DATE



SITE DETAILS - TRAIL

HOMESTEAD GARDENS

PROJECT LOCATION:
2500 Homestead Road
Chapel Hill, NC

CLIENT:
Salem's Vineyard Fund
301 West Main Street
Attn: Taylor Barlett

DATE: 03/09/2000
 DRAWN: J.M. PALAZZO
 CHECKED: W. ELLIOTT
 APPROVED: M. L. ...
 SCALE: N.T.S.

C1.8

DATE: 03/09/2000

NO.	REVISIONS	BY	DATE
1	AS PER BEAVER NOTE #8	MMH	8.1.23

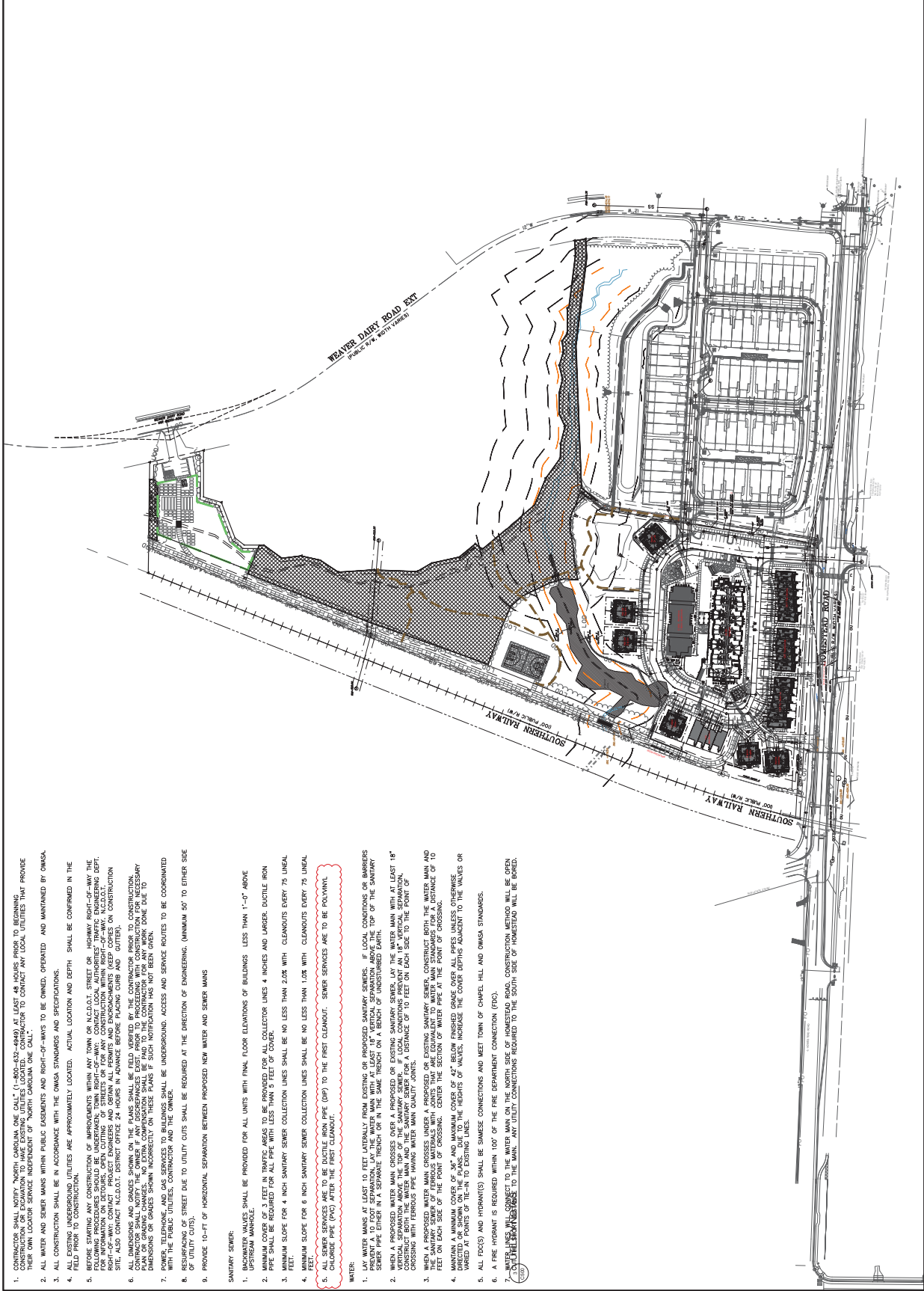


THOMAS HUTTON
 CONSULTING ENGINEERS
 2200 HAVEMOOD ROAD
 CHESTER HI, IN 47331
 WWW.THOMASHUTTON.COM

UTILITY PLAN - OVERALL
 HOMESTEAD GARDENS
 PROJECT LOCATION:
 2200 Havemood Road
 Chester HI, IN 47331
 CLIENT:
 S&H Holdings Venture Fund
 301 West Main Street
 Alton, Tazewell Bar West

VERT. HATCHES
 1" INCH = 100 FEET
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 100 0 50 100
 1" INCH = 100 FEET

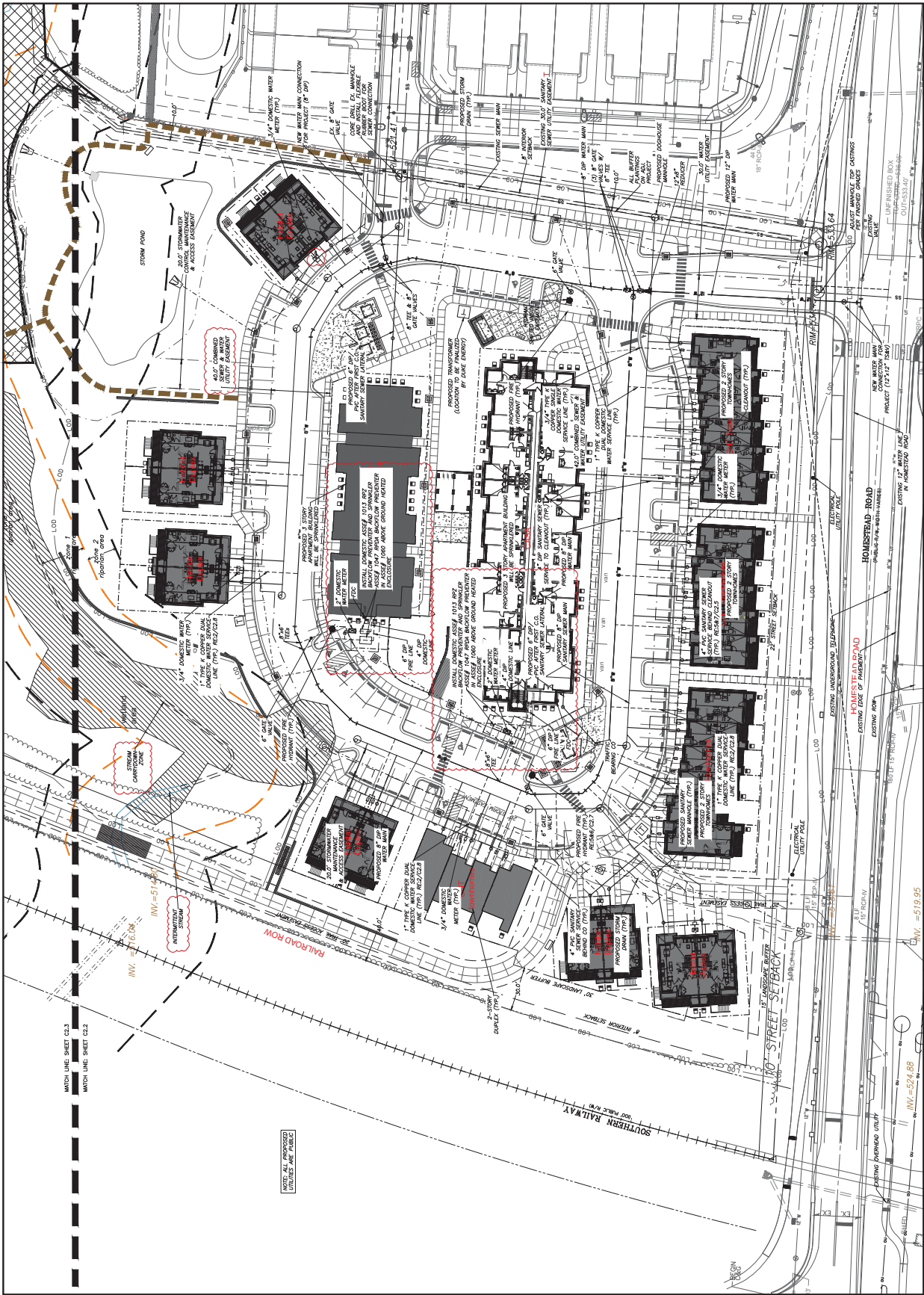
DATE: 08/08/2023	SCALE: 1" = 100'
DRAWN BY: MMH	DATE: 08/08/2023
CHECKED BY: MMH	DATE: 08/08/2023
APPROVED BY: MMH	DATE: 08/08/2023
C2.1	

