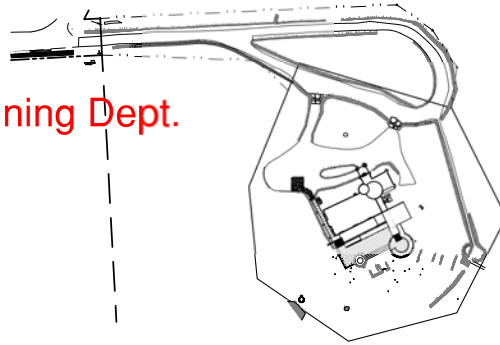


Zoning Approved Plans
 23 pages
 12/11/2023
 Anya Grahn-Federmack, Planning Dept.



VICINITY MAP
 NTS

BUILDING RENOVATION & PATIO ADDITION TO GIMGHOUL CASTLE 742 GIMGHOUL RD CHAPEL HILL, NORTH CAROLINA

DRAWING INDEX:

- C1.1 COVER SHEET
- C1.2 SPECIFICATIONS SHEET
- C1.3 SPECIFICATIONS SHEET
- C2.1 SEALED SURVEY
- C2.2 EXISTING CONDITIONS AND DEMOLITION PLAN
- C2.3 AREA MAP
- C3.1 SITE LAYOUT PLAN
- C4.1 GRADING & STORM DRAINAGE PLAN
- C4.2 STORMWATER MANAGEMENT PLAN
- C5.1 CONSTRUCTION MANAGEMENT AND TRAFFIC CONTROL PLAN
- C5.2 SOLID WASTE PLAN
- C6.1 FIRE PROTECTION AND UTILITY PLAN
- C6.2 WATERLINE PLAN AND PROFILE
- C6.3 UTILITY DETAIL SHEETS
- C6.4 UTILITY DETAIL SHEETS
- C7.1 EROSION CONTROL PLAN
- C7.2 EROSION CONTROL DETAILS
- C8.1 LANDSCAPE PROTECTION PLAN
- C8.2 STEEP SLOPES PLAN
- C11.1 SITE DETAILS
- C11.2 EXISTING LIGHTS TO REMAIN
- C15.3 NCG01 GROUND STABILIZATION & MATERIAL HANDLING
- C15.4 SELF-INSPECTION, & RECORDKEEPING REPORTING

SITE DATA:

| | | | |
|--|--|----------------------------|------------------------------|
| OWNER: | GIMGHOUL CORPORATION PO BOX 3670 CHAPEL HILL, NC 27515R | MAXIMUM BUILDING HEIGHT: | PRIMARY 26' SECONDARY 60' |
| APPLICANT: | GIMGHOUL CORPORATION PO BOX 3670 CHAPEL HILL, NC 27515R | MINIMUM LOT SIZE REQUIRED: | 10,000 SF |
| PROJECT DESCRIPTION: | BUILDING RENOVATION AND PATIO ADDITION | MINIMUM LOT SIZE PROPOSED: | 2.15 ACRES |
| EXISTING USE: | PRIVATE CLUB | NET LAND AREA (NLA): | 93,849 SF |
| PROPOSED USE: | PRIVATE CLUB | GROSS LAND AREA (GLA): | 103,234 SF |
| PIN: | 9788-06-2745 | WATERWAYS AREA | |
| DEED REFERENCE: | DB 851 PG 418 | EXISTING: | 25,185 SF 24.40% |
| PARCEL ACREAGE: | 2.15 ACRES | DEMOLITION: | 482 SF 0.47% |
| CURRENT ZONING: | OH-1 CZD | PROPOSED: | 4,437 SF 4.30% |
| OVERLAY ZONING: | GIMGHOUL HISTORIC DISTRICT (OH-3) JORDAN LAKE WATERSHED PROTECTION DISTRICT | TOTAL: | 29,140 SF 28.23% |
| RESOURCE CONSERVATION DISTRICT SUMMARY (RCD) | | LAND DISTURBANCE AREA: | 18,100 SF |
| STREAM SIDE ZONE: | 0 SF | PARKING SUMMARY | |
| MANAGED USE ZONE: | 0 SF | NONE REQUIRED | |
| UPLAND ZONE: | 0 SF | BUILDING SUMMARY | |
| TOTAL RCD: | 0 SF | EXISTING FLOOR AREA: | 1,200 SF |
| RIVER BASIN: | CAPE FEAR RIVER BASIN (JORDAN LAKE) | NEW FLOOR AREA: | 5,055 SF |
| FLOODPLAIN: | NO FLOOD ZONE PER MAP (#370)809788 K | TOTAL FLOOR AREA: | 6,255 SF |
| SOILS: | APPLING (A/C), WEDDOWEE (WHE) | | |
| ENVIRONMENTAL: | NO STREAMS, WETLANDS, NOR RCD | | |
| NO. OF LOTS: | 1 LOT | | |
| BUILDING SETBACKS REQUIRED: | STREET: 24' INTERIOR: 8' SOLAR: 11' | | |
| BUILDING SETBACKS PROVIDED: | STREET: 365' INTERIOR: 97' SOLAR: 106' | | |

LEGEND

| | NEW | EXISTING | REMOVE |
|-------------------------------|--------|----------|--------|
| DRAINAGE STRUCTURE | ■ | □ | □ |
| SANITARY SEWER MANHOLE | ⊙ | ○ | ○ |
| SANITARY SEWER CLEANOUT | ⊙ | ○ | ○ |
| WATER VALVE | ⊙ | ○ | ○ |
| FIRE HYDRANT | ⊙ | ○ | ○ |
| OVERHEAD UTILITY LINE | — | — | — |
| UNDERGROUND ELECTRIC LINE | E | E | E |
| UNDERGROUND TELECOM/DATA LINE | TD | TD | TD |
| FIBER OPTIC CABLE | FO | FO | FO |
| GAS LINE | G | G | G |
| STORM DRAINAGE PIPE | SD | SD | SD |
| SANITARY SEWER LINE | SS | SS | SS |
| WATER LINE | W | W | W |
| SURFACE ELEVATION CONTOUR | 400 | 400 | 400 |
| SURFACE SPOT ELEVATION | 396.44 | 396.44 | 396.44 |
| TREE LINE | — | — | — |
| LIMIT OF DISTURBANCE/CLEARING | LOD | LOD | LOD |
| ROOF DRAIN | RD | RD | RD |
| ELECTRICAL TRANSFORMER PAD | ⊠ | ⊠ | ⊠ |
| TYPICAL KEYED NOTE LABEL | 1 | 1 | 1 |

NOISE ORDINANCE NOTE:

CONSTRUCTION OPERATIONS ARE SUBJECT TO THE TOWN'S NOISE ORDINANCE WHICH PROVIDES THE EXCEPTION FOR CONSTRUCTION OPERATIONS FROM 7:00 A.M. TO 9:00 P.M. ON WEDNESDAYS AND 8:00 A.M. TO 8:00 P.M. ON WEDNESDAYS FOR WHICH BUILDING PERMITS HAVE BEEN ISSUED, OR CONSTRUCTION OPERATIONS NOT REQUIRING PERMITS DUE TO OWNERSHIP OF THE PROJECT BY AN AGENCY OF GOVERNMENT, PROVIDED ALL EQUIPMENT IS OPERATED IN ACCORD WITH THE MANUFACTURER'S SPECIFICATIONS, AND WITH ALL STANDARD EQUIPMENT, AND WITH MANUFACTURER'S MUFFLERS AND NOISE-REDUCING EQUIPMENT IN USE, AND IN PROPER OPERATING CONDITION.



GIMGHOUL
 CASTLE
 CHAPEL HILL, NORTH CAROLINA
 COVER
 SHEET

| REV. | DATE | DESCRIPTION |
|------|------------|--|
| 1 | 12/11/2023 | 1ST TOWN PLAN REVIEW COMMENTS |
| 2 | 02/24/2024 | DIVANSA 2ND ROUND PLAN REVIEW COMMENTS |
| 3 | 10/15/2023 | 2ND TOWN PLAN REVIEW COMMENTS |
| 4 | 11/22/2023 | 3RD TOWN PLAN REVIEW COMMENTS |
| 5 | 11/22/2023 | 4TH DIVANSA PLAN REVIEW COMMENTS |



Know what's below.
 Call before you dig.
 (Or call: 1-800-632-4949)

SHEET NO.

C1.1

SECTION 1

- 1.01 GENERAL
 - A. Section Includes
- 1.02 SUMMARY
 - A. Section Includes
- 1.03 MATERIALS
 - A. Manufacturer
- 1.04 INSTALLATION
 - A. Preparation
 - B. Installation
- 1.05 MAINTENANCE
 - A. Manufacturer's Literature

- 1.06 PAINTS
 - A. Manufacturer
- 1.07 FINISHES
 - A. Manufacturer
- 1.08 ACCESSORIES
 - A. Manufacturer
- 1.09 RELATED WORK
 - A. Related Sections

- 1.10 QUALITY ASSURANCE
 - A. Manufacturer's Literature
- 1.11 TESTING
 - A. Manufacturer's Literature
- 1.12 PROTECTION
 - A. Manufacturer's Literature
- 1.13 CLEANUP
 - A. Manufacturer's Literature

- 1.14 DEMONSTRATION
 - A. Manufacturer's Literature
- 1.15 TRAINING
 - A. Manufacturer's Literature
- 1.16 OBTAINING PERMITS
 - A. Manufacturer's Literature
- 1.17 RECORDS
 - A. Manufacturer's Literature

- 1.18 RELATED WORK
 - A. Related Sections
- 1.19 PAINTS
 - A. Manufacturer
- 1.20 FINISHES
 - A. Manufacturer
- 1.21 ACCESSORIES
 - A. Manufacturer

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1.96 RELATED WORK

- 1.97 QUALITY ASSURANCE
 - A. Manufacturer's Literature
- 1.98 TESTING
 - A. Manufacturer's Literature
- 1.99 PROTECTION
 - A. Manufacturer's Literature
- 2.00 CLEANUP
 - A. Manufacturer's Literature

2.01 RELATED WORK

- 2.02 QUALITY ASSURANCE
 - A. Manufacturer's Literature
- 2.03 TESTING
 - A. Manufacturer's Literature
- 2.04 PROTECTION
 - A. Manufacturer's Literature
- 2.05 CLEANUP
 - A. Manufacturer's Literature

2.06 RELATED WORK

2.07 QUALITY ASSURANCE



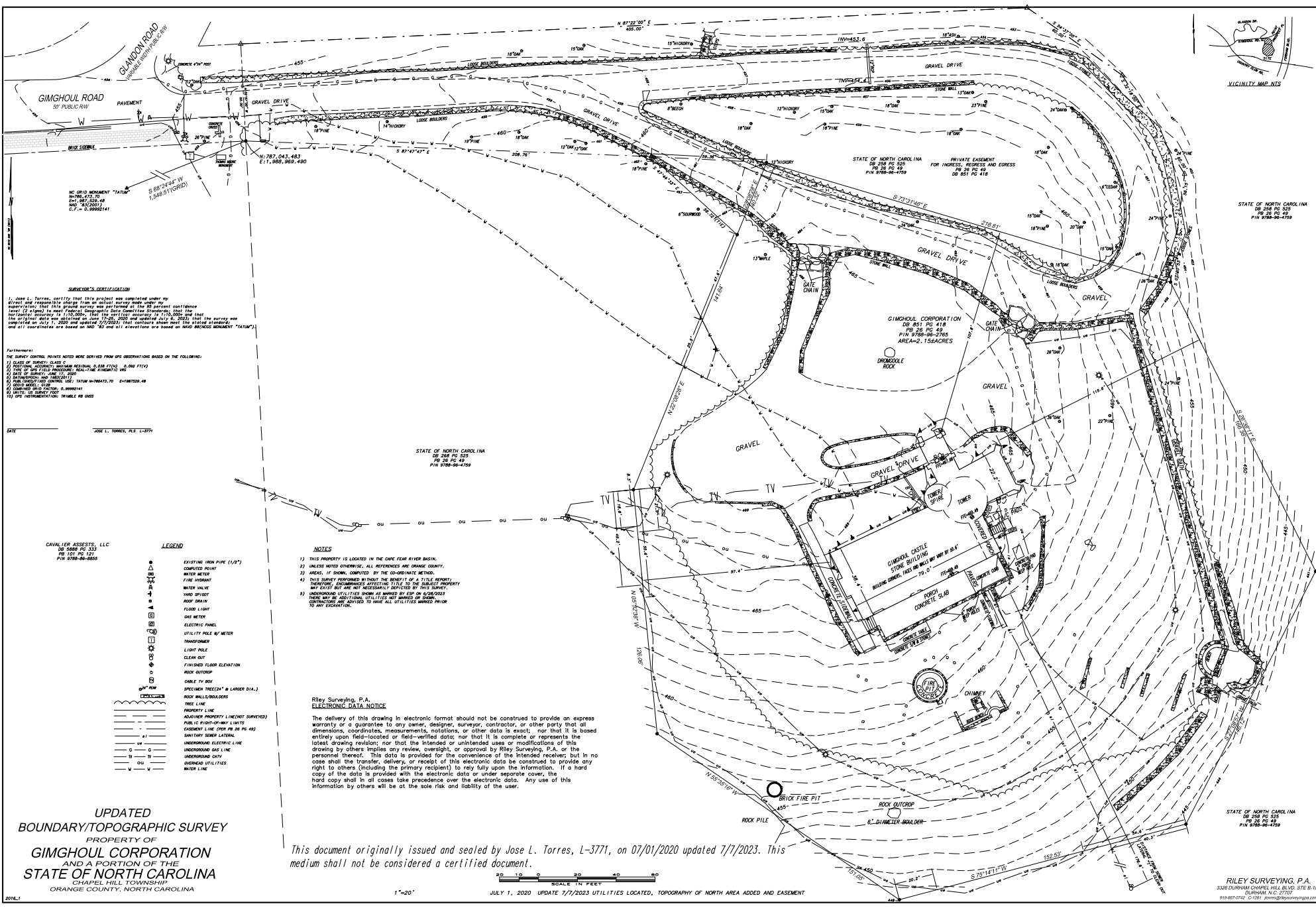
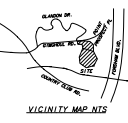
**GIMGHOUL
CASTLE
CHAPEL HILL, NORTH CAROLINA
SPECIFICATIONS
SHEET**

| REV. | DATE | DESCRIPTION |
|------|------|-------------|
| | | |
| | | |
| | | |
| | | |
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DATE: AUGUST 01, 2024
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SHEET NO.
C1.2



SURVEYOR'S CERTIFICATION

I, Jose L. Torres, certify that this project was completed under my personal supervision in accordance with the laws and regulations of the State of North Carolina. I am a duly Licensed Professional Surveyor, No. 03892, in the State of North Carolina. I certify that this project was completed on July 1, 2020 and updated 7/7/2023. The contours shown on this plan were derived from GPS observations based on the following:

Particulars:

- 1) CLASS OF SURVEY: CLASS 1
- 2) POSITION OF POINTS: UNCOMMON REGULAR, 0.5M (174) 2-DIM (174)
- 3) POSITION OF POINTS: UNCOMMON REGULAR, REAL-TIME (CONTINUOUS)
- 4) DATE OF SURVEY: JAN 16, 2020
- 5) INSTRUMENTS AND AUXILIARIES: TRIMM SURVASS-70 5-EXTENDED-68
- 6) POINTS ADJUSTED: 0
- 7) POINTS OBTAINED: 0
- 8) POINTS REJECTED: 0
- 9) TOTAL POINTS OBTAINED: 0

DATE: _____
JOSE L. TORRES, PLS. (3771)

CAVALIER ASSESSEES, LLC
DB 505 PG 251
PG 101 PG 121
PIN 9788-06-458

LEGEND

| | |
|--|---------------------------------------|
| | EXISTING IRON PIPE (1/2") |
| | COMPUTED POINT |
| | WATER METER |
| | FIRE HYDRANT |
| | WATER VALVE |
| | YARD OFFSET |
| | ROCK DRAIN |
| | FLOOD LIGHT |
| | GAS METER |
| | ELECTRIC POLE W/ METER |
| | TRANSFORMER |
| | LIGHT POLE |
| | CLEAN OUT |
| | FINISHED FLOOR ELEVATION |
| | ROCK OUTCROP |
| | CABLE TV BOX |
| | DRIVEWAY TREES 2" & LARGER DIA. |
| | ROCK WALLS/BOULDERS |
| | TREE LINE |
| | ADJACENT PROPERTY LINE (NOT SURVEYED) |
| | PUBLIC RIGHT-OF-WAY LIMITS |
| | EGRESS LINE (SEE PG 49) |
| | SANITARY SEWER LATERAL |
| | UNDERGROUND ELECTRIC LINE |
| | UNDERGROUND GAS LINE |
| | UNDERGROUND CATTY |
| | UNDERGROUND UTILITIES |
| | WATER LINE |

NOTES

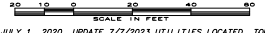
- 1) THIS PROPERTY IS LOCATED IN THE CAPE FEAR RIVER BASIN.
- 2) UNLESS NOTED OTHERWISE, ALL REFERENCES ARE ORANGE COUNTY.
- 3) AREAS, IF SHOWN, COMputed BY THE CO-ORDINATE METHOD.
- 4) THIS SURVEY PERFORMED IN PART THE BENEFIT OF A TITLE REPORT. THEREFORE, ENCUMBRANCES AFFECTING TITLE TO THE SURVEYED PROPERTY MAY EXIST BUT ARE NOT NECESSARILY INDICATED BY THIS SURVEY.
- 5) UNDERGROUND UTILITIES SHOWN AS MARKED OR (ON RECORDS) THERE MAY BE ADDITIONAL UTILITIES NOT SHOWN. SUCH CONTRACTORS ARE ADVISED TO MAKE ALL UTILITIES MARKED PRIOR TO ANY EXCAVATION.

Riley Surveying, P.A.
ELECTRONIC DATA NOTICE

The delivery of this drawing in electronic format should not be construed to provide an express warranty or a guarantee to any owner, designer, surveyor, contractor, or other party that all dimensions, coordinates, measurements, notations, or other data is exact; nor that it is based entirely upon field-located or field-written data; nor that it is complete or represents the latest drawing revision; nor that the intended or unintended uses or modifications of this drawing by others implies any review, oversight, or approval by Riley Surveying, P.A., or the personnel thereof. This data is provided for the convenience of the intended receiver; but in no case shall the transfer, delivery, or receipt of this electronic data be construed to provide any right to others (including the primary recipient) to rely fully upon the information. If a hard copy of the data is provided with the electronic data or under separate cover, the hard copy shall in all cases take precedence over the electronic data. Any use of this information by others will be at the sole risk and liability of the user.

**UPDATED
BOUNDARY/TOPOGRAPHIC SURVEY
PROPERTY OF
GIMGHOUL CORPORATION
AND A PORTION OF THE
STATE OF NORTH CAROLINA
CHAPEL HILL TOWNSHIP
ORANGE COUNTY, NORTH CAROLINA**

This document originally issued and sealed by Jose L. Torres, L-3771, on 07/01/2020 updated 7/7/2023. This medium shall not be considered a certified document.

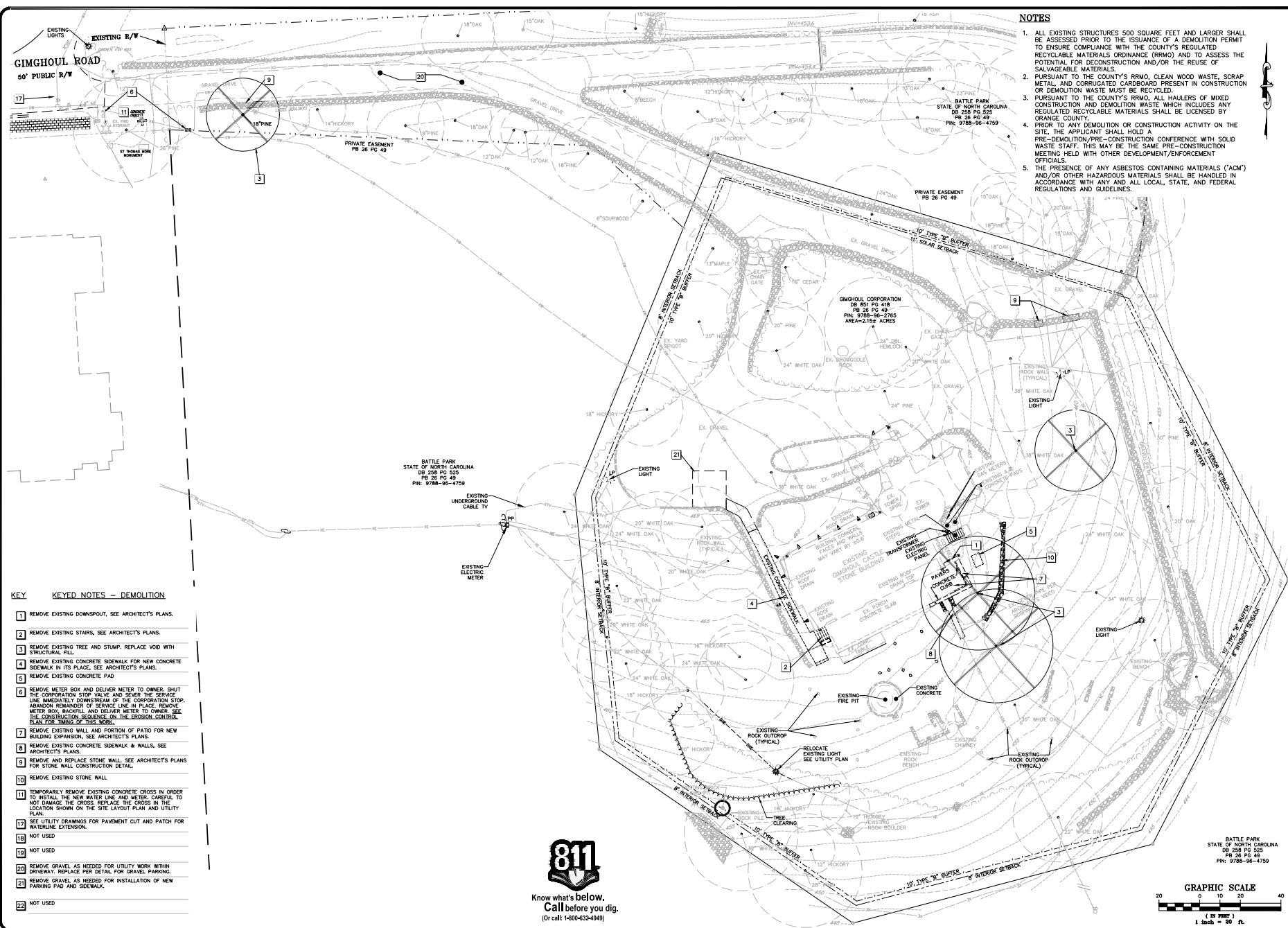


1"=20'
JULY 1, 2020 UPDATE 7/7/2023 UTILITIES LOCATED, TOPOGRAPHY OF NORTH AREA ADDED AND EASEMENT

STATE OF NORTH CAROLINA
DB 254 PG 525
PG 26 PG 49
PIN 9788-06-458

STATE OF NORTH CAROLINA
DB 253 PG 525
PG 26 PG 49
PIN 9788-06-458

RILEY SURVEYING, P.A.
3328 OLIVARIAN CHASE, LEE BLDG. STE B 100
DURHAM, N.C. 27703
919.667.0262, © 1087 jptorr@rileysurveyingpa.com

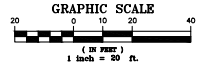


- NOTES**
1. ALL EXISTING STRUCTURES 500 SQUARE FEET AND LARGER SHALL BE ASSESSED PRIOR TO THE ISSUANCE OF A DEMOLITION PERMIT TO ENSURE COMPLIANCE WITH THE COUNTY'S REGULATED RECYCLABLE MATERIALS ORDINANCE (RMO) AND TO ASSESS THE POTENTIAL FOR DECONSTRUCTION AND/OR THE REUSE OF SALVAGEABLE MATERIALS.
 2. PURSUANT TO THE COUNTY'S RMO, CLEAN WOOD WASTE, SCRAP METAL, AND CORRUGATED CARDBOARD PRESENT IN CONSTRUCTION OR DEMOLITION WASTE MUST BE RECYCLED.
 3. PURSUANT TO THE COUNTY'S RMO, ALL HAULERS OF MIXED CONSTRUCTION AND DEMOLITION WASTE WHICH INCLUDES ANY REGULATED RECYCLABLE MATERIALS SHALL BE LICENSED BY ORANGE COUNTY.
 4. PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE, THE APPLICANT SHALL HOLD A PRE-DEMOLITION/PRE-CONSTRUCTION CONFERENCE WITH SOLID WASTE STAFF. THIS MAY BE THE SAME PRE-CONSTRUCTION MEETING HELD WITH OTHER DEVELOPMENT/ENFORCEMENT OFFICIALS.
 5. THE PRESENCE OF ANY ASBESTOS CONTAINING MATERIALS ("ACM") AND/OR OTHER HAZARDOUS MATERIALS SHALL BE HANDLED IN ACCORDANCE WITH ANY AND ALL LOCAL, STATE, AND FEDERAL REGULATIONS AND GUIDELINES.

