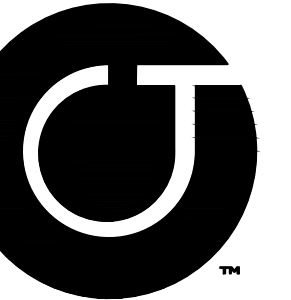


LULLWATER PARK CONCEPT PLAN APPLICATION

860 WEAVER DAIRY ROAD, CHAPEL HILL, NC

LIST OF SHEETS

- CP-1 COVER & AREA MAP
- CP-2 EXISTING CONDITIONS PLAN
- CP-3 SITE CONSTRAINTS
- CP-4 CONCEPT SITE PLAN RENDERINGS



CJT RA

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LIC # C-1209

NC BOARD OF
LANDSCAPE ARCHITECTS
LIC # C-104



Project
LULLWATER PARK
860 Weaver Dairy Rd,
Chapel Hill, NC

Town of Chapel Hill,
Orange County,
North Carolina

PIN: 9880564638

Job Number 2088

Drawn DAD
Checked WR
Date 07.21.2022
Revisions

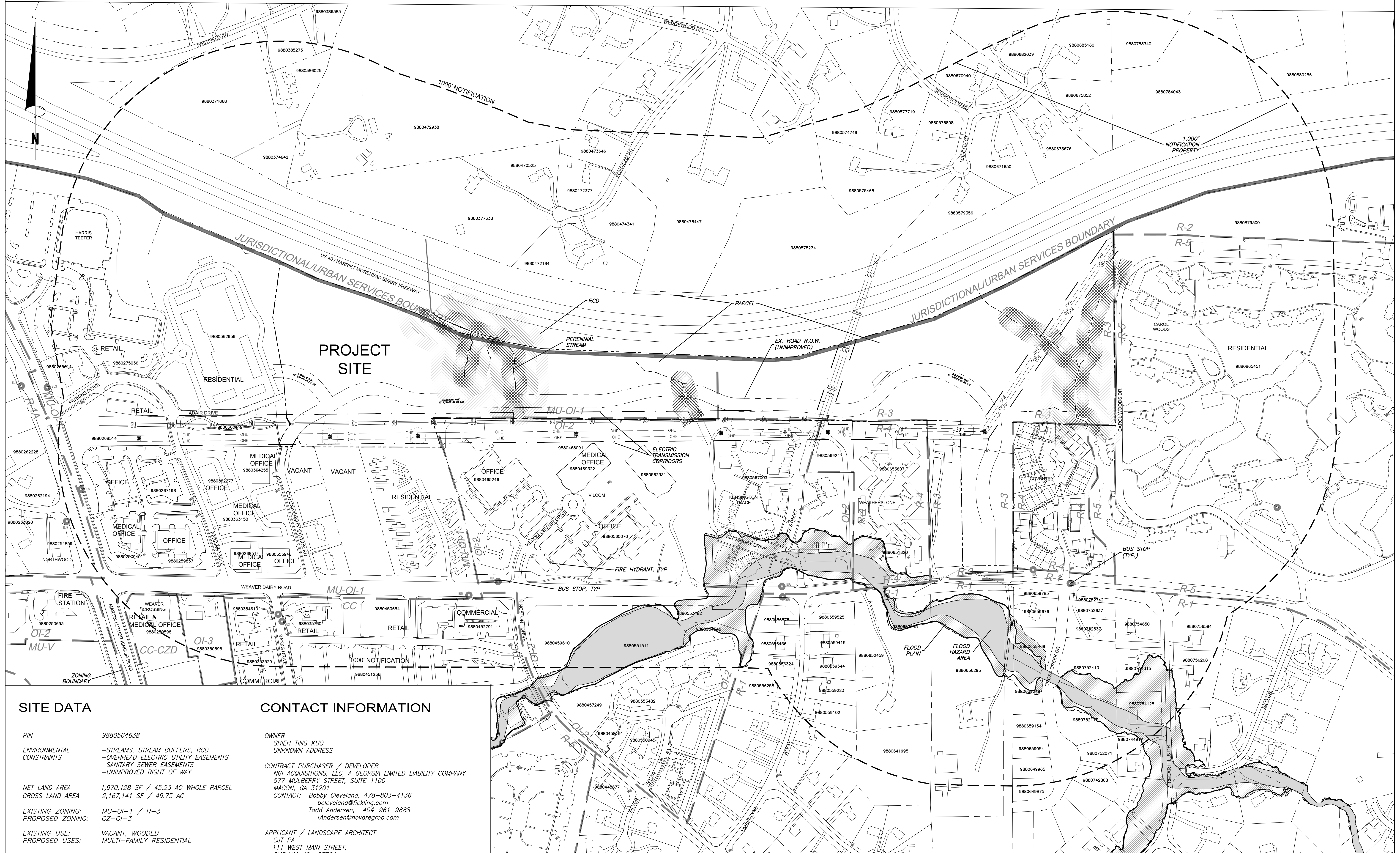
CONCEPT PLAN
PLANS NOT ISSUED
FOR CONSTRUCTION

Sheet Title

**COVER &
AREA MAP**

Sheet Number

CP-1



SITE DATA

PIN 9880564638

ENVIRONMENTAL CONSTRAINTS
-STREAMS, STREAM BUFFERS, RCD
-OVERHEAD ELECTRIC UTILITY EASEMENTS
-SANITARY SEWER EASEMENTS
-UNIMPROVED RIGHT OF WAY