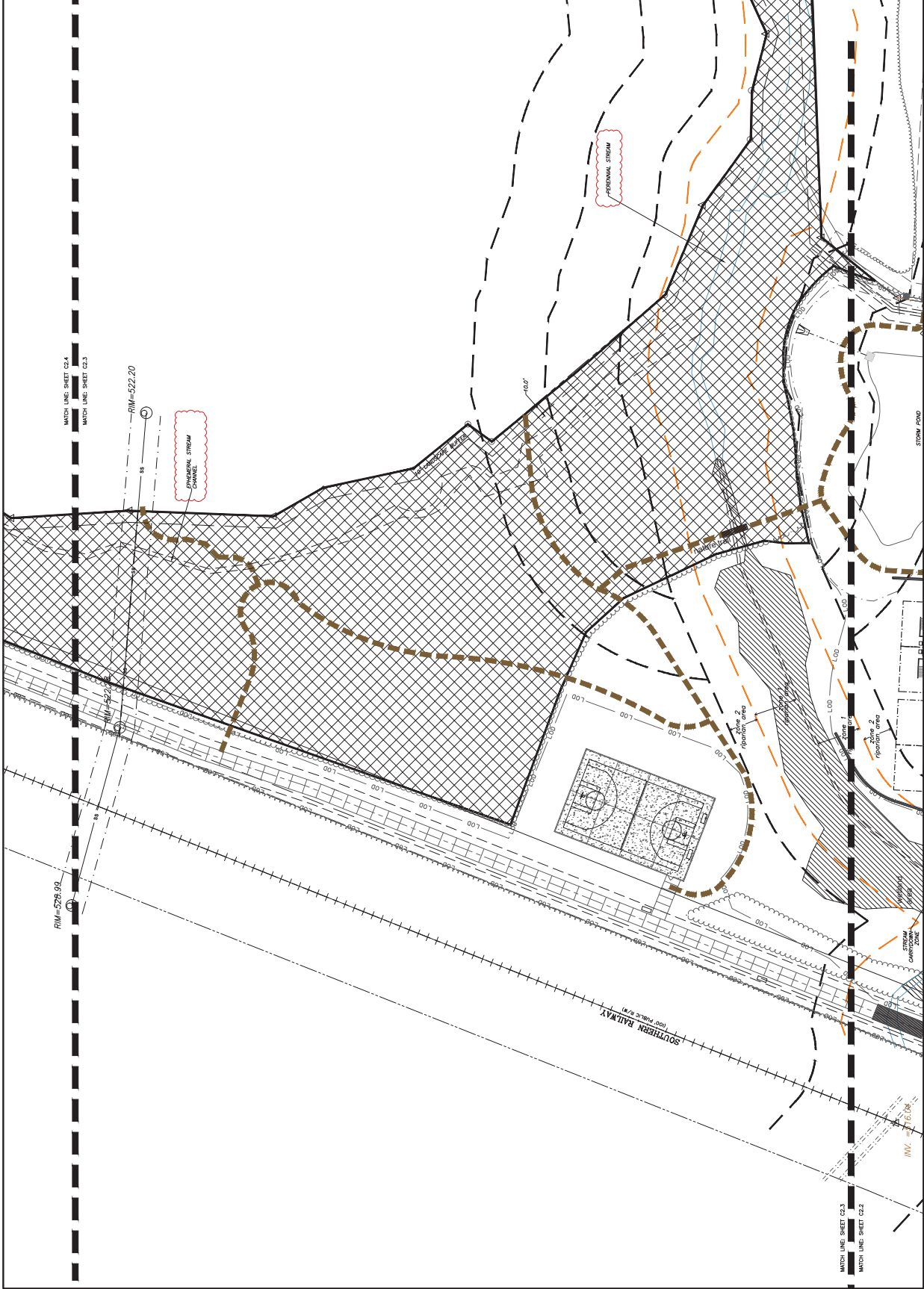


- CONTRACTOR SHALL NOTIFY NORTH CAROLINA ONE CALL (1-800-432-4249) AT LEAST 48 HOURS PRIOR TO BEGINNING ANY CONSTRUCTION. CONTRACTOR SHALL CONTACT LOCAL UTILITY LOCATOR TO CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICE INDEPENDENT OF NORTH CAROLINA ONE CALL.
- ALL WATER AND SEWER MAINS WITHIN PUBLIC EASEMENTS AND RIGHT-OF-WAYS TO BE OWNED, OPERATED AND MAINTAINED BY OMSA.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE OMSA STANDARDS AND SPECIFICATIONS.
- ALL EXISTING UNDERGROUND UTILITIES ARE APPROXIMATELY LOCATED. ACTUAL LOCATION AND DEPTH SHALL BE CONFIRMED IN THE FIELD PRIOR TO CONSTRUCTION.
- BEFORE STARTING ANY CONSTRUCTION IMPROVEMENTS WITHIN ANY TOWN OR N.C.D.O.T. STREET OR HIGHWAY RIGHT-OF-WAY THE FOLLOWING PROCEDURES SHOULD BE UNDERGONE: TOWN ENGINEER'S SIGNATURE AND APPROVAL. CONTACT LOCAL AUTHORITIES' ENGINEERS TO VERIFY EXISTING UTILITIES AND OBTAIN ALL PERMITS AND ENCUMBRANCES (KEEP COPIES ON CONSTRUCTION SITE). ALSO CONTACT N.C.D.O.T. DISTRICT OFFICE 24 HOURS IN ADVANCE BEFORE PLACING CURB AND GUTTER.
- CONTRACTOR SHALL NOTIFY THE OWNER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY CHANGES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR ANY WORK DONE DUE TO DISCREPANCIES. NO EXTENSIVE REVISIONS SHALL BE MADE TO THE CONTRACT PRIOR TO THE COMMENCEMENT OF WORK.
- POWER, TELEPHONE AND GAS SERVICES TO BUILDINGS SHALL BE UNDERGROUND. ACCESS AND SERVICE ROUTES TO BE COORDINATED WITH THE PUBLIC UTILITIES, CONTRACTOR AND THE OWNER.
- RESURFACING OF STREET DUE TO UTILITY CUTS SHALL BE REQUIRED AT THE DIRECTION OF ENGINEERING. (MINIMUM 50' TO EITHER SIDE OF UTILITY CUTS).
- PROVIDE 10'-FT OF HORIZONTAL SEPARATION BETWEEN PROPOSED NEW WATER AND SEWER MAINS

- SANITARY SEWER:**
- BACKWATER VALVES SHALL BE PROVIDED FOR ALL UNITS WITH FINAL FLOOR ELEVATIONS OF BUILDINGS LESS THAN 1'-0" ABOVE UPSTREAM MANHOLE.
 - MINIMUM COVER OF 3 FEET IN TRAFFIC AREAS TO BE PROVIDED FOR ALL COLLECTOR LINES 4 INCHES AND LARGER, DUCTILE IRON PIPE WITH 12" OR GREATER DEPTHS. COVER SHALL BE 9 FEET OR GREATER FOR ALL OTHER SIZES.
 - MINIMUM SLOPE FOR 4 INCH SANITARY SEWER COLLECTION LINES SHALL BE NO LESS THAN 2.0% WITH CLEANOUTS EVERY 75 LINEAL FEET.
 - MINIMUM SLOPE FOR 6 INCH SANITARY SEWER COLLECTION LINES SHALL BE NO LESS THAN 1.0% WITH CLEANOUTS EVERY 75 LINEAL FEET.
 - ALL SEWER SERVICES ARE TO BE DUCTILE IRON PIPE (DIP) TO THE FIRST CLEANOUT. SEWER SERVICES ARE TO BE POLYVINYL CHLORIDE (PVC) PIPE FROM FIRST CLEANOUT TO THE BUILDING.
- WATER:**
- LAY WATER MAINS AT LEAST 10 FEET (LATRALLY FROM EXISTING OR PROPOSED SANITARY SEWERS. IF LOCAL CONDITIONS OR BARRIERS PREVENT A 10 FOOT SEPARATION, LAY THE WATER MAIN WITH AT LEAST 18" VERTICAL SEPARATION ABOVE THE TOP OF THE SANITARY SEWER. PROVIDE 18" VERTICAL SEPARATION BETWEEN EXISTING OR PROPOSED WATER MAINS AND EXISTING OR PROPOSED SANITARY SEWERS. LAY THE WATER MAIN WITH AT LEAST 18" VERTICAL SEPARATION ABOVE THE TOP OF THE SANITARY SEWER. IF LOCAL CONDITIONS PREVENT AN 18" VERTICAL SEPARATION, CROSSING WITH FERRISS MATERIALS WATER MAIN QUALITY LINES. A DISTANCE OF 10 FEET ON EACH SIDE TO THE POINT OF CROSSING.
 - WHEN A PROPOSED WATER MAIN CROSSES UNDER A PROPOSED OR EXISTING SANITARY SEWER, CONSTRUCT BOTH THE WATER MAIN AND THE SANITARY SEWER OF FERRISS MATERIALS WITH JOINTS THAT ARE EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING. CENTER THE SECTION OF WATER PIPE AT THE POINT OF CROSSING.
 - PROVIDE 18" VERTICAL SEPARATION BETWEEN EXISTING OR PROPOSED WATER MAINS AND EXISTING OR PROPOSED SANITARY SEWERS. INCREASE THE COVER DEPTHS ADJACENT TO THE VALVES OR WAREDS AT POINTS OF TE-IN TO EXISTING LINES.
 - ALL FDS (S) AND HYDRANTS(S) SHALL BE SIMSSEE CONNECTIONS AND MEET TOWN OF CHEMEL HILL AND OMSA STANDARDS.
 - A FIRE HYDRANT IS REQUIRED WITHIN 100' OF THE FIRE DEPARTMENT CONNECTION (FDC).
 - WATER LINES WILL CONNECT TO THE WATER MAIN ON THE NORTH SIDE OF HOMESTEAD ROAD. CONSTRUCTION METHOD WILL BE OPEN TRENCH. CONNECTIONS TO THE MAIN. ANY UTILITY CONNECTIONS REQUIRED TO THE SOUTH SIDE OF HOMESTEAD WILL BE BORED.

	<p>THOMAS HUTTON 1000 W. HARRIS STREET DURHAM, NC 27701 WWW.THOMASHUTTON.COM</p>	<p>UTILITY PLAN - SOUTH</p> <p>HOMESTEAD GARDENS</p>	<p>PROJECT LOCATION: 2500 Homestead Road Chapel Hill, NC</p> <p>CLIENT: S&H&S Ventures Fund 301 West Main Street Apex, NC 27501</p>		<p>C2.2</p> <p>DATE: 03/09/2020 DRAWN: M. W. HARRIS CHECKED: W. HARRIS APPROVED: R. HUTTON SCALE: 1" = 30'</p>	<p>NO. DATE REVISIONS</p> <table border="1" style="width:100%; border-collapse: collapse;"> <tr> <td style="width: 5%;">1</td> <td style="width: 75%;">ISSUE FOR PERMIT - ACCURATE</td> <td style="width: 20%;">MWH 01.12.23</td> </tr> </table>	1	ISSUE FOR PERMIT - ACCURATE	MWH 01.12.23	<p>DATE: 01/11/2023 ALL UTILITIES ARE PUBLIC</p>
1	ISSUE FOR PERMIT - ACCURATE	MWH 01.12.23								





MATCH LINE SHEET C2.4
 MATCH LINE SHEET C2.3

RM=528.99
 RM=522.20

EXTERNAL STREAM CHANNEL
 EXTERNAL STREAM

SOUTHERN RAILWAY
 100' SCALE (N.W.)

STRAIGHTENED CHANNEL
 EXTERNAL STREAM

SECTION 1
 SECTION 2
 SECTION 3

SECTION 4
 SECTION 5
 SECTION 6

SECTION 7
 SECTION 8
 SECTION 9

SECTION 10
 SECTION 11
 SECTION 12

SECTION 13
 SECTION 14
 SECTION 15

SECTION 16
 SECTION 17
 SECTION 18

SECTION 19
 SECTION 20
 SECTION 21

SECTION 22
 SECTION 23
 SECTION 24

SECTION 25
 SECTION 26
 SECTION 27

NO.	REVISIONS	BY	DATE
1	ADDED STREAM LABELS	WLP	8.11.23



THOMAS HUTTON
 CIVIL ENGINEER
 2000 HUNTERDALE ROAD
 CHERRY HILL, NC 27611
 WWW.THOMASHUTTON.COM

UTILITY PLAN - CENTER
 HOMESTEAD GARDENS

PROJECT LOCATION:
 2000 Hunterdale Road
 Cherry Hill, NC

CLIENT:
 S&H&S Venture Fund
 301 West Main Street
 Alamogordo, NC 28501

VERT. HATCHING
 1" = 30'

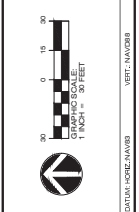
C2.3
 SCALE: 1" = 30'

NO.	REVISIONS	BY	DATE
1	ADDED STREAM LABELS	WLP	8.11.23

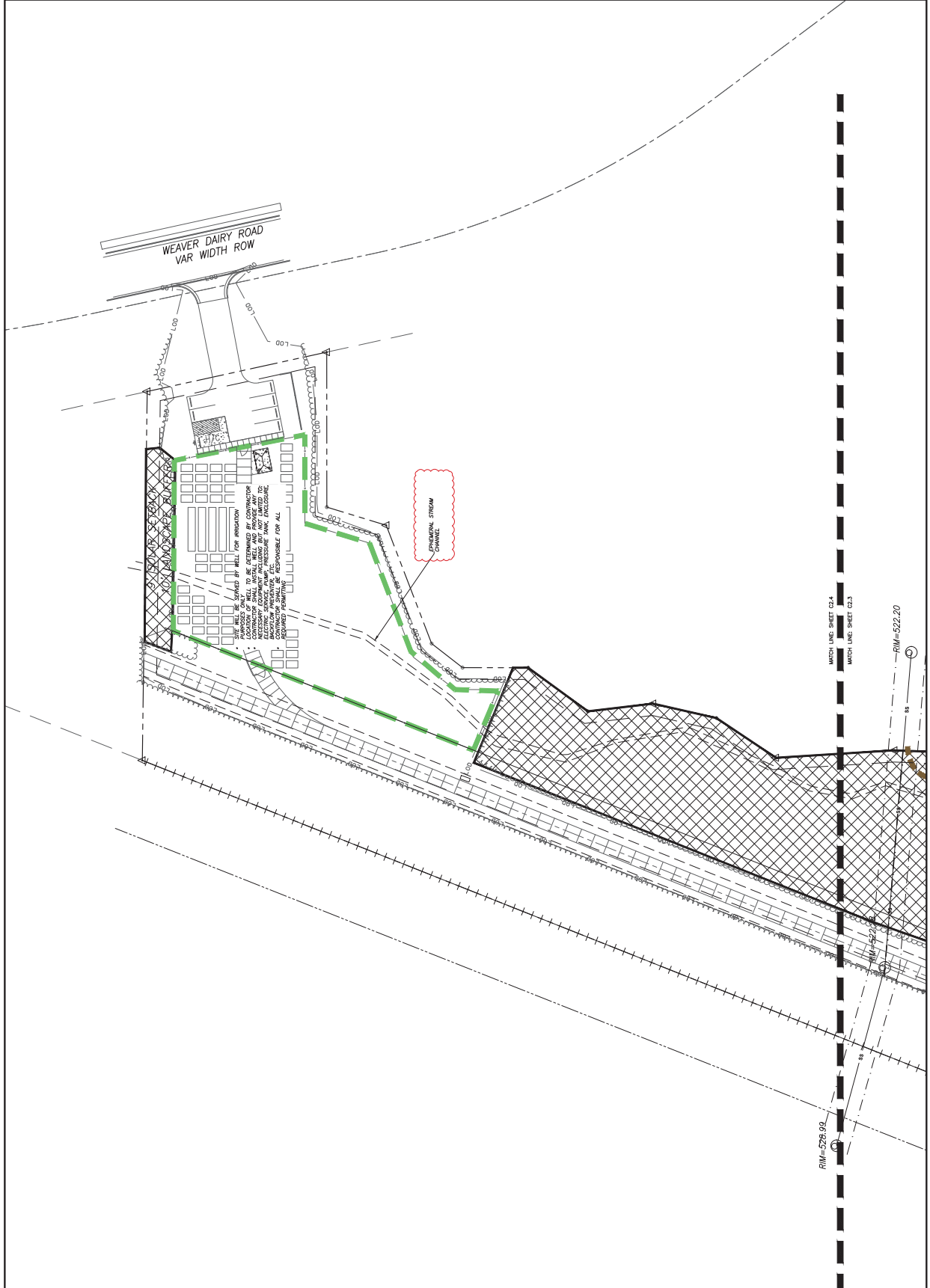


THOMAS HUTTON
 ENGINEER
 2000 Homestead Road
 Chapel Hill, NC 27514
 www.thomas-hutton.com