- KEY KEYED NOTES - DEMOLITION**
- 1 REMOVE EXISTING DOWNSPOUT, SEE ARCHITECT'S PLANS.
 - 2 REMOVE EXISTING STAIRS, SEE ARCHITECT'S PLANS.
 - 3 REMOVE EXISTING TREE AND STUMP. REPLACE VOID WITH STRUCTURAL FILL.
 - 4 REMOVE EXISTING CONCRETE SIDEWALK FOR NEW CONCRETE SIDEWALK IN ITS PLACE. SEE ARCHITECT'S PLANS.
 - 5 REMOVE EXISTING CONCRETE PAD.
 - 6 REMOVE METER BOX AND DELIVER METER TO OWNER. SHUT THE CORPORATION STOP VALVE AND SEVER THE SERVICE LINE IMMEDIATELY DOWNSTREAM OF THE CORPORATION STOP. ABANDON REMAINDER OF SERVICE LINE IN PLACE. REMOVE METER BOX, BACKFILL AND DELIVER METER TO OWNER. SEE THE CONSTRUCTION SEQUENCE ON THE EROSION CONTROL PLAN FOR TIMING OF THIS WORK.
 - 7 REMOVE EXISTING WALL AND PORTION OF PATIO FOR NEW BUILDING EXPANSION. SEE ARCHITECT'S PLANS.
 - 8 REMOVE EXISTING CONCRETE SIDEWALK & WALLS, SEE ARCHITECT'S PLANS.
 - 9 REMOVE AND REPLACE STONE WALL. SEE ARCHITECT'S PLANS FOR STONE WALL CONSTRUCTION DETAIL.
 - 10 REMOVE EXISTING STONE WALL.
 - 11 TEMPORARILY REMOVE EXISTING CONCRETE CROSS IN ORDER TO INSTALL THE NEW WATER LINE AND METER. CAREFUL TO NOT DAMAGE THE CROSS. REPLACE THE CROSS IN THE LOCATION SHOWN ON THE SITE LAYOUT PLAN AND UTILITY PLAN.
 - 12 SEE UTILITY DRAWINGS FOR PAVEMENT CUT AND PATCH FOR WATERLINE EXTENSION.
 - 13 NOT USED.
 - 14 NOT USED.
 - 15 NOT USED.
 - 16 REMOVE GRAVEL AS NEEDED FOR UTILITY WORK WITHIN DRIVEWAY. REPLACE PER DETAIL FOR GRAVEL PAVING.
 - 17 REMOVE GRAVEL AS NEEDED FOR INSTALLATION OF NEW PARKING PAD AND SIDEWALK.
 - 18 NOT USED.



Know what's below.
Call before you dig.
(Or call: 1-800-432-4949)



GIMGHOUL CASTLE
CHAPEL HILL, NORTH CAROLINA
EXISTING CONDITION AND DEMOLITION PLAN

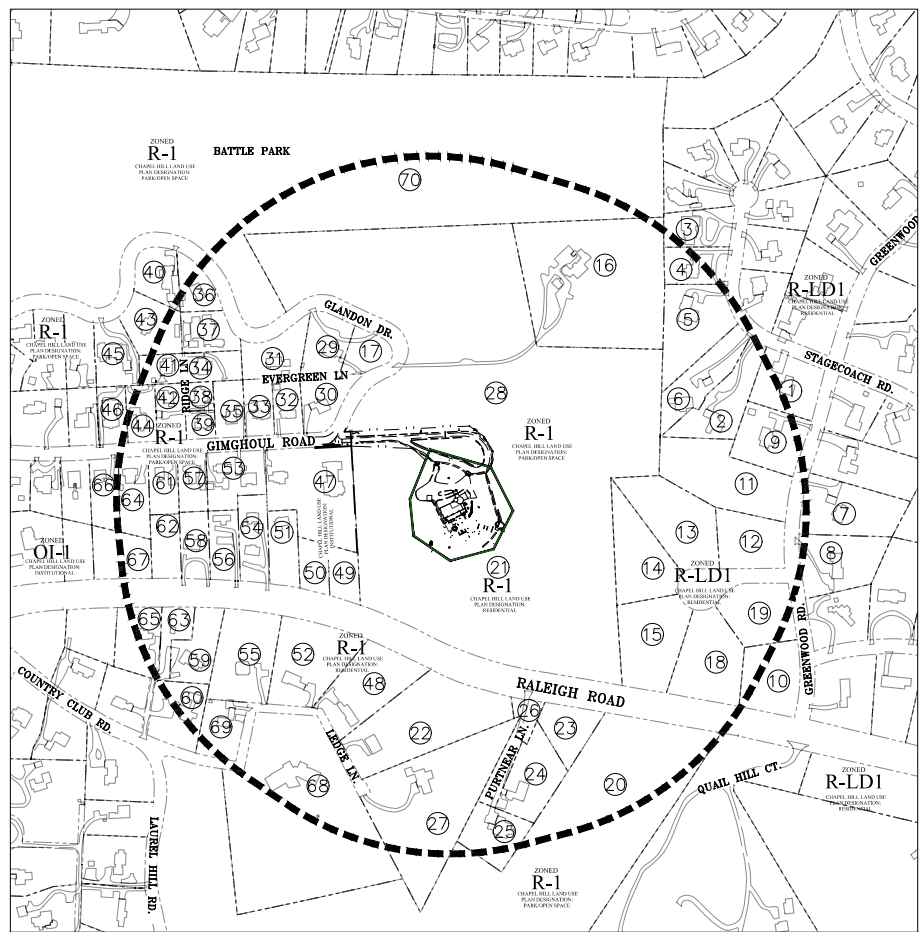
| REV. | DATE | DESCRIPTION |
|------|------------|---|
| 1 | 08/12/2023 | 1ST TOWN PLAN REVIEW COMMENTS |
| 2 | 09/24/2023 | DIVISION 2ND ROUND PLAN REVIEW COMMENTS |
| 3 | 10/19/2023 | 2ND TOWN PLAN REVIEW COMMENTS |
| 4 | 11/05/2023 | 4TH COUNCIL CHARTER REVIEW COMMENTS |

BATTLE PARK
STATE OF NORTH CAROLINA
DB 208 PG 525
PB 26 PG 49
PIN: 9788-96-4759

SHEET NO.

C2.2

| | | | | | | |
|----|-----------|--|--------------------------|---------------|-------|----------|
| 1 | 379807335 | BROCK RICHARD J | 900 GREENWOOD RD | CHAPEL HILL | NC | 27544900 |
| 2 | 379807306 | BRACHMAN LISA | 801 STAGECOACH RD | CHAPEL HILL | NC | 27544 |
| 3 | 379807267 | MORRIS CATHERINE CARTER | 233 STAGECOACH RD | CHAPEL HILL | NC | 27544 |
| 4 | 379807269 | BAIGER NICHOLAS | 215 STAGECOACH RD | CHAPEL HILL | NC | 27544802 |
| 5 | 379807250 | BAIGER NICHOLAS | 211 STAGECOACH RD | CHAPEL HILL | NC | 27544 |
| 6 | 379807219 | SHELTER EUGENE TRUSTEE | 207 STAGECOACH RD | CHAPEL HILL | NC | 27544 |
| 7 | 379806578 | SIEGHER FREDERICK | 805 GREENWOOD RD | CHAPEL HILL | NC | 27544 |
| 8 | 379806561 | SOBE AODI | 807 GREENWOOD RD | CHAPEL HILL | NC | 27544 |
| 9 | 379806494 | SOBELMAN MATTHEW A | 806 GREENWOOD RD | CHAPEL HILL | NC | 27544 |
| 10 | 379806419 | KNOWLES W E JR | UNKNOWN ADDRESS | CHAPEL HILL | NC | 27544 |
| 11 | 379806183 | STATE OF NORTH CAROLINA | UNKNOWN ADDRESS | SALISBURY | NC | 27603 |
| 12 | 379806263 | STATE OF NORTH CAROLINA | UNKNOWN ADDRESS | SALISBURY | NC | 27603 |
| 13 | 379806249 | STATE OF NORTH CAROLINA | UNKNOWN ADDRESS | SALISBURY | NC | 27603 |
| 14 | 379806266 | STATE OF NORTH CAROLINA | UNKNOWN ADDRESS | SALISBURY | NC | 27603 |
| 15 | 379806263 | STATE OF NORTH CAROLINA | UNKNOWN ADDRESS | SALISBURY | NC | 27603 |
| 16 | 379807327 | LORELLI CHARLES A | 1 POINT PROSPECT PLACE | CHAPEL HILL | NC | 27544802 |
| 17 | 379807023 | DAVIS ROBERTO A | 488 PATTERSON PL W | CHAPEL HILL | NC | 27544 |
| 18 | 379806272 | STATE OF NORTH CAROLINA | UNKNOWN ADDRESS | SALISBURY | NC | 27603 |
| 19 | 379806268 | STATE OF NORTH CAROLINA | UNKNOWN ADDRESS | SALISBURY | NC | 27603 |
| 20 | 379806268 | STATE OF NORTH CAROLINA | UNKNOWN ADDRESS | SALISBURY | NC | 27603 |
| 21 | 379806268 | EMERSON CORPORATION | 901 BOX 800 | CHAPEL HILL | NC | 27544 |
| 22 | 379806104 | SHELLER ALFONSO | 807 EDGE LN | CHAPEL HILL | NC | 27544 |
| 23 | 379806600 | FERGUSON JAMES GATES JR | P.O. BOX 889 | CHAPEL HILL | NC | 27544 |
| 24 | 379806483 | FERGUSON JAMES GATES JR | P.O. BOX 889 | CHAPEL HILL | NC | 27544 |
| 25 | 379806483 | FERGUSON JAMES GATES JR | P.O. BOX 889 | CHAPEL HILL | NC | 27544 |
| 26 | 379806483 | FERGUSON JAMES GATES JR | P.O. BOX 889 | CHAPEL HILL | NC | 27544800 |
| 27 | 379806174 | SCULL TRUST | 505 EDGE LN | CHAPEL HILL | NC | 27544 |
| 28 | 379806478 | STATE OF NORTH CAROLINA | UNKNOWN ADDRESS | SALISBURY | NC | 27603 |
| 29 | 379806478 | STATE OF NORTH CAROLINA | UNKNOWN ADDRESS | SALISBURY | NC | 27603 |
| 30 | 379807172 | STEVENS JOHANN III | 741 GIMGHOUL RD | CHAPEL HILL | NC | 27544885 |
| 31 | 379806255 | TOLEDO COURTNEY E | 800 GLANCON DR | CHAPEL HILL | NC | 27544888 |
| 32 | 379806250 | SABOTT YVON LYNN | 735 GIMGHOUL RD | CHAPEL HILL | NC | 27544885 |
| 33 | 379806478 | WRIGHT MATTHEW DALE | 777 GIMGHOUL RD | CHAPEL HILL | NC | 27544885 |
| 34 | 379807315 | ANDERSON LEGARATHIE JR | 130 RIDGE LN | CHAPEL HILL | NC | 27544 |
| 35 | 379806489 | ABNEY BREYER DAVID | 735 GIMGHOUL RD | CHAPEL HILL | NC | 27544 |
| 36 | 379807352 | SCHULTZ LAWS | 250 GLANCON DR | CHAPEL HILL | NC | 27544888 |
| 37 | 379806271 | FRANK BRINA ESTELLE | 800 GLANCON DR | CHAPEL HILL | NC | 27544 |
| 38 | 379807315 | LAMB NATHAN | 100 RIDGE LN | CHAPEL HILL | NC | 27544 |
| 39 | 379807004 | DEMOCHELAN HOLDINGS LLC | 4522 PRINCIPAL LINE RD | PRINCETON | NJ | 8540 |
| 40 | 379807323 | CLIBERTY DAVID K | 246 GLANCON DR | CHAPEL HILL | NC | 27544888 |
| 41 | 379806270 | WILSON EDWARD JAMES III | 171 RIDGE LN | CHAPEL HILL | NC | 27544 |
| 42 | 379806268 | WHITE JAMES W | 105 RIDGE LN | CHAPEL HILL | NC | 27544800 |
| 43 | 379807183 | MILLS MIKE E | 240 GLANCON DR | CHAPEL HILL | NC | 27544 |
| 44 | 379807187 | BREIT MARGUERITE B | 1432 VILLAGE CROSSING DR | CHAPEL HILL | NC | 27527 |
| 45 | 379806268 | SCHELL PAULA DEBRA TRUSTEE | 232 GLANCON DR | CHAPEL HILL | NC | 27544 |
| 46 | 379806268 | MORRIS PAUL W TRUSTEE | 779 GIMGHOUL RD | CHAPEL HILL | NC | 27544 |
| 47 | 379806895 | CAVALER ASSETS LLC | 1289 FORHAM BLVD #123 | CHAPEL HILL | NC | 27544 |
| 48 | 379806895 | MORIN D MICHAEL | 105 EDGE LN | CHAPEL HILL | NC | 27544 |
| 49 | 379806860 | CAVALER ASSETS LLC | 1289 FORHAM BLVD #123 | CHAPEL HILL | NC | 27544 |
| 50 | 379806860 | CAVALER ASSETS LLC | 1289 FORHAM BLVD #123 | CHAPEL HILL | NC | 27544 |
| 51 | 379806860 | CAVALER ASSETS LLC | 1289 FORHAM BLVD #123 | CHAPEL HILL | NC | 27544 |
| 52 | 379806726 | LEAC LC | 1018 GLENWOOD AVE | SALISBURY | NC | 27627 |
| 53 | 379806592 | M AND C CH PROP INC ETAL & KEVIN BEISE | 738 GIMGHOUL RD | CHAPEL HILL | NC | 27544 |
| 54 | 379806623 | CHEVET CHRISTOPHER B | 805 WEAVER LN | HENDERSON | NC | 27836 |
| 55 | 379806623 | ED LESSE CANE LLC | 180 PROSPECT CT | DANLAG | VA | 7201 |
| 56 | 379806452 | BLADE TRUST | 24 SAGE CT | NORFOLK | VA | 23504 |
| 57 | 379806623 | ANDERSON ALLEN J | 738 GIMGHOUL RD | CHAPEL HILL | NC | 27544881 |
| 58 | 379806324 | KAJKA HOLDINGS LLC | P.O. BOX 824 | FREDERICK | AL | 15372 |
| 59 | 379806324 | MARTIN DAVID E JR | 312 COUNTRY CLUB RD | CHAPEL HILL | NC | 27544804 |
| 60 | 379806300 | NEARNS DONALD TRUSTEE | 707 COUNTRY CLUB RD | CHAPEL HILL | NC | 27544 |
| 61 | 379806324 | HILL MATTHEW J | 724 GIMGHOUL RD | CHAPEL HILL | NC | 27544 |
| 62 | 379806261 | STATE OF NORTH CAROLINA | UNKNOWN ADDRESS | UNKNOWN | TX | 0 |
| 63 | 379806270 | MARTIN DAVID E JR | 312 COUNTRY CLUB RD | CHAPEL HILL | NC | 27544804 |
| 64 | 379806270 | MARTIN DAVID E JR | 312 COUNTRY CLUB RD | CHAPEL HILL | NC | 27544 |
| 65 | 379806259 | MARY LOU QUINN LIVING TRUST | 150 CHAPMAN | SAN FRANCISCO | CA | 94110 |
| 66 | 379806281 | BROPHY BENJAMIN B | 716 GIMGHOUL RD | CHAPEL HILL | NC | 27544 |
| 67 | 379806269 | STATE OF NORTH CAROLINA | UNKNOWN ADDRESS | UNKNOWN | TX | 0 |
| 68 | 379806269 | COMP FRS SHARP COLLEGE SPORTS LABS | 3425 LAKE CITY | UTAH | 84100 | |
| 69 | 379806269 | JOSEMAN MARK J | 321 COUNTRY CLUB RD | CHAPEL HILL | NC | 27544804 |
| 70 | 379806489 | UNIVERSITY OF N C | PROPERTY OPERC LINC | CHAPEL HILL | NC | 27599 |



OWNER
GIMGHOUL CORPORATION
PO BOX 3670
CHAPEL HILL, NC 27515

ZONING LEGEND
R-1 RESIDENTIAL 1, 3 UNITS /ACRE
R-LD1 RESIDENTIAL-LOW DENSITY, 1 UNIT/ACRE
O-I-1 OFFICE & INSTITUTIONAL 1

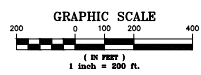
LEGEND
SUBJECT PROPERTY
1,000 FOOT NOTIFICATION BOUNDARY

NOTES:
1. THERE IS AN UNPAVED GREENWAY ON THE PROPERTY THAT SURROUNDS THE SUBJECT PROPERTY. BATTLE PARK IS LOCATED WITHIN THE 1,000 FOOT NOTIFICATION OF THE SUBJECT PROPERTY.
2. THERE ARE NO BICYCLE LANES WITHIN 1,000 FEET OF THE SUBJECT PROPERTY.
3. THIS PROPERTY AND ALL PROPERTY WITHIN 1,000 FEET OF THE PROPERTY ARE WITHIN THE TOWN OF CHAPEL HILL, NC CORPORATE LIMITS.

OVERLAY DISTRICTS
HD-3 (HISTORIC DISTRICT) GIMGHOUL GREENWOOD
CD-2 (NEIGHBORHOOD CONSERVATION)



Know what's below.
Call before you dig.
(Or call: 1-800-432-4649)



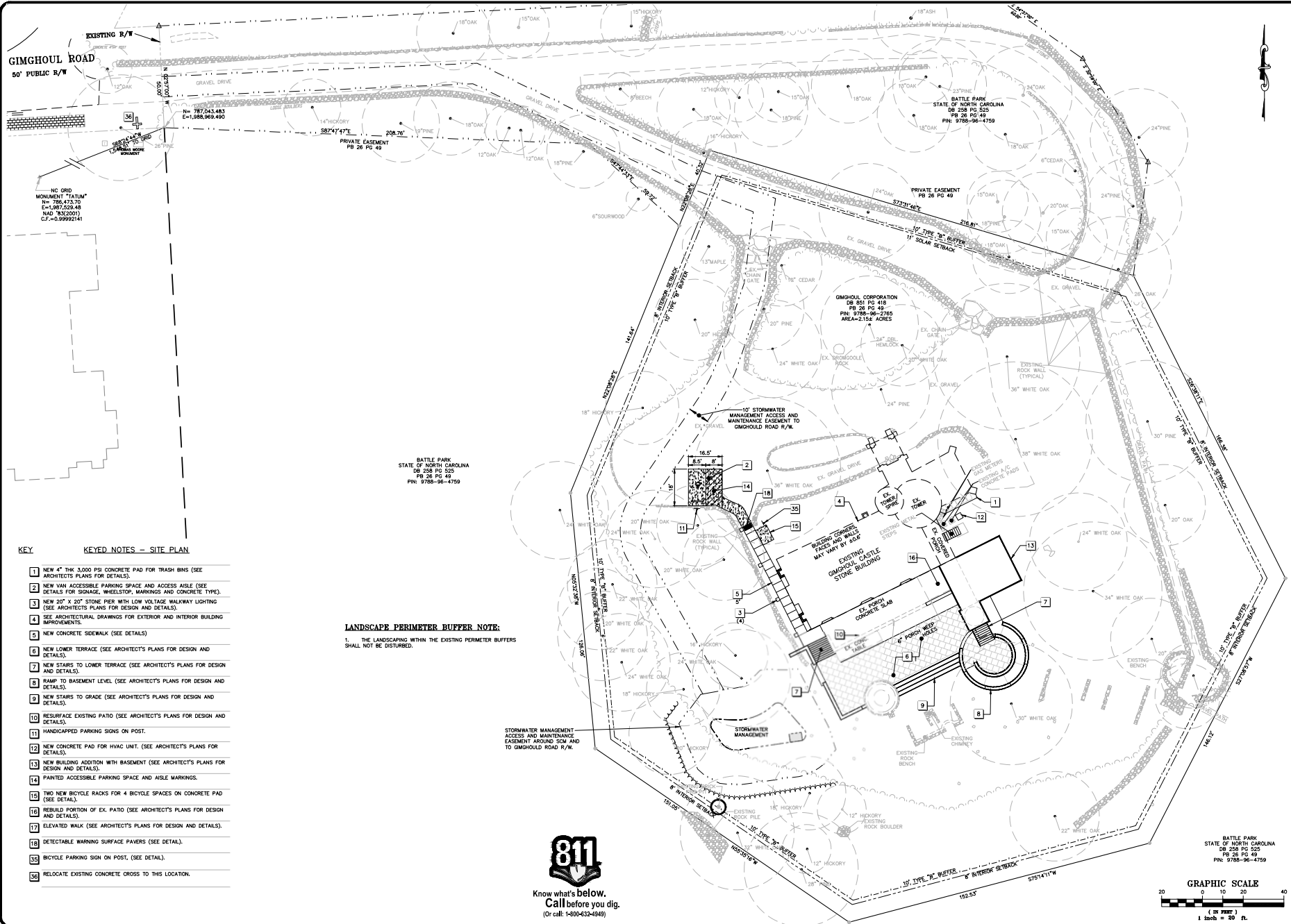
civil consultants
LAND PLANNING & CIVIL ENGINEERING
1000 W. GREENWOOD AVENUE, SUITE 100
CHAPEL HILL, NC 27515
TEL: 919-966-1111 FAX: 919-966-1112



GIMGHOUL CASTLE AREA MAP
CHAPEL HILL, NORTH CAROLINA

| REV. | DATE | DESCRIPTION | APPROVED BY |
|------|------|-------------|-------------|
| | | | |

SHEET NO.
C2.3



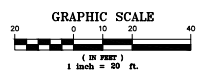
- KEY** **KEYED NOTES - SITE PLAN**
- 1 NEW 4" THK 3,000 PSI CONCRETE PAD FOR TRASH BINS (SEE ARCHITECTS PLANS FOR DETAILS).
 - 2 NEW VAN ACCESSIBLE PARKING SPACE AND ACCESS AISLE (SEE DETAILS FOR SIGNAGE, WHEELSTOP, MARKINGS AND CONCRETE TYPE).
 - 3 NEW 20" X 20" STONE PIER WITH LOW VOLTAGE WALKWAY LIGHTING (SEE ARCHITECTS PLANS FOR DESIGN AND DETAILS).
 - 4 SEE ARCHITECTURAL DRAWINGS FOR EXTERIOR AND INTERIOR BUILDING IMPROVEMENTS.
 - 5 NEW CONCRETE SIDEWALK (SEE DETAILS).
 - 6 NEW LOWER TERRACE (SEE ARCHITECTS PLANS FOR DESIGN AND DETAILS).
 - 7 NEW STAIRS TO LOWER TERRACE (SEE ARCHITECTS PLANS FOR DESIGN AND DETAILS).
 - 8 RAMP TO BASEMENT LEVEL (SEE ARCHITECTS PLANS FOR DESIGN AND DETAILS).
 - 9 NEW STAIRS TO GRADE (SEE ARCHITECTS PLANS FOR DESIGN AND DETAILS).
 - 10 RESURFACE EXISTING PATIO (SEE ARCHITECTS PLANS FOR DESIGN AND DETAILS).
 - 11 HANDICAPPED PARKING SIGNS ON POST.
 - 12 NEW CONCRETE PAD FOR HVAC UNIT. (SEE ARCHITECTS PLANS FOR DETAILS).
 - 13 NEW BUILDING ADDITION WITH BASEMENT (SEE ARCHITECTS PLANS FOR DESIGN AND DETAILS).
 - 14 PAINTED ACCESSIBLE PARKING SPACE AND AISLE MARKINGS.
 - 15 TWO NEW BICYCLE RACKS FOR 4 BICYCLE SPACES ON CONCRETE PAD (SEE DETAIL).
 - 16 REBUILD PORTION OF EX. PATIO (SEE ARCHITECTS PLANS FOR DESIGN AND DETAILS).
 - 17 ELEVATED WALK (SEE ARCHITECTS PLANS FOR DESIGN AND DETAILS).
 - 18 DETECTABLE WARNING SURFACE PAVERS (SEE DETAIL).
 - 33 BICYCLE PARKING SIGN ON POST. (SEE DETAIL).
 - 36 RELOCATE EXISTING CONCRETE CROSS TO THIS LOCATION.