NET LAND AREA 1,970,128 SF / 45.23 AC WHOLE PARCEL
GROSS LAND AREA 2,167,141 SF / 49.75 AC

EXISTING ZONING: MU-OI-1 / R-3
PROPOSED ZONING: CZ-OI-3

EXISTING USE: VACANT, WOODED
PROPOSED USES: MULTI-FAMILY RESIDENTIAL

CONTACT INFORMATION

OWNER
SHIEH TING KUO
UNKNOWN ADDRESS

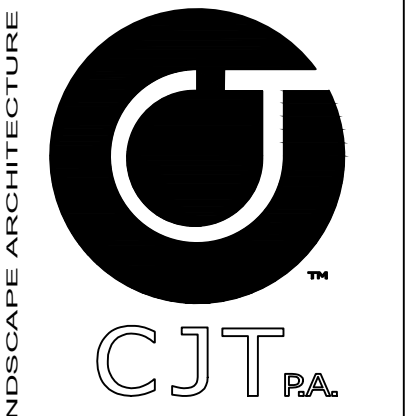
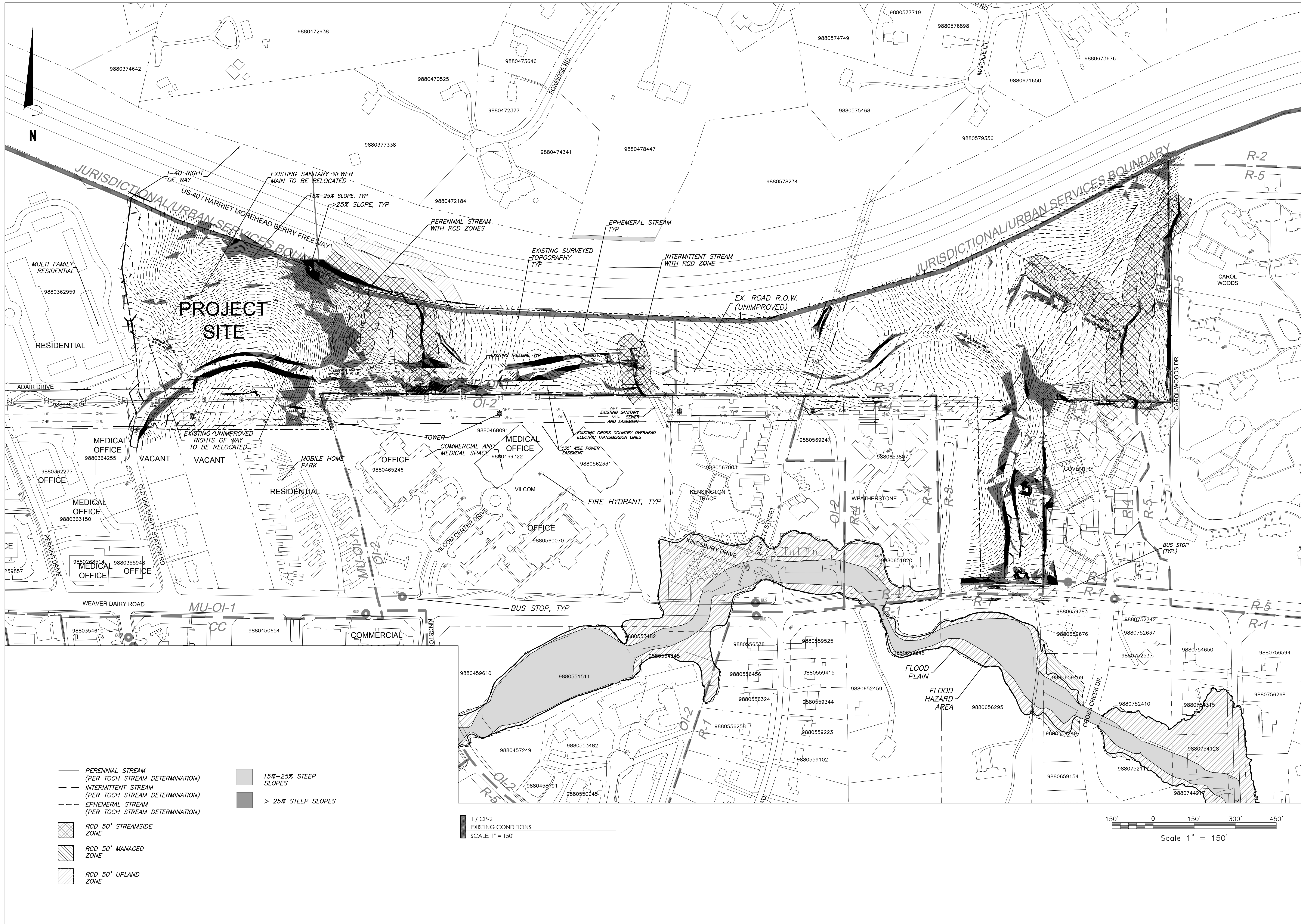
CONTRACT PURCHASER / DEVELOPER
NGI ACQUISITIONS, LLC, A GEORGIA LIMITED LIABILITY COMPANY
577 MULBERRY STREET, SUITE 1100
MACON, GA 31201
CONTACT: Bobby Cleveland, 478-803-4136
bcleveland@bfcleveland.com

Todd Andersen, 404-961-9888
TAndersen@novaregrop.com

APPLICANT / LANDSCAPE ARCHITECT
CJT PA
111 WEST MAIN STREET,
DURHAM NC 27701
CONTACT: Wendy Ramsden, 919-682-0368
wramden@cjtpa.com

1 / CP-1
AREA MAP
SCALE: 1" = 200'

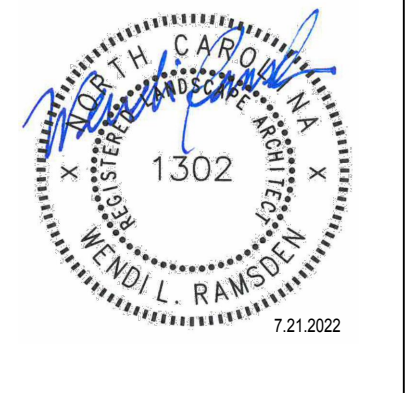
200' 0 200' 400' 600'
Scale 1" = 200'