UTILITY PLAN - NORTH
 HOMESTEAD GARDENS
 PROJECT LOCATION:
 2000 Homestead Road
 Chapel Hill, NC
 CLIENT:
 Scharf's Venture Fund
 3013 West Main Street
 Asheville, NC 28801
 Allen Tucker Barlett



C2.3
 DATE: 08/11/2023
 TIME: 10:50 AM
 DRAWN BY: WLP
 CHECKED BY: WLP
 APPROVED BY: WLP
 SCALE: 1" = 30'



PLN-2023-08-11-10:50 AM 2000 Homestead Road, Chapel Hill, NC 27514

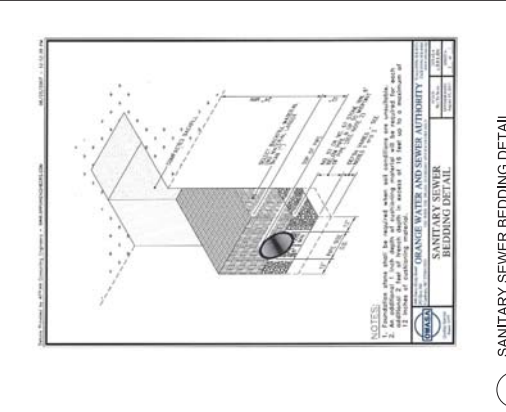
NO.	REVISIONS	BY	DATE



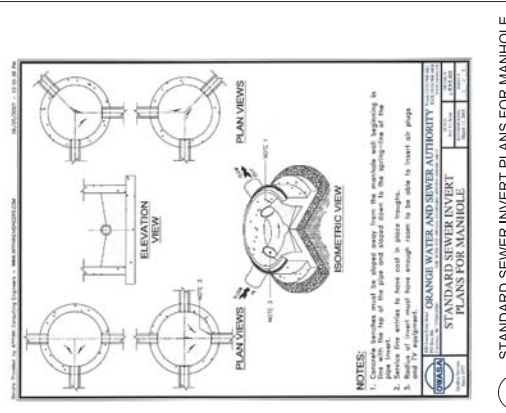
THOMAS HUTTON
 SPECIALTY CONTRACTORS
 200 W. Main Street
 Danville, NC 27031
 www.thomashutton.com

SEWER DETAILS
HOMESTEAD GARDENS
 PROJECT LOCATION:
 2000 Homestead Road
 Chester HI, NC
 CLIENT:
 S&H&S Venture Fund
 301 West Main Street
 Albemarle, NC 27001
 Allen Taylor Barlett

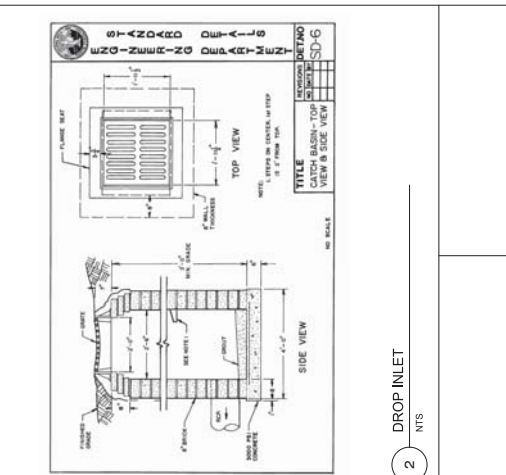
DATE: 03/09/2020	VERT. HATCH
DESIGNED BY: JAW	SCALE: N.T.S.
CHECKED BY: JAW	
APPROVED BY: JAW	
DATE: 03/09/2020	



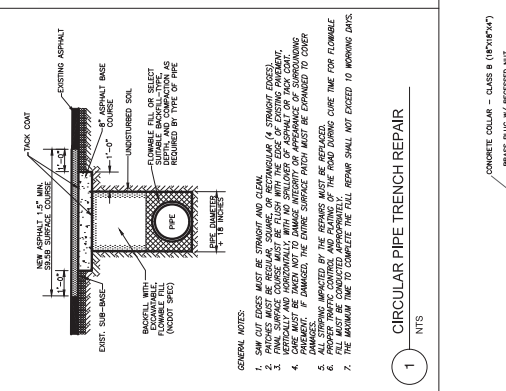
4 SANITARY SEWER BEDDING DETAIL
NO SCALE



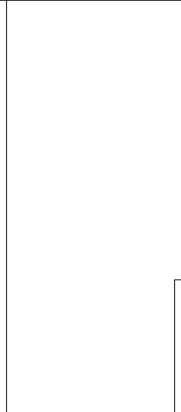
3 STANDARD SEWER INVERT PLANS FOR MANHOLE
NO SCALE



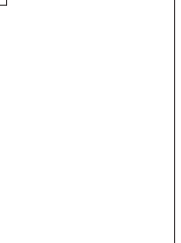
2 DROP INLET
NTS



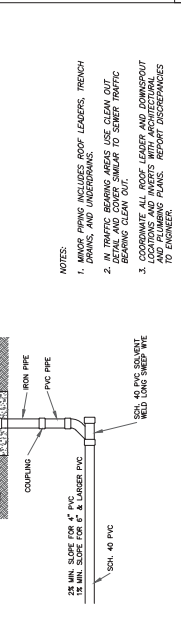
1 CIRCULAR PIPE TRENCH REPAIR
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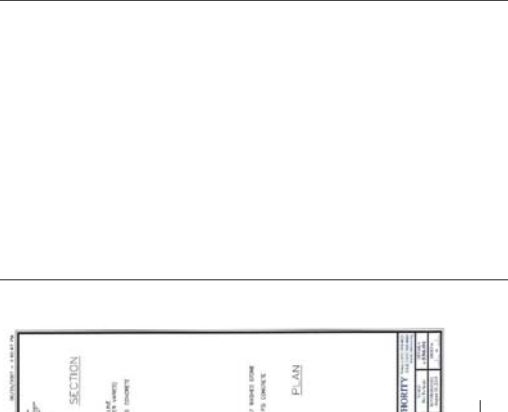
8 CONCRETE COLLAR DETAIL
NO SCALE



7 4\"/>NTS





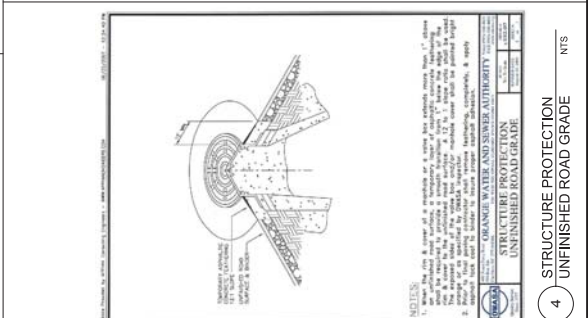
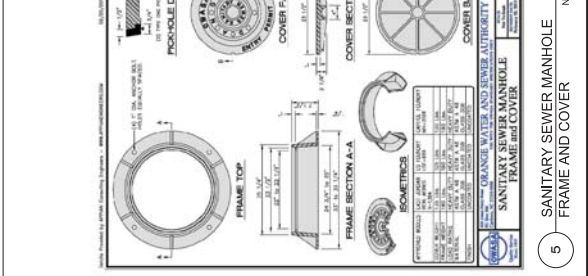
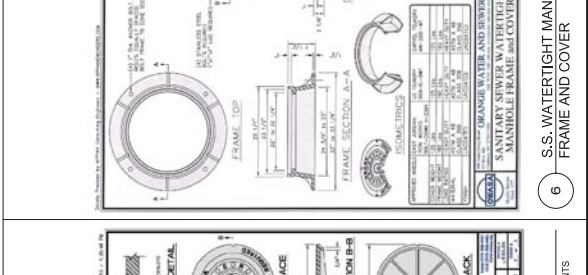
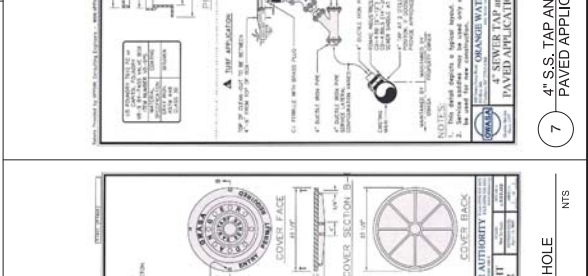
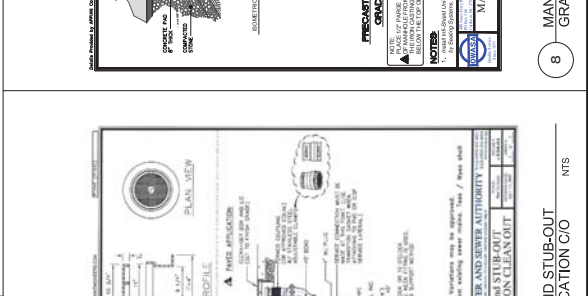
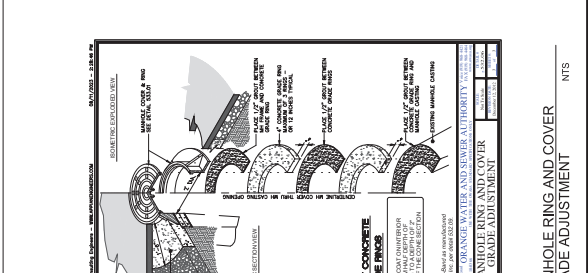
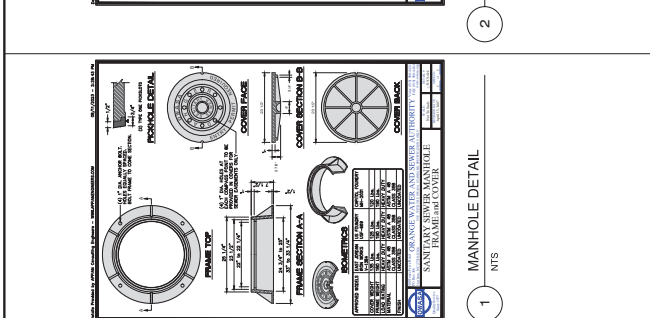
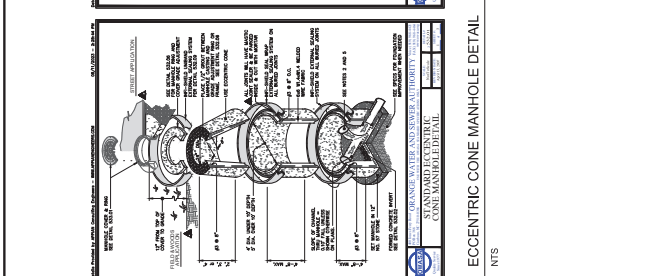
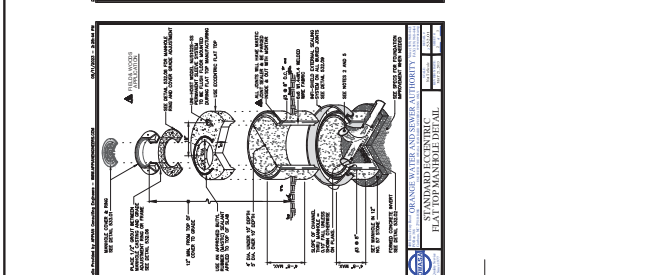
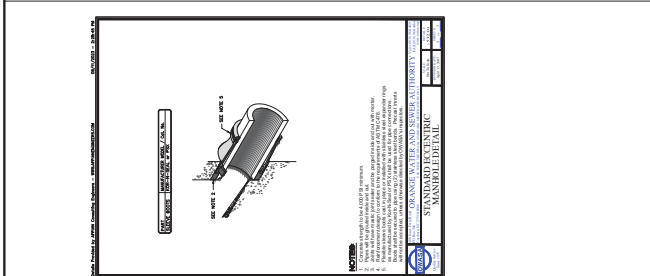
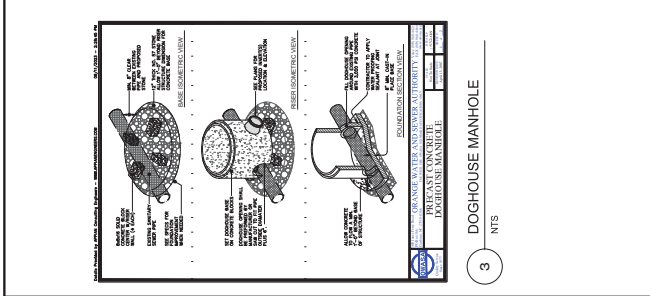
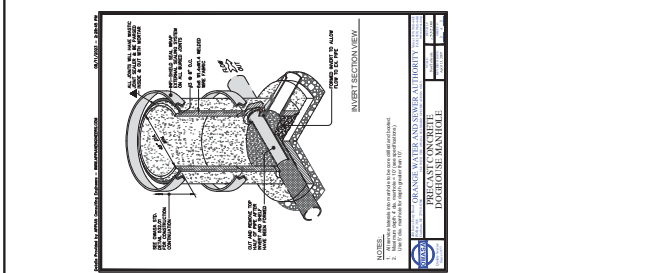
5 MINOR PIPING CLEANOUT
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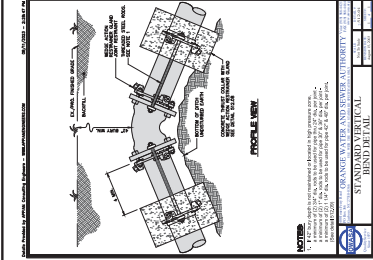


