

LEGEND

	PROP. FDC
	EX. FIRE HYDRANT
	PROP. VALVE
	EX. VALVE
	PROP. MANHOLE
	EX. MANHOLE
	PROP. BOX INLET
	EX. BOX INLET
	EX. POWER POLE
	EX. TREE
	EX. LIGHT POLE
	EX. CABLE T.V. LINE
	PROP. ELECTRIC LINE
	EX. ELECTRIC LINE
	PROP. GAS LINE
	EX. GAS LINE
	PROP. TELEPHONE LINE
	EX. TELEPHONE LINE
	PROP. SANITARY SEWER
	PROP. SANITARY LATERAL
	EX. SANITARY SEWER
	PROP. STORM SEWER
	PROP. ROOF DRAIN
	EX. STORM SEWER
	PROP. WATER LINE
	PROP. WATER SERVICE
	EX. WATER LINE
	EX. FENCE
	EX. CURB
	PROP. CURB

UTILITY CONTACTS

PLANNING/ZONING
TOWN OF CHAPEL HILL BUILDING & DEVELOPMENT SERVICES
FIRST FLOOR, TOWN HALL
405 MARTIN LUTHER KING JR. BLVD.
CHAPEL HILL, NC 27514
919-968-2728
planning@townofchapelhill.org

JUDY JOHNSON, ASSISTANT PLANNING DIRECTOR
919-968-5078
jjohnson@townofchapelhill.org

MICHAEL SUDOL (FORMER PLANNER)
919-969-5088
msudol@townofchapelhill.org

FIRE DEPARTMENT
TOWN OF CHAPEL HILL FIRE DEPARTMENT
403 MARTIN LUTHER KING JR. BLVD.
CHAPEL HILL, NC 27514
CHRIS KEARNS
919-968-2781
ckearns@townofchapelhill.org

SANITARY SEWER & WATER SERVICE
ORANGE WATER AND SEWER AUTHORITY (OWASA)
400 JONES FERRY ROAD
CARRBORO, NC 27510
NICK PARKER
919-537-4201
nparker@owasa.org

STORM DRAINAGE & EROSION CONTROL
CHAPEL HILL ENGINEERING DEPARTMENT
208 N. COLUMBIA ST.
CHAPEL HILL, NC 27514
ERNEST ODEI-LARBI
919-968-2717
eodei-larbi@townofchapelhill.org

GAS SERVICE
DOMINION ENERGY NORTH CAROLINA COMMERCIAL COMPANY
PO BOX 1398
GASTONIA, NC 28053
CUSTOMER SERVICE
877-776-2427
NCGasCommercialServices@DominionEnergyNC.com

ELECTRIC SERVICE
DUKE ENERGY
CHRISTIAN GABRIEL HERMANDEZ
christian.hernandez@duke-energy.com

TELEPHONE SERVICE
SPECTRUM
855-261-7122

CABLE SERVICE
SPECTRUM
346 N. MAIN STREET
WINSTON-SALEM, NC 27101
CUSTOMER SERVICE
866-855-4578

NORTH CAROLINA UTILITY PROTECTION SERVICE
1-800-632-4949
WWW.NC811.ORG
"CALL TWO DAYS BEFORE YOU DIG"

ALL SITE PREPARATION, EARTHWORK, PAVEMENT AND CONSTRUCTION CONSIDERATIONS AS DETAILED IN THE FOLLOWING REPORT ARE TO BE FOLLOWED BY THE CONTRACTOR.

GEOTECHNICAL ENGINEERING REPORT
PROPOSED CHICK-FIL-A: #04954
CHAPEL HILL, NORTH CAROLINA
TERRACON PROJECT NO. 70215097
DATED MAY 18, 2021

AS PREPARED BY:
TERRACON CONSULTANTS, INC.
2401 BRENTWOOD ROAD, SUITE 107
RALEIGH, NC 27604
PHONE: 919-873-2211

BENCHMARKS

TBM #1	-	NAIL	ELEVATION = 263.04
TBM #2	-	PK NAIL	ELEVATION = 262.00
TBM #3	-	1/2" IRON PIN SET	ELEVATION = 265.35
TBM #4	-	1/2" IRON PIN SET	ELEVATION = 265.18

As-built Type	Required		Horizontal	Vertical	Required before Certificate of Occupancy		Signed and Sealed Survey Required	
	Yes	No			Yes	No	Yes	No
Sanitary Service	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Storm Sewer	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Storm Water BMP's	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Water Service	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Full Site	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

- GENERAL NOTES**
- THE CONSTRUCTION OF THIS PROJECT SHALL BE GOVERNED BY THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION (NCDOT) CONSTRUCTION AND SPECIFICATIONS, CURRENT EDITION, THE NCDOT STANDARD CONSTRUCTION DRAWINGS, AND THE CITY ENGINEERS AND STANDARD CONSTRUCTION DRAWINGS.
 - ALL DISTURBED GREEN AREAS SHALL BE TOP DRESSED AND RE-SEEDED.
 - CALL NORTH CAROLINA ONE CALL, 811, 48 HOURS PRIOR TO CONSTRUCTION.
 - ALL STORM SEWERS SHALL BE HIGH DENSITY POLYETHYLENE (HDPE) SMOOTH LINED PIPE MEETING AASHTO M294, TYPE S MAY BE USED.
 - EARTHWORK AND SITE PREPARATION SHALL BE AS SPECIFIED IN THE SOILS REPORT.
 - ELECTRICAL CONDUIT SHALL BE AS REQUIRED BY THE POWER COMPANY.
 - TELEPHONE CONDUIT SHALL BE AS REQUIRED BY THE PHONE COMPANY.
 - GAS SERVICE SHALL BE AS REQUIRED BY THE GAS COMPANY.
 - THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS IN THE ENGINEERING AND BUILDING DEPARTMENTS.
 - ROOF DRAINS MUST BE CONNECTED DIRECTLY TO THE STORM SEWER.
 - THE CONTRACTOR IS RESPONSIBLE FOR ANY ADDITIONAL SILTATION CONTROL MEASURES NECESSARY TO PREVENT SILT FROM LEAVING THE SITE.
 - THE CONTRACTOR IS RESPONSIBLE FOR LEGAL REMOVAL OF DEMOLITION MATERIAL AND DEBRIS.
 - THE CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL DISTURBED AREAS TO THEIR ORIGINAL CONDITION, OR BETTER.
 - ROOF DRAINS, FOUNDATION DRAINS AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER SYSTEM ARE PROHIBITED.
 - PRICES BID PER FOOT FOR ALL PIPES IS COMPLETE IN PLACE REGARDLESS OF SOIL OR ROCK CONDITIONS.
 - TEMPORARY SOIL EROSION AND SEDIMENT CONTROL WILL BE REQUIRED IN ACCORDANCE WITH ORANGE COUNTY ENGINEERING & PUBLIC WORKS DEPARTMENT.
 - THE CONTRACTOR SHALL PROVIDE 10 DAYS NOTICE TO THE CITY ENGINEER AND PUBLIC WORKS DEPARTMENT PRIOR TO BEGINNING WORK TO ARRANGE FOR INSPECTION.
 - ALL STORM SEWER RUN DISTANCES ARE FROM CENTERLINE TO CENTERLINE OF MANHOLES OR CATCH BASINS. ALL PIPE INVERT ELEVATIONS GIVEN AT MANHOLES ARE AT CENTERLINE OF MANHOLE. ALL STORM SEWER INLETS AND MANHOLES ARE TO HAVE TOP ELEVATIONS.
 - A 12 INCH. MINIMUM VERTICAL CLEARANCE SHALL BE MAINTAINED FROM THE OUTSIDE EDGE OF ALL WATER MAIN PIPE TO THE OUTSIDE EDGE OF ALL STORM SEWER PIPE.
 - A 4 FOOT MINIMUM HORIZONTAL CLEARANCE SHALL BE MAINTAINED FROM THE OUTSIDE EDGE OF ALL WATER MAIN PIPE TO THE OUTSIDE EDGE OF ALL STORM SEWER PIPE.
 - A 10 FOOT MINIMUM HORIZONTAL CLEARANCE SHALL BE MAINTAINED FROM THE OUTSIDE EDGE OF THE WATER MAIN PIPE TO THE OUTSIDE EDGE OF THE SANITARY SEWER PIPE OR FORCE MAIN PIPE.
 - AN 18" MINIMUM VERTICAL CLEARANCE SHALL BE MAINTAINED FROM THE OUTSIDE EDGE OF ALL WATER MAIN PIPE TO THE OUTSIDE EDGE OF ALL SANITARY SEWER OR FORCE MAIN PIPE.
 - ALL SANITARY SEWERS SHALL CONSIST OF PVC SDR-35 MEETING ASTM D-3034 WITH JOINTS CONFORMING TO ASTM D-3212 UNLESS OTHERWISE NOTED.

Chick-fil-A

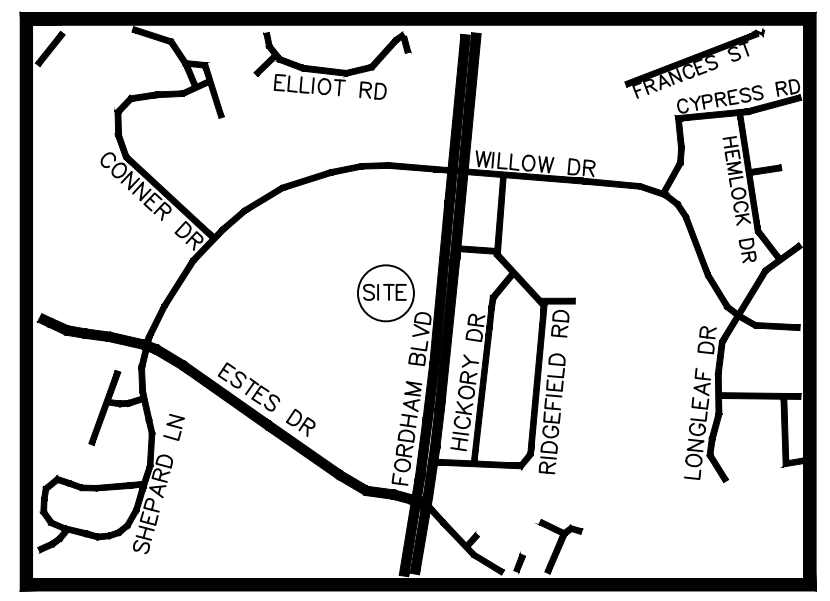
CHAPEL HILL

UNIVERSITY PLACE FSU

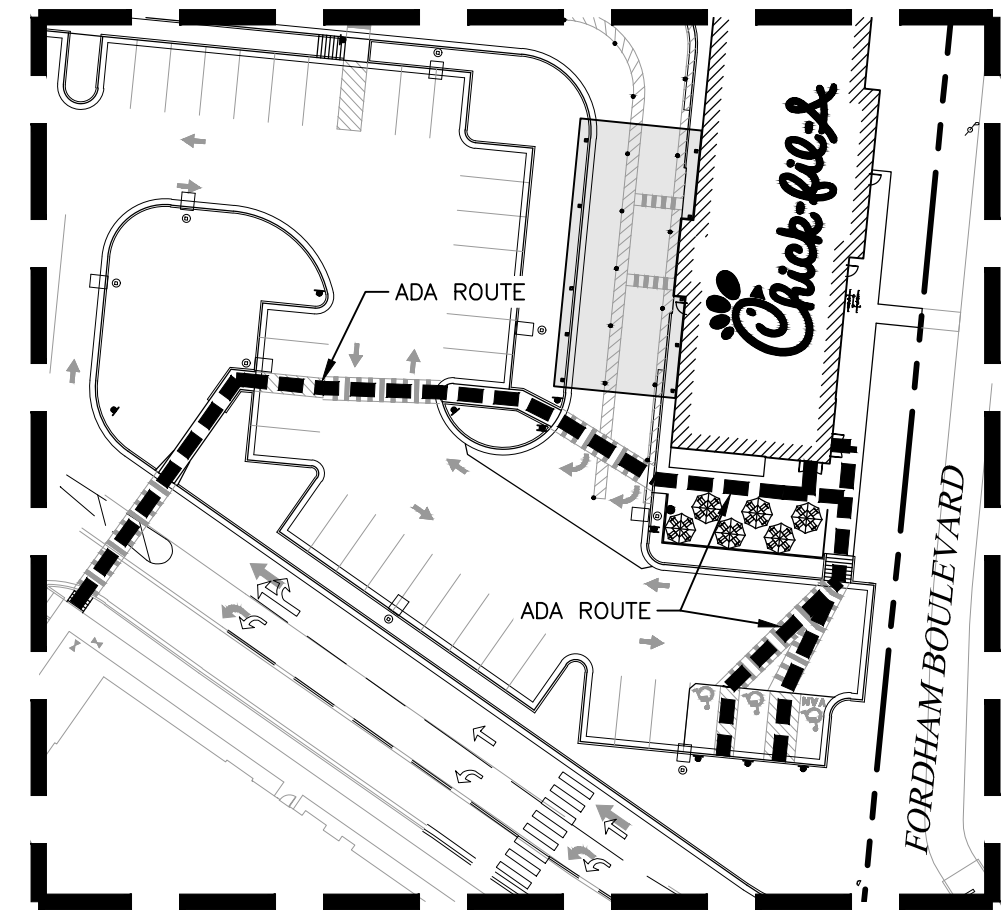
STORE #4954

SITE PLAN DOCUMENTS

241 SOUTH ESTES DRIVE
TOWN OF CHAPEL HILL
COUNTY OF ORANGE
STATE OF NORTH CAROLINA



LOCATION MAP
NOT TO SCALE
LATITUDE N 35°55'42.1" (35.9284)
LONGITUDE W 79°1'30.1" (-79.0250)



ADA ACCESSIBLE ROUTE SCHEMATIC
SCALE: 1" = 50'

PREPARED FOR:
APPLICANT/DEVELOPER: CHICK-FIL-A, INC.
5200 BUFFINGTON RD.
ATLANTA GEORGIA 30349-2998
CONTACT: TODD WILLIAMS
PHONE: (804) 765-8000
EMAIL: todd.williams@cfacorp.com

OWNER: RRPV UNIVERSITY CHAPEL HILL LP
127 WEST WORTHINGTON AVENUE, SUITE 290
CHARLOTTE, NC 28203
CONTACT: ASHLEY SAULPAUGH
PHONE: (704) 377-6730
EMAIL: asaulpaugh@ramrealestate.com



PREPARED BY:
GBC DESIGN, INC.
565 White Pond Dr. Akron, OH 44320-1123
Phone 330-836-0228 www.GBCDesign.com

CONTACT: GARY ROUSE, P.E.
EMAIL: grouse@gbcdesign.com

CONTRACTOR RESPONSIBLE TO FIELD VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITY TIE-INS AND CROSSINGS AS SHOWN ON SITE PLANS (SANITARY, STORM, WATER, GAS, ELECTRIC, PHONE, ETC.) PRIOR TO THE START OF CONSTRUCTION. CONTACT ALLAN WILEY AT GBC DESIGN, INC., 330-836-0228, WITH ANY CONCERNS OR CONFLICTS PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR TO VERIFY THE THICKNESS OF ANY OFF-SITE PAVEMENT (ASPHALT AND CONCRETE) AND SIDEWALK SO THE RESTORATION WORK IS INCLUDED IN THE BID.