LANDSCAPE PERIMETER BUFFER NOTE:
 1. THE LANDSCAPING WITHIN THE EXISTING PERIMETER BUFFERS SHALL NOT BE DISTURBED.

STORMWATER MANAGEMENT ACCESS AND MAINTENANCE EASEMENT AROUND SOA AND TO GIMGHOUL ROAD R/W



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civil consultants
 LAND PLANNING & CIVIL ENGINEERING
 1015 SOUTH MAIN STREET, SUITE 200
 CHAPEL HILL, NC 27514
 TEL: 919-979-4759

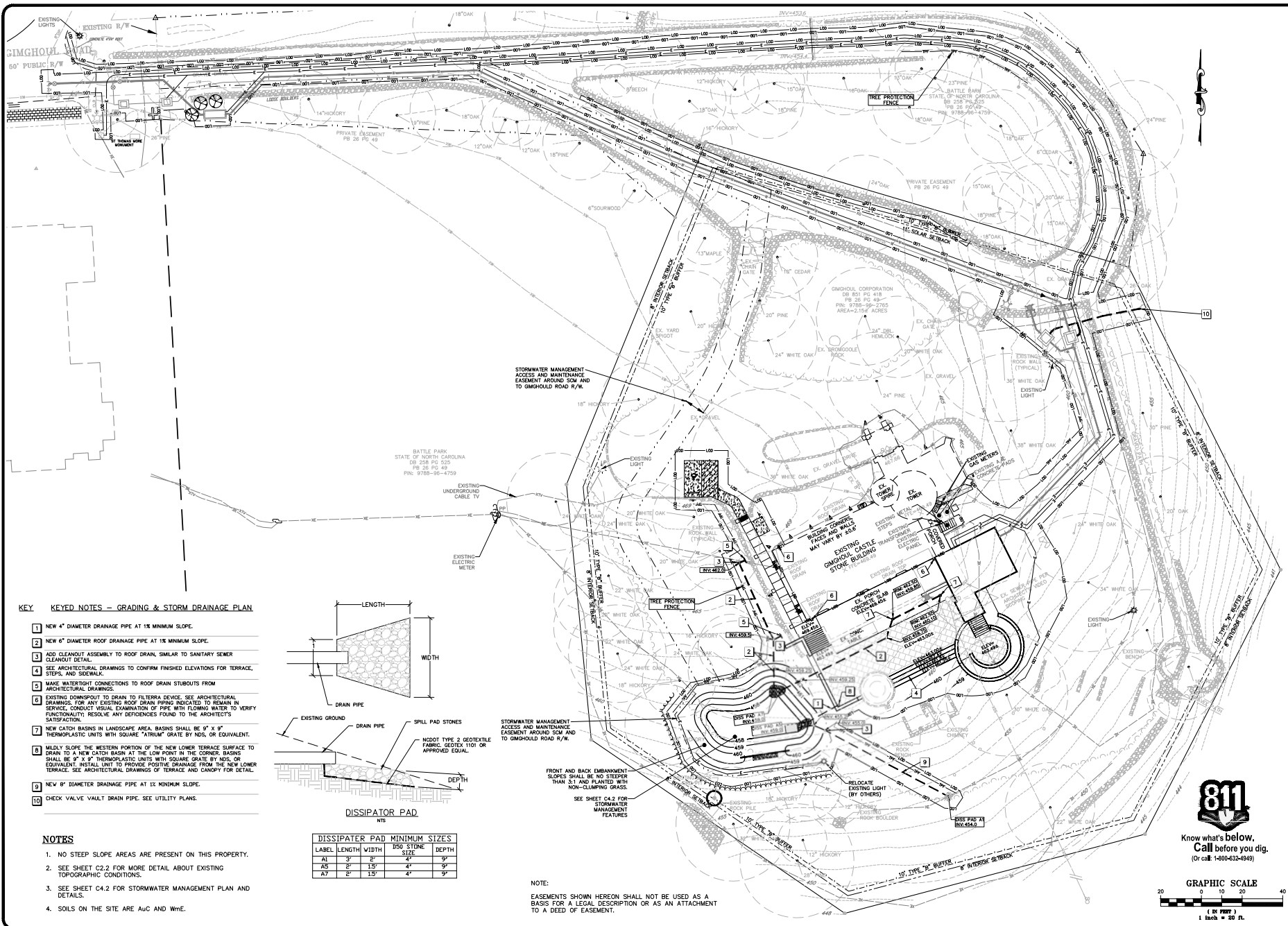


GIMGHOUL CASTLE
 CHAPEL HILL, NORTH CAROLINA
 SITE LAYOUT PLAN

| REV. | DATE | DESCRIPTION |
|------|------------|-------------------------------|
| 1 | 08/12/2023 | 1ST TOWN PLAN REVIEW COMMENTS |
| 2 | 10/10/2023 | 2ND TOWN PLAN REVIEW COMMENTS |
| 3 | | |
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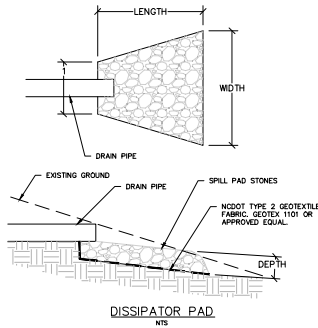
BATTLE PARK
 STATE OF NORTH CAROLINA
 DB 258 PG 525
 PB 28 PG 49
 PIN: 9788-96-4759

SHEET NO.
C3.1



KEY KEYED NOTES - GRADING & STORM DRAINAGE PLAN

- 1 NEW 4" DIAMETER DRAINAGE PIPE AT 1% MINIMUM SLOPE.
- 2 NEW 6" DIAMETER ROOF DRAINAGE PIPE AT 1% MINIMUM SLOPE.
- 3 ADD CLEANOUT ASSEMBLY TO ROOF DRAIN, SIMILAR TO SANITARY SEWER CLEANOUT DETAIL.
- 4 SEE ARCHITECTURAL DRAWINGS TO CONFIRM FINISHED ELEVATIONS FOR TERRACE, STEPS, AND SIDEWALK.
- 5 MAKE WATER-TIGHT CONNECTIONS TO ROOF DRAIN STUBOUTS FROM ARCHITECTURAL DRAWINGS.
- 6 EXISTING DOWNSPOUT TO DRAIN TO FILTERRA DEVICE. SEE ARCHITECTURAL DRAWINGS. FOR ANY EXISTING ROOF DRAIN PIPING INDICATED TO REMAIN IN SERVICE, CONDUCT VISUAL EXAMINATION OF PIPE WITH FLOWING WATER TO VERIFY FUNCTIONALITY; RESOLVE ANY DEFICIENCIES FOUND TO THE ARCHITECT'S SATISFACTION.
- 7 NEW CATCH BASINS IN LANDSCAPE AREA. BASINS SHALL BE 9" X 9" THERMOPLASTIC UNITS WITH SQUARE "ATRIUM" GRATE BY NDS, OR EQUIVALENT.
- 8 GENTLY SLOPE THE WESTERN PORTION OF THE NEW LOWER TERRACE SURFACE TO DRAIN TO A NEW CATCH BASIN AT THE LOW POINT IN THE CORNER. BASINS SHALL BE 9" X 9" THERMOPLASTIC UNITS WITH SQUARE GRATE BY NDS, OR EQUIVALENT. INSTALL UNIT TO PROVIDE POSITIVE DRAINAGE FROM THE LOWER TERRACE. SEE ARCHITECTURAL DRAWINGS OF TERRACE AND CANOPY FOR DETAIL.
- 9 NEW 8" DIAMETER DRAINAGE PIPE AT 1% MINIMUM SLOPE.
- 10 CHECK VALVE VAULT DRAIN PIPE. SEE UTILITY PLANS.



| DISSIPATOR PAD MINIMUM SIZES | | | | |
|------------------------------|--------|-------|----------------|-------|
| LABEL | LENGTH | WIDTH | DSO STONE SIZE | DEPTH |
| A1 | 3' | 2' | 4" | 9" |
| A5 | 2' | 1.5' | 4" | 9" |
| A7 | 2' | 1.5' | 4" | 9" |


- NOTES**
1. NO STEEP SLOPE AREAS ARE PRESENT ON THIS PROPERTY.
 2. SEE SHEET C4.2 FOR MORE DETAIL ABOUT EXISTING TOPOGRAPHIC CONDITIONS.
 3. SEE SHEET C4.2 FOR STORMWATER MANAGEMENT PLAN AND DETAILS.
 4. SOILS ON THE SITE ARE AUC AND WHE.

STORMWATER MANAGEMENT ACCESS AND MAINTENANCE EASEMENT AROUND SCM AND TO GIMGHOUL ROAD R/W.


FRONT AND BACK EMBANKMENT SLORES SHALL BE NO STEEPER THAN 3:1 AND PLANTED WITH NON-CLIMBING GRASS.

SEE SHEET C4.2 FOR STORMWATER MANAGEMENT FEATURES

NOTE:
EASEMENTS SHOWN HEREON SHALL NOT BE USED AS A BASIS FOR A LEGAL DESCRIPTION OR AS AN ATTACHMENT TO A DEED OF EASEMENT.




civil consultants
LAND PLANNING & CIVIL ENGINEERING
1000 W. GARDEN ST. SUITE 100
CHAPEL HILL, NC 27514
919.978.4400



STATE OF NORTH CAROLINA
REGISTERED PROFESSIONAL ENGINEER
NO. 44327
JAMES W. JONES

GIMGHOUL CASTLE
CHAPEL HILL, NORTH CAROLINA
GRADING & STORM DRAINAGE PLAN

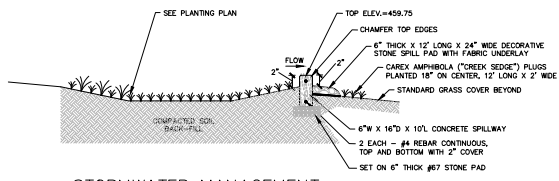
| REV. | DATE | DESCRIPTION |
|------|------------|--------------------------------------|
| 1 | 09/16/2008 | 1ST TOWN-PLAN REVIEW COMMENTS |
| 2 | 09/24/2008 | OWASA 2ND ROUND PLAN REVIEW COMMENTS |
| 3 | 11/20/2008 | OWASA 3RD ROUND PLAN REVIEW COMMENTS |
| 4 | 11/20/2008 | 4TH OWASA PLAN REVIEW COMMENTS |



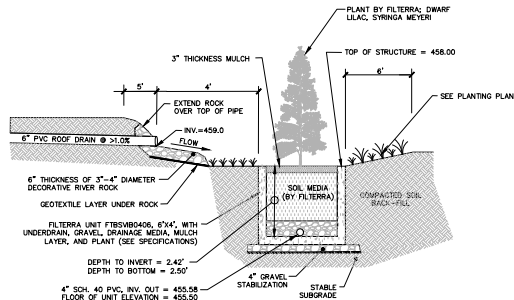
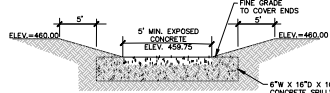
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GRAPHIC SCALE
0 10 20 40
1" = 20'
1 inch = 20 ft.

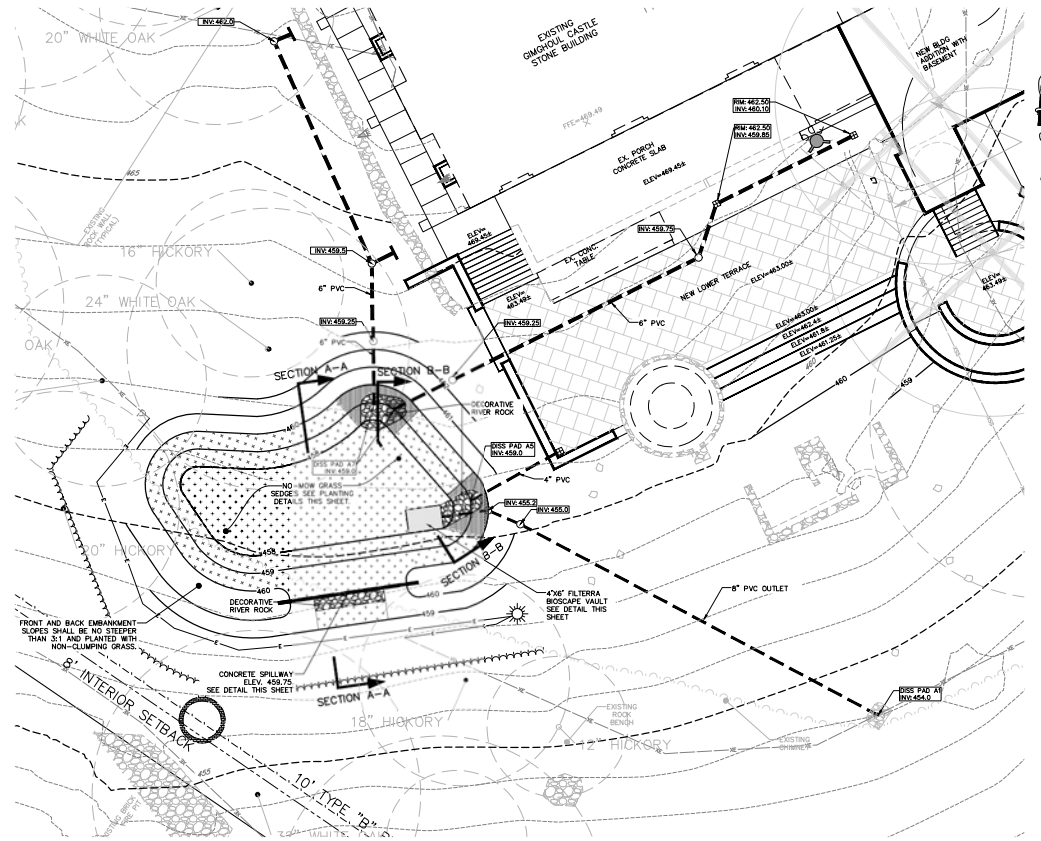
SHEET NO.
C4.1



STORMWATER MANAGEMENT SECTION A-A



STORMWATER MANAGEMENT SECTION B-B



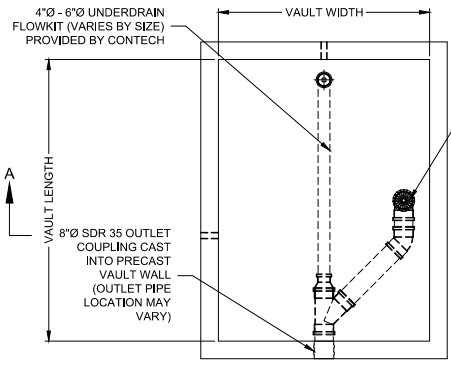
| SYMBOL | BOTANICAL NAME | COMMON NAME | SIZE | SPACING | AREA (SF) | EST QUANTITY |
|----------|------------------|----------------|-------|----------|-----------|--------------|
| [Symbol] | CAREX AMPHIBOLA | CREEK SEDGE | PLUG | 18" O.C. | 1,320 | 680 |
| [Symbol] | PHLOX DIVARICATE | WOODLAND PHLOX | QUART | 18" O.C. | 90 | 46 |

- PLANTING NOTES:**
1. ALL PLANT SUBSTITUTIONS MUST BE APPROVED BY ENGINEER.
 2. PLACE PLANTINGS IN A STAGGERED PATTERN WITH THE INDICATED SPACINGS.
 3. BREAK APART ROOT MASSES PRIOR TO PLANTING QUART PLANTINGS.
 4. WITHIN THE PLANTING SOIL AREA, DO NOT EXCAVATE AN OVERSIZED HOLE FOR PLANTINGS, BUT REMOVE OR DISPLACE ONLY ENOUGH SOIL FOR THE ROOT BALL OR ROOT MASS. INSERT ROOT INTO THE PLANTING MIX AND FIRMLY PRESS SURROUNDING SOIL AGAINST IT FOR SUPPORT.
 5. PROVIDE A ONE-YEAR WARRANTY TO OWNER FOR ALL PLANT MATERIALS.

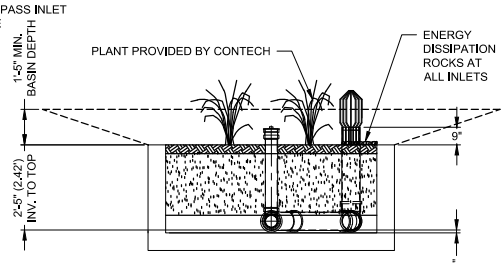
FTBSVB CONFIGURATION
(OPTIONS: BASIN "LB", GREEN INFRASTRUCTURE INLET "L", PIPE INLET "SP", SLOTTED THROAT INLET "T")

| MEDIA BAY SIZE | VAULT SIZE (L x W) | LONG SIDE INLET DESIGNATION | SHORT SIDE INLET DESIGNATION | AVAILABILITY | MAX. OUTLET / BYPASS PIPE DIA. | MAX. BYPASS FLOW (CF/S) | UNDERDRAIN PIPE DIA. (REPR) | MIN. NO. OF INLET PIPES (P OR NLY) |
|----------------|--------------------|-----------------------------|------------------------------|--------------------------|--------------------------------|-------------------------|-----------------------------|------------------------------------|
| 4 x 4 | 4 x 4 | FTBSV-B0404 | FTBSV-B0404 | ALL | 8" SDR 35 | 1.42 | 4" SDR 35 | 1 |
| 4 x 4 | 4 x 4 | FTBSV-B0404 | FTBSV-B0404 | NA | 8" SDR 35 | 1.42 | 4" SDR 35 | 1 |
| 5 x 4 | 5 x 4 | FTBSV-B0504 | FTBSV-B0504 | GR. INLET | 8" SDR 35 | 1.68 | 4" SDR 35 | 1 |
| 3 x 3 | 3 x 3 | FTBSV-B0303 | FTBSV-B0303 | DIAM. INLET / VAULT ONLY | 8" SDR 35 | 1.08 | 4" SDR 35 | 1 |
| 4 x 4 | 4 x 4 | FTBSV-B0404 | FTBSV-B0404 | NA | 8" SDR 35 | 1.42 | 4" SDR 35 | 1 |

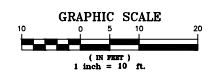
NA = NOT AVAILABLE



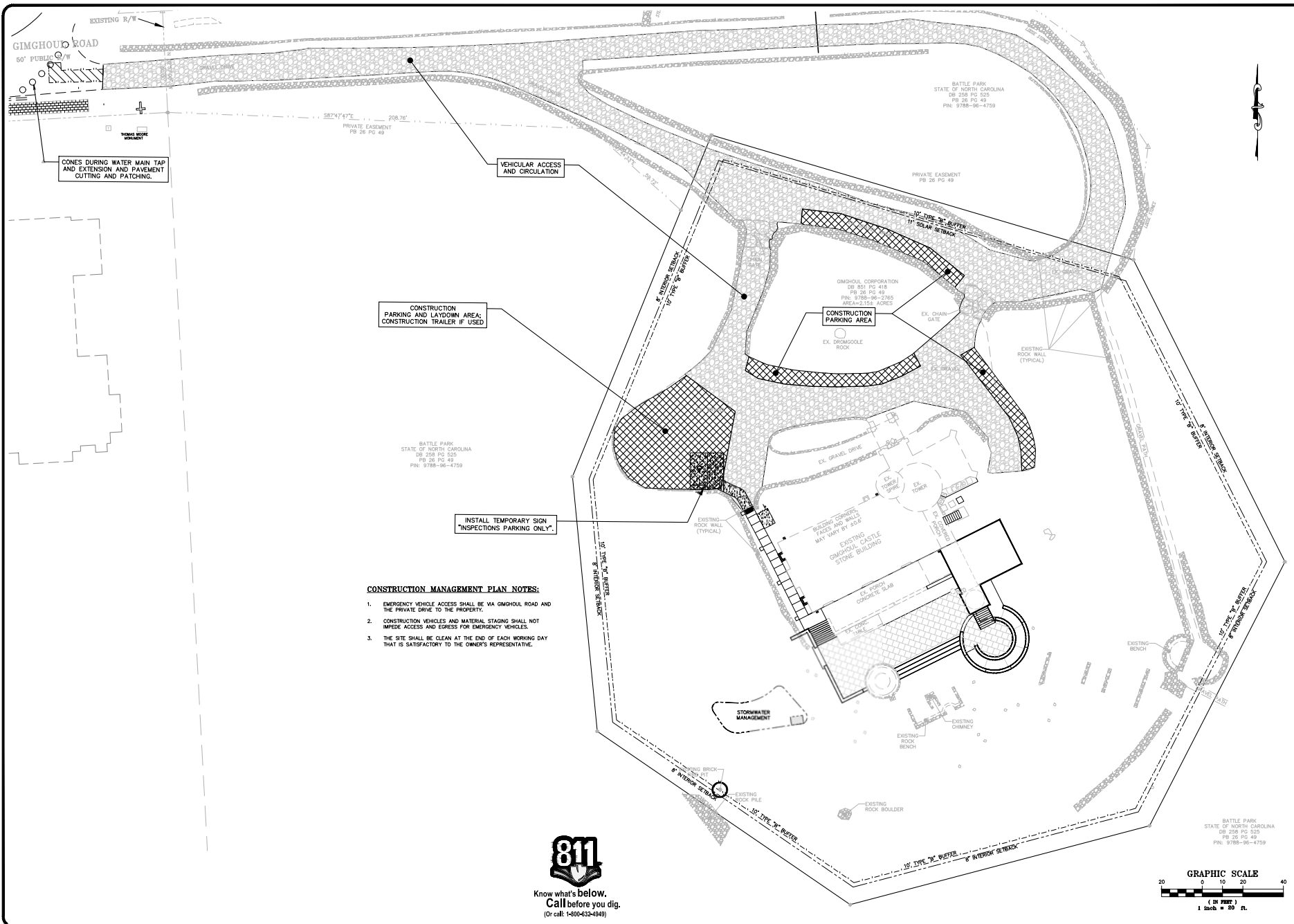
PLAN VIEW



SECTION A-A



| REV. | DATE | DESCRIPTION |
|------|------------|-------------------------------|
| 1 | 08/12/2023 | 1ST TOWN PLAN REVIEW COMMENTS |
| 2 | 10/12/2023 | 2ND TOWN PLAN REVIEW COMMENTS |

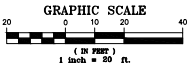


CONSTRUCTION MANAGEMENT PLAN NOTES:

1. EMERGENCY VEHICLE ACCESS SHALL BE VIA GIMGHOUL ROAD AND THE PRIVATE DRIVE TO THE PROPERTY.
2. CONSTRUCTION VEHICLES AND MATERIAL STAGING SHALL NOT IMPEDE ACCESS AND EGRESS FOR EMERGENCY VEHICLES.
3. THE SITE SHALL BE CLEAN AT THE END OF EACH WORKING DAY THAT IS SATISFACTORY TO THE OWNER'S REPRESENTATIVE.