6 TRAFFIC BEARING CLEANOUT
NTS

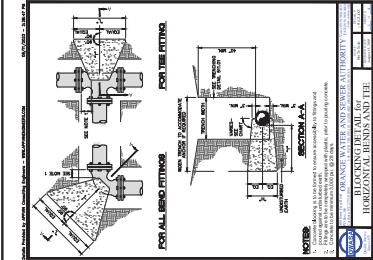
C2.5

	 <p>THOMAS HUTTON 10000 W. HARRIS ROAD DURHAM, NC 27709 WWW.THOMASHUTTON.COM</p>	SEWER DETAILS HOMESTEAD GARDENS PROJECT LOCATION: 2500 Homestead Road Chapel Hill, NC CLIENT: S&H&S Veterinary Fund 301 West Main Street Apex, NC 27501	DATE: 02/02/2020 DRAWN: M. HARRIS CHECKED: M. HARRIS APPROVED: M. HARRIS SCALE: NTS	C2.6	VERT. - MANHOLE		





1 STANDARD VERTICAL BEND DETAIL
NTS



2 BLOCKING DETAILS FOR HORZ. BEND
NTS

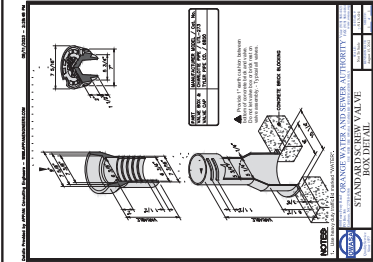
ORANGE WATER AND SEWER AUTHORITY
BLOCKING DETAIL FOR HORIZONTAL BENDS AND TEE

NOTE: MINIMUM COVER OVER TOP OF CURB SHALL BE 18" UNLESS OTHERWISE NOTED.

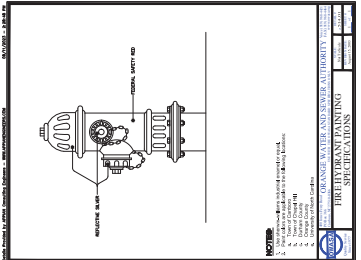
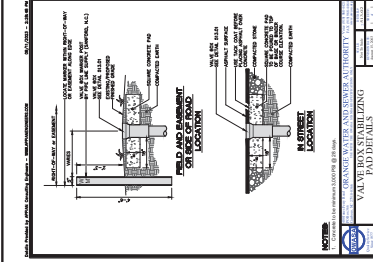
PIPE SIZE	1/2" THICKNESS 300# A/C CONCRETE	3/4" THICKNESS 300# A/C CONCRETE	1" THICKNESS 300# A/C CONCRETE	1 1/2" THICKNESS 300# A/C CONCRETE	2" THICKNESS 300# A/C CONCRETE
12"	8.80	9.50	10.20	10.90	11.60
14"	9.50	10.20	10.90	11.60	12.30
16"	10.20	10.90	11.60	12.30	13.00
18"	10.90	11.60	12.30	13.00	13.70
20"	11.60	12.30	13.00	13.70	14.40
24"	13.00	13.70	14.40	15.10	15.80
30"	15.10	15.80	16.50	17.20	17.90
36"	17.20	17.90	18.60	19.30	20.00
42"	19.30	20.00	20.70	21.40	22.10
48"	21.40	22.10	22.80	23.50	24.20
54"	23.50	24.20	24.90	25.60	26.30
60"	25.60	26.30	27.00	27.70	28.40
72"	28.40	29.10	29.80	30.50	31.20
84"	31.20	31.90	32.60	33.30	34.00
96"	34.00	34.70	35.40	36.10	36.80
108"	36.80	37.50	38.20	38.90	39.60
120"	39.60	40.30	41.00	41.70	42.40
132"	42.40	43.10	43.80	44.50	45.20
144"	45.20	45.90	46.60	47.30	48.00
156"	48.00	48.70	49.40	50.10	50.80
168"	50.80	51.50	52.20	52.90	53.60
180"	53.60	54.30	55.00	55.70	56.40
192"	56.40	57.10	57.80	58.50	59.20
204"	59.20	59.90	60.60	61.30	62.00
216"	62.00	62.70	63.40	64.10	64.80
228"	64.80	65.50	66.20	66.90	67.60
240"	67.60	68.30	69.00	69.70	70.40
252"	70.40	71.10	71.80	72.50	73.20
264"	73.20	73.90	74.60	75.30	76.00
276"	76.00	76.70	77.40	78.10	78.80
288"	78.80	79.50	80.20	80.90	81.60
300"	81.60	82.30	83.00	83.70	84.40

NOTE: MINIMUM COVER OVER TOP OF CURB SHALL BE 18" UNLESS OTHERWISE NOTED.

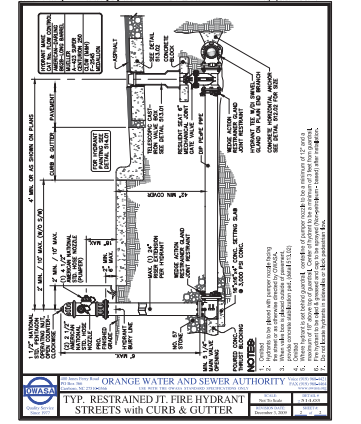
3 STANDARD SCREW VALVE BOX DETAIL
NTS



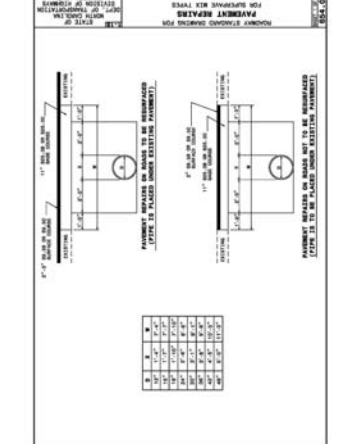
4 VALVE BOX STABILIZING PAD DETAILS
NTS



5 FIRE HYDRANT PAINTING SPECS
NTS



6 TYP. RESTRAINED JOINT FIRE HYDRANT DETAIL
NTS



7 PAVEMENT REPAIRS DETAIL
NTS

NO.	REVISIONS	BY	DATE



WATER DETAILS

HOMESTEAD GARDENS

PROJECT LOCATION:
2500 Homestead Road
Chapel Hill, NC

CLIENT:
S&P Holdings Venture Fund
3015 Woods Glen Street
Arlene, Tulsa, OK 74121

DATE: 05/28/2020
SCALE: 1/4" = 1'-0"
DRAWN BY: T.H.
CHECKED BY: T.H.
APPROVED BY: T.H.
SCALE: N.T.S.

VERT. - HANDED
C2.7

NO.	REVISIONS	BY	DATE
1	ISSUE FOR LABELS & SHEET	WLP	8.1.23



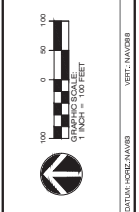
THOMAS HUTTON
 CIVIL ENGINEER
 2000 HAVENWOOD ROAD
 CHARLOTTE, NC 27701
 WWW.THOMASHUTTON.COM