I CERTIFY THAT THE PROPOSED PLAN COMPLIES WITH THE APPROVED UNIVERSITY PLACE DESIGN STANDARDS DATED 7/26/2021

GARY R. ROUSE
DATE: 12/14/2022
PIN: 9799-22-0641

THIS PROPERTY IS LOCATED WITHIN AN AREA HAVING ZONE DESIGNATIONS OF "X" & "AE" BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY; ON FLOOD INSURANCE RATE MAP NO. 3710979900L, WITH A MAP REVISED DATE OF OCTOBER 19, 2018, IN ORANGE COUNTY, STATE OF NORTH CAROLINA, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PROPERTY IS SITUATED.

- TOWN NOTES**
- CONSTRUCTION WASTE LOCATED IN THE FLOODPLAIN SHALL BE REMOVED MINIMUM OF SEVENTY-TWO (72) HOURS BEFORE LANDFALL OF A HURRICANE OR IMMEDIATELY UPON FLOOD WARNING NOTIFICATION.
 - DOOR ENTRANCES TO THE BUILDING SHALL BE LOCATED AT BASE FLOOD ELEVATION (BFE) PLUS TWO (2) FEET. THE BFE IS 261.1 AND THE BUILDING FINISHED FLOOR IS 264.25.
 - ELECTRICAL, HEATING, VENTILATION, PLUMBING, AIR CONDITIONING EQUIPMENT, AND OTHER SERVICE FACILITIES SHALL BE DESIGNED, LOCATED, AND/OR ELEVATED SO AS TO PREVENT WATER FROM ENTERING OR ACCUMULATING WITHIN THE COMPONENTS DURING CONDITIONS OF FLOODING. THESE INCLUDE, BUT ARE NOT LIMITED TO, HVAC EQUIPMENT; WATER SOFTENER UNITS; BATH/KITCHEN FIXTURES; DUCTWORK; ELECTRIC AND GAS METER PANELS/BOXES; UTILITY AND CABLE BOXES; APPLIANCES SUCH AS WASHERS, DRYERS, REFRIGERATORS, AND FREEZERS; HOT WATER HEATERS, AND ELECTRIC OUTLETS AND SWITCHES.
 - THE HVAC CONDENSATE AND ELEVATOR SUMP BE CONNECTED TO SANITARY SEWER.
 - ALL MECHANICAL AND ELECTRICAL EQUIPMENT ASSOCIATED WITH THE BUILDING SHALL BE ELEVATED PER THE FLOOD DAMAGE PREVENTION ORDINANCE.
 - IN COMPLIANCE WITH THE NOISE ORDINANCE, TOWN CODE SECTION 11-40, CONSTRUCTION OPERATIONS FOR WHICH BUILDING PERMITS HAVE BEEN ISSUED, BE LIMITED TO 7:00 A.M. TO 9:00 P.M. ON WEEKDAYS AND 8:00 A.M. TO 9:00 P.M. ON WEEKENDS.

Zoning Approved
by Katherine Shor
09/14/2023



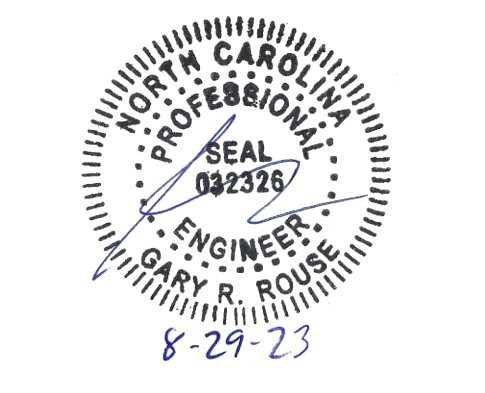
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DEMOLITION PLAN		C-110
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Chick-fil-A
5200 Buffington Road
Atlanta, Georgia 30349-2998

GBC DESIGN, INC.
565 White Pond Dr. Akron, OH 44320-1123
Phone 330-836-0228
www.GBCDesign.com



CHICK-FIL-A
CHAPEL HILL UNIVERSITY PLACE FSU
241 SOUTH ESTES DRIVE
CHAPEL HILL, NC 27514

FSU# 04954

REVISION SCHEDULE

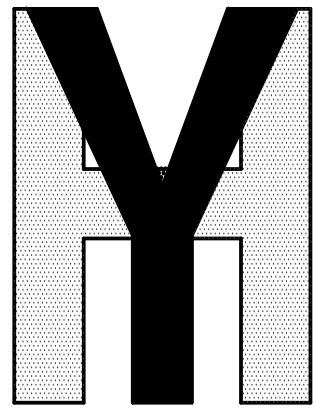
NO.	DATE	DESCRIPTION

GBC PROJECT # 54053A
PRINTED FOR Permit
DATE 9/28/22
DRAWN BY BAW

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TITLE SHEET

SHEET NUMBER **C-000**



YOUNG - HOBBS AND ASSOCIATES

1202 CROSSLAND AVE.
CLARKSVILLE, TN 37040
PHONE 931-645-2524
FAX 931-645-2768

YHA PROJECT # 085-21
DATE (FIELD) 5/27/21
DATE (OFFICE) 6/19/21
CHECKED BY DRH

ZONING: PER SITE INVESTIGATION REPORT

THE FOLLOWING ZONING INFORMATION WAS TAKEN FROM THE SITE INVESTIGATION REPORT.

The Zoning Classification is CC (Community Commercial District)

BUILDING SETBACK	BUILDING	PARKING	LANDSCAPING
FRONT (NORTH)	20' (MAX.)	5'	5'
FRONT (WEST)	11'	0'	0'
REAR (SOUTH)	10'	10'	0'
FRONT (EAST)	11'	0'	0'

MAXIMUM BUILDING HEIGHT: 75'
BUILDING FLOOR AREA RATIO: 0.429

SURVEY NOTES:

INFORMATION REGARDING THE PRESENCE, SIZE AND LOCATION OF UNDERGROUND UTILITIES ARE SHOWN HEREON HAVE BEEN SHOWN BASED ON THE LOCATION OF ABOVE GROUND APPURTENANCES, AVAILABLE DESIGN PLANS, AND FLAGS/PAINT PLACED BY THE UNDERGROUND PROTECTION SERVICE. NO CERTIFICATION IS MADE AS TO THE ACCURACY OR THOROUGHNESS OF THE INFORMATION CONCERNING UNDERGROUND UTILITIES AND STRUCTURES SHOWN HEREON. (NORTH CAROLINA ONE CALL CENTER, INC 1-800-632-4949)

NO PRIVATE UTILITY LOCATE WAS PERFORMED ON THIS SITE AT THE TIME OF THIS SURVEY.

CONTACT PROPER AUTHORITIES BEFORE BUILDING NEAR UTILITY LINES. FOR EASEMENT WIDTH AND RESTRICTIONS, UTILITIES ARE APPROXIMATE AND SHOULD BE VERIFIED PRIOR TO ANY CONSTRUCTION.

GROUND MEASUREMENTS ARE USED AS THE BASIS FOR LOCATION OF ALL FEATURES OF THE SUBJECT PROPERTY.

LIST OF ENCRANCHMENTS: NONE OBSERVED

UNLESS STATED OTHERWISE, ANY MONUMENT REFERRED TO HEREIN AS AN "IRON PIN SET" IS A SET 1/2" DIAMETER, REBAR 18" IN LENGTH, WITH A YELLOW PLASTIC CAP STAMPED "YOUNG HOBBS".

ALL MATTERS SHOWN ON THE PLAT ARE SHOWN ON THE SURVEY.

THIS SURVEY IS A PART OF AN EXISTING PARCEL OR PARCELS OF LAND AND DOES NOT CREATE A NEW STREET OR CHANGE AN EXISTING STREET.

THE SURVEYOR WAS NOT ABLE TO LOCATE A NORTH CAROLINA GEODETIC MONUMENT WITHIN 2000 FEET OF THIS SITE.

I CERTIFY THAT THIS SURVEY WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION, AND THAT THE BOUNDARIES SURVEYED ARE CLEARLY INDICATED AS DRAWN FROM INFORMATION FOUND IN BOOK 4555, PAGE 746, AND THAT THIS IS A CLASS "A" SURVEY WITH A RATIO OF PRECISION AS CALCULATED GREATER THAN 1:10,000; AND THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED.

LAND DESCRIPTION (Per Title Commitment):

Being all that certain tract or parcel of land located in Orange County, North Carolina and more particularly described as follows:

Beginning at an iron pin on the western right of way of US Highway 15-501, point being the northeast property corner of RRPV University Chapel Hill LP as shown in Deed Book 6561, Page 272 of the Orange County Registry, being the Point of Beginning, thence with said right of way South 05°38'23" West a distance of 255.43 feet to a point; thence leaving said right of way North 84°21'37" West a distance of 26.23 feet to a point; thence North 55°00'02" West a distance of 414.09 feet to a point; thence North 34°59'58" East a distance of 37.75 feet to a point; thence North 49°19'38" East a distance of 26.90 feet to an iron pin; thence South 84°21'37" East a distance of 350.00 feet to the Point of Beginning, containing 61,403 square feet, or 1.41 acres.

BEING A PORTION OF:

Being all that certain tract or parcel of land located in Orange County, North Carolina and more particularly described as follows:

Beginning at a right of way monument located at the intersection on the Western edge of the right of way of U.S. 15-501 Bypass and the Northeastern edge of the right of way of Estes Drive, and running thence with said right of way of Estes Drive four (4) calls as follows: (1) North 81° 05' 29" West 94.00 feet to a right of way monument, (2) In a Northwesterly direction along a curve to the right, having a radius of 552.27 feet an arc distance of 270.20 feet and a chord bearing and distance of North 68° 00'29" West 267.86 feet to a right of way monument; (3) North 54° 55' 29" West 1183.99 feet to a point; and (4) In a Northwesterly direction along a curve to the left, having a radius of 682.27 feet, an arc distance of 153.67 feet and a chord bearing and distance of North 61° 22' 38" West 153.34 feet to a point located in the Northeastern edge of the right of way of Willow Drive, thence with said right of way of Willow Drive two (2) calls as follows: (1) In a Northwesterly direction along a curve to the right, having a radius of 1476.95 feet, an arc distance of 1525.00 feet and a chord bearing and distance of North 49° 26' 10" East 1458.16 feet to a point; and (2) In an Easterly direction along a curve to the right, having a radius of 1228.11 feet an arc distance of 194.36 feet and a chord bearing and distance of North 83° 07' 19" East 194.16 feet to a point, having N.C. Grid Coordinates (NAD 1983) of North = 793,540.735 and East = 1,992,386.347; thence leaving said right of way of Willow Drive, South 65° 35' 11" West 607.53 feet to a point; thence South 84° 24' 29" East 350.00 feet to a point located in the Western edge of the right of way of U.S. 15-501 Bypass; thence with said right of way of U.S. 15-501 Bypass three (3) calls as follows: (1) South 05° 35' 31" West 599.72 feet to a point; (2) South 07° 07' 31" West 282.98 feet to a point; and (3) South 08° 51' 31" West 257.07 feet to a point; thence leaving said right of way of U.S. 15-501 North 81° 08' 29" West 50.00 feet to a point; thence South 08° 51' 31" West 50.00 feet to a point; thence South 81° 08' 29" East 50.00 feet to a point located in the Western edge of the right of way of U.S. 15-501 Bypass; thence with said right of way of U.S. 15-501 Bypass South 08° 51' 31" West 20.75 feet to the Point and Place of Beginning, containing 39.405 acres, more or less, according to plat of survey entitled "ALTA/NSPS Land Title Survey of 201 South Estes Drive, Chapel Hill, North Carolina 27514", dated June 21, 2018, prepared by Stephen D. Puckett, Registered Land Surveyor.