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GIMGHOUL CASTLE
CHAPEL HILL, NORTH CAROLINA
CONSTRUCTION MANAGEMENT PLAN

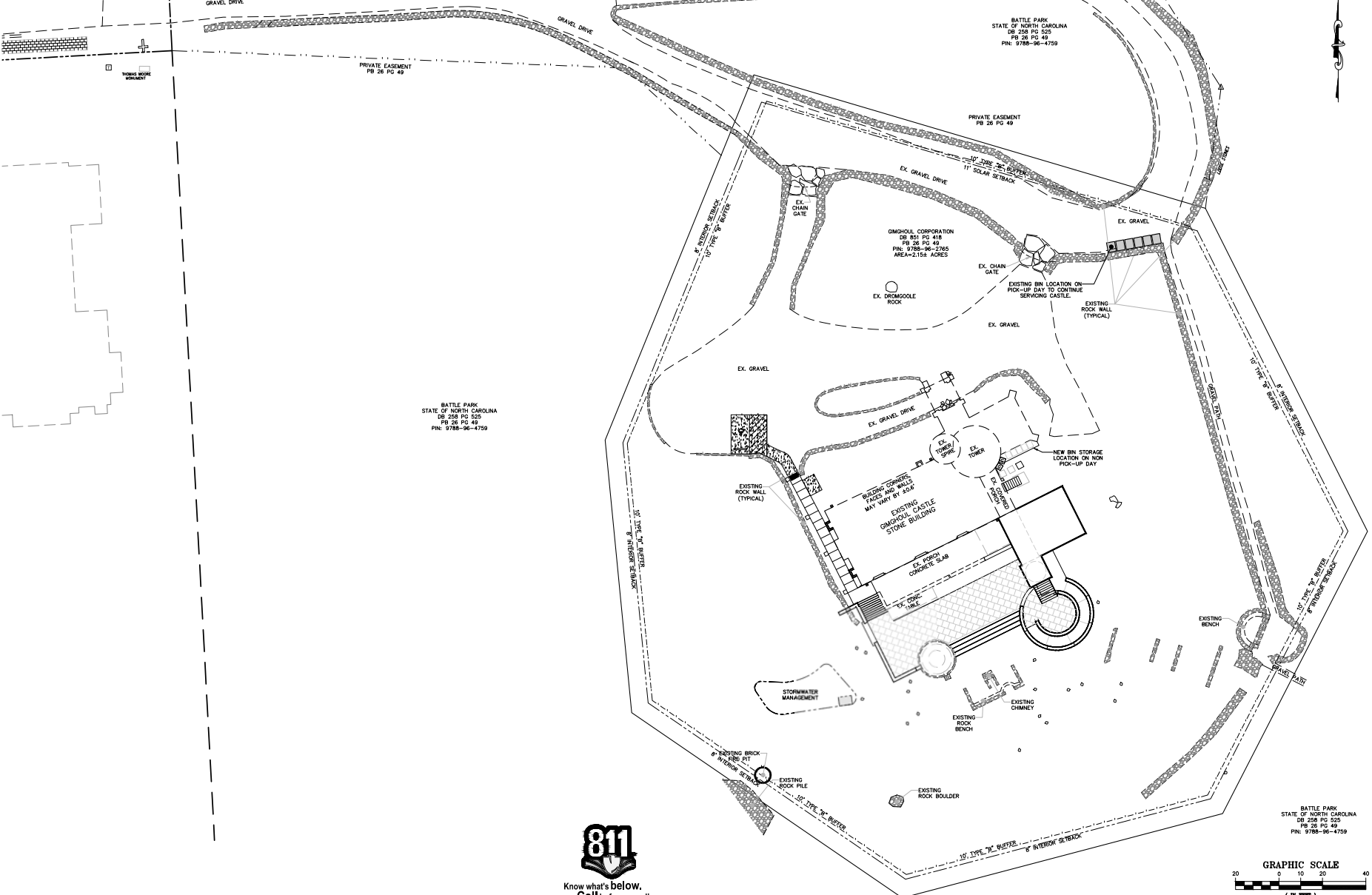
| REV. | DATE | DESCRIPTION |
|------|------------|-------------------------------|
| 1 | 08/12/2023 | 1ST TOWN PLAN REVIEW COMMENTS |
| 2 | 10/18/2023 | 2ND TOWN PLAN REVIEW COMMENTS |
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BATTLE PARK
STATE OF NORTH CAROLINA
DB 25B PG 523
PB 26 PG 49
PIN: 9788-96-4759

SHEET NO.
C5.1

L:\shared\4\dev\project\c5\cmm\201110\05\0611.dwg, C5.1 Const. Management Plan, 10/18/2023 2:49:22 PM

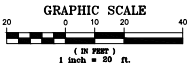
GIMGHOUL ROAD
60' PUBLIC R/W



BATTLE PARK
STATE OF NORTH CAROLINA
DB 258 PG 525
PB 26 PG 49
PIN: 9788-96-4759

BATTLE PARK
STATE OF NORTH CAROLINA
DB 258 PG 525
PB 26 PG 49
PIN: 9788-96-4759

GIMGHOUL CORPORATION
58 801 PG 418
PB 26 PG 49
PIN: 9788-96-2765
AREA=2.154 ACRES



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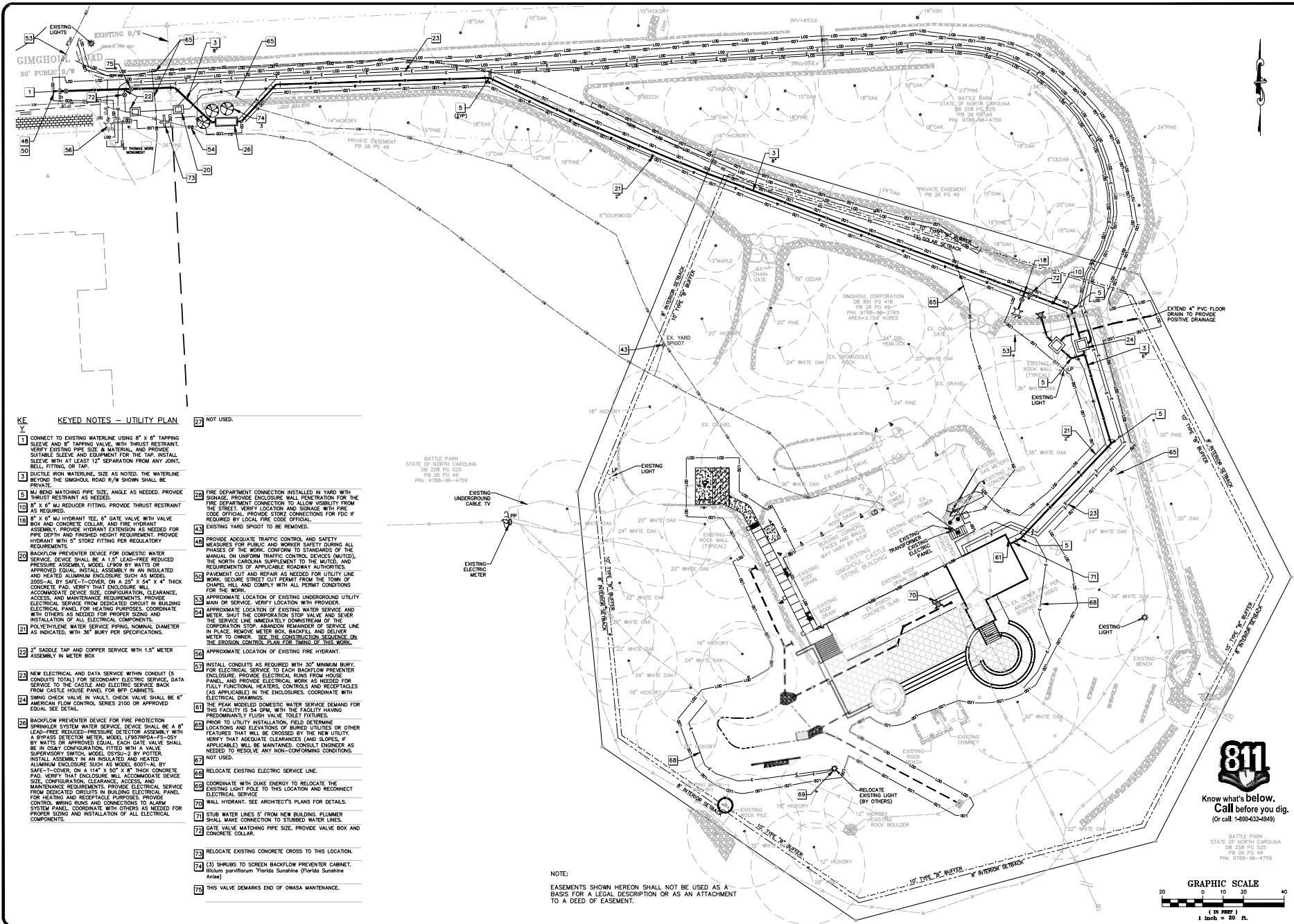


GIMGHOUL CASTLE
CHapel Hill, North Carolina
SOLID WASTE PLAN

| REV. | DATE | DESCRIPTION |
|------|------------|-------------------------------|
| 1 | 08/12/2023 | 1ST TOWN PLAN REVIEW COMMENTS |
| 2 | 10/18/2023 | 2ND TOWN PLAN REVIEW COMMENTS |
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BATTLE PARK
STATE OF NORTH CAROLINA
DB 258 PG 525
PB 26 PG 49
PIN: 9788-96-4759

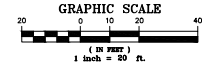
SHEET NO.
C5.2



KEYED NOTES - UTILITY PLAN

- KEY**
- 1 CONNECT TO EXISTING WATERLINE USING 8" X 8" TAPPING SLEEVE AND 4" APPROXIMATE VALVE WITH THRUST RESTRAINT. VERIFY EXISTING PIPE SIZE & MATERIAL, AND PROVIDE SUFFICIENT SLEEVE EQUIPMENT FOR THE TAP. INSTALL SLEEVE WITH AT LEAST 12" SEPARATION FROM ANY JOINT, BELL FITTING, OR TAP.
 - 2 DUCTILE IRON WATERLINE, SIZE AS NOTED. THE WATERLINE BEYOND THE GIMGHOUL ROAD R/W SHOWN SHALL BE PRIVATE.
 - 3 90° BEND MATCHING PIPE SIZE, ANGLE AS NEEDED. PROVIDE THRUST RESTRAINT AS NEEDED.
 - 4 8" X 6" M.I. REDUCER FITTING. PROVIDE THRUST RESTRAINT AS REQUIRED.
 - 5 8" X 6" M.I. HYDRANT TEE, 6" GATE VALVE WITH VALVE BOX AND CONCRETE COLLAR, AND FIRE HYDRANT ASSEMBLY. PROVIDE HYDRANT EXTENSION AS NEEDED FOR PIPE DEPTH AND FINISHED HEIGHT REQUIREMENT. PROVIDE HYDRANT WITH 3" STOWZ FITTING FOR REGULATORY REQUIREMENTS.
 - 6 BACKFLOW PREVENTER DEVICE FOR DOMESTIC WATER SERVICE DEVICE SHALL BE A 1.5" LEAD-FREE REDUCED PRESSURE ASSEMBLY, MODEL UF909 BY WATTS OR APPROVED EQUAL. INSTALL ASSEMBLY IN AN INSULATED AND HEATED ALUMINUM ENCLOSURE SUCH AS MODEL 2005-AL BY SAFE-T-COVER, ON A 25" X 24" X 4" THICK CONCRETE PAD. VERIFY THE DEVICE WILL ACCOMMODATE DEVICE SIZE, CONFIGURATION, CLEARANCE, ACCESS, AND MAINTENANCE REQUIREMENTS. PROVIDE ELECTRICAL PANEL FOR HEATING PURPOSES. COORDINATE WITH OTHERS AS NEEDED FOR PROPER SIZING AND INSTALLATION OF ALL ELECTRICAL COMPONENTS.
 - 7 POLYETHYLENE WATER SERVICE PIPING, NOMINAL DIAMETER AS INDICATED, WITH 36" BURY PER SPECIFICATIONS.
 - 8 2" SADDLE TAP AND COPPER SERVICE WITH 1.5" METER ASSEMBLY IN METER BOX.
 - 9 NEW ELECTRICAL AND DATA SERVICE WITHIN CONDUIT (5 CONDUITS TOTAL) FOR SECONDARY ELECTRIC SERVICE, DATA SERVICE TO THE CASTLE AND ELECTRIC SERVICE BACK FROM CASTLE HOUSE PANEL FOR BFP CABINETS.
 - 10 BRINK CHECK VALVE IN VALVE. CHECK VALVE SHALL BE #1 AMERICAN FLOW CONTROL SERIES 2100 OR APPROVED EQUAL. SEE DETAIL.
 - 11 BACKFLOW PREVENTER DEVICE FOR FIRE PROTECTION SPRINKLER SYSTEM WATER SERVICE DEVICE SHALL BE A 6" LEAD-FREE REDUCED-PRESSURE DETECTOR ASSEMBLY WITH A BYPASS DETECTOR METER, MODEL LFD5789DA-PS-057 BY WATTS OR APPROVED EQUAL. EACH GATE VALVE SHALL BE IN OSGY CONFIGURATION, FITTED WITH A VALVE SUPERVISORY SWITCH, MODEL 0500 BY NOTER. INSTALL ASSEMBLY IN AN INSULATED AND HEATED ALUMINUM ENCLOSURE SUCH AS MODEL 6007-48 BY SAFE-T-COVER, ON A 114" X 50" X 8" THICK CONCRETE PAD. VERIFY THAT ENCLOSURE WILL ACCOMMODATE DEVICE SIZE, CONFIGURATION, CLEARANCE, ACCESS, AND MAINTENANCE REQUIREMENTS. PROVIDE ELECTRICAL SERVICE FROM DEDICATED CIRCUITS IN BUILDING ELECTRICAL PANEL FOR HEATING AND RECEPTACLES. COORDINATE WITH OTHERS AS NEEDED FOR PROPER SIZING AND INSTALLATION OF ALL ELECTRICAL COMPONENTS.
 - 12 NOT USED.
 - 13 FIRE DEPARTMENT CONNECTION INSTALLED IN YARD WITH SIGNAGE. PROVIDE ENCLOSURE WALL PENETRATION FOR THE FIRE DEPARTMENT CONNECTION TO ALLOW VISIBILITY FROM THE STREET. VERIFY LOCATION AND SIGNAGE WITH FIRE CODE OFFICIAL. PROVIDE STORM CONNECTIONS FOR FDC IF REQUIRED BY LOCAL FIRE CODE OFFICIAL.
 - 14 EXISTING YARD SPOUT TO BE REMOVED.
 - 15 PROVIDE ADEQUATE TRAFFIC CONTROL AND SAFETY MEASURES FOR PUBLIC AND WORKER SAFETY DURING ALL PHASES OF THE WORK. CONFORM TO STANDARDS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), AND THE NORTH CAROLINA SUPPLEMENT TO THE MUTCD, AND REQUIREMENTS OF APPLICABLE ROADWAY AUTHORITIES.
 - 16 PAVEMENT CUT AND REPAIR AS NEEDED FOR UTILITY LINE WORK. SECURE STREET CUT PERMIT FROM THE TOWN OF CHAPEL HILL AND COMPLY WITH ALL PERMIT CONDITIONS FOR THE WORK.
 - 17 APPROXIMATE LOCATION OF EXISTING UNDERGROUND UTILITY MAIN OR SERVICE. VERIFY LOCATION WITH PROVIDER.
 - 18 APPROXIMATE LOCATION OF EXISTING WATER SERVICE AND METER. SHUT THE CORPORATION STOP VALVE AND SEVER THE SERVICE LINE IMMEDIATELY DOWNSTREAM OF THE CORPORATION STOP. ABANDON REMAINDER OF SERVICE LINE IN PLACE. REMOVE METER BOX, BACKFILL AND DELIVER METER TO OWNER. SEE THE CONSTRUCTION SEQUENCE ON THE EROSION CONTROL PLAN FOR FINISH OF THIS WORK.
 - 19 APPROXIMATE LOCATION OF EXISTING FIRE HYDRANT.
 - 20 INSTALL CONDUITS AS REQUIRED WITH 30" MINIMUM BURY FOR ELECTRICAL SERVICE TO EACH BACKFLOW PREVENTER ENCLOSURE. PROVIDE ELECTRICAL RIMS FROM HOUSE PANEL, AND PROVIDE ELECTRICAL WORK AS NEEDED FOR FULLY FUNCTIONAL HEADERS, CONTROLS AND RECEPTACLES (AS APPLICABLE) IN THE ENCLOSURES. COORDINATE WITH ELECTRICAL DRAWINGS.
 - 21 THE PEAK MIDDLE DOMESTIC WATER SERVICE DEMAND FOR THE CASTLE IS 50 GPM, WITH THE FACILITY HAVING PREDOMINANTLY FLUSH VALVE TOILET FIXTURES.
 - 22 PRIOR TO UTILITY INSTALLATION, FIELD DETERMINE LOCATIONS AND ELEVATIONS OF BURIED UTILITIES OR OTHER FEATURES THAT WILL BE CROSSED BY THE NEW UTILITY. VERIFY THAT ADEQUATE CLEARANCES (AND SLOPES, IF APPLICABLE) WILL BE MAINTAINED. CONSULT ENGINEER AS NEEDED TO RESOLVE ANY NON-CONFORMING CONDITIONS.
 - 23 NOT USED.
 - 24 RELOCATE EXISTING ELECTRIC SERVICE LINE.
 - 25 COORDINATE WITH DUKE ENERGY TO RELOCATE THE EXISTING LIGHT POLE TO THIS LOCATION AND RECONNECT ELECTRICAL SERVICE.
 - 26 WALL HYDRANT. SEE ARCHITECT'S PLANS FOR DETAILS.
 - 27 STUB WATER LINES 5' FROM NEW BUILDING. PLUMBER SHALL MAKE CONNECTION TO EXISTING WATER LINES.
 - 28 GATE VALVE MATCHING PIPE SIZE. PROVIDE VALVE BOX AND CONCRETE COLLAR.
 - 29 RELOCATE EXISTING CONCRETE CROSS TO THIS LOCATION.
 - 30 (3) SHRUBS TO SCREEN BACKFLOW PREVENTER CABINET. (Medium parviflorum Florida Sunshine (Florida Sunshine Airline)
 - 31 THIS VALVE DEMARKS END OF OWASA MAINTENANCE.