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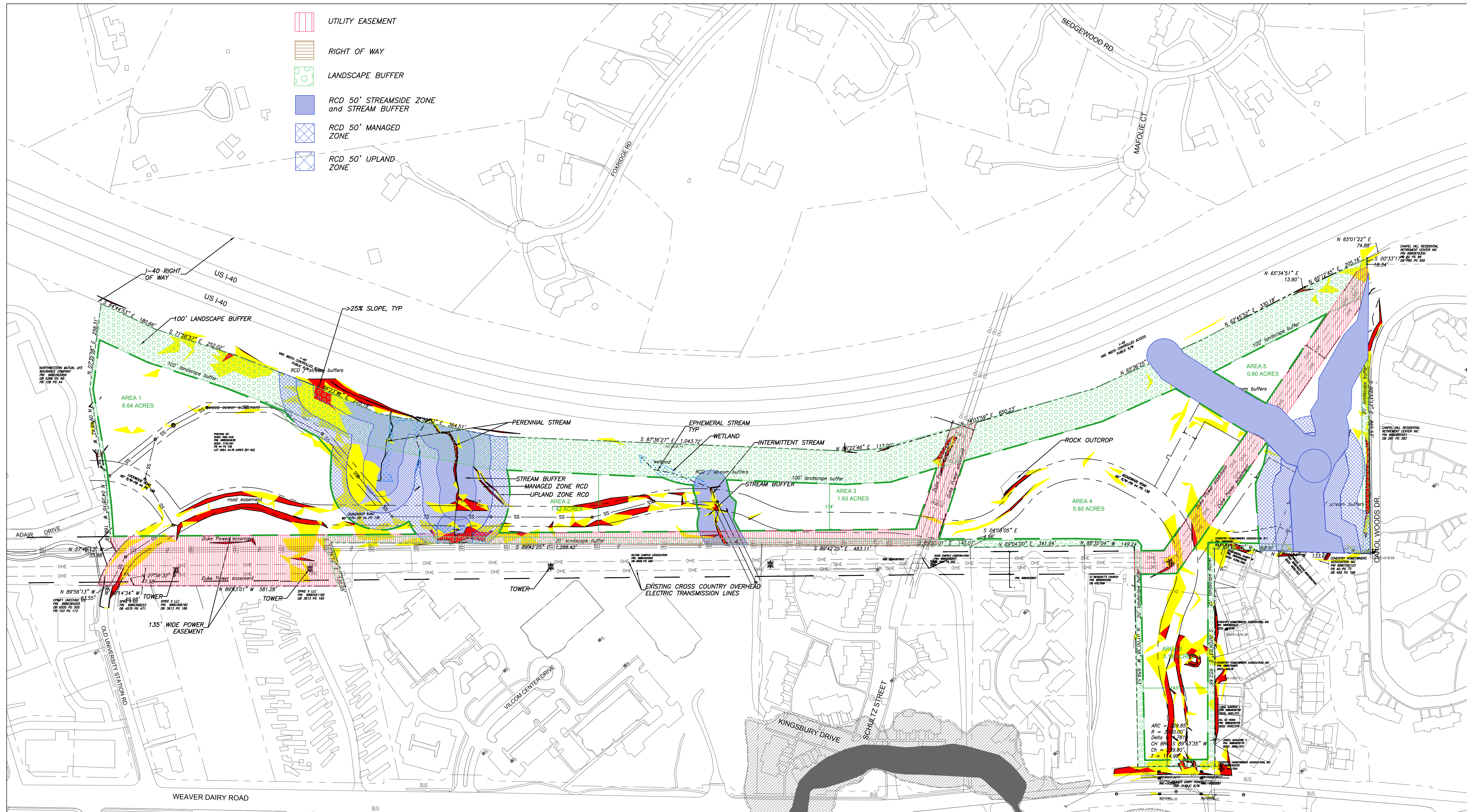
CONCEPT PLAN
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Sheet Title

**EXISTING
 CONDITIONS**

Sheet Number

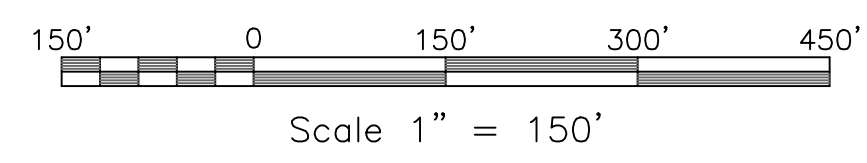
CP-2



- UTILITY EASEMENT
- RIGHT OF WAY
- LANDSCAPE BUFFER
- RCD 50' STREAMSIDE ZONE and STREAM BUFFER
- RCD 50' MANAGED ZONE
- RCD 50' UPLAND ZONE