Note: The above general legal description must be revised prior to closing to more accurately describe the property being conveyed. The above legal description shall be revised upon receipt of an ALTA survey that indicates the property contained in the survey is entirely a portion of the above described property. Additional exceptions may be necessary upon receipt of said survey and upon revision of the legal description.

SITE UTILITIES

SANITARY SEWER - WATER
AGENCY: Orange Water and Sewer Authority (OWASA)
ADDRESS: 400 Jones Ferry Road
Carrboro, NC 27510
CONTACT: Nick Parker
PHONE#: 919-537-4201
EMAIL: nparker@owasa.org

ELECTRIC
AGENCY: Duke Energy
ADDRESS: Not Needed - Send Via Email
PHONE:
CONTACT: Christian Gabriel Hernandez
EMAIL: christian.hernandez@duke-energy.com

GAS
AGENCY: Dominion Energy North Carolina Commercial Company
ADDRESS: P.O. Box 1398, Gastonia, NC 28053
PHONE#: 877-776-2427
PHONE#: 800-545-4427
CONTACT: Customer Service
EMAIL: NCGasCommercialServices@DominionEnergyNC.com

TELEPHONE
AGENCY: Spectrum
ADDRESS:
CONTACT:
PHONE#: 855-261-7122
EMAIL:

CABLE
AGENCY: Spectrum
ADDRESS: 346 N Main Street
Winston-Salem, NC 27101
CONTACT: Customer Service
PHONE#: 866-874-2389

STORM WATER/DRAINAGE
AGENCY: Chapel Hill Engineering Department
ADDRESS: 208 N. Columbia St.
Chapel Hill, NC 27514
CONTACT: Ernest Odeh-Larbi
PHONE#: 919-968-2717
EMAIL: eodei-larbi@townofchapelhill.org

BOUNDARY NOTE:

THIS SITE IS A PORTION OF THE 39.4 ACRE TRACT IDENTIFIED BY PARCEL 9799-12-5797. BOUNDARY LINES SHOWN HEREON ARE FROM EXISTING FOUND MONUMENTS. A COMPLETE BOUNDARY SURVEY OF THE PARENT TRACT WAS NOT CONDUCTED BY THIS SURVEYOR. A LEASE DESCRIPTION FOR THE PROPOSED DEVELOPMENT WAS PROVIDED TO THIS SURVEYOR.



Know what's below.
Call before you dig.

TABLE A NOTES:

- ITEM 2: ADDRESS SHOWN IS PER ORANGE COUNTY GIS VIEWER.
- ITEM 3: THIS PROPERTY IS LOCATED WITHIN AN AREA HAVING ZONE DESIGNATIONS OF "X & AE" BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, ON FLOOD INSURANCE RATE MAP NO. 3710979900L, WITH A MAP REVISED DATE OF OCTOBER 19, 2018, IN ORANGE COUNTY, STATE OF NORTH CAROLINA, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PROPERTY IS SITUATED.

- ITEM 5: CONTOURS WERE DERIVED FROM RANDOM SHOTS AND CROSS SECTIONS AND ARE SHOWN AT ONE FOOT INTERVALS. ELEVATIONS SHOWN HEREON ARE BASED ON GPS OBSERVATIONS TOGETHER WITH AN OPUS SOLUTION, DATED 05/25/2021 (NAVD88, GEOID18).

- ITEM 16: THERE WAS NO EVIDENCE OF RECENT EARTH MOVING, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.

- ITEM 17: THERE WAS NO EVIDENCE OF RECENT CHANGES IN STREET RIGHT OF WAY LINES. THERE WAS NO EVIDENCE OF RECENT OR STREET SIDEWALK CONSTRUCTION OR REPAIRS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.

- ITEM 18: THERE WAS NO WETLAND DELINEATION OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.

CLIENT INFORMATION

GBC DESIGN, INC.,
565 WHITE POND DRIVE
AKRON, OH 44320

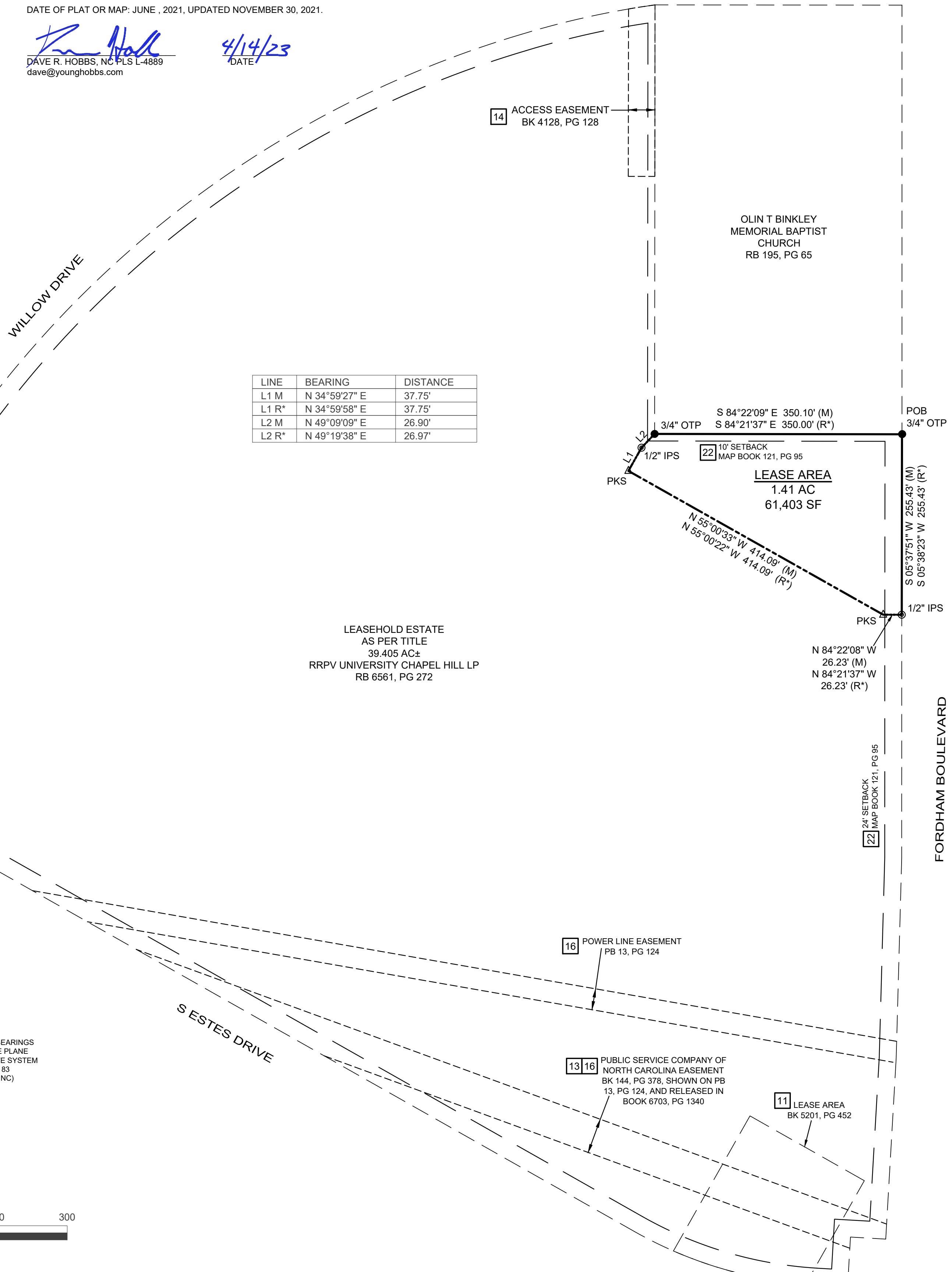
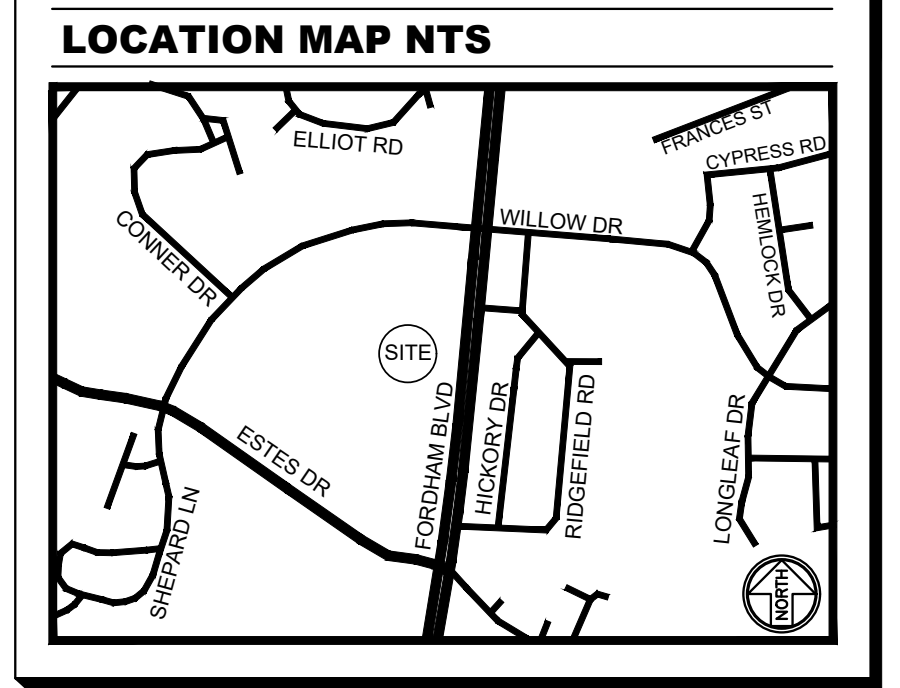
OWNER INFORMATION

A PORTION OF THE RRPV UNIVERSITY
CHAPEL HILL LP
RB 6561, PG 272

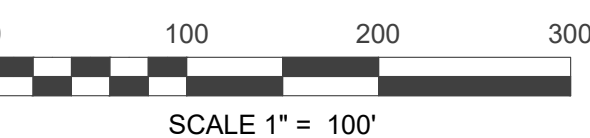
PIN 9799-22-0641
CHAPEL HILL
ORANGE COUNTY, NC

SITE ADDRESS

201 S. ESTES DRIVE
CHAPEL HILL, NC 27514



BASEIS OF BEARINGS
NC STATE PLANE
COORDINATE SYSTEM
NAD 83
(6800 NC)



Chick-fil-A
5200 Buffington Road
Atlanta, Georgia 30349-2998

GBC DESIGN, INC.
Akron, OH 44320-1123
Phone 330-836-5782
Fax 330-836-5782



Zoning Approved
by Katherine Shor
09/14/2023

CHICK-FIL-A
201 ESTES DRIVE
CHAPEL HILL, NC

FSU#4954

REVISION	SCHEDULE NO.	DATE	DESCRIPTION

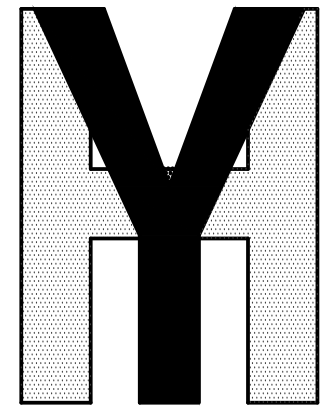
GBC PROJECT #
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DATE 6/07/21
DRAWN BY DRH & CLH

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ALTA/NSPS LAND TITLE SURVEY

SHEET 1 OF 2
SHEET NUMBER

C-010



**YOUNG - HOBBS
AND
ASSOCIATES**
1202 CROSSLAND AVE.
CLARKSVILLE, TN 37040
PHONE 931-645-2524
FAX 931-645-2768

YHA PROJECT #	085-21
DATE (FIELD)	5/27/21
DATE (OFFICE)	6/09/21
CHECKED BY	DRH

LINE	BEARING	DISTANCE
L1 M	N 34°59'27" E	37.75'
L1 R	N 34°59'58" E	37.75'
L2 M	N 49°09'09" E	26.90'
L2 R	N 49°19'38" E	26.97'

CLIENT INFORMATION

GBC DESIGN, INC.
565 WHITE POND DRIVE
AKRON, OH 44320

OWNER INFORMATION

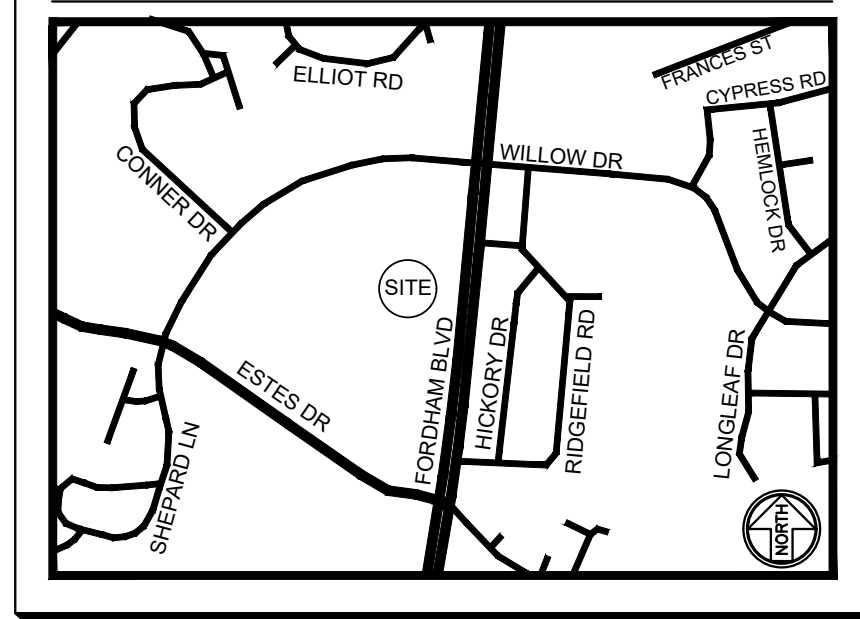
A PORTION OF THE RRPV UNIVERSITY
CHAPEL HILL LP
RB 6561, PG 272

PIN 9799-22-0641
CHAPEL HILL
ORANGE COUNTY, NC

SITE ADDRESS

201 S. ESTES DRIVE
CHAPEL HILL, NC 27514

LOCATION MAP NTS



Chick-fil-A

Chick-fil-A
5200 Buffington Road
Atlanta, Georgia 30349-2998

GBC DESIGN, INC.