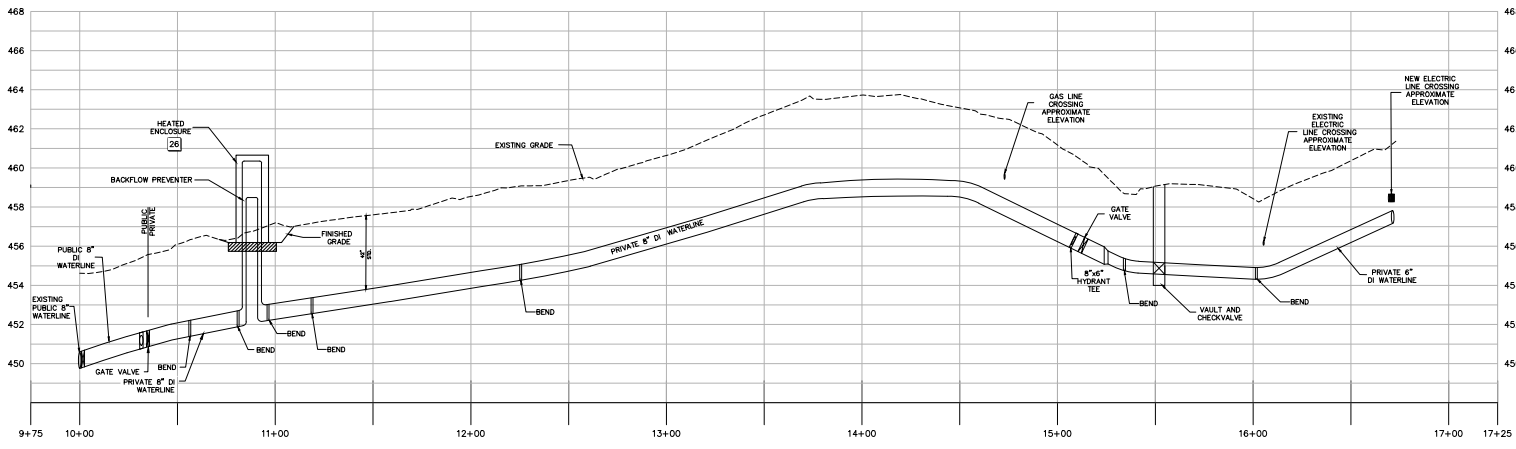
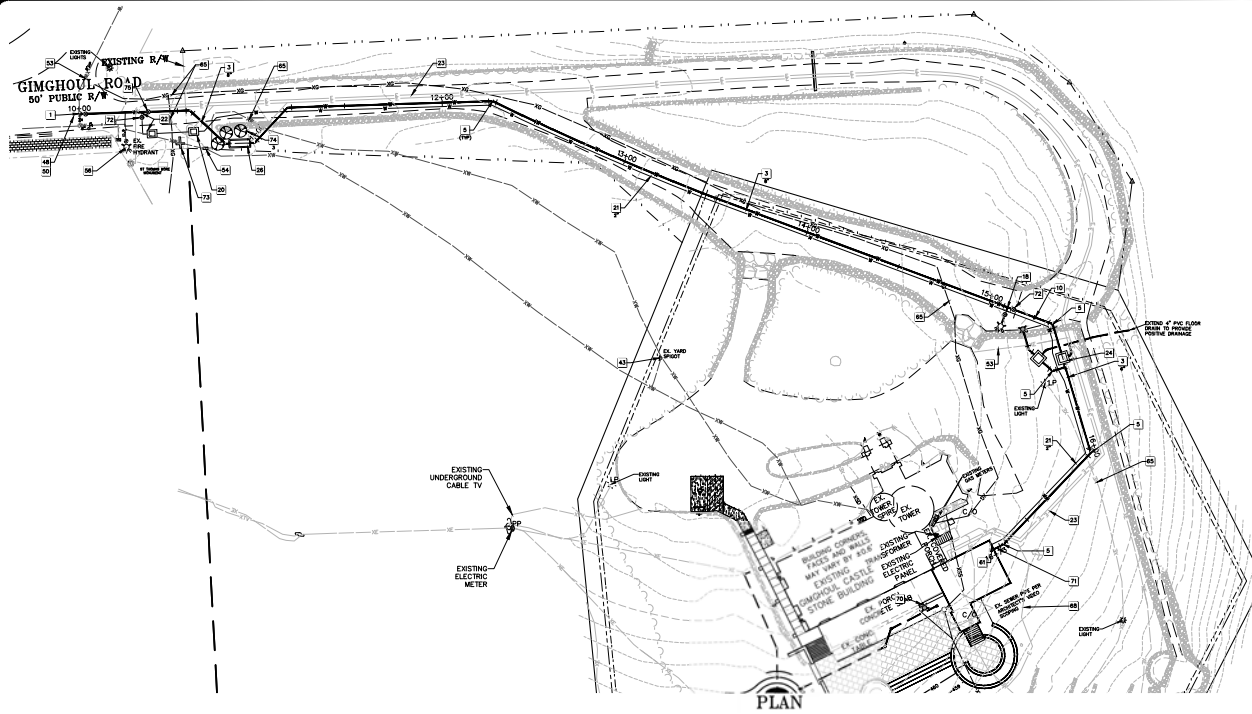
NOTE:
EASEMENTS SHOWN HEREON SHALL NOT BE USED AS A BASIS FOR A LEGAL DESCRIPTION OR AS AN ATTACHMENT TO A DEED OF EASEMENT.



GIMGHOUL CASTLE
CHAPEL HILL, NORTH CAROLINA
FIRE PROTECTION AND UTILITY PLAN

| REV. | DATE | DESCRIPTION |
|------|------------|--------------------------------------|
| 1 | 08/12/2008 | 1ST TOWN PLAN REVIEW COMMENTS |
| 2 | 09/04/2008 | OWASA 2ND ROUND PLAN REVIEW COMMENTS |
| 3 | 11/22/2008 | 3RD OWASA PLAN REVIEW COMMENTS |
| 4 | 11/28/2008 | 4TH OWASA PLAN REVIEW COMMENTS |

811
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(Or call 1-800-432-4849.)



PROFILE
SCALE: 1"=30' HORIZ.
1"=3' VERT.

811
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(Or call 1-800-632-4949)

GRAPHIC SCALE
1 inch = 30 ft.

- 1 CONNECT TO EXISTING WATERLINE USING 8" x 8" TAPPING SLEEVE AND 8" TAPPING VALVE, WITH THRUST RESTRAINT. VERIFY EXISTING PIPE SIZE & MATERIAL AND PROVIDE SUITABLE SLEEVE AND EQUIPMENT FOR THE TAP. INSTALL SLEEVE WITH AT LEAST 12" SEPARATION FROM ANY JOINT, BELL FITTING, OR TAP.
- 2 BUNDLE IRON WATERLINE. SIZE AS NOTED. THE WATERLINE BEYOND THE GIMGHOUL ROAD PLY DRIVE SHALL BE PRIVATE.
- 3 1/4" BEND MATCHING PIPE SIZE, ANGLE AS NEEDED. PROVIDE THRUST RESTRAINT AS NEEDED.
- 4 6" x 6" 1/4" REDUCER FITTING. PROVIDE THRUST RESTRAINT AS REQUIRED.
- 5 8" x 6" 1/4" HYDRANT TEE, 6" GATE VALVE WITH VALVE BOX AND CONCRETE COLLAR, AND FIRE HYDRANT ASSEMBLY. PROVIDE HYDRANT EXTENSION AS NEEDED FOR PIPE DEPTH AND FINISHED HEIGHT REQUIREMENT. PROVIDE HYDRANT WITH 5" STORZ FITTING PER REGULATORY REQUIREMENTS.
- 6 BACKFLOW PREVENTER DEVICE FOR DOMESTIC WATER SERVICE SHALL BE A 1 1/2" LEAD-FREE REDUCED PRESSURE ASSEMBLY, MODEL LF300 BY WATTS OR APPROVED EQUAL. INSTALL ASSEMBLY IN AN INSULATED AND HEATED ALUMINUM ENCLOSURE SUCH AS MODEL 200S-AL BY SAFE-T-COVER, ON A 25" x 54" x 4" THICK CONCRETE PAD. VERIFY THAT ENCLOSURE WILL ACCOMMODATE DEVICE SIZE, CONFIGURATION, CLEARANCE, ACCESS, AND MAINTENANCE REQUIREMENTS. PROVIDE ELECTRICAL SERVICE FROM DEDICATED CIRCUIT IN BUILDING ELECTRICAL PANEL FOR HEATING PURPOSES. COORDINATE WITH OTHERS AS NEEDED FOR PROPER SIZING AND INSTALLATION OF ALL ELECTRICAL COMPONENTS.
- 7 POLYETHYLENE WATER SERVICE PIPING, NOMINAL DIAMETER AS INDICATED, WITH 36" BURY PER SPECIFICATIONS.
- 8 2" SADDLE TAP AND COPPER SERVICE WITH 1.5" METER ASSEMBLY IN METER BOX.
- 9 NEW ELECTRICAL AND DATA SERVICE WITHIN CONDUIT (5 CONDUITS TOTAL) FOR SECONDARY ELECTRIC SERVICE DATA SERVICE TO THE CASTLE AND ELECTRIC SERVICE DATA SERVICE FROM CASTLE HOUSE PANELS FOR RFP CABINETS.
- 10 2" SWING CHECK VALVE IN VAULT. CHECK VALVE SHALL BE 6" AMERICAN FLOW CONTROL SERIES 2100 OR APPROVED EQUAL. SEE DETAIL.
- 11 BACKFLOW PREVENTER DEVICE FOR FIRE PROTECTION SPRINKLER SYSTEM WATER SERVICE SHALL BE A 8" LEAD-FREE REDUCED-PRESSURE DETECTOR ASSEMBLY WITH 8" FIRE DETECTOR METER. DETECTOR ASSEMBLY WITH 8" BY WATTS OR APPROVED EQUAL. EACH GATE VALVE SHALL BE IN 2" ODSW. INSTALLATION FITTED WITH VALVE SUPERVISORY SWITCH, MODEL O25S-2 BY POTTER. INSTALL ASSEMBLY IN AN INSULATED AND HEATED ALUMINUM ENCLOSURE SUCH AS MODEL 600T-AL BY SAFE-T-COVER, ON A 14" x 14" x 8" THICK CONCRETE PAD. VERIFY THAT ENCLOSURE WILL ACCOMMODATE DEVICE SIZE, CONFIGURATION, CLEARANCE, ACCESS, AND MAINTENANCE REQUIREMENTS. PROVIDE ELECTRICAL SERVICE FROM DEDICATED CIRCUIT IN BUILDING ELECTRICAL PANEL FOR HEATING AND RECEPTACLE PURPOSES. PROVIDE CONTROL WIRING RINGS AND CONNECTIONS TO ALARM SYSTEM PANEL. COORDINATE WITH OTHERS AS NEEDED FOR PROPER SIZING AND INSTALLATION OF ALL ELECTRICAL COMPONENTS.
- 12 NOT USED.
- 13 FIRE DEPARTMENT CONNECTION INSTALLED IN YARD WITH SIGNAGE. PROVIDE ENCLOSURE WALL PENETRATION FOR THE FIRE DEPARTMENT CONNECTION TO ALLOW MOBILITY FROM THE STREET. VERIFY LOCATION AND SIGNAGE WITH FIRE CODE OFFICIAL. PROVIDE STORE CONNECTIONS FOR FDC IF REQUIRED BY LOCAL FIRE CODE OFFICIAL.
- 14 EXISTING YARD SPRING TO BE REMOVED.
- 15 PROVIDE ADEQUATE TRAFFIC CONTROL AND SAFETY MEASURES FOR PUBLIC AND WORKER SAFETY DURING ALL PHASES OF THE WORK CONFORM TO STANDARDS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), THE NORTH CAROLINA SUPPLEMENT TO THE MUTCD, AND REQUIREMENTS OF APPLICABLE ROADWAY AUTHORITIES.
- 16 PAVEMENT CUT AND REPAIR AS NEEDED FOR UTILITY LINE WORK. SECURE STREET CLOSURE FROM TOWN OF CHAPEL HILL. AND COMPLY WITH ALL PERMIT CONDITIONS FOR THE WORK.
- 17 APPROXIMATE LOCATION OF EXISTING UNDERGROUND UTILITY MAIN OR SERVICE. VERIFY LOCATION WITH PROVIDER.
- 18 APPROXIMATE LOCATION OF EXISTING WATER SERVICE AND FUTURE. SHUT THE CORPORATION STOP VALVE AND SEVER THE SERVICE LINE IMMEDIATELY DOWNSTREAM OF THE CORPORATION STOP. ABANDON REMAINDER OF SERVICE LINE IN PLACE. REMOVE METER BOX, BACKFILL AND DELIVER METER TO OWNER. SEE THE CONSTRUCTION SEQUENCE ON THE EROSION CONTROL PLAN FOR TIMING OF THIS WORK.
- 19 APPROXIMATE LOCATION OF EXISTING FIRE HYDRANT.
- 20 INSTALL CONDUITS AS REQUIRED WITH 30" MINIMUM BURY, FOR ELECTRICAL SERVICE TO EACH BACKFLOW PREVENTER ENCLOSURE. PROVIDE ELECTRICAL RUNS FROM HOUSE PANELS, AND PROVIDE ELECTRICAL WORK AS NEEDED FOR FULLY FUNCTIONAL HEATERS, CONTROLS AND RECEPTACLES (AS APPLICABLE) IN THE ENCLOSURES. COORDINATE WITH ELECTRICAL DRAWINGS.
- 21 THE PEAK MODELED DOMESTIC WATER SERVICE DEMAND FOR THIS FACILITY IS 64 GPM, WITH THE FACILITY HAVING PREDOMINANTLY FLUSH VALVE TOILET UTILITIES OR OTHER FEATURES THAT WILL BE CROSSED BY THE NEW UTILITY. VERIFY THAT ADEQUATE CLEARANCES AND SLOPES (IF APPLICABLE) WILL BE MAINTAINED. CONSULT ENGINEER AS NEEDED TO RESOLVE ANY NON-CONFORMING CONDITIONS.
- 22 NOT USED.
- 23 RELOCATE EXISTING ELECTRIC SERVICE LINE.
- 24 COORDINATE WITH DUKE ENERGY TO RELOCATE THE EXISTING LIGHT POLE TO THIS LOCATION AND RECONNECT ELECTRICAL SERVICE.
- 25 WALL HYDRANT. SEE ARCHITECT'S PLANS FOR DETAILS.
- 26 STUB WATER LINES 5' FROM NEW BUILDING. PLUMBER SHALL MAKE CONNECTION TO STUBBED WATER LINES.
- 27 GATE VALVE MATCHING PIPE SIZE. PROVIDE VALVE BOX AND CONCRETE COLLAR.
- 28 RELOCATE EXISTING CONCRETE CROSS TO THIS LOCATION.
- 29 (3) SHRUBS TO SCREEN BACKFLOW PREVENTER CABINET. *Rhizoma perfoliatum*, Florida Sunshine (Florida Sunshine Antise)
- 30 THIS VALVE DEMARKS END OF OWASA MAINTENANCE.

civil consultants
LAND PLANNING & CIVIL ENGINEERING
1111 W. HARRIS STREET, SUITE 100
CHAPEL HILL, NC 27514
TEL: 919-979-9999

CHAPEL HILL
PLANNING & CIVIL ENGINEERING
1111 W. HARRIS STREET, SUITE 100
CHAPEL HILL, NC 27514
TEL: 919-979-9999

GIMGHOUL CASTLE
CHAPEL HILL, NORTH CAROLINA
WATERLINE PLAN AND PROFILE

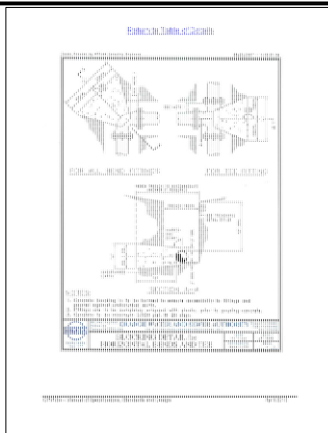
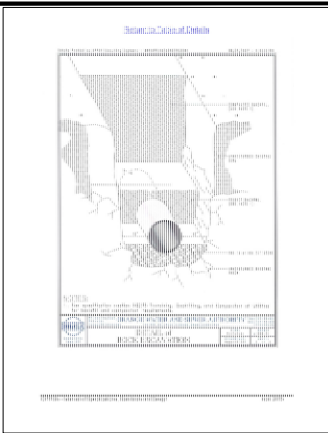
| REV. | DATE | DESCRIPTION |
|------|------------|--------------------------------|
| 1 | 08/12/2023 | 1ST TOWN PLAN REVIEW COMMENTS |
| 2 | 09/12/2023 | 2ND TOWN PLAN REVIEW COMMENTS |
| 3 | 11/29/2023 | 4TH OWASA PLAN REVIEW COMMENTS |

DATE: 11/29/23
SCALE: AS SHOWN

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SHEET NO.
C6.2



Section D-D Detail

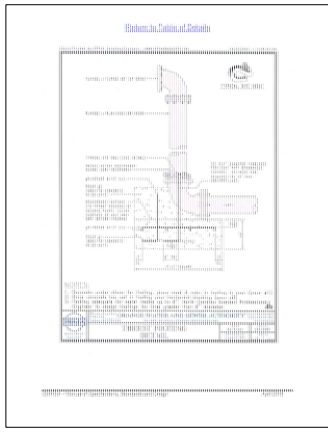
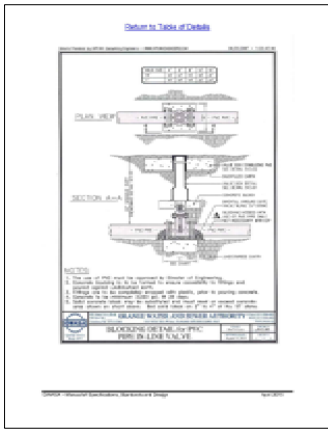
CIVIL CONSULTANTS
 1111 W. OAK STREET, SUITE 300
 FAYETTEVILLE, NC 28404
 TEL: 919-433-7111

Section E-E Detail

CIVIL CONSULTANTS
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 FAYETTEVILLE, NC 28404
 TEL: 919-433-7111

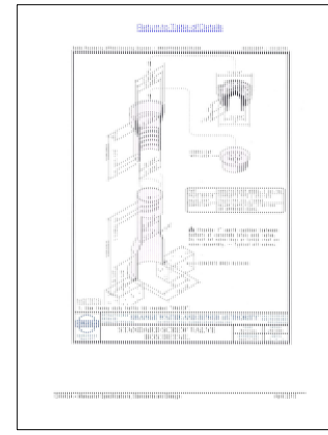
Section F-F Detail

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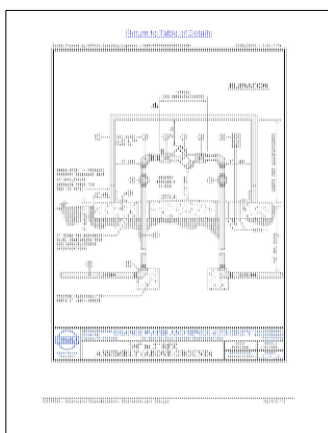
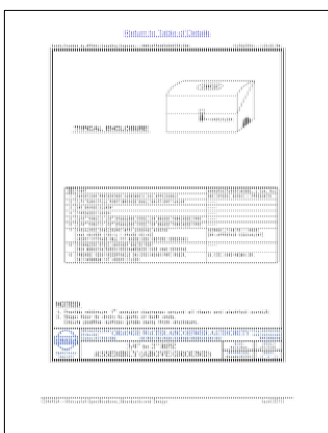
Section I-I Detail

CIVIL CONSULTANTS
 1111 W. OAK STREET, SUITE 300
 FAYETTEVILLE, NC 28404
 TEL: 919-433-7111



Section K-K Detail

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 TEL: 919-433-7111



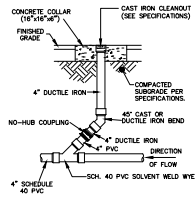
Section N-N Detail

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 1111 W. OAK STREET, SUITE 300
 FAYETTEVILLE, NC 28404
 TEL: 919-433-7111

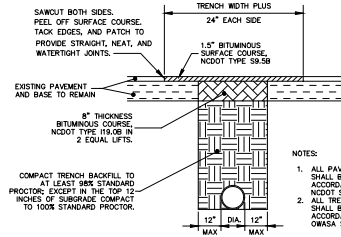
811
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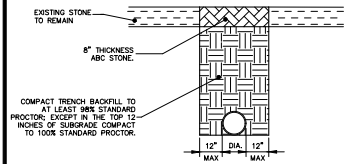
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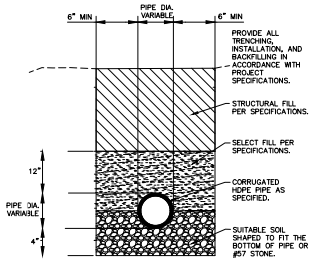
SEWER SERVICE CLEANOUT DETAIL
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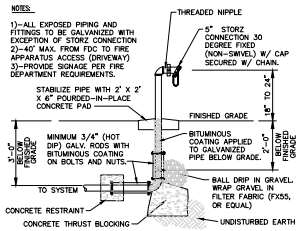
PUBLIC STREET CUT AND REPAIR
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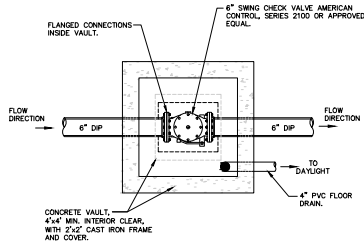
GRAVEL DRIVE CUT AND REPAIR
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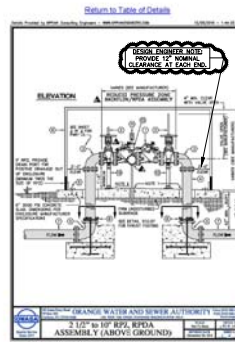
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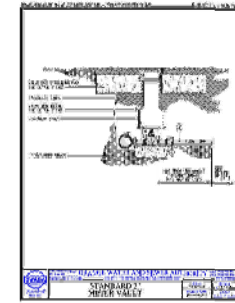
FIRE DEPARTMENT CONNECTION
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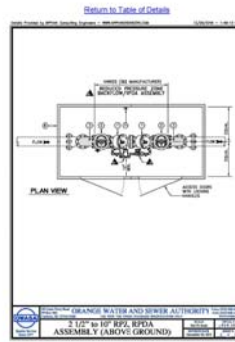
CHECK VALVE
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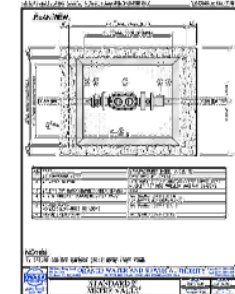
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2 1/2\"/>



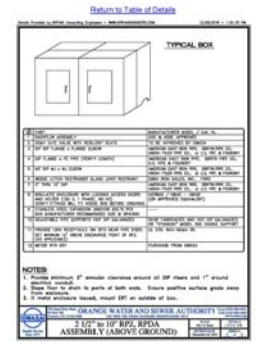
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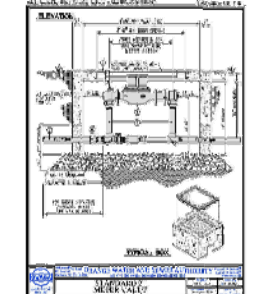
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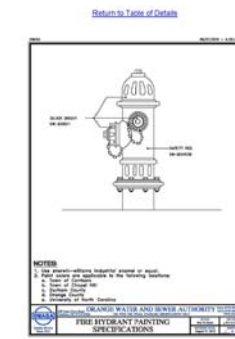
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GRAND WATER AND SEWER AUTHORITY
2 1/2\"/>



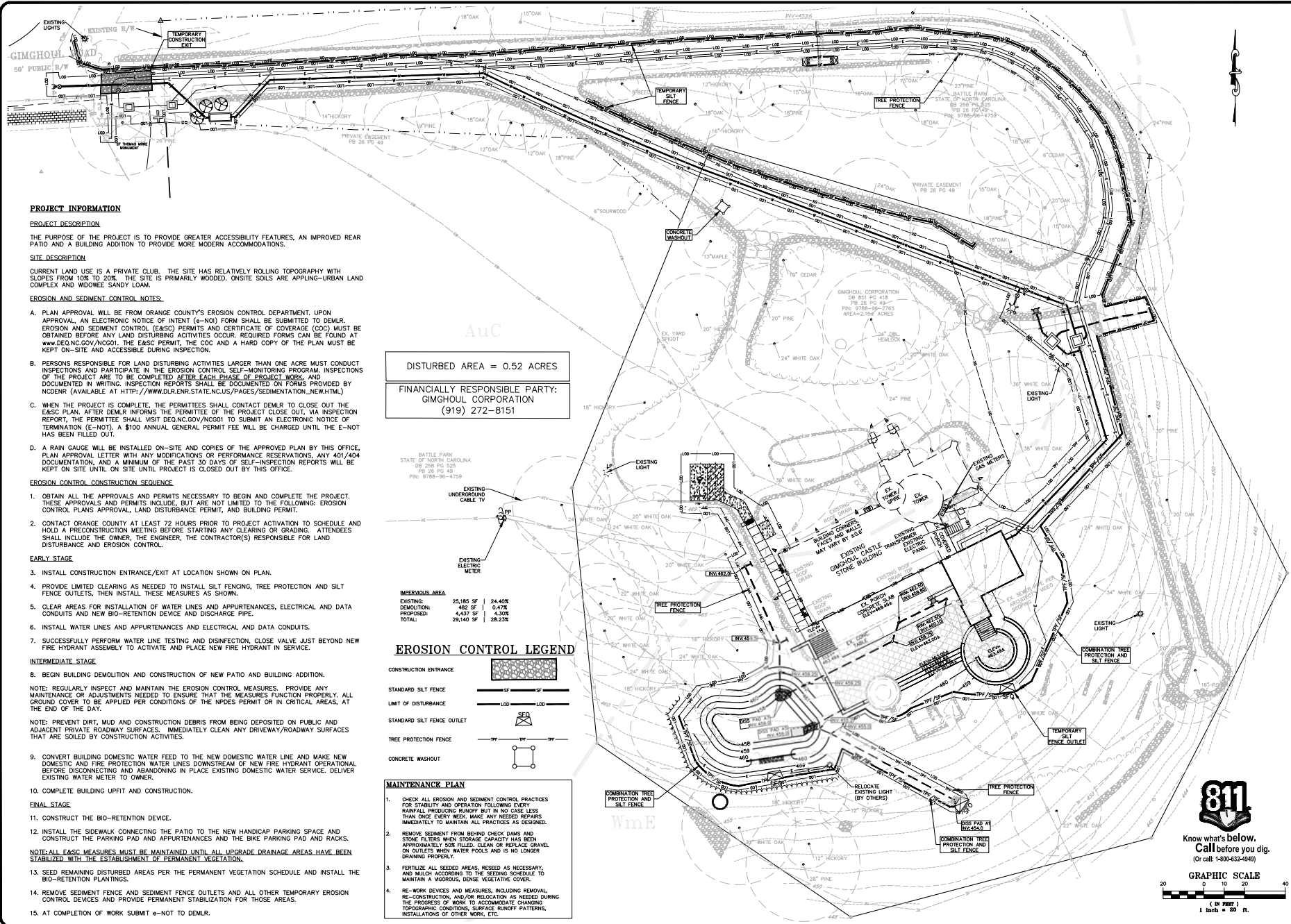
GRAND WATER AND SEWER AUTHORITY
FIRE DEPARTMENT CONNECTION
SPECIFICATIONS



| REV. | DATE | DESCRIPTION | APPROVED BY |
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| | | | |



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PROJECT INFORMATION

PROJECT DESCRIPTION

THE PURPOSE OF THE PROJECT IS TO PROVIDE GREATER ACCESSIBILITY FEATURES, AN IMPROVED REAR PATIO AND A BUILDING ADDITION TO PROVIDE MORE MODERN ACCOMMODATIONS.