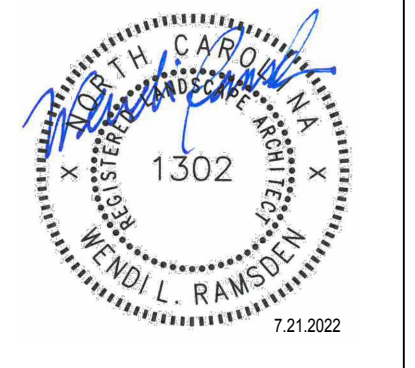
1 / CP-2
EXISTING SITE CONSTRAINTS
SCALE: 1" = 150'



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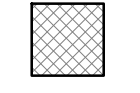
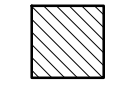
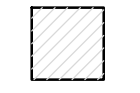
Job Number 2088

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Checked WR
Date 07.21.2022
Revisions

CONCEPT PLAN
PLANS NOT ISSUED
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Sheet Title
EXISTING SITE CONSTRAINTS

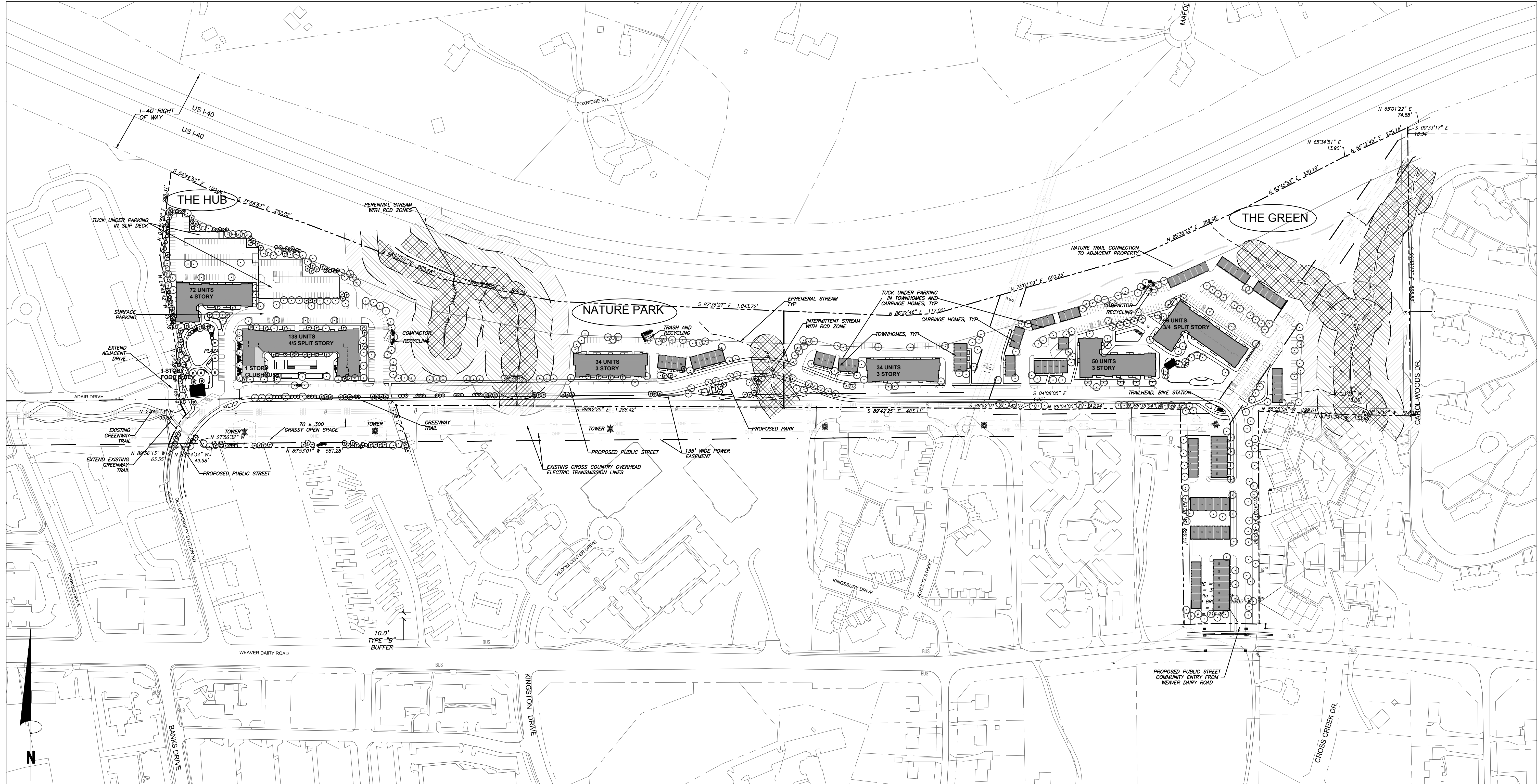
Sheet Number
CP-3

- PERENNIAL STREAM
(PER TOCH STREAM DETERMINATION)
- - - INTERMITTENT STREAM
(PER TOCH STREAM DETERMINATION)
- EPHEMERAL STREAM
(PER TOCH STREAM DETERMINATION)
-  RCD 50' STREAMSIDE ZONE
-  RCD 50' MANAGED ZONE
-  RCD 50' UPLAND ZONE

PROPOSED DEVELOPMENT SUMMARY