Akron, OH 44320-1123
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CHICK-FIL-A
201 ESTES DRIVE
CHAPEL HILL, NC

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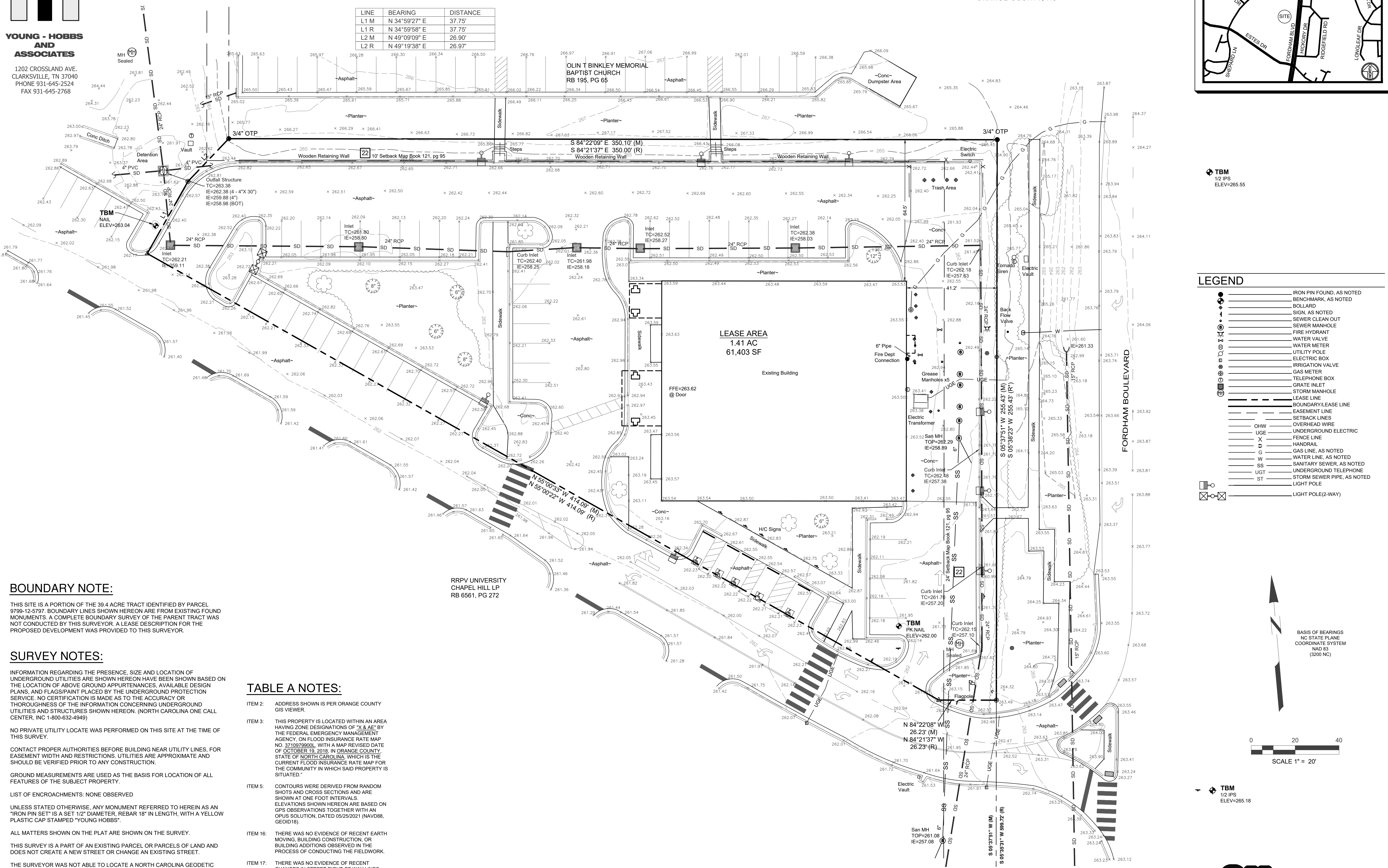
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ALTA/NSPS LAND
TITLE SURVEY

SHEET 2 OF 2

SHEET NUMBER

C-010.1



BOUNDARY NOTE:

THIS SITE IS A PORTION OF THE 39.4 ACRE TRACT IDENTIFIED BY PARCEL 9799-12-5797. BOUNDARY LINES SHOWN HEREON ARE FROM EXISTING FOUND MONUMENTS. A COMPLETE BOUNDARY SURVEY OF THE PARENT TRACT WAS NOT CONDUCTED BY THIS SURVEYOR. A LEASE DESCRIPTION FOR THE PROPOSED DEVELOPMENT WAS PROVIDED TO THIS SURVEYOR.

SURVEY NOTES:

INFORMATION REGARDING THE PRESENCE, SIZE AND LOCATION OF UNDERGROUND UTILITIES ARE SHOWN HEREON HAVE BEEN SHOWN BASED ON THE LOCATION OF ABOVE GROUND APPURTENANCES, AVAILABLE DESIGN PLANS, AND FLAG/PAINT PLACED BY THE UNDERGROUND PROTECTION SERVICE. NO CERTIFICATION IS MADE AS TO THE ACCURACY OR THOROUGHNESS OF THE INFORMATION CONCERNING UNDERGROUND UTILITIES AND STRUCTURES SHOWN HEREON. (NORTH CAROLINA ONE CALL CENTER, INC 1-800-632-4949)

NO PRIVATE UTILITY LOCATE WAS PERFORMED ON THIS SITE AT THE TIME OF THIS SURVEY.

CONTACT PROPER AUTHORITIES BEFORE BUILDING NEAR UTILITY LINES. FOR EASEMENT WIDTH AND RESTRICTIONS. UTILITIES ARE APPROXIMATE AND SHOULD BE VERIFIED PRIOR TO ANY CONSTRUCTION.

GROUND MEASUREMENTS ARE USED AS THE BASIS FOR LOCATION OF ALL FEATURES OF THE SUBJECT PROPERTY.

LIST OF ENCROACHMENTS: NONE OBSERVED

UNLESS STATED OTHERWISE, ANY MONUMENT REFERRED TO HEREIN AS AN "IRON PIN SET" IS A SET 1/2" DIAMETER, REBAR 18" IN LENGTH, WITH A YELLOW PLASTIC CAP STAMPED "YOUNG HOBBS".

ALL MATTERS SHOWN ON THE PLAT ARE SHOWN ON THE SURVEY.

THIS SURVEY IS A PART OF AN EXISTING PARCEL OR PARCELS OF LAND AND DOES NOT CREATE A NEW STREET OR CHANGE AN EXISTING STREET.

THE SURVEYOR WAS NOT ABLE TO LOCATE A NORTH CAROLINA GEODETIC MONUMENT WITHIN 2000 FEET OF THIS SITE.

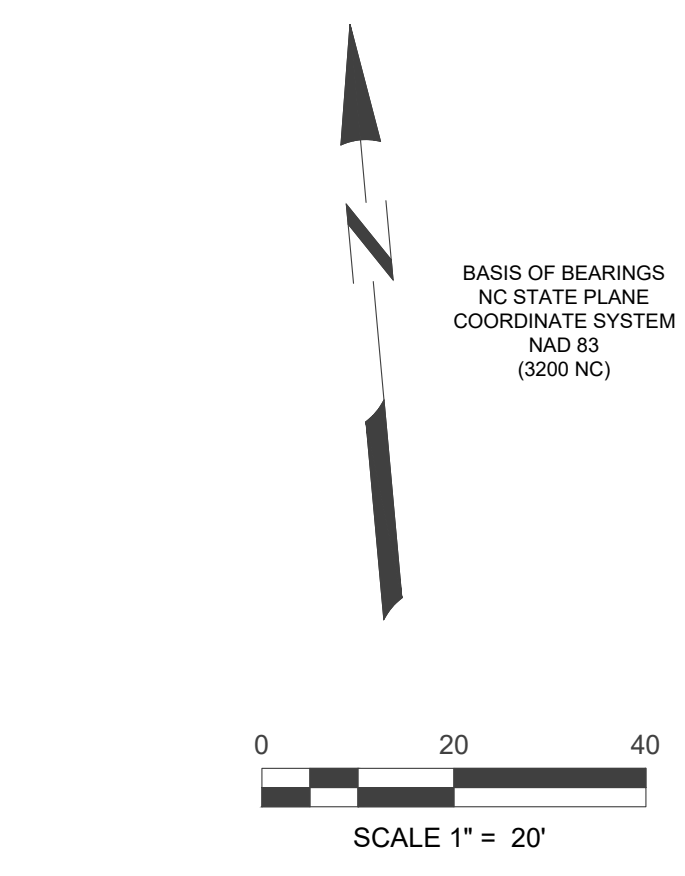
I CERTIFY THAT THIS SURVEY WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION; AND THAT THE BOUNDARIES SURVEYED ARE CLEARLY INDICATED AS DRAWN FROM INFORMATION FOUND IN BOOK 4555, PAGE 746, AND THAT THIS IS A CLASS "A" SURVEY WITH A RATIO OF PRECISION AS CALCULATED GREATER THAN 1:10,000; AND THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED.

TABLE A NOTES:

- ITEM 2: ADDRESS SHOWN IS PER ORANGE COUNTY GIS VIEWER.
- ITEM 3: THIS PROPERTY IS LOCATED WITHIN AN AREA HAVING ZONE DESIGNATIONS OF "X & AE" BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, ON FLOOD INSURANCE RATE MAP NO. 371097900L, WITH A MAP REVISED DATE OF OCTOBER 19, 2018, IN ORANGE COUNTY, STATE OF NORTH CAROLINA, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PROPERTY IS SITUATED.
- ITEM 5: CONTOURS WERE DERIVED FROM RANDOM SHOTS AND CROSS SECTIONS AND ARE SHOWN AT ONE FOOT INTERVALS. ELEVATIONS SHOWN HEREON ARE BASED ON GPS OBSERVATIONS TOGETHER WITH AN OPUS SOLUTION, DATED 05/25/2021 (NAVDS8, GEOID18).
- ITEM 16: THERE WAS NO EVIDENCE OF RECENT EARTH MOVING, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
- ITEM 17: THERE WAS NO EVIDENCE OF RECENT CHANGES IN STREET RIGHT OF WAY LINES. THERE WAS NO EVIDENCE OF RECENT OR STREET SIDEWALK CONSTRUCTION OR REPAIRS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
- ITEM 18: THERE WAS NO WETLAND DELINEATION OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.

LEGEND

- IRON PIN FOUND, AS NOTED
- BENCHMARK, AS NOTED
- BOLLARD
- SIGN, AS NOTED
- SEWER CLEAN OUT
- SEWER MANHOLE
- FIRE HYDRANT
- WATER VALVE
- WATER METER
- UTILITY POLE
- ELECTRIC BOX
- IRRIGATION VALVE
- GAS METER
- TELEPHONE BOX
- GRATE INLET
- STORM MANHOLE
- LEASE LINE
- BOUNDARY/LEASE LINE
- EASEMENT LINE
- SETBACK LINES
- OHW
- OVERHEAD WIRE
- UGCE
- UNDERGROUND ELECTRIC
- FENCE LINE
- HANDRAIL
- GAS LINE, AS NOTED
- WATER LINE, AS NOTED
- SS
- SANITARY SEWER, AS NOTED
- UGT
- UNDERGROUND TELEPHONE
- ST
- STORM SEWER PIPE, AS NOTED
- LIGHT POLE
- LIGHT POLE(2-WAY)

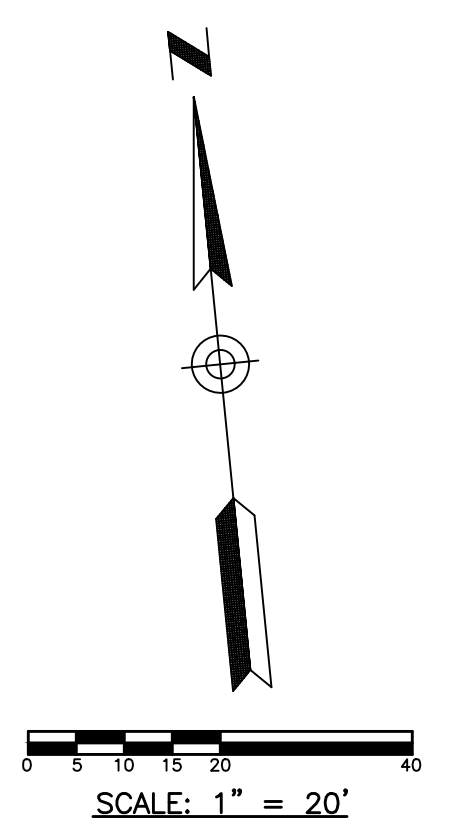


TBM 1/2 IPS ELEV=265.18



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CONTRACTOR RESPONSIBLE TO FIELD VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITY TIE-INS AND CROSSINGS AS SHOWN ON SITE PLANS (SANITARY, STORM, WATER, GAS, ELECTRIC, PHONE, ETC.) PRIOR TO THE START OF CONSTRUCTION. CONTACT ALLAN WILEY AT GBC DESIGN, INC., 330-836-0228, WITH ANY CONCERNS OR CONFLICTS PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR TO VERIFY THE THICKNESS OF ANY OFF-SITE PAVEMENT (ASPHALT AND CONCRETE) AND SIDEWALK SO THE RESTORATION WORK IS INCLUDED IN THE BID.