SITE DESCRIPTION

CURRENT LAND USE IS A PRIVATE CLUB. THE SITE HAS RELATIVELY ROLLING TOPOGRAPHY WITH SLOPES FROM 10% TO 20%. THE SITE IS PRIMARILY WOODED. ON-SITE SOILS ARE APPLING-URBAN LAND COMPLEX AND WOODWEE SANDY LOAM.

EROSION AND SEDIMENT CONTROL NOTES:

- PLAN APPROVAL WILL BE FROM ORANGE COUNTY'S EROSION CONTROL DEPARTMENT. UPON APPROVAL, AN ELECTRONIC NOTICE OF INTENT (E-NOT) FORM SHALL BE SUBMITTED TO DEMLR. EROSION AND SEDIMENT CONTROL (E&S) PERMITS AND CERTIFICATE OF COVERAGE (COC) MUST BE OBTAINED BEFORE ANY LAND DISTURBING ACTIVITIES OCCUR. REQUIRED FORMS CAN BE FOUND AT www.deq.nc.gov/ncdcr. THE E&S PERMIT, THE COC AND A HARD COPY OF THE PLAN MUST BE KEPT ON-SITE AND ACCESSIBLE DURING INSPECTION.
- PERSONS RESPONSIBLE FOR LAND DISTURBING ACTIVITIES LARGER THAN ONE ACRE MUST CONDUCT INSPECTIONS AND PARTICIPATE IN THE EROSION CONTROL SELF-MONITORING PROGRAM. INSPECTIONS OF THE PROJECT ARE TO BE COMPLETED AFTER EACH PHASE OF PROJECT WORK, AND DOCUMENTED IN WRITING. INSPECTION REPORTS SHALL BE DOCUMENTED ON FORMS PROVIDED BY NCDENR (AVAILABLE AT [HTTP://WWW.DLR.ENR.STATE.NC.US/PAGES/SEDIMENTATION_NEW.HTML](http://www.dlr.enr.state.nc.us/PAGES/SEDIMENTATION_NEW.HTML)).
- WHEN THE PROJECT IS COMPLETE, THE PERMITTEE SHALL CONTACT DEMLR TO CLOSE OUT THE E&S PLAN. AFTER DEMLR INFORMS THE PERMITTEE OF THE PROJECT CLOSE OUT, VIA INSPECTION REPORT, THE PERMITTEE SHALL VISIT DEQ.NC.GOV/NCDEI TO SUBMIT AN ELECTRONIC NOTICE OF TERMINATION (E-NOT). A \$100 ANNUAL GENERAL PERMIT FEE WILL BE CHARGED UNTIL THE E-NOT HAS BEEN FILLED OUT.
- A RAIN GAUGE WILL BE INSTALLED ON-SITE AND COPIES OF THE APPROVED PLAN BY THIS OFFICE, PLAN APPROVAL LETTER WITH ANY MODIFICATIONS OR PERFORMANCE RESERVATIONS, ANY 401/404 DOCUMENTATION, AND A MINIMUM OF THE PAST 30 DAYS OF SELF-INSPECTION REPORTS WILL BE KEPT ON SITE UNTIL ON SITE UNTIL PROJECT IS CLOSED OUT BY THIS OFFICE.

EROSION CONTROL CONSTRUCTION SEQUENCE

- OBTAIN ALL THE APPROVALS AND PERMITS NECESSARY TO BEGIN AND COMPLETE THE PROJECT. THESE APPROVALS AND PERMITS INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING: EROSION CONTROL PLANS APPROVAL, LAND DISTURBANCE PERMIT, AND BUILDING PERMIT.
 - CONTACT ORANGE COUNTY AT LEAST 72 HOURS PRIOR TO PROJECT ACTIVATION TO SCHEDULE AND HOLD A PRECONSTRUCTION MEETING BEFORE STARTING ANY CLEARING OR GRADING. ATTENDEES SHALL INCLUDE THE OWNER, THE ENGINEER, THE CONTRACTOR(S) RESPONSIBLE FOR LAND DISTURBANCE AND EROSION CONTROL.
- EARLY STAGE**
- INSTALL CONSTRUCTION ENTRANCE/EXIT AT LOCATION SHOWN ON PLAN.
 - PROVIDE LIMITED CLEARING AS NEEDED TO INSTALL SILT FENCING, TREE PROTECTION AND SILT FENCE OUTLETS, THEN INSTALL THESE MEASURES AS SHOWN.
 - CLEAR AREAS FOR INSTALLATION OF WATER LINES AND APPURTENANCES, ELECTRICAL AND DATA CONDUITS AND NEW BIO-RETENTION DEVICE AND DISCHARGE PIPE.
 - INSTALL WATER LINES AND APPURTENANCES AND ELECTRICAL AND DATA CONDUITS.
 - SUCCESSFULLY PERFORM WATER LINE TESTING AND DISINFECTION. CLOSE VALVE JUST BEYOND NEW FIRE HYDRANT ASSEMBLY TO ACTIVATE AND PLACE NEW FIRE HYDRANT IN SERVICE.

INTERMEDIATE STAGE

- BEGIN BUILDING DEMOLITION AND CONSTRUCTION OF NEW PATIO AND BUILDING ADDITION.
- NOTE: REGULARLY INSPECT AND MAINTAIN THE EROSION CONTROL MEASURES. PROVIDE ANY MAINTENANCE OR ADJUSTMENTS NEEDED TO ENSURE THAT THE MEASURES FUNCTION PROPERLY. ALL GROUND COVER TO BE APPLIED PER CONDITIONS OF THE NPDES PERMIT OR IN CRITICAL AREAS, AT THE END OF THE DAY.
- NOTE: PREVENT DIRT, MUD AND CONSTRUCTION DEBRIS FROM BEING DEPOSITED ON PUBLIC AND ADJACENT PRIVATE ROADWAY SURFACES. IMMEDIATELY CLEAN ANY DRIVEWAY/ROADWAY SURFACES THAT ARE SOILED BY CONSTRUCTION ACTIVITIES.

- CONVERT BUILDING DOMESTIC WATER FEED TO THE NEW DOMESTIC WATER LINE AND MAKE NEW DOMESTIC AND FIRE PROTECTION WATER LINES DOWNSTREAM OF NEW FIRE HYDRANT OPERATIONAL BEFORE DISCONNECTING AND ABANDONING IN PLACE EXISTING DOMESTIC WATER SERVICE. DELIVER EXISTING WATER METER TO OWNER.

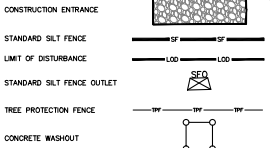
FINAL STAGE

- COMPLETE BUILDING UPFIT AND CONSTRUCTION.
 - CONSTRUCT THE BIO-RETENTION DEVICE.
 - INSTALL THE SIDEWALK CONNECTING THE PATIO TO THE NEW HANDICAP PARKING SPACE AND CONSTRUCT THE PARKING PAD AND APPURTENANCES AND THE BIKE PARKING PAD AND RACKS.
- NOTE: ALL E&S MEASURES MUST BE MAINTAINED UNTIL ALL UPGRADE DRAINAGE AREAS HAVE BEEN STABILIZED WITH THE ESTABLISHMENT OF PERMANENT VEGETATION.
- SEED REMAINING DISTURBED AREAS PER THE PERMANENT VEGETATION SCHEDULE AND INSTALL THE BIO-RETENTION PLANTINGS.
 - REMOVE SEDIMENT FENCE AND SEDIMENT FENCE OUTLETS AND ALL OTHER TEMPORARY EROSION CONTROL DEVICES AND PROVIDE PERMANENT STABILIZATION FOR THOSE AREAS.
 - AT COMPLETION OF WORK SUBMIT E-NOT TO DEMLR.

DISTURBED AREA = 0.52 ACRES

FINANCIALLY RESPONSIBLE PARTY:
GIMGHOUL CORPORATION
(919) 272-8151

EROSION CONTROL LEGEND



MAINTENANCE PLAN

- CHECK ALL EROSION AND SEDIMENT CONTROL PRACTICES FOR STABILITY AND OPERATION FOLLOWING EVERY RAINFALL EXCEEDING RUNOFF BUT IN NO CASE LESS THAN ONCE EVERY WEEK. MAKE ANY NEEDED REPAIRS IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED.
- REMOVE SEDIMENT FROM BEHIND CHECK DAMS AND STONE FILTERS WHEN STORAGE CAPACITY HAS BEEN APPROXIMATELY 50% FILLED. CLEAN OR REPLACE GRAVEL ON OUTLETS WHEN WATER POOLS AND IS NO LONGER DRAINING PROPERLY.
- FERTILIZE ALL SEEDED AREAS, RESEED AS NECESSARY, AND MULCH ACCORDING TO THE SEEDING SCHEDULE TO MAINTAIN A WOODED, DENSE VEGETATIVE COVER.
- RE-WORK DEVICES AND MEASURES, INCLUDING REMOVAL, RE-CONSTRUCTION AND/OR RELOCATION AS NEEDED DURING THE PROGRESS OF WORK TO ACCOMMODATE CHANGING TOPOGRAPHIC CONDITIONS, SURFACE RUNOFF PATTERNS, INSTALLATIONS OF OTHER WORK, ETC.

IMPERVIOUS AREA

| | | |
|-------------|-----------|--------|
| EXISTING: | 25,185 SF | 24.40% |
| DEMOLITION: | 492 SF | 0.47% |
| PROPOSED: | 4,437 SF | 4.30% |
| TOTAL: | 29,114 SF | 28.23% |



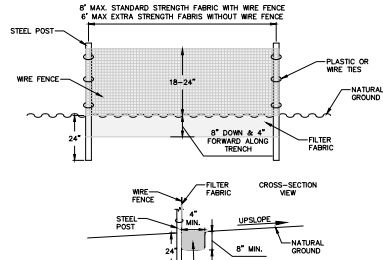
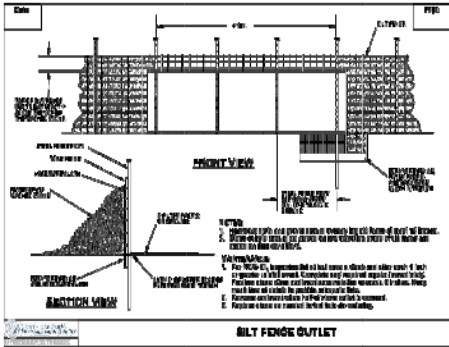
GIMGHOUL CASTLE
CHAPEL HILL, NORTH CAROLINA
EROSION CONTROL PLAN

| REV. | DATE | DESCRIPTION |
|------|------------|---|
| 1 | 10/26/2013 | 1ST TOWN PLAN REVIEW COMMENTS |
| 2 | 09/24/2013 | DIVISION 2ND ROUND PLAN REVIEW COMMENTS |
| 3 | 10/15/2013 | TOWN PLAN REVIEW COMMENTS |
| 4 | 11/25/2013 | 4TH CONSTRUCTION PERMIT REVIEW COMMENTS |

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GRAPHIC SCALE
1 inch = 20 ft.

SHEET NO.
C7.1



CONSTRUCTION SPECIFICATIONS:

1. USE A SYNTHETIC FILTER FABRIC OF AT LEAST 95% BY WEIGHT OF POLYPROPYLENE OR POLYESTER. INHIBITORS AND STABILIZERS TO PROVIDE A MINIMUM OF SIX MONTHS OF EXPECTED USABLE CONSTRUCTION LIFE AT A TEMPERATURE RANGE OF 0 TO 120 DEGREES FAHRENHEIT.
2. ENSURE THAT POSTS FOR THE SEDIMENT FENCE ARE 1.33 LB./LINEAR FOOT STEEL WITH A MINIMUM LENGTH OF FIVE FEET. MAKE SURE THAT STEEL POSTS HAVE PROJECTIONS TO FACILITATE FASTENING THE FABRIC.
3. FOR REINFORCEMENT OF STANDARD STRENGTH FILTER FABRIC, USE WIRE FENCE WITH A MINIMUM FOURTEEN GAUGE AND A MINIMUM MESH SPACING OF SIX INCHES.

CONSTRUCTION:

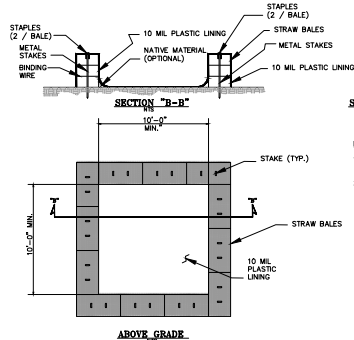
1. CONSTRUCT THE SEDIMENT BARRIER OF STANDARD STRENGTH OR EXTRA STRENGTH SYNTHETIC FILTER FABRIC.
2. ENSURE THAT THE HEIGHT OF THE SEDIMENT FENCE DOES NOT EXCEED TWENTY FOUR INCHES ABOVE THE GROUND SURFACE. (HIGHER FENCES MAY IMPOUND THE VOLUMES OF WATER SUFFICIENT TO CAUSE FAILURE OF THE STRUCTURE).
3. CONSTRUCT THE FILTER FABRIC FROM A CONTINUOUS ROLL OUT TO THE LENGTH OF THE BARRIER TO AVOID JOINTS. WHEN JOINTS ARE NECESSARY, SECURELY FASTEN THE FILTER CLOTH ONLY AT SUPPORT POSTS WITH FOUR FEET MINIMUM OVERLAP TO THE NEXT POST.
4. SUPPORT STANDARD STRENGTH FILTER FABRIC BY WIRE MESH FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS. EXTEND THE WIRE MESH SUPPORT TO THE BOTTOM OF THE TRENCH. FASTEN THE WIRE REINFORCEMENT, THEN FABRIC ON THE UPSLOPE SIDE OF THE FENCE POST. WIRE OR PLASTIC ZIP TIES SHOULD HAVE MINIMUM FIFTY POUND TENSILE STRENGTH.
5. WHEN A WIRE MESH SUPPORT FENCE IS USED, SPACE A MAXIMUM OF EIGHT FEET APART. SUPPORT POSTS SHOULD DRIVEN SECURELY INTO THE GROUND A MINIMUM OF TWENTY FOUR INCHES.
6. EXTRA STRENGTH FILTER FABRIC WITH SIX FOOT POST SPACING DOES NOT REQUIRE WIRE MESH SUPPORT FENCE. SECURELY FASTEN THE FILTER FABRIC DIRECTLY TO POSTS. WIRE OR PLASTIC ZIP TIES SHOULD HAVE MINIMUM FIFTY POUND TENSILE STRENGTH.
7. EXCAVATE A TRENCH APPROXIMATELY 4 INCHES WIDE AND EIGHT INCHES DEEP ALONG THE PROPOSED LINE OF POSTS AND UPSLOPE FROM THE BARRIERS (AS SHOWN ABOVE).
8. PLACE TWELVE INCHES OF THE FABRIC ALONG THE BOTTOM AND SIDE OF THE TRENCH.
9. BACKFILL THE TRENCH WITH SOIL FILLING OVER THE FILTER FABRIC AND COMPACT, THOUGH COMPACTING OF THE BACKFILL IS CRITICAL TO SILT FENCE PERFORMANCE.
10. DO NOT ATTACH FILTER FABRIC TO EXISTING TREES.

NOTE: SEE CHAPTER SIX OF MODERN "PRACTICE STANDARDS AND SPECIFICATIONS" MANUAL FOR EROSION CONTROL FOR INFORMATION ON SEDIMENT FENCE INSTALLATION USING THE SLUING METHOD.

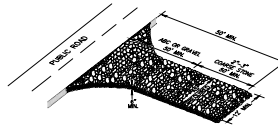
MAINTENANCE:

- INSPECT SEDIMENT FENCES AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY.
- SHOULD THE FABRIC OF A SEDIMENT FENCE COLLAPSE, TEAR, DECOMPOSE OR BECOME INEFFECTIVE, REPLACE IT PROMPTLY.
- REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE FENCE. TAKE CARE TO AVOID UNDERMINING THE FENCE DURING CLEANOUT.
- REMOVE ALL FENCING MATERIALS AND UNSTABLE SEDIMENT DEPOSITS AND BRING THE AREA TO GRADE AND STABILIZE IT AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

TEMPORARY SEDIMENT FENCE



TEMPORARY CONCRETE WASHOUT AREA



CONSTRUCTION SPECIFICATIONS:

1. CLEAR THE DRAINAGE AREA AND ADJACENT AREAS OF ALL WEEDING, ROOTS, AND GRAVE TO EXPOSE THE UNDERLYING GRADE AND DRAINAGE SHOWING ON THE PLAN. DO NOT REMOVE TOP SOIL OR SUBSOIL TO A SEDIMENT TRAP OR OTHER SEDIMENT CONTROL.
2. USE GEOTEXTILE FABRICS WHICH THEY PROVIDE STABILITY OF A FOUNDATION IN LOCATIONS SUBJECT TO DRAINAGE OR HIGH WATER TABLE.

DESIGN CRITERIA:

ADVERSE SIDE: USE 3-3 BUSH BOKED STONE.

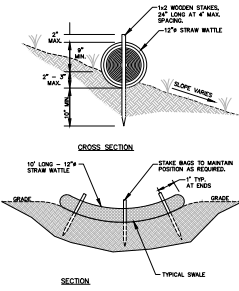
UPPER SIDE OF GRAVEL PAD: 6 INCHES MINIMUM.

UPPER SIDE OF GRAVEL PAD: 15 FEET MINIMUM OF FILL WITH AT ALL POINTS OF THE DRAINAGE EXPOSURE AND EXIST GRADE. INCREASE IN GRADE LENGTH: 30 FEET MINIMUM.

MAINTENANCE:

MAINTAIN THE GRAVEL PAD IN A CONDITION TO PREVENT AND OR SEDIMENT FROM LEAVING THE DRAINAGE AREA. THE GRAVEL SHOULD BE REFINISHED AND RECOMPACTED AFTER EACH RAINFALL. INSPECT ANY STRUCTURE (USED TO TRAP SEDIMENT) FOR WEAR AND TEAR. REPAIR WEAR AND TEAR IMMEDIATELY. REMOVE ANY UNDESIRABLE MATERIALS (STONES, BRICKS, OR TRUCKS) FROM PUBLIC ROADWAYS.

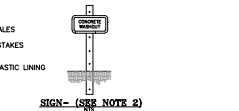
TEMPORARY CONSTRUCTION ENTRANCE APRON



NOTES:

1. NO DRAINAGE SHOULD BE SEEN UNDER THE MATTE. PADK SOIL AGAINST THE MATTE ON THE UPSLOPE.
2. STAPLES SHOULD BE DRIVEN THROUGH THE MIDDLE OF THE MATTE, LEAVING 3 TO 4 INCHES OF THE STAPLE END ABOVE THE MATTE. A HEAVY SEDIMENT TRAP MAY BE REQUIRED UPSTREAM OF THE MATTE.
3. THE MATTE OF THE MATTE SHOULD BE PERPENDICULAR TO THE SLOPE.
4. STAKE THE MATTE AT EACH END AND 4 FEET OR CENTER WITH 3-1/2\"/>

STRAW MATTE DETAIL



NOTES:

1. ACTUAL LAYOUT DETERMINED IN THE FIELD - SEE PLANS FOR LOCATION.
2. THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30 FEET OF THE FACILITY.
3. LOCATE THE WASHOUT AREA AT LEAST 50-FEET FROM SEWER AREAS SUCH AS STORM DRAINS, OPEN DITCHES OR WATER BODIES, INCLUDING WETLANDS.
4. THE PLASTIC LINING MATERIAL SHOULD BE A MIN OF 10 MIL POLYETHYLENE MATERIAL AND LIQUIDS SHALL BE PROPERLY DISPOSED OF OFF-SITE. MATERIAL USED TO CONSTRUCT THE FACILITY SHALL BE PROPERLY DISPOSED OF OFF-SITE. HOLES, DEPRESSIONS OR OTHER GROUND DISTURBANCE CAUSED BY THE REMOVAL OF THE TEMPORARY FACILITY SHALL BE BACKFILLED, REPAIRED, AND STABILIZED TO PREVENT EROSION.

TEMPORARY SEEDING SCHEDULE:

| SEEDING MIXTURE: | RATES (LB/AC) | SEEDING DATES |
|------------------|---------------|-------------------------------------|
| SPECIES | 120 | JAN. 1 - MAY 1 OR AUG. 15 - DEC. 30 |
| RYE | 50 | JAN. 1 - MAY 1 |
| KROME SPEERDEZA | 50 | MAY 1 - AUG. 15 |
| GERMAN MILLET | 40 | |

SOIL AMENDMENTS:
FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2.000 LB./ACRE GROUND AGRICULTURAL LIMESTONE AND 750 LB./ACRE 10-10-10 FERTILIZER.