**GRADING & DRAINAGE
 PLAN - OVERALL**

HOMESTEAD GARDENS

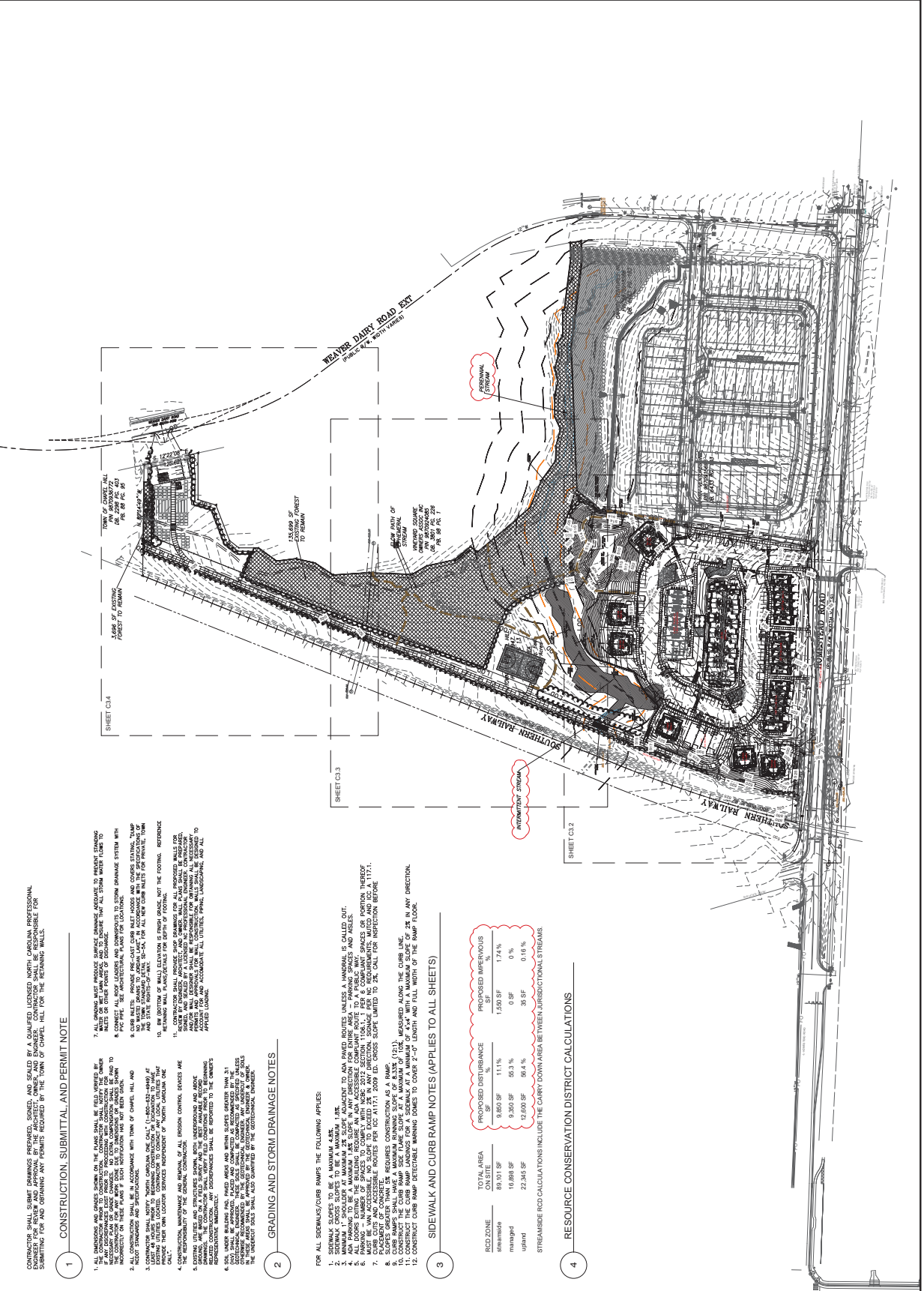
PROJECT LOCATION:
 2500 HAVENWOOD ROAD
 CHARLOTTE, NC

CLIENT:
 5015 VANCE VILLAGE ROAD
 301 VANCE VILLAGE STREET
 ALLEN, TEXAS 75015



C3.1

DATE: 08/01/2023
 TIME: 10:00 AM
 USER: WLP
 PROJECT: 2500 HAVENWOOD ROAD
 SHEET: C3.1
 SCALE: 1" = 100'



1 CONSTRUCTION, SUBMITTAL, AND PERMIT NOTE

1. ALL GRADING AND EROSION CONTROL ON THE PLANS SHALL BE FIELD-VERIFIED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE TOWN OF CHARLOTTE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE TOWN OF CHARLOTTE.
2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF CHARLOTTE'S CONSTRUCTION STANDARDS AND SPECIFICATIONS.
3. CURB RAMP SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TOWN OF CHARLOTTE'S CONSTRUCTION STANDARDS AND SPECIFICATIONS.
4. CONSTRUCTION, MAINTENANCE AND REMOVAL OF ALL EROSION CONTROL DEVICES ARE THE RESPONSIBILITY OF THE EROSION CONTROL CONTRACTOR.
5. EROSION CONTROL DEVICES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE TOWN OF CHARLOTTE'S CONSTRUCTION STANDARDS AND SPECIFICATIONS.
6. SOIL NAILS SHALL BE INSTALLED AND ANCHORED IN ACCORDANCE WITH THE TOWN OF CHARLOTTE'S CONSTRUCTION STANDARDS AND SPECIFICATIONS.
7. ALL GRADING MUST INCLUDE SURFACE DRAINAGE ADEQUATE TO PREVENT STANDING WATER ON THE SURFACE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE TOWN OF CHARLOTTE.
8. CONJECT ALL ROOF LEAKS AND DISPERGENTS TO STORM DRAINAGE SYSTEM WITH DRAINAGE TO THE STREET OR TO THE STREET.
9. CURB RAMP SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TOWN OF CHARLOTTE'S CONSTRUCTION STANDARDS AND SPECIFICATIONS.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE TOWN OF CHARLOTTE.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE TOWN OF CHARLOTTE.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE TOWN OF CHARLOTTE.

2 GRADING AND STORM DRAINAGE NOTES

1. FOR ALL SIDEWALKS/CURB RAMP THE FOLLOWING APPLIES:
 1. SIDEWALK SHALL BE A MINIMUM 4'-0" WIDE.
 2. SIDEWALK SHALL BE A MINIMUM 2% SLOPE ADJACENT TO ADA PAVED ROUTES UNLESS A HANDRAIL IS CALLED OUT.
 3. MINIMUM 4" SHOULDER AT MINIMUM 2% SLOPE ADJACENT TO ADA PAVED ROUTES UNLESS A HANDRAIL IS CALLED OUT.
 4. ALL ROADS EXISTING THE BUILDING REQUIRE AN ADA ACCESSIBLE COMPLIANT ROUTE TO A PUBLIC WAY. GRASSES OR PORTION THEREOF MUST BE ADA ACCESSIBLE. NO SLOPE TO EXCEED 2% IN ANY DIRECTION. SIGNAGE PER NC REQUIREMENTS, MATED AND ICC-A 117.1.
 5. ALL SIDEWALKS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TOWN OF CHARLOTTE'S CONSTRUCTION STANDARDS AND SPECIFICATIONS.
 6. CURB RAMP SHALL HAVE A MAXIMUM RUNNING SLOPE OF 8.33% (1:12).
 7. CURB RAMP SHALL HAVE A MAXIMUM RUNNING SLOPE OF 8.33% (1:12).
 8. CURB RAMP SHALL HAVE A MAXIMUM RUNNING SLOPE OF 8.33% (1:12).
 9. CURB RAMP SHALL HAVE A MAXIMUM RUNNING SLOPE OF 8.33% (1:12).
 10. CURB RAMP SHALL HAVE A MAXIMUM RUNNING SLOPE OF 8.33% (1:12).
 11. CONSTRUCT CURB RAMP DETECTABLE WARNING DOMES TO COVER 2'-0" LENGTH AND FULL WIDTH OF THE RAMP FLOOR.

3 SIDEWALK AND CURB RAMP NOTES (APPLIES TO ALL SHEETS)

ROAD ZONE	TOTAL AREA ON SITE	PROPOSED DISTURBANCE	PROPOSED IMPERVIOUS
	SF	SF	%
streamside	8,800 SF	1,550 SF	17.4%
managed	16,888 SF	0 SF	0%
unmanaged	22,245 SF	35 SF	0.16%

STREAMSIDE RCD CALCULATIONS INCLUDE THE CARRY-DOWN AREA BETWEEN JURISDICTIONAL STREAMS.

4 RESOURCE CONSERVATION DISTRICT CALCULATIONS

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE TOWN OF CHARLOTTE.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE TOWN OF CHARLOTTE.

3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE TOWN OF CHARLOTTE.

4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE TOWN OF CHARLOTTE.

NO.	REVISIONS	DATE
1	ADDED STREAM LABELS	WLP 01.23.20

NO.	REVISIONS	DATE
1	ADDED STREAM LABELS	WLP 01.23.20



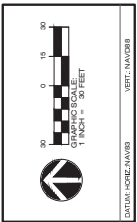
THOMAS HUTTON
 CIVIL ENGINEER
 LICENSE NO. 54838
 MECHANICAL
 01/23/20
 www.thomashutton.com

**GRADING & DRAINAGE
 PLAN - SOUTH**

HOMESTEAD GARDENS

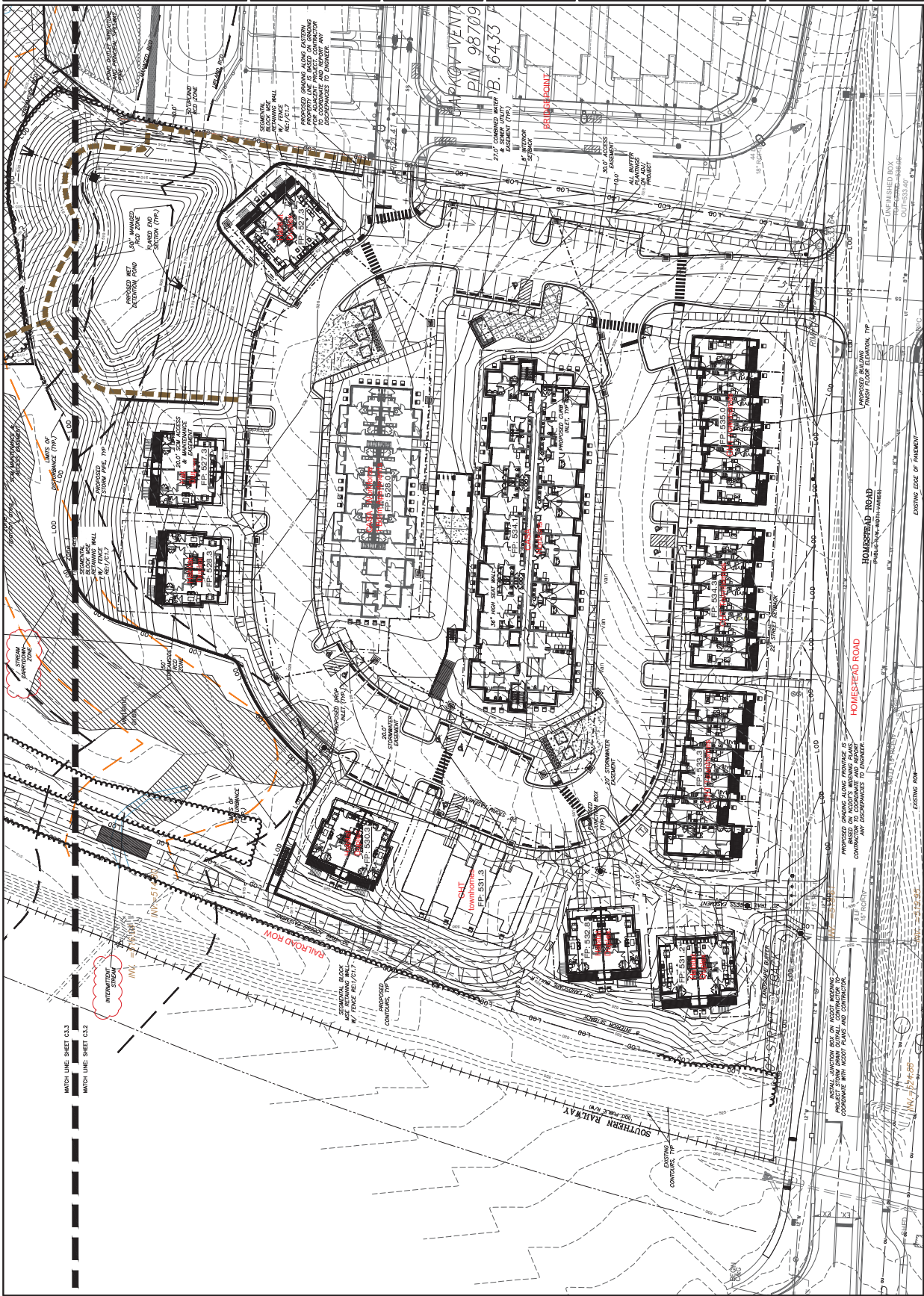
PROJECT LOCATION:
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 Chester Hill, MD