LEGEND

	EX. FIRE HYDRANT
	EX. VALVE
	EX. MANHOLE
	EX. CATCH BASIN
	EX. BOX INLET
	EX. LIGHT POLE
	EX. DECORATIVE LAMP
	EX. POWER POLE
	EX. TREE
	EX. TELEPHONE LINE
	EX. ELECTRIC LINE
	EX. OVERHEAD WIRE
	EX. GAS LINE
	EX. SANITARY SEWER
	EX. STORM SEWER
	EX. WATER LINE
	EX. CURB
	FLOOD ZONE DELINEATION

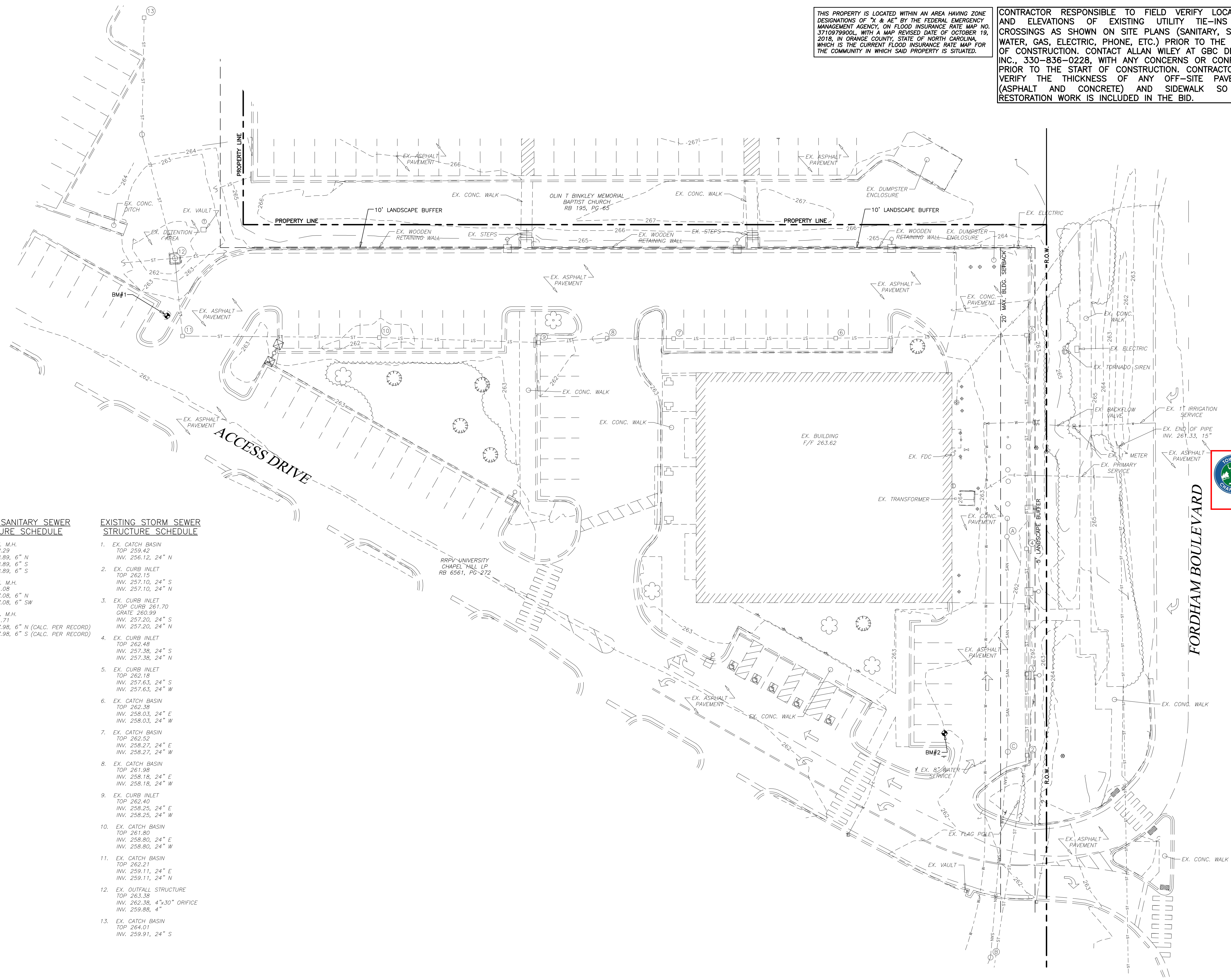
Zoning Approved
by Katherine Shor
09/14/2023

EXISTING SANITARY SEWER STRUCTURE SCHEDULE

- A. EX. SAN. M.H.
TOP 262.29
INV. 258.89, 6" N
INV. 258.89, 6" S
INV. 258.89, 6" S
- B. EX. SAN. M.H.
TOP 261.08
INV. 257.08, 6" N
INV. 257.08, 6" SW
- C. EX. SAN. M.H.
TOP 261.71
INV. 257.98, 6" N (CALC. PER RECORD)
INV. 257.98, 6" S (CALC. PER RECORD)

EXISTING STORM SEWER STRUCTURE SCHEDULE

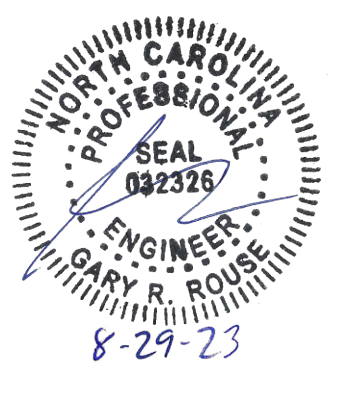
1. EX. CATCH BASIN
TOP 259.42
INV. 256.12, 24" N
2. EX. CURB INLET
TOP 262.15
INV. 257.10, 24" S
INV. 257.10, 24" N
3. EX. CURB INLET
TOP CURB 261.70
GRATE 260.99
INV. 257.20, 24" S
INV. 257.20, 24" N
4. EX. CURB INLET
TOP 262.48
INV. 257.38, 24" S
INV. 257.38, 24" N
5. EX. CURB INLET
TOP 262.18
INV. 257.63, 24" S
INV. 257.63, 24" W
6. EX. CATCH BASIN
TOP 262.38
INV. 258.03, 24" E
INV. 258.03, 24" W
7. EX. CATCH BASIN
TOP 262.52
INV. 258.27, 24" E
INV. 258.27, 24" W
8. EX. CATCH BASIN
TOP 261.98
INV. 258.18, 24" E
INV. 258.18, 24" W
9. EX. CURB INLET
TOP 262.40
INV. 258.25, 24" E
INV. 258.25, 24" W
10. EX. CATCH BASIN
TOP 261.80
INV. 258.80, 24" E
INV. 258.80, 24" W
11. EX. CATCH BASIN
TOP 262.21
INV. 259.11, 24" E
INV. 259.11, 24" N
12. EX. OUTFALL STRUCTURE
TOP 263.58
INV. 262.38, 4"x30" ORIFICE
INV. 259.88, 4"
13. EX. CATCH BASIN
TOP 264.01
INV. 259.91, 24" S



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CHICK-FIL-A
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241 SOUTH ESTES DRIVE
CHAPEL HILL, NC 27514

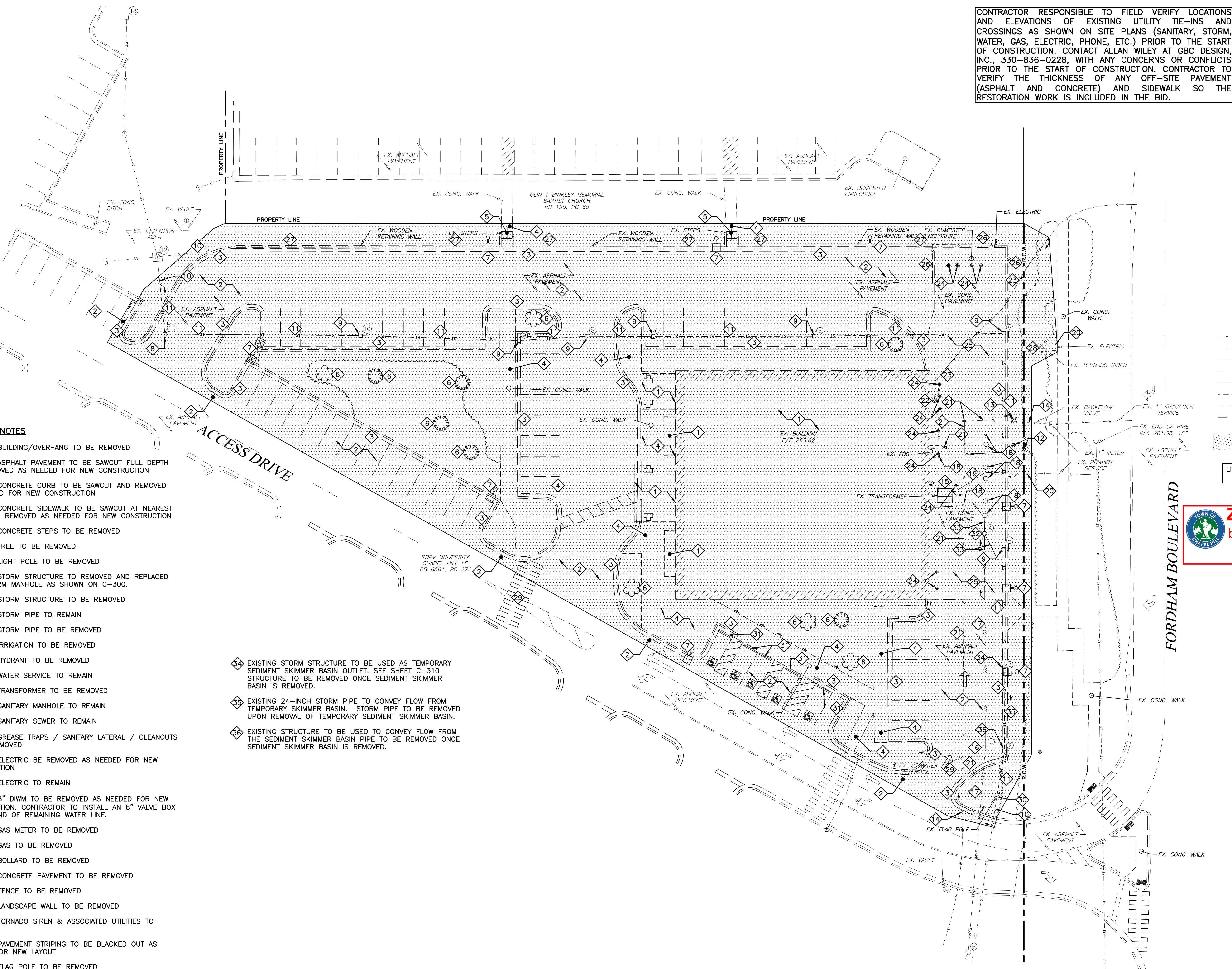
FSU# 04954

REVISION SCHEDULE		DESCRIPTION
NO.	DATE	

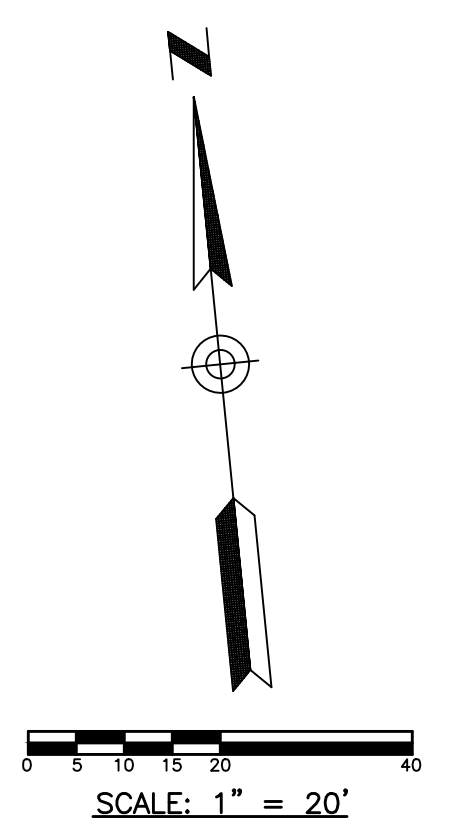
GBC PROJECT # 54053A
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Permit
EXISTING
CONDITIONS
PLAN

SHEET NUMBER
C-100



CONTRACTOR RESPONSIBLE TO FIELD VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITY TIE-INS AND CROSSINGS AS SHOWN ON SITE PLANS (SANITARY, STORM, WATER, GAS, ELECTRIC, PHONE, ETC.) PRIOR TO THE START OF CONSTRUCTION. CONTACT ALLAN WILEY AT GBC DESIGN, INC., 330-836-0228, WITH ANY CONCERNS OR CONFLICTS PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR TO VERIFY THE THICKNESS OF ANY OFF-SITE PAVEMENT (ASPHALT AND CONCRETE) AND SIDEWALK SO THE RESTORATION WORK IS INCLUDED IN THE BID.