MULCH:
APPLY 4,000 LB./ACRE GRAIN STRAW OR EQUIVALENT COVER OF ANOTHER SUITABLE MULCH. ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING, RIPPAGE (TRACK RATE 20-30 GAL./1,000 SF) OR BY CHISELING WITH A MULCH ANCHORING TOOL. APPLY LIME AND FERTILIZER ACCORDING TO SOIL TESTS. OR AT MINIMUM APPLY 2 TONS/ACRE (3 TONS/ACRE IN CLAYEY SOILS) LIMESTONE AND 1,000 LB./ACRE 10-10-10 FERTILIZER. EXCEPT, APPLY NO FERTILIZER TO AREAS WITHIN THE NEUSE RIVER RIPARIAN BUFFERS.

MAINTENANCE:
REFERTILIZE IF GROWTH IS NOT FULLY ADEQUATE. RESEED, REFERTILIZE AND MULCH IMMEDIATELY FOLLOWING EROSION OR OTHER DAMAGE.

PERMANENT VEGETATION

INSTRUCTIONS FOR PERMANENT STABILIZATION USING VEGETATION

INSTALLATION:

1. REFER TO PLANS FOR LOCATION, EXTENT, AND SPECIFICATIONS. IF THERE ARE QUESTIONS OR DISCREPANCIES WITH THE LOCATION, EXTENT, OR METHODS OF INSTALLATION, CONTACT THE ENGINEER. APPROVED OR DISAPPROVED PERSONNEL OF US ARMY FOR ASSISTANCE. EROSION CONTROL.
- IF THE DISTURBANCE IS NOT PROPERLY STABILIZED THE FIRST TIME SO THAT EROSION IS RESTRAINED, THE SEEDING WILL HAVE TO BE REPEAT UNTIL IT IS SUCCESSFUL.
2. USE THE APPLICATION RATES FOR LIME, FERTILIZER, SEED, MULCH, ETC. SPECIFIED IN THE PLAN, OR USE THE RATES BELOW FOR THE APPROPRIATE REGION. IF SEEDING IS TO BE DONE IN A SEASON NOT LISTED BELOW, USE VEGETATION COMPATIBLE WITH THAT SEASON OR ANOTHER METHOD OF PERMANENT STABILIZATION.

| SEEDING | DATE | RATES |
|--------------------------------|-------------------------|--|
| CALL & WATER PERMANENT SEEDING | AUGUST 16 - FEBRUARY 28 | 1 TON/AC 10-10-10 FERTILIZER 100 LB/AC 200 LB/AC 200 LB/AC 2 TONS/AC |
| SEEDING PERMANENT SEEDING | MARCH 1 - MAY 31 | 1 TON/AC 10-10-10 FERTILIZER 100 LB/AC 200 LB/AC 200 LB/AC 2 TONS/AC |
| SEEDING PERMANENT SEEDING | JUNE 1 - AUGUST 15 | 1 TON/AC 10-10-10 FERTILIZER 100 LB/AC 200 LB/AC 200 LB/AC 2 TONS/AC |

4. SEEDING OPERATIONS: REMOVE ROCKS, STUMPS, ROOTS, ETC. SINCE THEY WILL INTERFERE WITH SEEDING MAINTENANCE. THE SMOOTH, COMPACT SURFACE OF CUT AND FILL SLOPES IS NOT A GOOD SEEDING. APPLY LIME AND FERTILIZER, THEN BY THE SOIL 4 TO 6 INCHES TO MAT THE NUTRIENTS INTO THE SOIL AND ROUGHEN IT TO RECEIVE THE SEED.
5. SEEDING: APPLY SEED AT THE RECOMMENDED RATE, AND GO OVER THE SURFACE WITH A CHESSRAKE WHERE POSSIBLE TO BRING THE SEED INTO CONTACT WITH THE SOIL.
6. MULCHING: THE AREA SEEDED MUST BE MULCHED TO PROTECT THE SEED SOIL UNTIL THE SEEDLING IS ESTABLISHED. MULCHING SHOULD BE PERFORMED IMMEDIATELY AFTER PLANT GROWTH. APPLY ENOUGH MULCH TO COVER THE SURFACE TO KEEP IT PLACED AND TIGHTLY MATED OR BAYED FROM COLLAPSING. THE MULCH SHOULD BE HELD IN PLACE BY TACKING IT WITH ASPHALT, CUTTING IT WITH A STRAIGHT-SET DISK, OR COVERING IT WITH NETTING.

MAINTENANCE:
MAY PLACES WHERE THE VEGETATION FAILS TO ESTABLISH ITSELF OR IS DAMAGED BY SHOOT OR CONSTRUCTION ACTIVITY MUST BE RESEED. WHERE THE VEGETATION FAILS TO REPAIR GRASS, OTHER EROSION CONTROL.

SEEDING PREPARATION:

- 1) LEAVE THE LAST 4-6 INCHES OF FILL LOOSE AND UNCOMPACTED, ALLOWING ROCKS, ROOTS, LARGE CLOS AND OTHER DEBRIS TO REMAIN ON THE SLOPE.
- 2) ROUGHEN SLOPE FACES BY MAKING GROOVES 2-3 INCHES DEEP, PERPENDICULAR TO THE SLOPE.
- 3) SPREAD LIME EVENLY OVER SLOPES AT RATES RECOMMENDED BY SOIL TESTS.

GENTLE OR FLAT SLOPES WHERE TOPSOIL IS NOT USED:

- 1) REMOVE ROCKS AND DEBRIS
- 2) APPLY LIME AND FERTILIZER AT RATES RECOMMENDED BY SOIL TESTS. SPREAD EVENLY AND INCORPORATE INTO THE TOP 6 INCHES WITH A DISK, CHISEL PLOW, OR ROTARY TILLER.
- 3) BREAK UP LARGE CLOS AND RAKE INTO A LOOSE, UNIFORM SEEDBED.
- 4) RAKE TO LOOSEN SURFACES JUST PRIOR TO APPLYING SEED.

| SURFACE STABILIZATION TIMEFRAMES | | | |
|--|--------------------------|--|--|
| SITE AREA DESCRIPTION | STABILIZATION TIMEFRAME* | TIMEFRAME EXCEPTIONS | |
| PERMETER DIKS, SWALES, DITCHES, SLOPES | 7 DAYS | NONE | |
| HIGH QUALITY WATER (HOW) ZONES | 7 DAYS | NONE | |
| SLOPES STEEPER THAN 3:1 (H:V) | 7 DAYS | IF SLOPES ARE 10 FEET OR LESS IN LENGTH AND NOT STEEPER THAN 2:1, 14 DAYS ALLOWED. | |
| SLOPES 3:1 OR FLATTER | 14 DAYS | 7 DAYS FOR SLOPES GREATER THAN 50 FEET IN LENGTH | |
| ALL OTHER AREAS WITH SLOPES FLATTER THAN 4:1 | 14 DAYS | NONE, EXCEPT FOR PERMETERS AND HOW ZONES | |

*TIMEFRAME BEGINS ON THE DATE THAT LAND-DISTURBING ACTIVITY FOR THE INDICATED AREA OF THE SITE CEASES, WHETHER TEMPORARILY OR PERMANENTLY.



GIMGHOUL CASTLE
CHAPEL HILL, NORTH CAROLINA
EROSION CONTROL DETAILS

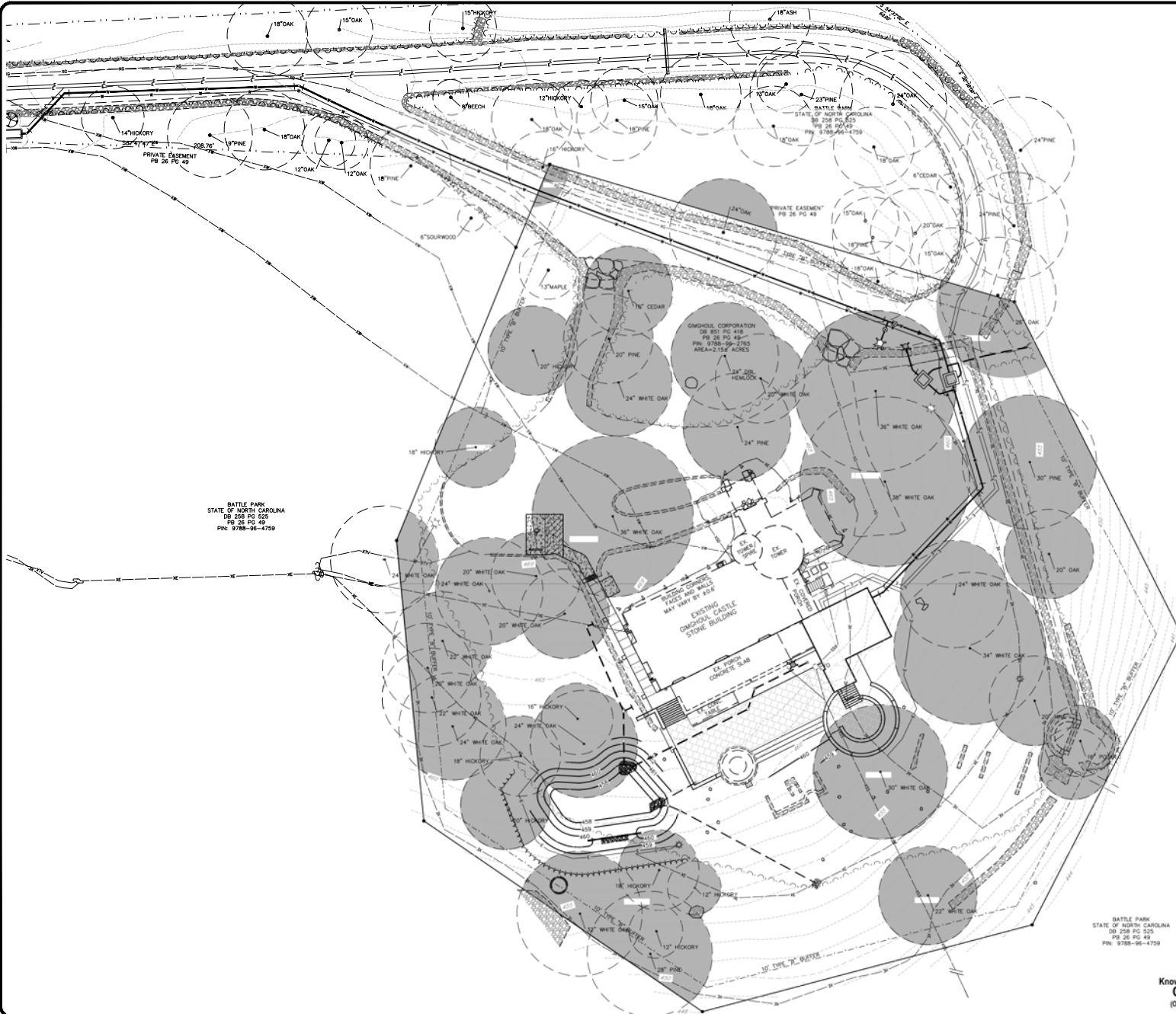
| REV. | DATE | DESCRIPTION |
|------|------------|-------------------------------|
| 1 | 10/12/2013 | 2ND TOWN PLAN REVIEW COMMENTS |

DATE: 10/12/2013
PROJECT: 130601000



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SHEET NO.
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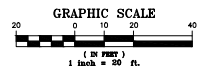


BATTLE PARK
STATE OF NORTH CAROLINA
DB 228 PG 525
PB 26 PG 49
PIN: 9788-96-4759

PRIVATE EASEMENT
PB 26 PG 49

GIMGHOUL CORPORATION
DB 801 PG 418
PB 26 PG 49
PIN: 9788-96-2785
AREA: 5.51 ACRES

BATTLE PARK
STATE OF NORTH CAROLINA
DB 228 PG 525
PB 26 PG 49
PIN: 9788-96-4759



EXISTING TREE COVERAGE

EXISTING PROPERTY AREA = 93,850 SF
EXISTING TREE COVERAGE AREA = 49,173 SF
PERCENT OF PROPERTY = 52.4%

LANDSCAPE PROTECTION PLAN NOTES:

1. LANDSCAPE PROTECTION SUPERVISORS MUST BE APPROVED BY THE TOWN PRIOR TO ANY SITE DISTURBANCE. THOSE SUPERVISORS MUST BE ON-SITE ANY TIME LAND DISTURBANCE ACTIVITIES ARE TAKING PLACE.
2. A PRE-CONSTRUCTION MEETING IS REQUIRED WITH THE PLANNING DEPARTMENT TO REVIEW TREE PROTECTION ROUTE, KEY CONSTRUCTION CONCERNS, AND SEQUENCING.
3. ONCE TREE PROTECTION FENCING IS INSTALLED, AN INSPECTION MUST OCCUR PRIOR TO ANY CONSTRUCTION ACTIVITIES.
4. ALL TREE PROTECTION FENCE AND TEMP SILT FENCE SHALL BE INSTALLED BEFORE CLEARING AND GRADING.
5. THE CONTRACTOR SHALL TAKE EVERY PRECAUTION TO PROTECT EXISTING TREES.
6. THE LANDSCAPING WITHIN THE EXISTING PERIMETER BUFFERS SHALL NOT BE DISTURBED.

LANDSCAPE PLANTING NOTES:

1. EXISTING FOLIAGE, WITH THE EXCEPTION OF ONE TREE TO BE REMOVED FOR NEW ELECTRICAL SERVICES, WILL BE PRESERVED AND CONTINUE TO SATISFY BUFFER REQUIREMENTS.
2. NO NEW PLANTINGS OUTSIDE THE SCM ARE PROPOSED. ALL LANDSCAPE AREAS DISTURBED BY CONSTRUCTION SHALL BE STABILIZED BY SEEDING FOR GRASS.

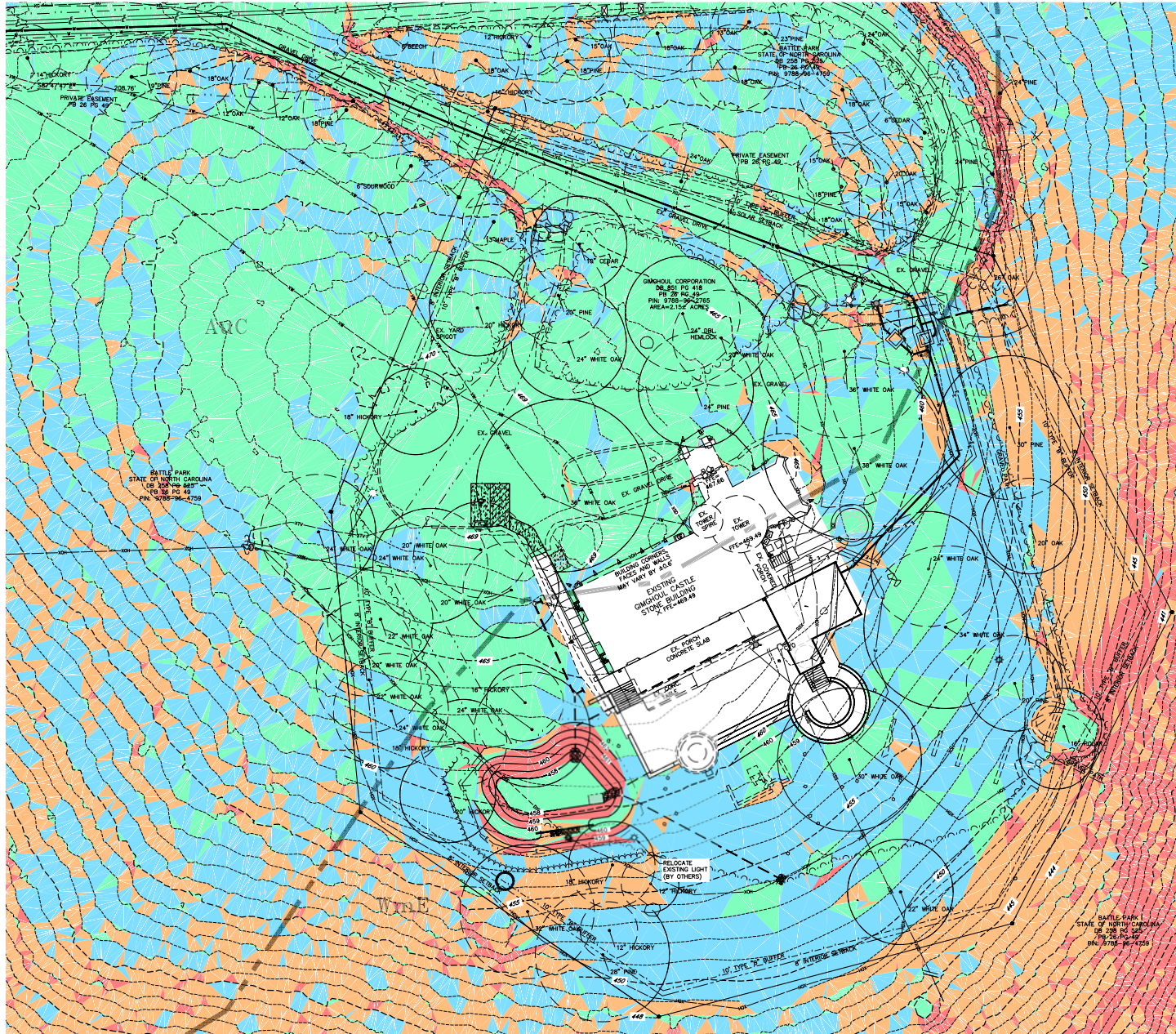


GIMGHOUL
CASTLE
CHAPEL HILL, NORTH CAROLINA
LANDSCAPE PROTECTION AND
PLANTING PLAN

| REV. | DATE | DESCRIPTION |
|------|------------|-------------------------------|
| 1 | 08/12/2023 | 1ST TOWN PLAN REVIEW COMMENTS |
| 2 | 10/18/2023 | 2ND TOWN PLAN REVIEW COMMENTS |
| 3 | | |
| 4 | | |
| 5 | | |
| 6 | | |
| 7 | | |
| 8 | | |
| 9 | | |
| 10 | | |

DATE PLOTTED: 10/18/2023 10:40:00 AM

SHEET NO.
C8.1



SLOPE LEGEND:

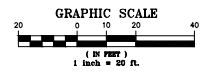
| | |
|-----------------|---|
| 0% TO 10% | |
| 10% TO 15% | |
| 15% TO 25% | |
| 25% AND GREATER | |

NOTE:

1. THERE WILL BE NO CONSTRUCTION IN ANY STEEP SLOPE AREAS AS DEFINED BY THE CHAPEL HILL LUMO SECTION 5.3.2-C(1).



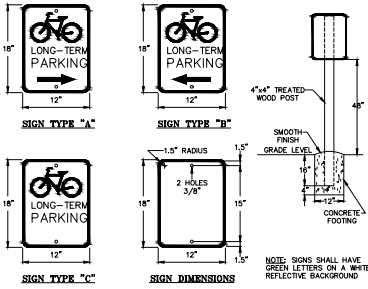
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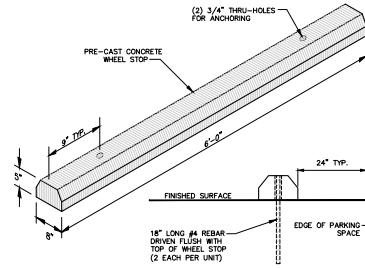
**GIMGHOUL
CASTLE
CHAPEL HILL, NORTH CAROLINA
STEEP SLOPES PLAN**

| REV. | DATE | DESCRIPTION |
|------|------------|-------------------------------|
| 01 | 10/20/2015 | 1ST TOWN PLAN REVIEW COMMENTS |
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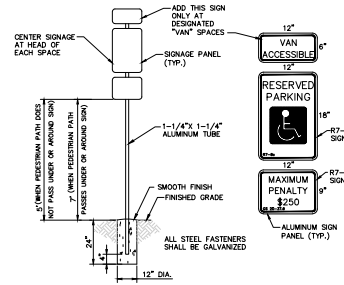
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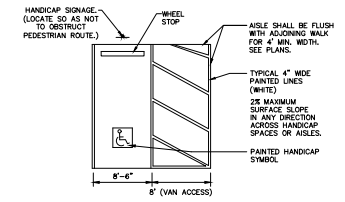
BICYCLE PARKING SIGNS DETAIL
NTS



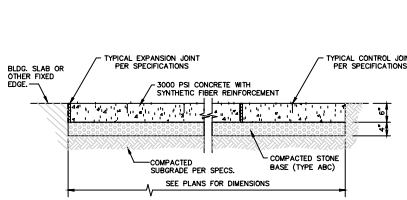
WHEEL STOP
NTS



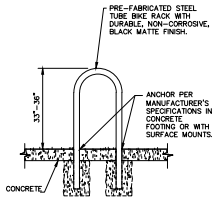
HANDICAP PARKING SIGNAGE
NTS



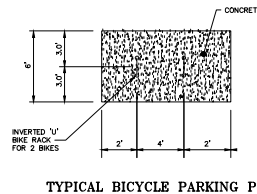
HANDICAP PARKING SPACE
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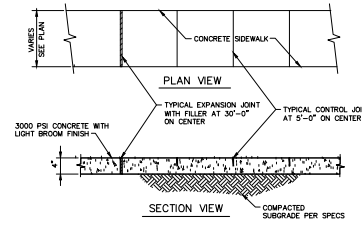
CONCRETE PAVING DETAIL FOR ACCESSIBLE PARKING
NTS