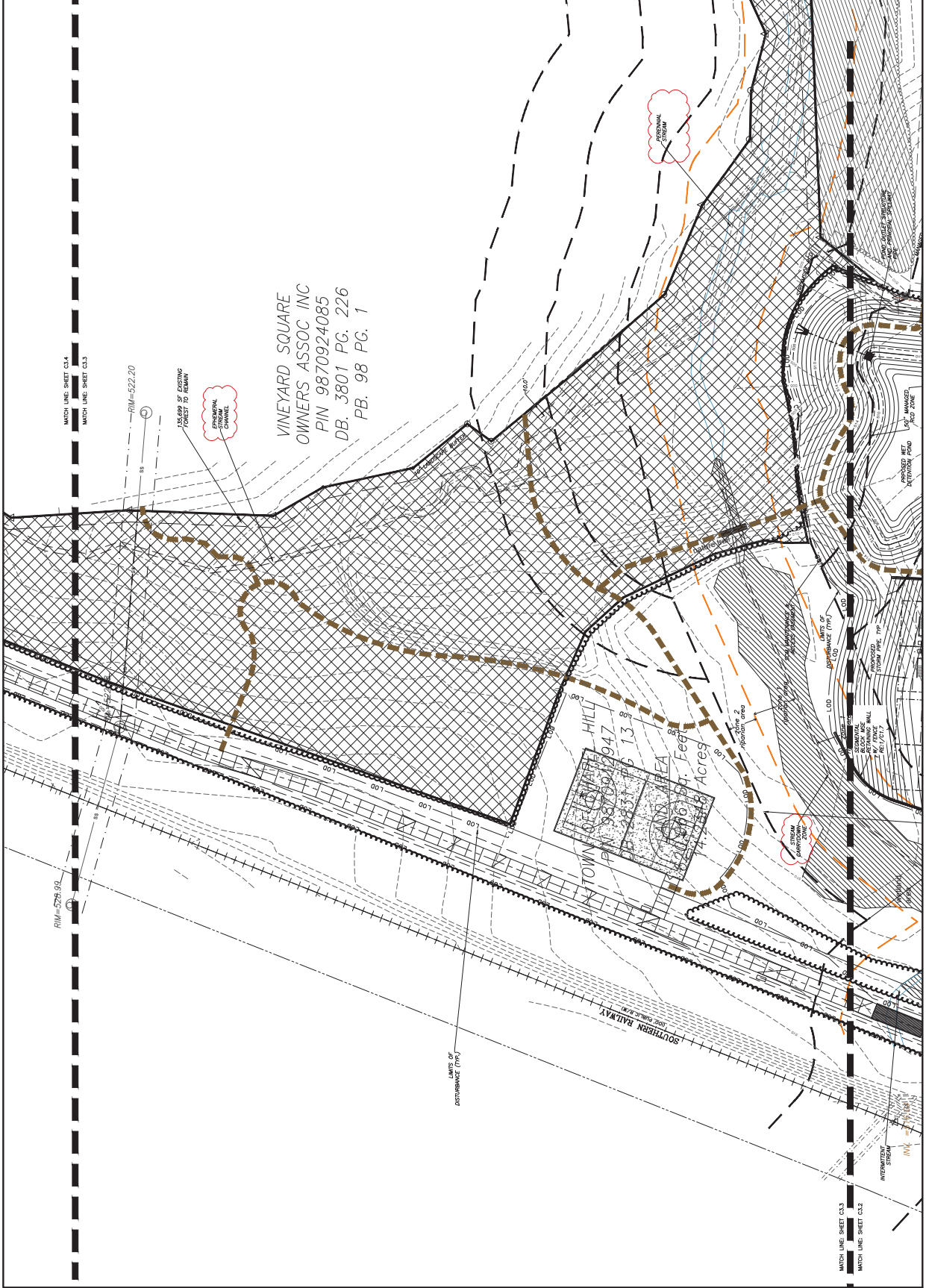
CLIENT:
 Scharke Ventures Fund
 303 West Main Street
 Abing, 1 Anne Arundel County, MD



C3.2

DATE: 03/09/2020
 DRAWN: W. HUTTON
 CHECKED: W. HUTTON
 APPROVED: W. HUTTON
 SCALE: 1" = 30'





VINEYARD SQUARE OWNERS ASSOC INC
 PIN 9870924085
 DB. 3801 PG. 226
 PB. 98 PG. 1

NO.	ADDED STREAM LABEL	WALF	8.11.23
1			
REVISIONS		BY	DATE

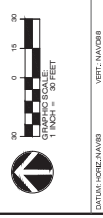


GRADING & DRAINAGE
 PLAN - CENTER

HOMESTEAD GARDENS

PROJECT LOCATION:
 2500 Homestead Road
 Chester Hill, NC

CLIENT:
 S&H&S Ventures Fund
 301 West Main Street
 Apex, North Carolina



C3.3
 SHEET SCALE: 1" = 30'

NO.	REVISIONS	BY	DATE

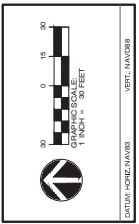


**GRADING & DRAINAGE
PLAN - NORTH**

HOMESTEAD GARDENS

PROJECT LOCATION:
2000 Hartswood Road
Chapel Hill, NC

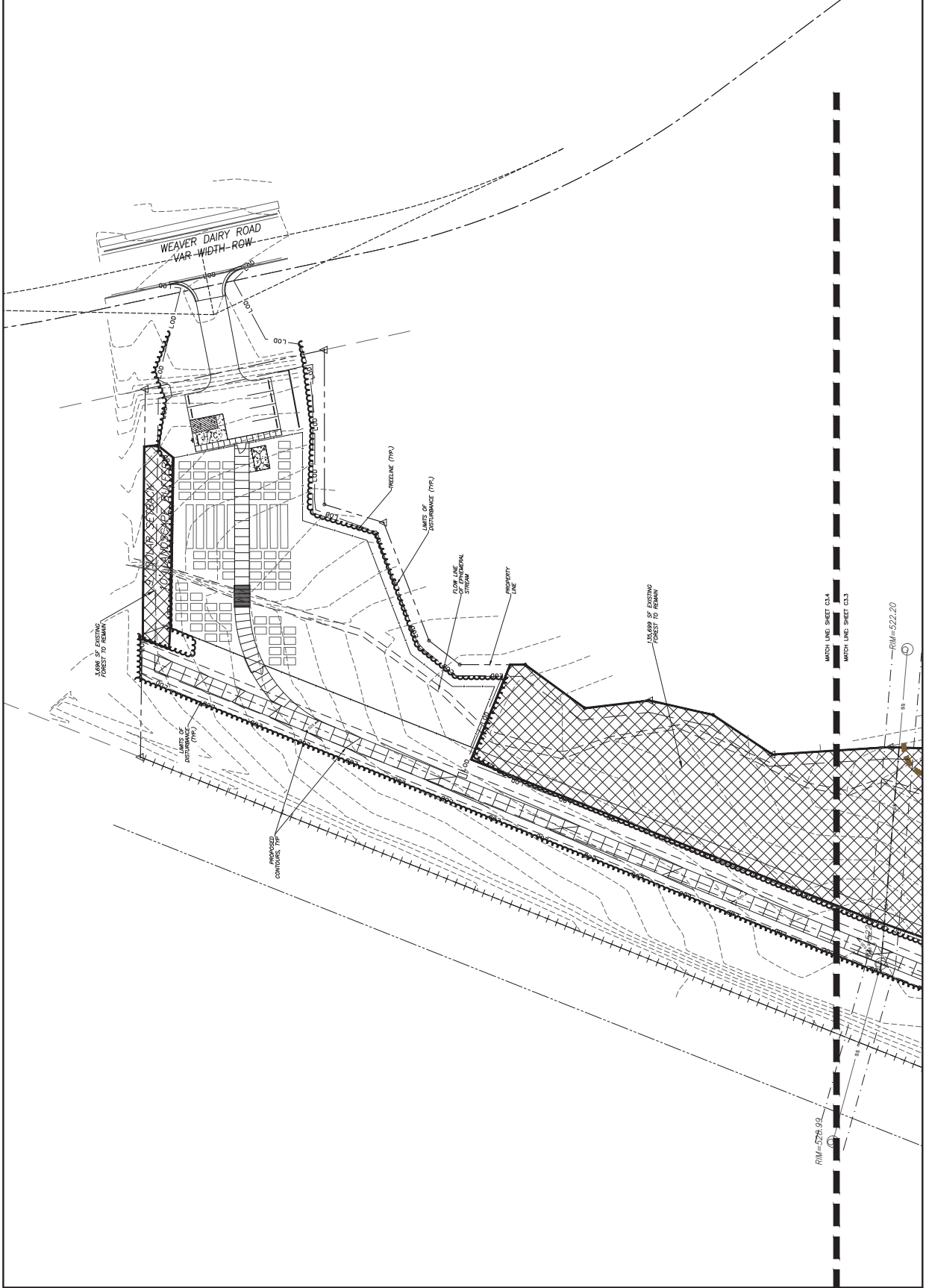
CLIENT:
Spartan Ventures Fund
301 West Main Street
Albany, TN 37611




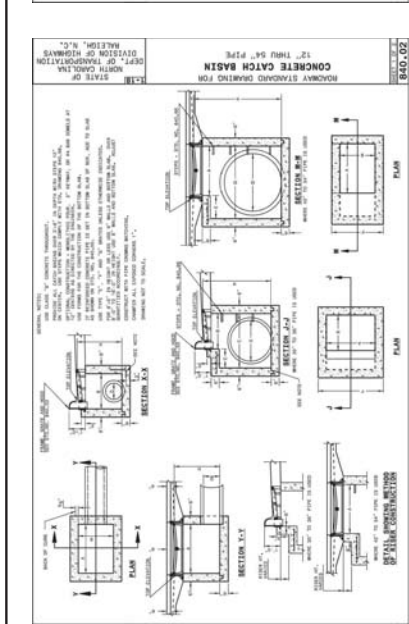
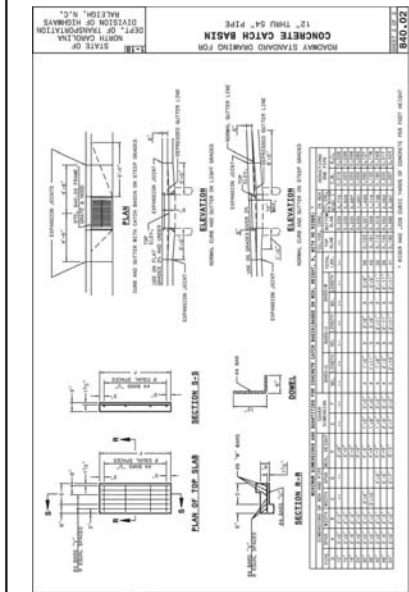
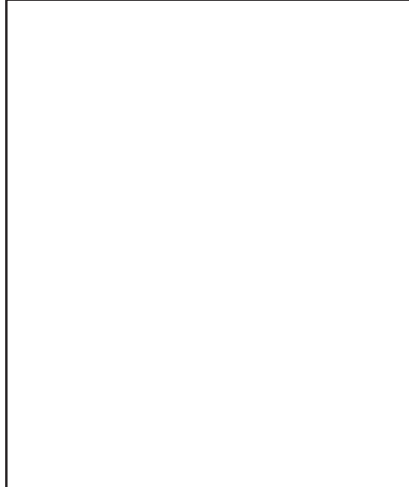
C3.4

DATE: 03/09/2020
DRAWN: J. M. HUTTON
CHECKED: W. HUTTON
APPROVED: J. M. HUTTON

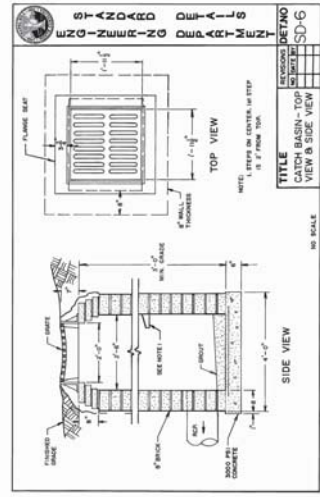
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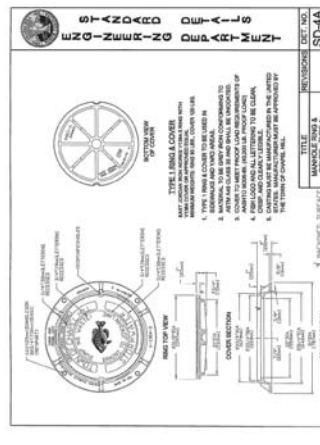
	THOMAS HUTTON ENGINEERS ARCHITECTS 2000 Hestwood Road Chapel Hill, NC 27514 www.thomashutton.com	DRAINAGE DETAILS HOMESTEAD GARDENS	PROJECT LOCATION: 2000 Hestwood Road Chapel Hill, NC	CLIENT: Scharf & Ventrone Fund 301 West Main Street Alamogordo, NC 27521	DATE: 03/09/2024 DRAWN BY: R. HUTTON CHECKED BY: R. HUTTON APPROVED BY: R. HUTTON SCALE: NTS	C3.5	DATE: 03/09/2024 DRAWN BY: R. HUTTON CHECKED BY: R. HUTTON APPROVED BY: R. HUTTON SCALE: NTS		