LEGEND

	EX. FIRE HYDRANT
	EX. VALVE
	EX. MANHOLE
	EX. CATCH BASIN
	EX. BOX INLET
	EX. LIGHT POLE
	EX. DECORATIVE LAMP
	EX. POWER POLE
	EX. TREE
	EX. TELEPHONE LINE
	EX. ELECTRIC WIRE
	EX. OVERHEAD WIRE
	EX. GAS LINE
	EX. SANITARY SEWER
	EX. STORM SEWER
	EX. WATER LINE
	EX. CURB

AREA OF DEMOLITION INCLUDING PAVEMENT REMOVAL, BUILDINGS, CONCRETE, SIGNS, LIGHT POLES, UTILITY SERVICES, LIGHT POLES, TREES, ETC.

LIMITS OF DISTURBANCE = 1.52 AC.
66,275 S.F.

DEMOLITION NOTES

- 1 EXISTING BUILDING/OVERHANG TO BE REMOVED
- 2 EXISTING ASPHALT PAVEMENT TO BE SAWCUT FULL DEPTH AND REMOVED AS NEEDED FOR NEW CONSTRUCTION
- 3 EXISTING CONCRETE CURB TO BE SAWCUT AND REMOVED AS NEEDED FOR NEW CONSTRUCTION
- 4 EXISTING CONCRETE SIDEWALK TO BE SAWCUT AT NEAREST JOINT AND REMOVED AS NEEDED FOR NEW CONSTRUCTION
- 5 EXISTING CONCRETE STEPS TO BE REMOVED
- 6 EXISTING TREE TO BE REMOVED
- 7 EXISTING LIGHT POLE TO BE REMOVED
- 8 EXISTING STORM STRUCTURE TO BE REMOVED AND REPLACED WITH STORM MANHOLE AS SHOWN ON C-300.
- 9 EXISTING STORM STRUCTURE TO BE REMOVED
- 10 EXISTING STORM PIPE TO REMAIN
- 11 EXISTING STORM PIPE TO BE REMOVED
- 12 EXISTING IRRIGATION TO BE REMOVED
- 13 EXISTING HYDRANT TO BE REMOVED
- 14 EXISTING WATER SERVICE TO REMAIN
- 15 EXISTING TRANSFORMER TO BE REMOVED
- 16 EXISTING SANITARY MANHOLE TO REMAIN
- 17 EXISTING SANITARY SEWER TO REMAIN
- 18 EXISTING GREASE TRAPS / SANITARY LATERAL / CLEANOUTS TO BE REMOVED
- 19 EXISTING ELECTRIC BE REMOVED AS NEEDED FOR NEW CONSTRUCTION
- 20 EXISTING ELECTRIC TO REMAIN
- 21 EXISTING 8" DIWM TO BE REMOVED AS NEEDED FOR NEW CONSTRUCTION. CONTRACTOR TO INSTALL AN 8" VALVE BOX AT THE END OF REMAINING WATER LINE.
- 22 EXISTING GAS METER TO BE REMOVED
- 23 EXISTING GAS TO BE REMOVED
- 24 EXISTING BOLLARD TO BE REMOVED
- 25 EXISTING CONCRETE PAVEMENT TO BE REMOVED
- 26 EXISTING FENCE TO BE REMOVED
- 27 EXISTING LANDSCAPE WALL TO BE REMOVED
- 28 EXISTING TORNADO SIREN & ASSOCIATED UTILITIES TO REMAIN
- 29 EXISTING PAVEMENT STRIPING TO BE BLACKED OUT AS NEEDED FOR NEW LAYOUT
- 30 EXISTING FLAG POLE TO BE REMOVED
- 31 EXISTING PARKING BLOCK TO BE REMOVED
- 32 EXISTING SANITARY MANHOLE TO BE REMOVED
- 33 EXISTING SANITARY SEWER TO BE REMOVED AS NEEDED FOR NEW CONSTRUCTION

- 34 EXISTING STORM STRUCTURE TO BE USED AS TEMPORARY SEDIMENT SKIMMER BASIN OUTLET. SEE SHEET C-310 STRUCTURE TO BE REMOVED ONCE SEDIMENT SKIMMER BASIN IS REMOVED.
- 35 EXISTING 24-INCH STORM PIPE TO CONVEY FLOW FROM TEMPORARY SKIMMER BASIN. STORM PIPE TO BE REMOVED UPON REMOVAL OF TEMPORARY SEDIMENT SKIMMER BASIN.
- 36 EXISTING STRUCTURE TO BE USED TO CONVEY FLOW FROM THE SEDIMENT SKIMMER BASIN PIPE TO BE REMOVED ONCE SEDIMENT SKIMMER BASIN IS REMOVED.

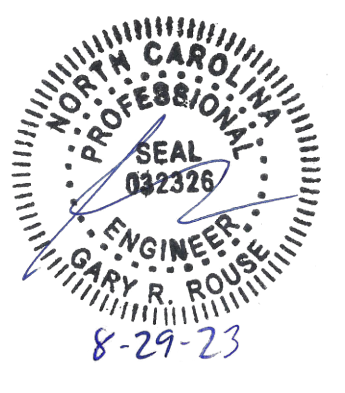
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by Katherine Shor
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241 SOUTH ESTES DRIVE
CHAPEL HILL, NC 27514

FSU# 04954

REVISION SCHEDULE		DESCRIPTION
NO.	DATE	

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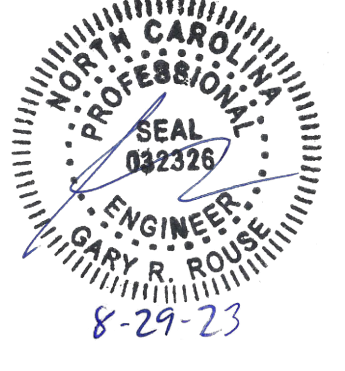
SHEET
DEMOLITION PLAN

SHEET NUMBER
C-110



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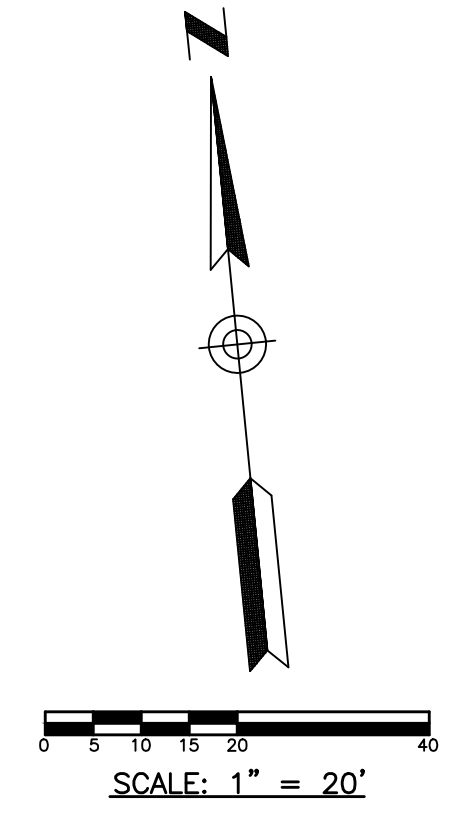
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FSU# 04954

REVISION SCHEDULE table with columns: NO., DATE, DESCRIPTION

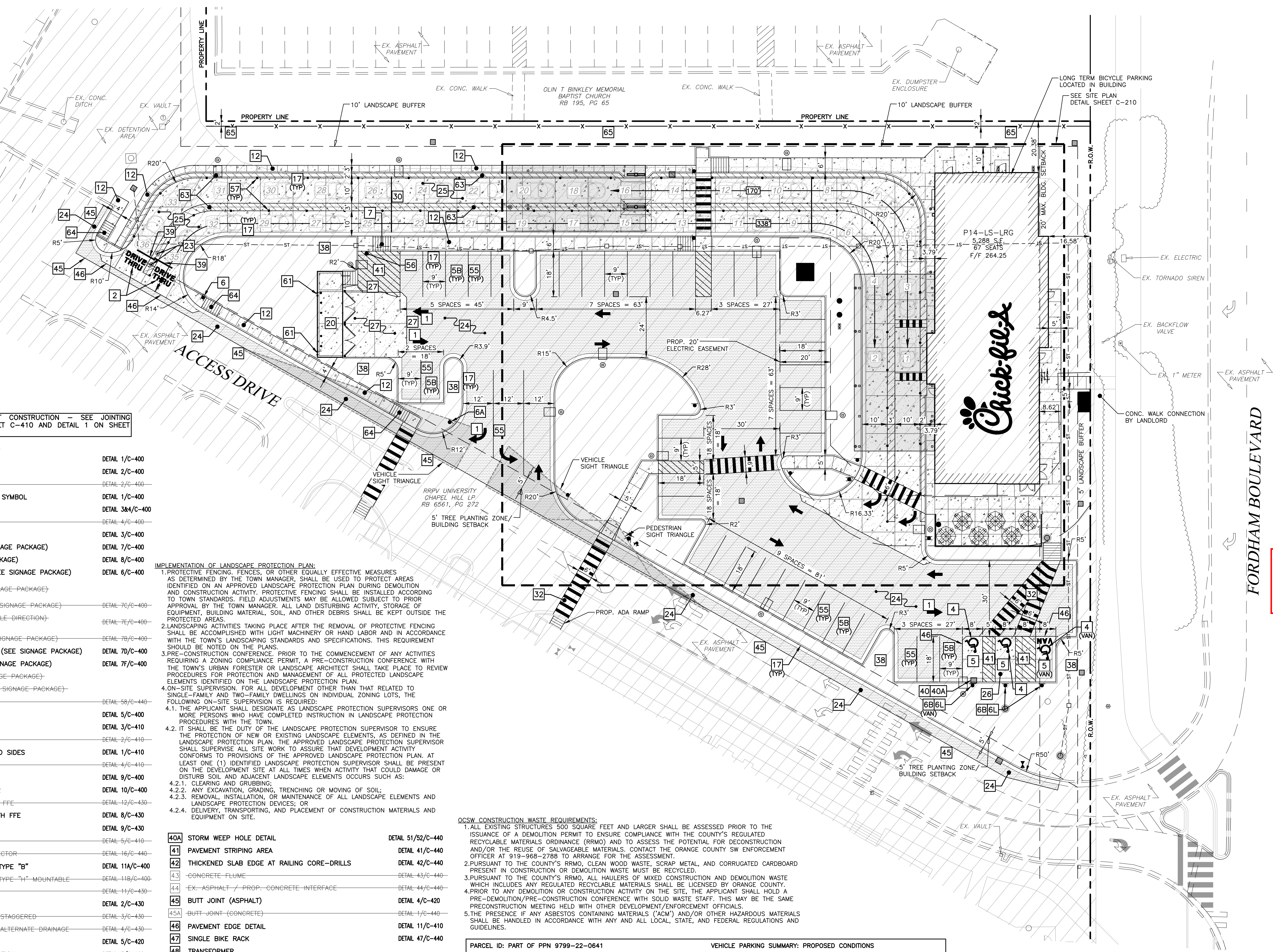
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SITE PLAN
SHEET
Permit
SHEET NUMBER
C-200



LEGEND table listing symbols for fire hydrant, valve, manhole, inlet, etc., and pavement types.

Zoning Approved
by Katherine Shor
09/14/2023



NOTE: FOR CONCRETE PAVEMENT CONSTRUCTION - SEE JOINTING DETAILS 7, 8, 9, & 10 ON SHEET C-410 AND DETAIL 1 ON SHEET C-440

SITE PLAN DESIGN NOTES & KEY PLAN

Table of design notes and key plan items, including items 1 through 66 and 40A through 65, with corresponding detail references.

IMPLEMENTATION OF LANDSCAPE PROTECTION PLAN:
1. PROTECTIVE FENCING, FENCES, OR OTHER EQUALLY EFFECTIVE MEASURES AS DETERMINED BY THE TOWN MANAGER, SHALL BE USED TO PROTECT AREAS IDENTIFIED ON AN APPROVED LANDSCAPE PROTECTION PLAN DURING DEMOLITION AND CONSTRUCTION ACTIVITY...

OCSW CONSTRUCTION WASTE REQUIREMENTS:
1. ALL EXISTING STRUCTURES 500 SQUARE FEET AND LARGER SHALL BE ASSESSED PRIOR TO THE ISSUANCE OF A DEMOLITION PERMIT TO ENSURE COMPLIANCE WITH THE COUNTY'S REGULATED RECYCLABLE MATERIALS ORDINANCE (RRMO)...