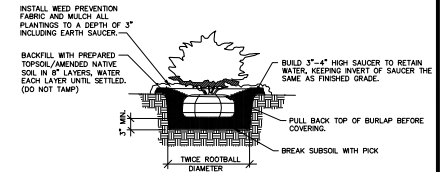
INVERTED "U" BIKE RACK
NTS



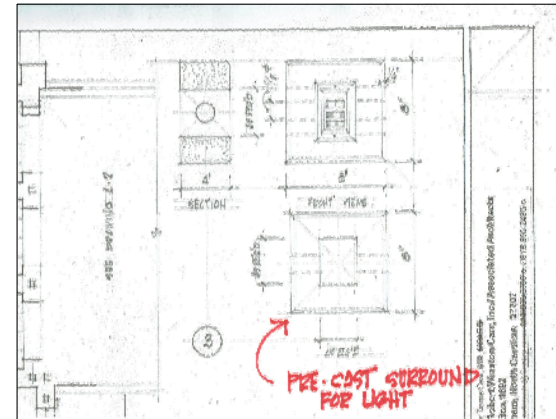
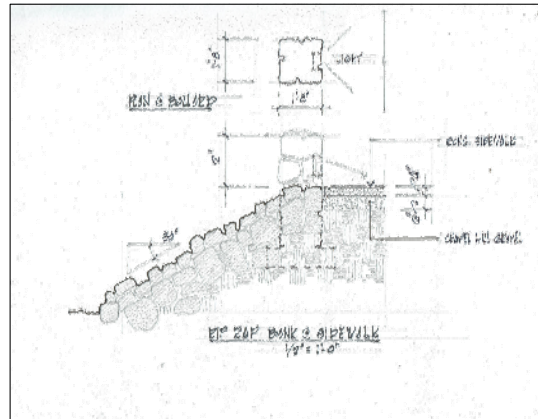
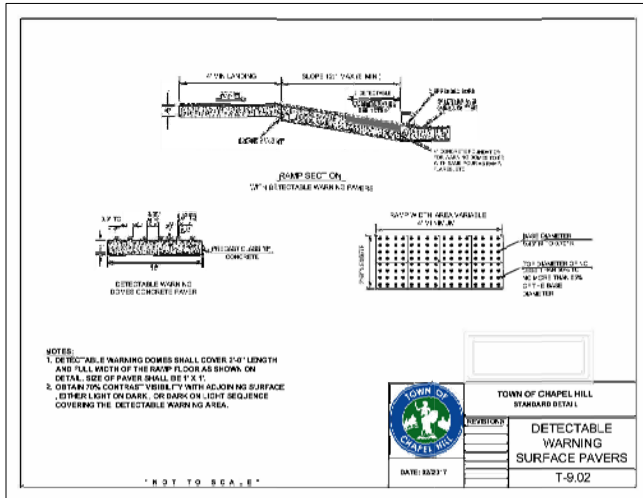
TYPICAL BICYCLE PARKING PLAN
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CONCRETE WALK
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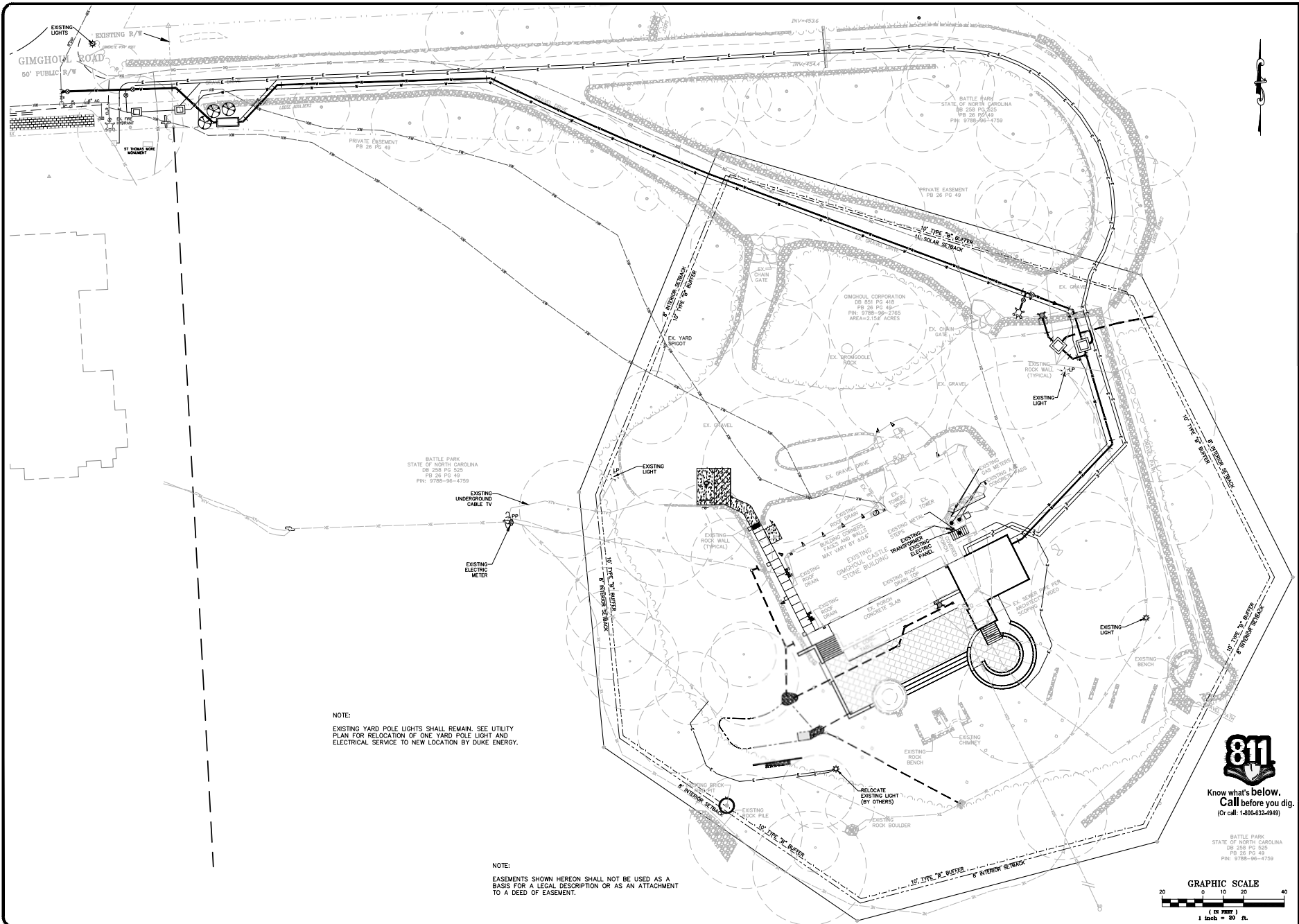
SHRUB PLANTING DETAIL
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| REV. | DATE | DESCRIPTION |
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| 1 | 03/23/2017 | END TOWN CLEAN REVIEW COMMENTS |



Know what's below.
Call before you dig.
(Or call 1-800-632-4949)



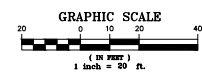
NOTE:
EXISTING YARD POLE LIGHTS SHALL REMAIN. SEE UTILITY PLAN FOR RELOCATION OF ONE YARD POLE LIGHT AND ELECTRICAL SERVICE TO NEW LOCATION BY DUKE ENERGY.

NOTE:
EASEMENTS SHOWN HEREON SHALL NOT BE USED AS A BASIS FOR A LEGAL DESCRIPTION OR AS AN ATTACHMENT TO A DEED OF EASEMENT.



Know what's below.
Call before you dig.
(Or call 1-800-432-4949)

BATTLE PARK
STATE OF NORTH CAROLINA
DB 258 PG 525
PB 26 PG 49
PIN: 9785-96-4759



GIMGHOUL CASTLE
CHAPEL HILL, NORTH CAROLINA
EXISTING LIGHTS TO REMAIN PLAN

| REV. | DATE | DESCRIPTION |
|------|------------|-------------------------------|
| 01 | 10/15/2023 | 1ST TOWN PLAN REVIEW COMMENTS |
| 02 | 10/15/2023 | 2ND TOWN PLAN REVIEW COMMENTS |
| 03 | 11/05/2023 | 4TH TOWN PLAN REVIEW COMMENTS |

BATTLE PARK
STATE OF NORTH CAROLINA
DB 258 PG 525
PB 26 PG 49
PIN: 9785-96-4759

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GROUND STABILIZATION AND MATERIALS HANDLING PRACTICES FOR COMPLIANCE WITH THE NCG01 CONSTRUCTION GENERAL PERMIT

Implementing the details and specifications on this plan sheet will result in the construction activity being considered compliant with the Ground Stabilization and Materials Handling sections of the NCG01 Construction General Permit (Sections E and F, respectively). The permittee shall comply with the Erosion and Sediment Control plan approved by the delegated authority having jurisdiction. All details and specifications shown on this sheet may not apply depending on site conditions and the delegated authority having jurisdiction.

SECTION E: GROUND STABILIZATION

Required Ground Stabilization Timeframes

| Site Area Description | Stabilize within this many calendar days after ceasing land disturbance | Timeframe variations |
|--|---|--|
| (a) Perimeter dikes, swales, ditches, and perimeter slopes | 7 | None |
| (b) High Quality Water (HQW) Zones | 7 | None |
| (c) Slopes steeper than 3:1 | 7 | If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed |
| (d) Slopes 3:1 to 4:1 | 14 | -7 days for slopes greater than 50' in length and with slopes steeper than 4:1 |
| | | -7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed |
| (e) Areas with slopes flatter than 4:1 | 14 | -7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed unless there is zero slope |

Note: After the permanent cessation of construction activities, any areas with temporary ground stabilization shall be converted to permanent ground stabilization as soon as practicable but in no case longer than 90 calendar days after the last land disturbing activity. Temporary ground stabilization shall be maintained in a manner to render the surface stable against accelerated erosion until permanent ground stabilization is achieved.

GROUND STABILIZATION SPECIFICATION

Stabilize the ground sufficiently so that rain will not dislodge the soil. Use one of the techniques in the table below:

| | |
|--|--|
| • Temporary grassseed covered with straw or other mulches and tackifiers | • Permanent grassseed covered with straw or other mulches and tackifiers |
| • Hydroseeding | • Geotextile fabrics with or permanent soil reinforcement matting |
| • Rolled erosion control products with or without temporary grassseed | • Hydroseeding |
| • Appropriately applied straw or other mulch | • Strips or other permanent planting covered with mulch |
| • Plastic sheeting | • Uniformly and evenly distributed ground cover sufficient to restrain erosion |
| | • Structural methods such as concrete, asphalt or retaining walls |
| | • Hydroseeding control products with grassseed |

POLYACRYLAMIDES (PAMS) AND FLOCCULANTS

- Select flocculants that are appropriate for the soils being exposed during construction, selecting from the *NC DWR List of Approved PAMS/Flocculants*.
- Apply flocculants at or before the inlets to Erosion and Sediment Control Measures.
- Apply flocculants at the concentrations specified in the *NC DWR List of Approved PAMS/Flocculants* and in accordance with the manufacturer's instructions.
- Provide ponding area for containment of treated Stormwater before discharging off-site.
- Store flocculants in leak-proof containers that are kept under storm-resistant cover or surrounded by secondary containment structures.

EQUIPMENT AND VEHICLE MAINTENANCE

- Maintain vehicles and equipment to prevent discharge of fluids.
- Provide drip pans under any stored equipment.
- Identify leaks and repair as soon as feasible, or remove leaking equipment from the project.
- Collect all spent fluids, store in separate containers and properly dispose as hazardous waste (recycle when possible).
- Remove leaking vehicles and construction equipment from service until the problem has been corrected.
- Bring used fuels, lubricants, coolants, hydraulic fluids and other petroleum products to a recycling or disposal center that handles these materials.

LITTER, BUILDING MATERIAL AND LAND CLEARING WASTE

- Never bury or burn waste. Place litter and debris in approved waste containers.
- Provide a sufficient number and size of waste containers (e.g. dumpster, trash receptacle) on site to contain construction and domestic wastes.
- Locate waste containers at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Locate waste containers on areas that do not receive substantial amounts of runoff from upland areas and does not drain directly to a storm drain, stream or wetland.
- Cover waste containers at the end of each workday and before storm events or provide secondary containment. Repair or replace damaged waste containers.
- Anchor all lightweight items in waste containers during times of high winds.
- Empty waste containers as needed to prevent overflow. Clean up immediately if containers overflow.
- Dispose waste off-site at an approved disposal facility.
- On business days, clean up and dispose of waste in designated waste containers.

PAINT AND OTHER LIQUID WASTE

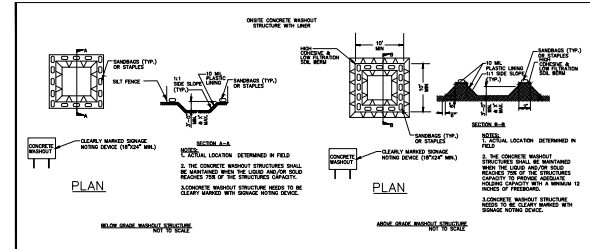
- Do not dump paint and other liquid waste into storm drains, streams or wetlands.
- Locate paint washouts at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Contain liquid wastes in a controlled area.
- Containment must be labeled, sized and placed appropriately for the needs of site.
- Prevent the discharge of soaps, solvents, detergents and other liquid wastes from construction sites.

PORTABLE TOILETS

- Install portable toilets on level ground, at least 50 feet away from storm drains, streams or wetlands unless there is no alternative reasonably available. If 50 foot offset is not attainable, provide relocation of portable toilet behind silt fence or place on a gravel pad and surround with sand bags.
- Provide staking or anchoring of portable toilets during periods of high winds or in high foot traffic areas.
- Monitor portable toilets for leaking and properly dispose of any leaked material. Utilize a licensed sanitary waste hauler to remove leaking portable toilets and replace with properly operating unit.

EARTHEN STOCKPILE MANAGEMENT

- Show stockpile locations on plans. Locate earthen-material stockpile areas at least 50 feet away from storm drain inlets, sediment basins, perimeter sediment controls and surface waters unless it can be shown no other alternatives are reasonably available.
- Protect stockpile with silt fence installed along toe of slope with a minimum offset of five feet from the toe of stockpile.
- Provide stable stone access point when feasible.
- Stabilize stockpile within the timeframes provided on this sheet and in accordance with the approved plan and any additional requirements. Soil stabilization is defined as vegetative, physical or chemical coverage techniques that will restrain accelerated erosion on disturbed soils for temporary or permanent control needs.



CONCRETE WASHOUTS

- Do not discharge concrete or cement slurry from the site.
- Dispose of, or recycle settled, hardened concrete residue in accordance with local and state solid waste regulations and at an approved facility.
- Manage washout from mortar mixers in accordance with the above item and in addition place the mixer and associated materials on impervious barrier and within lot perimeter silt fence.
- Install temporary concrete washouts per local requirements, where applicable. If an alternate method or product is to be used, contact your approval authority for review and approval. If local standard details are not available, use one of the two types of temporary concrete washouts provided on this detail.
- Do not use concrete washouts for dewatering or storing defective curb or sidewalk sections. Stormwater accumulated within the washout may not be pumped into or discharged to the storm drain system or receiving surface waters. Liquid waste must be pumped out and removed from project.
- Locate washouts at least 50 feet from storm drain inlets and surface waters unless it can be shown that no other alternatives are reasonably available. At a minimum, install protection of storm drain inlet(s) closest to the washout which could receive spills or overflow.
- Locate washouts in an easily accessible area, on level ground and install a stone entrance pad in front of the washout. Additional controls may be required by the approving authority.
- Install at least one sign directing concrete trucks to the washout within the project limits. Post signage on the washout itself to identify this location.
- Remove leavings from the washout when at approximately 75% capacity to limit overflow events. Replace the tarp, sand bags or other temporary structural components when no longer functional. When utilizing alternative or proprietary products, follow manufacturer's instructions.
- At the completion of the concrete work, remove remaining leavings and dispose of in an approved disposal facility. Fill pit, if applicable, and stabilize any disturbance caused by removal of washout.

HERBICIDES, PESTICIDES AND RODENTICIDES

- Store and apply herbicides, pesticides and rodenticides in accordance with label restrictions.
- Store herbicides, pesticides and rodenticides in their original containers with the label, which lists directions for use, ingredients and first aid steps in case of accidental poisoning.
- Do not store herbicides, pesticides and rodenticides in areas where flooding is possible or where they may spill or leak into wells, stormwater drains, ground water or surface water. If a spill occurs, clean area immediately.
- Do not stockpile these materials onsite.

HAZARDOUS AND TOXIC WASTE

- Create designated hazardous waste collection areas on-site.
- Place hazardous waste containers under cover or in secondary containment.
- Do not store hazardous chemicals, drums or bagged materials directly on the ground.



GIMGHOUL CASTLE
 CHAPEL HILL, NORTH CAROLINA
 NCG01
 GROUND STABILIZATION & MATERIALS HANDLING

| REV. | DATE | DESCRIPTION |
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CONTRACT NO. 13B-C0004-13(2)-10



GIMCHOUL CASTLE
 CHAPEL HILL, NORTH CAROLINA
 NCG01 SELF-INSPECTION, RECORDKEEPING & REPORTING

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CONTRACT 2012-08-0004-0001-001

SHEET NO.

C15.4

| PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING | | |
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| SECTION A: SELF-INSPECTION | | |
| Self-inspections are required during normal business hours in accordance with the table below. When adverse weather or site conditions would cause the safety of the inspection personnel to be in jeopardy, the inspection may be delayed until the next business day on which it is safe to perform the inspection. In addition, when a storm event of equal to or greater than 1.0 inch occurs outside of normal business hours, the self-inspection shall be performed upon the commencement of the next business day. Any time when inspections were delayed shall be noted in the Inspection Record. | | |
| Inspect: | Frequency (during normal business hours) | Inspection records must include: |
| [1] Storm gauge maintained in good working order | Daily | Daily rainfall amounts. If no daily rain gauge observations are made during weekend or holiday periods, and no individual-day rainfall information is available, record the cumulative rain measurement for those unattended days (and this will determine if a site inspection is needed). Days on which no rainfall occurred shall be recorded as "zero." The permittee may use another rain-monitoring device approved by the Division. |
| [2] E&SC Measures | At least once per 7 calendar days and within 24 hours of a rain event > 1.0 inch in 24 hours | 1. Identification of the measures inspected, 2. Date and time of the inspection, 3. Name of the person performing the inspection, 4. Indicators of whether the measures were operating properly, 5. Description of maintenance needs for the measure, 6. Descriptions, evidence, and date of corrective actions taken. |
| [3] Stormwater discharge outlets (S&D) | At least once per 7 calendar days and within 24 hours of a rain event > 1.0 inch in 24 hours | 1. Identification of the discharge outlets inspected, 2. Date and time of the inspection, 3. Name of the person performing the inspection, 4. Evidence of indicators of stormwater pollution such as oil sheen, floating or suspended solids or discoloration, 5. Indicators of visible sediment leaving the site, 6. Descriptions, evidence, and date of corrective actions taken. |
| [4] Perimeter of site | At least once per 7 calendar days and within 24 hours of a rain event > 1.0 inch in 24 hours | 1. Identification of the following shall be made: a. Actions taken to clean up or stabilize the sediment that has left the site limits, 2. Descriptions, evidence, and date of corrective actions taken, and 3. An explanation as to the actions taken to control future releases. |
| [5] Stormwater runoff/collection or off-site (where accessible) | At least once per 7 calendar days and within 24 hours of a rain event > 1.0 inch in 24 hours | 1. The stream or wetland has increased visible sedimentation or a stream that visibly increased turbidity from the construction activity, then a record of the following shall be made: a. Descriptions, evidence and date of corrective actions taken, and b. Records of the required reports to the appropriate Division-Regional Office per Part III, Section C, Item (3)(a) of this permit of this permit. |
| [6] Ground stabilization measures | After each phase of grading | 1. The phase of grading, installation of perimeter E&SC measures, clearing and grubbing, installation of storm discharge facilities, completion of all land-disturbing activity, construction or redevelopment, permanent ground cover, 2. Documentation that the required ground stabilization measures have been provided within the required timeframe or an assurance that they will be provided as soon as possible. |

NOTE: The rain inspection resets the required 7 calendar day inspection requirement.

| PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING | |
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| SECTION B: RECORDKEEPING | |
| 1. E&SC Plan Documentation | |
| The approved E&SC plan as well as any approved deviation shall be kept on the site. The approved E&SC plan must be kept up-to-date throughout the coverage under this permit. The following items pertaining to the E&SC plan shall be documented in the manner described: | |
| Items to Document | Documentation Requirements |
| (a) Each E&SC Measure has been installed and does not significantly deviate from the locations, dimensions and relative elevations shown on the approved E&SC Plan. | Initial and date each E&SC Measure on a copy of the approved E&SC Plan or complete, date and sign an inspection report that lists each E&SC Measure shown on the approved E&SC Plan. This documentation is required upon the initial installation of the E&SC Measures or if the E&SC Measures are modified after initial installation. |
| (b) A phase of grading has been completed. | Initial and date a copy of the approved E&SC Plan or complete, date and sign an inspection report to indicate completion of the construction phase. |
| (c) Ground cover is located and installed in accordance with the approved E&SC Plan. | Initial and date a copy of the approved E&SC Plan or complete, date and sign an inspection report to indicate compliance with approved ground cover specifications. |
| (d) The maintenance and repair requirements for all E&SC Measures have been performed. | Complete, date and sign an inspection report. |
| (e) Corrective actions have been taken to E&SC Measures. | Initial and date a copy of the approved E&SC Plan or complete, date and sign an inspection report to indicate the completion of the corrective action. |

2. Additional Documentation

In addition to the E&SC Plan documents above, the following items shall be kept on the site and available for agency inspectors at all times during normal business hours, unless the Division provides a site-specific exemption based on unique site conditions that make this requirement not practical:

- This general permit as well as the certificate of coverage, after it is received.
- Records of inspections made during the previous 30 days. The permittee shall record the required observations on the Inspection Form provided by the Division or a similar inspection form that includes all the required elements. Use of electronically-available records in lieu of the required paper copies will be allowed if shown to provide equal access and utility as the hard-copy records.
- All data used to complete the Notice of Intent and older inspection records shall be maintained for a period of three years after project completion and made available upon request. [40 CFR 122.41]

| PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING | |
|--|--|
| SECTION C: REPORTING | |
| 1. Occurrences that must be reported | |
| Permittees shall report the following occurrences: | |
| (a) Visible sediment deposition in a stream or wetland. | |
| (b) Oil spills if: <ul style="list-style-type: none"> • They are 25 gallons or more, • They are less than 25 gallons but cannot be cleaned up within 24 hours, • They cause sheen on surface waters (regardless of volume), or • They are within 100 feet of surface waters (regardless of volume). | |
| (a) Releases of hazardous substances in excess of reportable quantities under Section 311 of the Clean Water Act (Ref: 40 CFR 110.3 and 40 CFR 117.3) or Section 102 of CERCLA (Ref: 40 CFR 302.4) or G.S. 143-215.85. | |
| (b) Anticipated bypasses and unanticipated bypasses. | |
| (c) Noncompliance with the conditions of this permit that may endanger health or the environment. | |
| 2. Reporting Timeframes and Other Requirements | |
| After a permittee becomes aware of an occurrence that must be reported, he shall contact the appropriate Division regional office within the timeframes and in accordance with the other requirements listed below. Occurrences outside normal business hours may also be reported to the Division's Emergency Response personnel at (800) 662-7956, (800) 858-0368 or (919) 733-3300. | |
| Occurrences | Reporting Timeframes, Other Requirements and Other Requirements |
| (a) Visible sediment deposition in a stream or wetland | <ul style="list-style-type: none"> • Within 24 hours, a verbal or electronic notification. • Within 7 calendar days, a report that contains a description of the sediment and actions taken to address the cause of the deposition. Division staff may waive the requirement for a written report on a case-by-case basis. • If the stream is named on the NC Water List or regulated for sediment-related issues, the permittee may be required to perform additional monitoring, inspections or apply more stringent practices if staff determine that additional requirements are needed to assure compliance with the federal or state impairment-related conditions. |
| (b) Oil spills and release of hazardous substances per Part III, Section C, Item (2) | <ul style="list-style-type: none"> • Within 24 hours, a verbal or electronic notification. The notification shall include information about the date, time, nature, volume and location of the spill or release. |
| (c) Anticipated bypasses [40 CFR 122.41 (b) (2)] | <ul style="list-style-type: none"> • A report at least 60 days before the date of the bypass, if possible. The report shall include an evaluation of the anticipated quality and effect of the bypass. |
| (d) Unanticipated bypasses [40 CFR 122.41 (b) (3)] | <ul style="list-style-type: none"> • Within 24 hours, a verbal or electronic notification. • Within 7 calendar days, a report that includes an evaluation of the quality and effect of the bypass. |
| (e) Non-compliance with the conditions of this permit that may endanger health or the environment [40 CFR 122.41 (b) (4)] | <ul style="list-style-type: none"> • Within 24 hours, a verbal or electronic notification. • Within 7 calendar days, a report that contains a description of the non-compliance, and its causes; the period of non-compliance, including exact dates and times, and if the non-compliance has not been corrected, the anticipated time to re-compliance; if expected to continue, and steps taken or planned to reduce, eliminate, and prevent recurrence of the non-compliance; [40 CFR 122.41 (b) (6)]. • Division staff may waive the requirement for a written report on a case-by-case basis. |