1 CURB INLET
 NTS

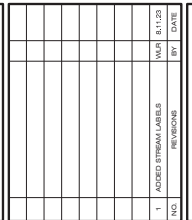


3 DROP INLET CATCH BASIN - TOP VIEW & SIDE VIEW
 NTS



2 STORMWATER MANHOLE RING & COVER - TYPE 1
 NTS

NO.	REVISIONS	BY	DATE
1	ADDED STREAM LABELS	WJR	01.12.20

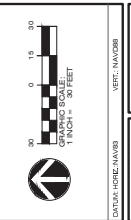


THOMAS HUTTON
 12100 N. AVENUE 2700
 CHICAGO, IL 60648
 WWW.THOMASHUTTON.COM

LANDSCAPE PLAN - SOUTH
 HOMESTEAD GARDENS

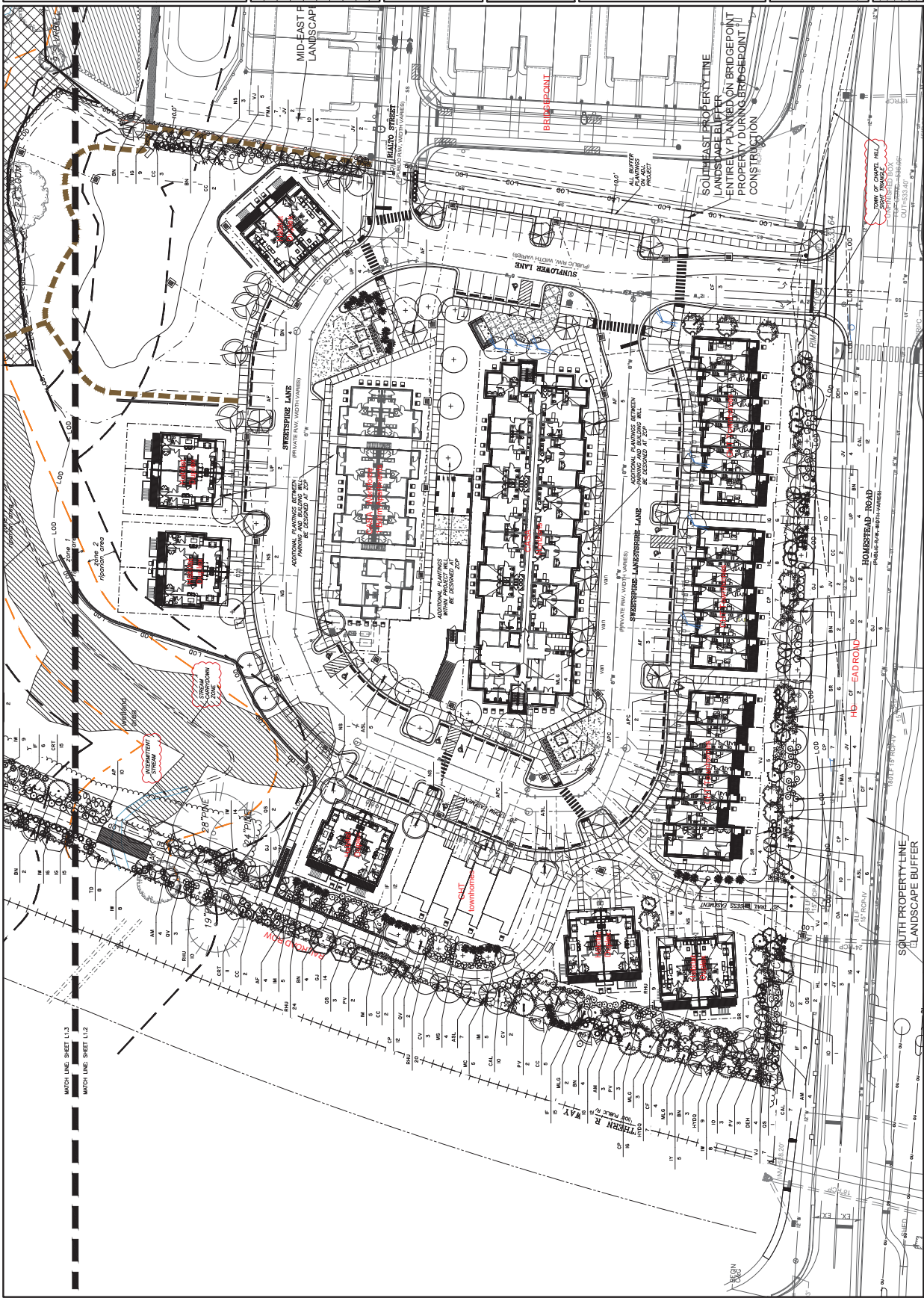
PROJECT LOCATION:
 2003 Homestead Road
 Chicago, IL 60648



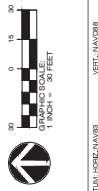
CLIENT:
 500 West Madison Street
 300 West Madison Street
 APN: 1704000000

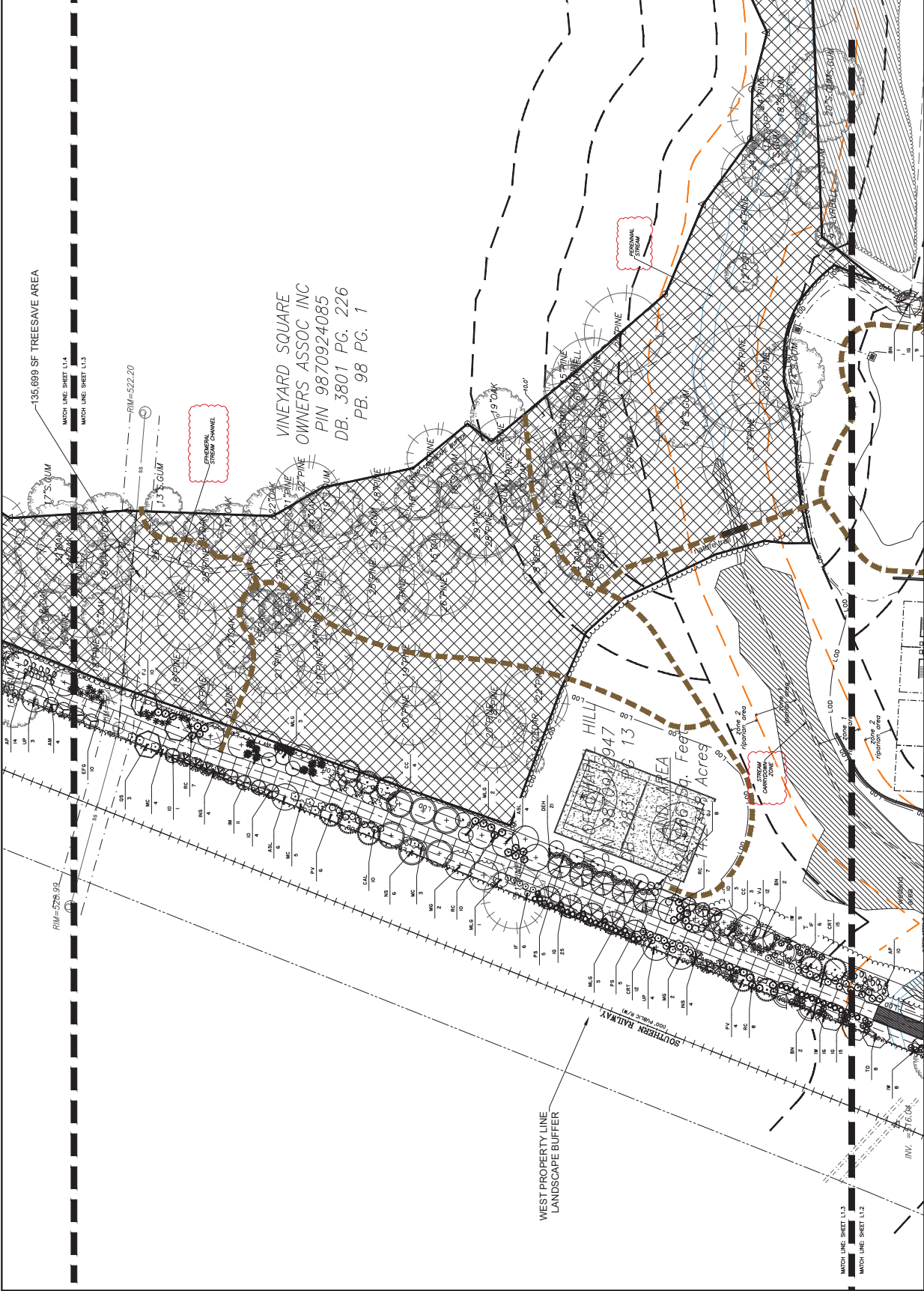


L1.2

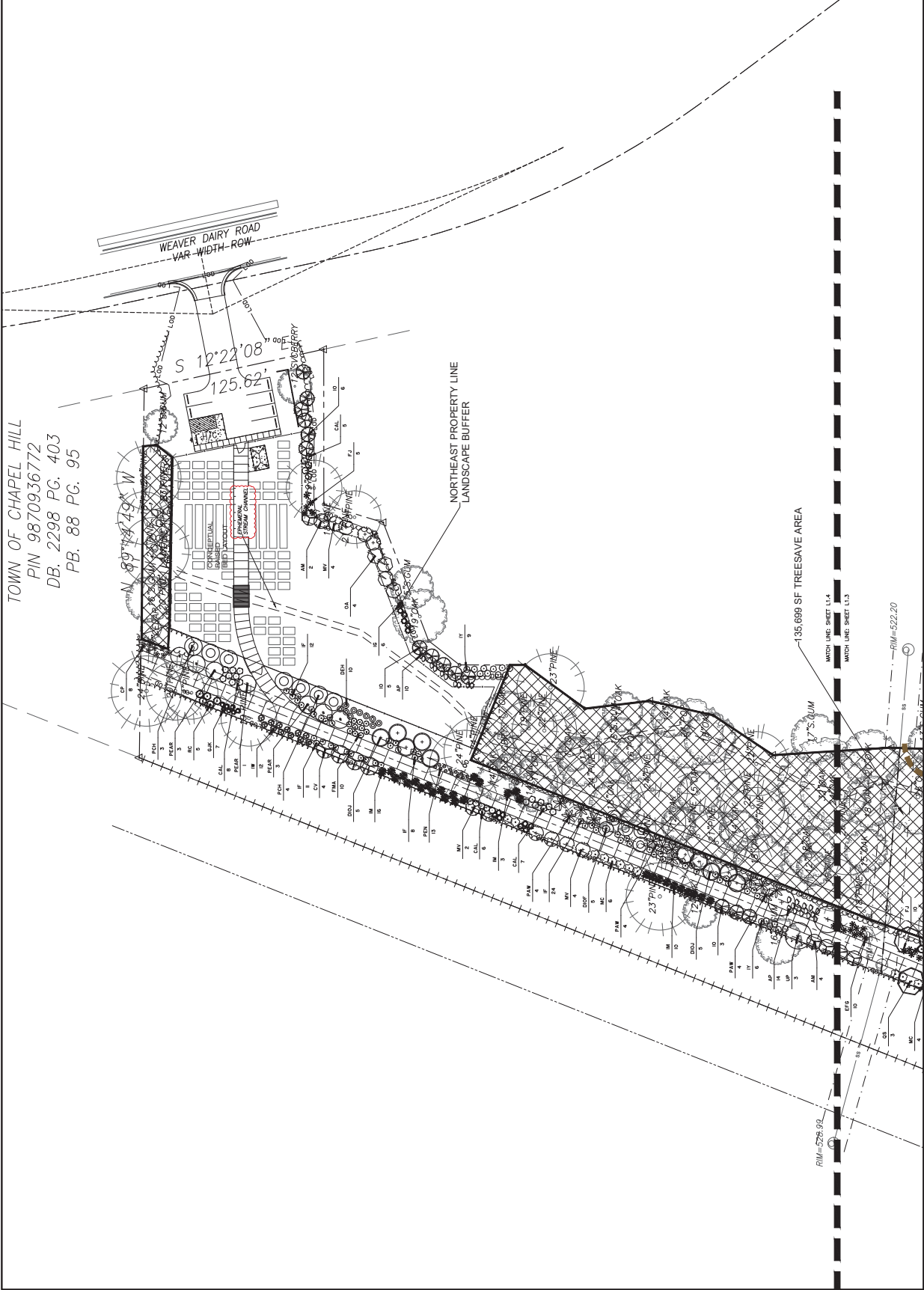
DATE: 02/03/2020
 DRAWN: WJH/ALG
 CHECKED: WJH/ALG
 APPROVED: WJH/ALG
 SCALE: 1" = 30'