Table with columns: ZONING INFORMATION, ADJACENT ZONING & LAND USE, REQUIRED SETBACKS, BUILDING DIMENSIONS, and VEHICLE PARKING SUMMARY.

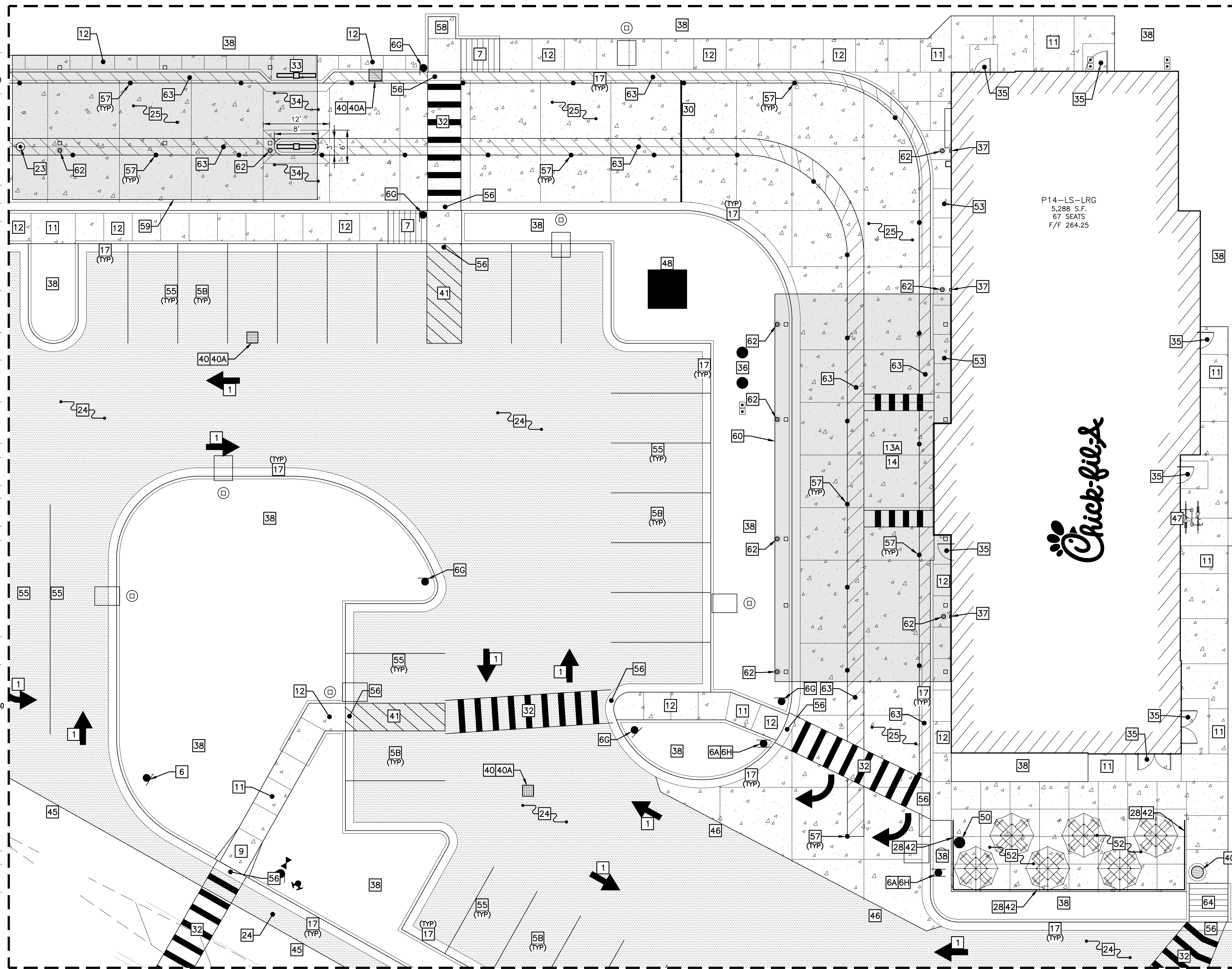
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EXISTING AREA TABULATION and NEW DEVELOPMENT AREA TABULATION tables showing square footages for various areas.

SITE PLAN DESIGN NOTES & KEY PLAN

- 1 PAINTED DIRECTIONAL ARROW DETAIL 1/C-400
- 2 PAINTED DRIVE-THRU GRAPHICS DETAIL 2/C-400
- 3 PAINTED STOP LINE GRAPHIC DETAIL 2/C-400
- 4 PAINTED ACCESSIBILITY PARKING SYMBOL DETAIL 1/C-400
- 5 ACCESSIBILITY PARKING STALL DETAIL 38A/C-400
- 5A 60" PARKING STALL DETAIL 4/C-400
- 5B 90" PARKING STALL DETAIL 3/C-400
- 6 DIRECTIONAL SIGNAGE (SEE SIGNAGE PACKAGE) DETAIL 7/C-400
- 6A "STOP" SIGN (SEE SIGNAGE PACKAGE) DETAIL 8/C-400
- 6B "ACCESSIBILITY PARKING" SIGN (SEE SIGNAGE PACKAGE) DETAIL 6/C-400
- 6C "CURBSIDE DELIVERY" (SEE SIGNAGE PACKAGE)
- 6D "RIGHT TURN ONLY" SIGN (SEE SIGNAGE PACKAGE) DETAIL 7C/C-400
- 6E "ONE WAY" SIGN (USE APPLICABLE DIRECTION) (SEE SIGNAGE PACKAGE) DETAIL 7E/C-400
- 6F "LEFT TURN ONLY" SIGN (SEE SIGNAGE PACKAGE) DETAIL 7B/C-400
- 6G "PEDESTRIAN CROSSWALK" SIGN (SEE SIGNAGE PACKAGE) DETAIL 7D/C-400
- 6H "DO NOT ENTER" SIGN (SEE SIGNAGE PACKAGE) DETAIL 7F/C-400
- 6I "NO PARKING" SIGN (SEE SIGNAGE PACKAGE)
- 6J "TWO ORDER LANES" SIGN (SEE SIGNAGE PACKAGE)
- 6K "MEAL DELIVERY ZONE" SIGN DETAIL 58/C-440
- 6L BOLLARD MOUNTED SIGN DETAIL 5/C-400
- 7 SIDEWALK ACCESSIBLE RAMP DETAIL 3/C-410
- 8 CURB RAMP WITH FLARED SIDES DETAIL 2/C-410
- 9 CURB RAMP WITH SHORT FLARED SIDES DETAIL 1/C-410
- 10 DETECTABLE WARNING DEVICE DETAIL 4/C-410
- 11 CONCRETE SIDEWALK DETAIL 9/C-400
- 12 SIDEWALK WITH CURB & GUTTER DETAIL 10/C-400
- 13 DRIVE-THRU PLAN - 2" BELOW FFE DETAIL 12/C-430
- 13A DRIVE-THRU PLAN - FLUSH WITH FFE DETAIL 8/C-430
- 14 DRIVE-THRU ISOMETRIC DETAIL 9/C-430
- 15 SOLID PLASTIC WHEEL STOP DETAIL 5/C-410
- 16 LANDSCAPE & IRRIGATION PROTECTOR DETAIL 16/C-440
- 17 CONCRETE CURB & GUTTER - TYPE "B" DETAIL 11A/C-400
- 18 CONCRETE CURB & GUTTER - TYPE "M" MOUNTABLE DETAIL 11B/C-400
- 19 ROLL-OVER/MOUNTABLE CURB DETAIL 11/C-430
- 20 SCREENED REFUSE ENCLOSURE DETAIL 2/C-430
- 21 SCREENED REFUSE ENCLOSURE - STAGGERED DETAIL 3/C-430
- 22 SCREENED REFUSE ENCLOSURE - ALTERNATE DRAINAGE DETAIL 4/C-430
- 23 CONCRETE BOLLARD DETAIL 5/C-420
- 24 TYPICAL ASPHALT PAVEMENT SECTION DETAIL 3/C-420
- 25 CONCRETE PAVING DRIVE-THRU LANE DETAIL 2/C-420
- 26 CONCRETE PAVEMENTS DETAIL 12/C-400
- 27 CONCRETE APRON @ TRASH ENCLOSURE DETAIL 12/C-410
- 28 ALUMINUM HANDRAIL DETAIL 8/C-420
- 29 TYPICAL ADA RAMP AND HANDRAIL DETAIL 9/C-420
- 30 EXPANSION JOINT DETAIL 6/C-410
- 31 MULTI-LANE DIRECTIONAL GRAPHICS DETAIL 6/C-420
- 32 CROSSWALK MARKING DETAIL 7/C-420
- 33 DRIVE-THRU ORDER POINT ISLAND DETAIL 7/C-430
- 34 MENU BOARD LOOP DETECTION SYSTEM DETAIL 5 & 6/C-430
- 35 5'x5' LANDING AND ENTRY DOOR FROST SLAB DETAIL 1/C-430
- 36 GREASE TRAP (SEE UTILITY PLAN)
- 37 BUILDING DOWNSPOUT CONNECTION (TO CONNECT TO SITE DRAINAGE SYSTEM) DETAIL 10/C-420
- 38 LANDSCAPED AREA (SEE LANDSCAPE PLAN)
- 39 DRIVE-THRU CLEARANCE BAR DETAIL 10/C-430
- 40 TYPICAL SECTION AT STORM/SANITARY STRUCTURE DETAIL 12/C-420
- 40A STORM WEEP HOLE DETAIL DETAIL 51/52/C-440
- 41 PAVEMENT STRIPING AREA DETAIL 41/C-440
- 42 THICKENED SLAB EDGE AT RAILING CORE-DRILLS DETAIL 42/C-440
- 43 CONCRETE FLUME DETAIL 43/C-440
- 44 EX. ASPHALT / PROP. CONCRETE INTERFACE DETAIL 44/C-440
- 45 BUTT JOINT (ASPHALT) DETAIL 4/C-420
- 45A BUTT JOINT (CONCRETE) DETAIL 1/C-440
- 46 PAVEMENT EDGE DETAIL DETAIL 11/C-410
- 47 SINGLE BIKE RACK DETAIL 47/C-440
- 48 TRANSFORMER
- 49 CHICK-FIL-A PRIME SIGN (SEE SIGNAGE PACKAGE)
- 50 FLAGPOLE (SEE SIGNAGE PACKAGE)
- 51 RETAINING WALL WITH 42" HANDRAIL ON TOP
- 52 OUTDOOR PATIO SPACE. SEE ARCHITECTURAL PLANS SHEET A-101
- 53 4" THICK CONCRETE STRIP BETWEEN BUILDING AND BACK OF CURB
- 54 4" THICK CONCRETE STRIP BETWEEN CURBS
- 55 4" WIDE PAINT STRIPE
- 56 CURB & GUTTER AT ACCESSIBLE RAMP DETAIL 56/C-440
- 57 MAGNETIC DELINEATOR DETAIL 57/C-440
- 58 CASH STATION LOCATION
- 59 PROPOSED F2F CANOPY - SEE CANOPY PLANS
- 60 PROPOSED OMD CANOPY - SEE CANOPY PLANS
- 61 OMIT BLOCKS AT REAR OF DUMPSTER ENCLOSURE. SEE DETAIL SHEET C-430
- 62 STORM SEWER CLEANOUT DETAIL DETAIL 62/C-440
- 63 STRIPING PER CHICK-FIL-A DUAL FLEX LANE REQUIREMENTS
- 64 RETURNED CURB ACCESSIBLE RAMP DETAIL 64/C-440
- 65 PROP. 8' TALL PRIVACY FENCE DETAIL 65/C-440



P14-LS-LRG
5,288 S.F.
67 SEATS
F/F 264.25

SCALE: 1" = 10'

LEGEND

- ▲ PROP. FIRE HYDRANT
- EX. FIRE HYDRANT
- PROP. VALVE
- EX. VALVE
- PROP. MANHOLE
- EX. MANHOLE
- PROP. INLET
- EX. BOX INLET
- EX. LIGHT POLE
- PROP. LIGHT POLE
- PROP. ACCESSIBLE RAMP - RAMP IS NOT TO BE SCORED OR GROOVED
- EX. CURB
- PROP. CURB & GUTTER
- PROP. ASPHALT PAVEMENT
- PROP. CONCRETE PAVEMENT/WALK

Zoning Approved
by Katherine Shor
09/14/2023



Chick-fil-A

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CHAPEL HILL, NC 27514

FSU# 04954

UNIVERSITY PLACE IMPERVIOUS TRACKING TABLE - PHASE 2

DEVELOPMENT	EXISTING IMPERVIOUS (SFT)	DEMOLITION (SFT)	PROPOSED IMPERVIOUS (SFT)	FINAL IMPERVIOUS (SFT)	FINAL IMPERVIOUS (%)	SUP COMMITMENT TO REMOVE IMPERVIOUS (%)
EXISTING (2008)	1,472,295	0	0	1,472,295	77.89%	-2.89%
PREVIOUS PROJECTS ⁽¹⁾	1,472,295	-3,257	0	1,469,038	77.71%	-2.71%
PHASE 1A - MULTIFAMILY	1,469,038	-146,091	0	1,322,947	69.99%	5.01%
PHASE 1B + 1C	1,322,947	-24,164	0	1,298,783	68.71%	6.29%
PHASE 1D	1,298,783	0	61,156	1,359,939	71.95%	3.05%
PHASE 2	1,359,939	0	27,882	1,387,821	73.42%	1.58%
CHASE BANK ⁽²⁾	1,387,821	-2,271	15,792	1,401,342	74.13%	0.87%
STARBUCKS ⁽²⁾	1,401,342	0	0	1,401,342	74.13%	0.87%
CFA ⁽²⁾	1,401,342	-47,936	43,101	1,396,507	73.88%	1.12%

(1) PREVIOUS PROJECTS INCLUDES ALL PROJECTS DIRECTLY ADJACENT TO THE SHOPPING CENTER, I.E. SILVERSPOT, BARTACO, ETC. THIS ALSO INCLUDES REVISION TO LOADING AREA BEHIND HARRIS TEETER AND RIGHT IN RIGHT OUT FROM 15/501.