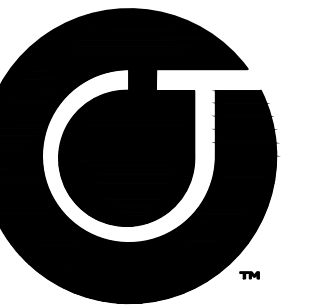
PROJECT LAND AREA: 45.23 AC
 # RESIDENTIAL UNITS: 489
 ON SITE PARKING: 724 SPACES
 GARAGES 145
 COVERED 95 LOWER LEVEL SLIP DECK
 SURFACE 484

PROPOSED IMPERVIOUS AREA: 38% site
 PROPOSED DISTURBANCE: 56% site
 PROPOSED TREESAVE: 33% site
 Approximately 40% of existing trees
 will be retained
 ADDITIONAL TREES WILL BE PLANTED



1 / CP-4
 CONCEPT SITE PLAN PROPOSED CONDITIONS
 SCALE: 1" = 150'

Scale 1" = 150'



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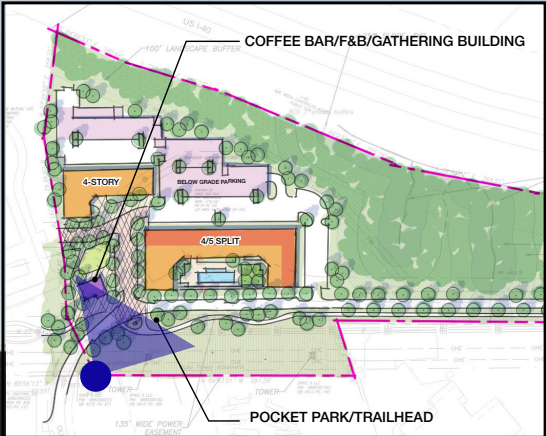
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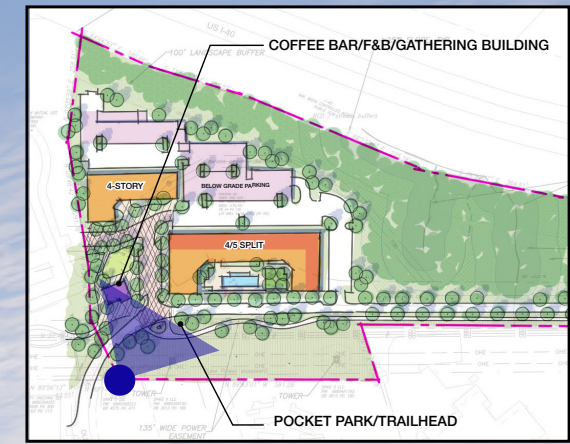
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Sheet Title
CONCEPT SITE PLAN

Sheet Number
CP-4

The Hub





Urban Forest: The Hub
 Multifamily & Coffee Bar

Lullwater Park | Chapel Hill, NC
 July 20, 2022