			 <p>THOMAS HUTTON LANDSCAPE ARCHITECTS 1001 W. HARRIS ST., SUITE 100 DURHAM, NC 27701 www.thomashutton.com</p>
		<p>LANDSCAPE PLAN - CENTER</p> <p>HOMESTEAD GARDENS</p>	
		<p>PROJECT LOCATION: 2500 Homestead Road Chapel Hill, NC</p> <p>CLIENT: Sahaja Ventures Fund 301 West Main Street Asheville, NC 28801</p>	
			<p>DATE: 09/02/2020 DRAWN: W.A. HARRIS CHECKED: W.A. HARRIS APPROVED: W.A. HARRIS SCALE: 1" = 30'</p>



TOWN OF CHAPEL HILL
 PIN 9870936772
 DB. 2298 PG. 403
 PB. 88 PG. 95



NO.	ADDED STREAM LABEL	DATE
1		8/1/23

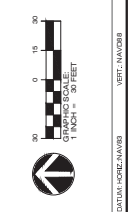


LANDSCAPE PLAN -
 NORTH

HOMESTEAD GARDENS

PROJECT LOCATION:
 2500 Homestead Road
 Chapel Hill, NC

CLIENT:
 Scharles Venture Fund
 301 West Main Street
 Apex, NC 27501



DATE: 08/01/2023
 TIME: 10:00 AM
 DRAWN: M. HUTTON
 CHECKED: M. HUTTON
 APPROVED: M. HUTTON

SCALE: 1" = 30'

L1.4

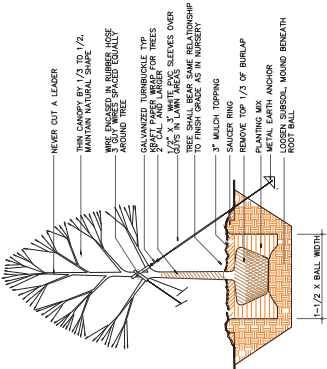
1. LANDSCAPING MUST BE IN PLACE PRIOR TO REQUEST FOR A CERTIFICATE OF OCCUPANCY OR CERTIFICATE OF COMPLIANCE.
2. VERIFY ALL DIMENSIONS, DISTANCES, QUANTITIES, ANGLES AND SLOPES PRIOR TO ORDERING MATERIALS OR INSTALING PRODUCT.
3. IN AREAS OF GROUND COVER, MAINTAIN A 12" MINIMUM DEFINITE BETWEEN PLANTS AND HARD IMPROVEMENTS.
4. RED LINES SHALL CONFORM TO CONTOURING SHOWN ON THE PLANS. RED LINES SHALL MEET CORNERS, WALLS, BUILDINGS, ETC. AT RIGHT ANGLES UNLESS SHOWN OTHERWISE.
5. CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH ACTUAL CONDITIONS AND VERIFY EXISTING CONDITIONS IN THE FIELD. CONTRACTOR SHALL REPORT ALL DISCREPANCIES TO LANDSCAPE ARCHITECT.
6. CONTRACTOR SHALL ACCEPT ACTUAL CONDITIONS AT SITE AND PERFORM THE WORK SPECIFIED INCLUDING FINE GRADING AND PREPARING TO RECEIVE TOPSOIL/COMPOST. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING UTILITIES, WHETHER SURFACE OR SUBSURFACE, EXCEPT AS PROVIDED FOR IN CONTRACT DOCUMENTS.
7. IN LAWN AREAS, 2" TOPSOIL/COMPOST SHALL BE FILLED INTO THE TOP 5" OF GROUND PRIOR TO SEEDING. IN LANDSCAPE BEDS, 3" TOPSOIL/COMPOST SHALL BE FILLED INTO THE TOP 6" OF GROUND PRIOR TO PLANT INSTALLATION.
8. CONTRACTOR WILL OBTAIN WRITTEN APPROVAL FROM LANDSCAPE ARCHITECT FOR ANY PLANT SUBSTITUTIONS OF SPECIES, SIZE, OR COLOR. CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF THESE UTILITIES DURING INSTALLATION, AND SHALL PROMPTLY REPAIR AND RESTORE SERVICES AT NO ADDITIONAL COST TO THE CONTRACTOR. CONTRACTOR SHALL BECOME THOROUGHLY FAMILIAR WITH THE FULL SET OF CONSTRUCTION DRAWINGS AND SPECIFICATIONS FOR CONSTRUCTION WITH UTILITIES, ARCHITECTURAL FEATURES, ETC.
9. CONTRACTOR WILL LEAVE DISTURBED AREAS LEVEL, AND RAKED SMOOTH, REMOVING ALL ROCKS AND DEBRIS.
10. MULCH IS TO BE A 3" LAYER OF TRIPLE SHREDED HARDWOOD MULCH. MULCH IS TO BE KEPT AWAY FROM TREE TRUNKS.
11. ANY DAMAGE TO EXISTING CONDITIONS OUTSIDE THE CONTRACT LIMITS, INCLUDING CURBS, SIDEWALKS, TURF AREAS AND PAVING, SHALL BE RESTORED TO ORIGINAL CONDITION BY THE CONTRACTOR WITHOUT EXTRA COST TO THE OWNER.
12. ANY DAMAGE TO EXISTING CONDITIONS ON THE CONSTRUCTION PLANTS ON THE PLANS COMPARED TO THE PLANT LIST, THE CONTRACTOR SHALL SUPPLY QUANTITIES AS SHOWN ON THE PLANS.
13. ALL UNPAVED SURFACES ARE TO BE COVERED IN PLANTS, MULCH, OR GRASS.
14. LINE OF SIGHT NOTED ON PROPOSED LANDSCAPING WITHIN THE LINE OF SIGHT ELEVATION SHALL EXCEED 24" AT MATURITY. ANY NEW TREES SHALL BE LIMITED TO 7' ABOVE FINISHED GRADE.
15. ANY INVASIVE EXOTIC PLANT MATERIAL WILL BE REMOVED. A SURVEY OF EXISTING LANDSCAPE BUFFERS TO REMAIN WILL BE CONDUCTED FOLLOWING INITIAL CLEARING, AND ANY INVASIVE OR EXOTIC SPECIES FOUND WILL BE REMOVED.

PLANTING NOTES

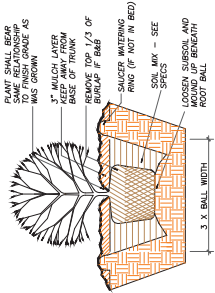
4

PLANT SCHEDULE

COMMON NAME	MINIMUM SIZE	SPECIES	REMARKS
American Elm	8.8 B, 1.3' CAL.	ULMUS AMERICANA	FULL SHADE LEADER
American Red Cedar	8.8 B, 1.3' CAL.	JUNIPEROUS RED CEDAR	FULL SHADE LEADER
American Holly	8.8 B, 1.3' CAL.	ILEX AMERICANA	FULL SHADE LEADER
Asian Lacquer Tree	8.8 B, 1.3' CAL.	RALPHIA PERATA	FULL SHADE LEADER
Bur Oak	8.8 B, 1.3' CAL.	QUERCUS BURA	FULL SHADE LEADER
Black Gum	8.8 B, 1.3' CAL.	NYSSA BLACK GUM	FULL SHADE LEADER
Black Locust	8.8 B, 1.3' CAL.	ROBINIA Pseudo-acacia	FULL SHADE LEADER
Black Walnut	8.8 B, 1.3' CAL.	JUGLANS NIGRA	FULL SHADE LEADER
Black Willow	8.8 B, 1.3' CAL.	SALIX NIGRA	FULL SHADE LEADER
Bottle Tree	8.8 B, 1.3' CAL.	BRASSIA ALOPECUROSIS	FULL SHADE LEADER
Box Elder	8.8 B, 1.3' CAL.	AELHANIA FRAXINIFOLIA	FULL SHADE LEADER
Butcherbush	8.8 B, 1.3' CAL.	SMILAX LACINIA	FULL SHADE LEADER
Camellia	8.8 B, 1.3' CAL.	CAMELLIA	FULL SHADE LEADER
Canada Beech	8.8 B, 1.3' CAL.	FAGUS GRANDIFOLIA	FULL SHADE LEADER
Chinese Elm	8.8 B, 1.3' CAL.	ULMUS PARVIFOLIUS	FULL SHADE LEADER
Cornus Dogwood	8.8 B, 1.3' CAL.	CORNUS DOGWOOD	FULL SHADE LEADER
Cornus Florida	8.8 B, 1.3' CAL.	CORNUS FLORIDA	FULL SHADE LEADER
Cornus Rugosa	8.8 B, 1.3' CAL.	CORNUS RUGOSA	FULL SHADE LEADER
Cornus Stolonifera	8.8 B, 1.3' CAL.	CORNUS STOLONIFERA	FULL SHADE LEADER
Cornus Stricta	8.8 B, 1.3' CAL.	CORNUS STRICTA	FULL SHADE LEADER
Cornus Spicata	8.8 B, 1.3' CAL.	CORNUS SPICATA	FULL SHADE LEADER
Cornus Verrucosa	8.8 B, 1.3' CAL.	CORNUS VERRUCOSA	FULL SHADE LEADER
Cornus Xanthocarpa	8.8 B, 1.3' CAL.	CORNUS XANTHOCARPA	FULL SHADE LEADER
Cornus Yunnanensis	8.8 B, 1.3' CAL.	CORNUS YUNNANENSIS	FULL SHADE LEADER
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Cornus Yunnanensis	8.8 B, 1.3' CAL.	CORNUS YUNNANENSIS	FULL SHADE LEADER
Cornus Alga	8.8 B, 1.3' CAL.	CORNUS ALGA	FULL SHADE LEADER
Cornus Canadensis	8.8 B, 1.3' CAL.	CORNUS CANADENSIS	FULL SHADE LEADER
Cornus Florida	8.8 B, 1.3' CAL.	CORNUS FLORIDA	FULL SHADE LEADER
Cornus Rugosa	8.8 B, 1.3' CAL.	CORNUS RUGOSA	FULL SHADE LEADER
Cornus Stricta	8.8 B, 1.3' CAL.	CORNUS STRICTA	FULL SHADE LEADER
Cornus Spicata	8.8 B, 1.3' CAL.	CORNUS SPICATA	FULL SHADE LEADER
Cornus Verrucosa	8.8 B, 1.3' CAL.	CORNUS VERRUCOSA	FULL SHADE LEADER
Cornus Xanthocarpa	8.8 B, 1.3' CAL.	CORNUS XANTHOCARPA	FULL SHADE LEADER
Cornus Yunnanensis	8.8 B, 1.3' CAL.	CORNUS YUNNANENSIS	FULL SHADE LEADER
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Cornus Yunnanensis	8.8 B, 1.3' CAL.	CORNUS YUNNANENSIS	FULL SHADE LEADER
Cornus Alga	8.8 B, 1.3' CAL.	CORNUS ALGA	FULL SHADE LEADER
Cornus Canadensis			



1 TREE PLANTING DETAIL



2 SHRUB PLANTING DETAIL

NO.	REVISIONS	BY	DATE



LANDSCAPE DETAILS

HOMESTEAD GARDENS

PROJECT LOCATION:
 2500 Homestead Road
 Chapel Hill, NC

CLIENT:
 Barbara vonKrogh Fund
 301 West Main Street
 Asheville, NC

DATE: 05/20/2010	VERT. NAME:
SCALE: 1" = 2'	
DRAWN: M. R. ALVARADO	
CHECKED: W. L. WILSON	
APPROVED: M. R. ALVARADO	

L1.6