(2) PROJECTED IMPERVIOUS WITH FUTURE PHASE SUBMITTALS. FINAL IMPERVIOUS VALUES WILL BE UPDATED WITH SUBSEQUENT SUBMITTALS. THIS IMPERVIOUS ASSUMPTION IS NOT APPROVED WITH THIS SUBMITTAL.

THIS PROPERTY IS LOCATED WITHIN AN AREA HAVING ZONE DESIGNATIONS OF "X & AE" BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, ON FLOOD INSURANCE RATE MAP NO. 371097990L, WITH A MAP REVISED DATE OF OCTOBER 19, 2018, IN ORANGE COUNTY, STATE OF NORTH CAROLINA, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PROPERTY IS SITUATED.

CONTRACTOR RESPONSIBLE TO FIELD VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITY TIE-INS AND CROSSINGS AS SHOWN ON SITE PLANS (SANITARY, STORM, WATER, GAS, ELECTRIC, PHONE, ETC.) PRIOR TO THE START OF CONSTRUCTION. CONTACT ALLAN WILEY AT GBC DESIGN, INC., 330-836-0228, WITH ANY CONCERNS OR CONFLICTS PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR TO VERIFY THE THICKNESS OF ANY OFF-SITE PAVEMENT (ASPHALT AND CONCRETE) AND SIDEWALK SO THE RESTORATION WORK IS INCLUDED IN THE BID.

REVISION SCHEDULE

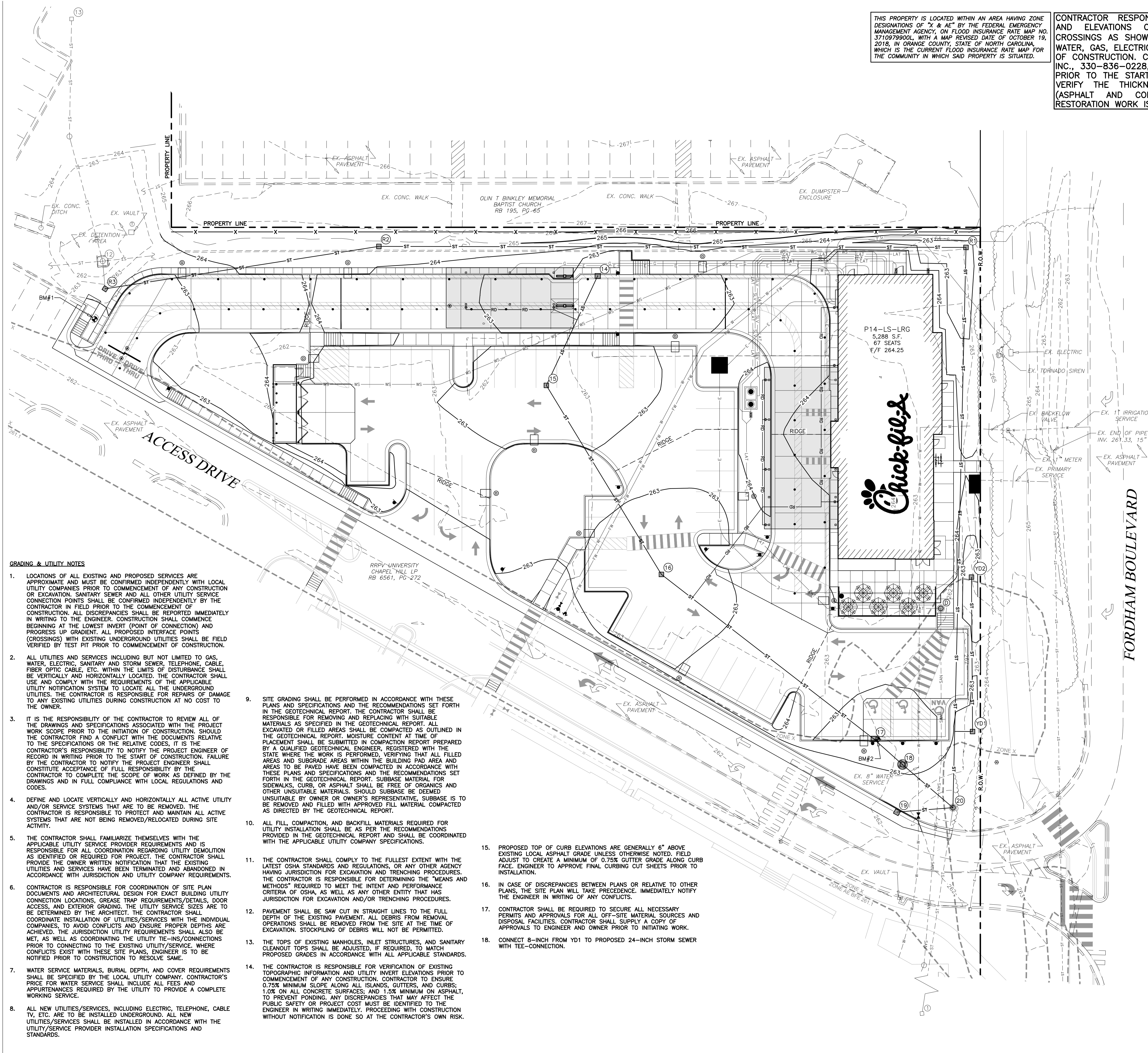
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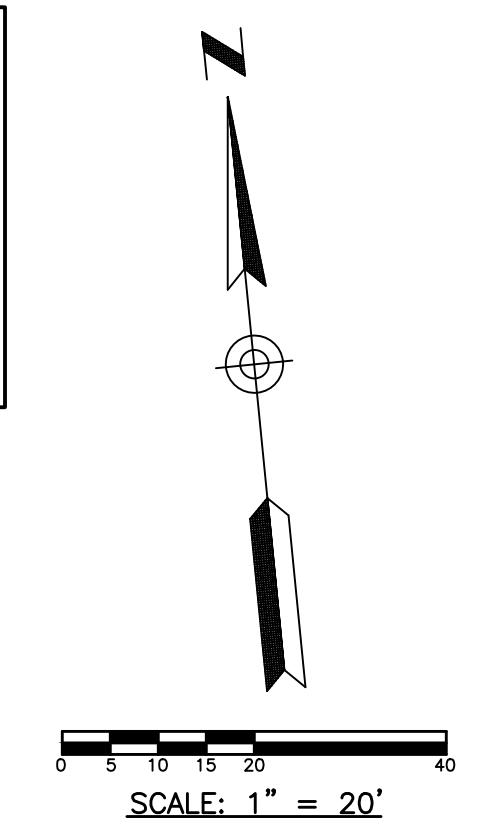
Permit SITE PLAN DETAIL

SHEET NUMBER C-210



THIS PROPERTY IS LOCATED WITHIN AN AREA HAVING ZONE DESIGNATIONS OF "X & AE" BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, ON FLOOD INSURANCE RATE MAP NO. 371097900L, WITH A MAP REVISED DATE OF OCTOBER 19, 2018, IN ORANGE COUNTY, STATE OF NORTH CAROLINA, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PROPERTY IS SITUATED.

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LEGEND

- PROP. FDC
- EX. FIRE HYDRANT
- PROP. VALVE
- EX. VALVE
- PROP. MANHOLE
- EX. MANHOLE
- PROP. INLET
- EX. INLET
- EX. GRADE
- PROP. TOP OF CURB ELEV.
- PROP. BOTTOM OF WALL ELEV.
- PROP. FINISHED ELEVATION
- PROP. TOP OF WALL ELEV.
- PROP. BOTTOM OF WALL ELEV.
- POSITIVE DRAINAGE
- EX. STORM SEWER
- PROP. STORM SEWER
- EX. CURB
- PROP. CURB & GUTTER
- PROP. CONTOURS
- EX. CONTOURS
- MEET EXISTING ELEVATION

EXISTING STORM SEWER STRUCTURE SCHEDULE

1. EX. CATCH BASIN
TOP 259.42
INV. 256.12, 24" N
12. EX. OUTFALL STRUCTURE
TOP 263.38
INV. 262.38, 4" x 30" ORIFICE
INV. 259.85, 4"
13. EX. CATCH BASIN
TOP 264.01
INV. 259.91, 24" S

PROPOSED STORM SEWER STRUCTURE SCHEDULE

14. PROP. CURB INLET
TOP 262.83
INV. 260.36, 12" SW
15. PROP. CATCH BASIN TYPE 1
TOP 262.50
INV. 260.10, 12" NE
INV. 260.10, 15" SE
16. PROP. CATCH BASIN TYPE 1
TOP 262.50
INV. 259.62, 15" NW
INV. 259.62, 18" SE
17. PROP. CURB INLET
TOP 263.11
INV. 259.04, 18" NW
INV. 259.04, 18" SE
18. PROP. ADS S6 BARRACUDA WATER QUALITY DEVICE
TOP 263.10
INV. 258.96, 18" SE
INV. 258.96, 18" NW
19. PROP. CURB INLET
TOP 262.15
INV. 259.65, 12" E
20. PROP. STM. M.H.
TOP 263.50
INV. 259.36, 12" W
INV. 258.82, 18" NW
INV. 257.00, 24" S (EX.)
INV. 257.00, 24" S
- YD1. PROP. YARD INLET
TOP 262.50
INV. 260.46, 8" N
INV. 260.46, 8" W
- YD2. PROP. YARD INLET
TOP 262.50
INV. 260.80, 8" S

ROUTED STORM SEWER STRUCTURE SCHEDULE

- R1. PROP. CATCH BASIN TYPE 2
TOP 262.30
INV. 258.02, 24" W
INV. 258.02, 24" S
- R2. PROP. CATCH BASIN TYPE 2
TOP 264.40
INV. 259.10, 24" W
INV. 259.10, 24" E
- R3. PROP. CATCH BASIN TYPE 2
TOP 263.30
INV. 259.61, 24" N (EX.)
INV. 259.61, 24" E

PROPOSED STORM SEWER PIPE SCHEDULE

FROM	TO	SIZE	LENGTH	SLOPE	TYPE
14	15	12"	52.41'	0.50%	HDPE Pipe
15	16	15"	95.80'	0.50%	HDPE Pipe
16	17	18"	116.28'	0.50%	HDPE Pipe
17	18	18"	16.67'	0.49%	HDPE Pipe
18	20	18"	28.71'	0.49%	HDPE Pipe
19	20	12"	24.25'	1.20%	HDPE Pipe
YD1	TEE	8"	7.72'	2.33%	HDPE Pipe
YD2	YD1	8"	66.85'	0.51%	HDPE Pipe

ROUTED STORM SEWER PIPE SCHEDULE

FROM	TO	SIZE	LENGTH	SLOPE	TYPE
R1	TEE	24"	209.63'	0.42%	HDPE Pipe
R2	R1	24"	254.12'	0.43%	HDPE Pipe
R3	R2	24"	119.87'	0.43%	HDPE Pipe
TEE	20	24"	33.02'	0.42%	HDPE Pipe

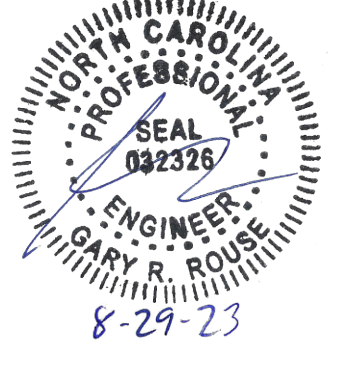
GRADING & UTILITY NOTES

1. LOCATIONS OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. SANITARY AND OTHER UTILITY SERVICE CONNECTION POINTS SHALL BE CONFIRMED INDEPENDENTLY BY THE CONTRACTOR IN FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL DISCREPANCIES SHALL BE REPORTED IMMEDIATELY IN WRITING TO THE ENGINEER. CONSTRUCTION SHALL COMMENCE BEGINNING AT THE LOWEST INVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT. ALL PROPOSED INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
2. ALL UTILITIES AND SERVICES INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE SHALL BE VERTICALLY AND HORIZONTALLY LOCATED. THE CONTRACTOR SHALL USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING UTILITIES DURING CONSTRUCTION AT NO COST TO THE OWNER.
3. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR THE RELATIVE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL COMPLIANCE WITH LOCAL REGULATIONS AND CODES.
4. DEFINE AND LOCATE VERTICALLY AND HORIZONTALLY ALL ACTIVE UTILITY AND/OR SERVICE SYSTEMS THAT ARE TO BE REMOVED. THE CONTRACTOR IS RESPONSIBLE TO IDENTIFY AND LOCATE ALL ACTIVE SYSTEMS THAT ARE NOT BEING REMOVED/RELOCATED DURING SITE ACTIVITY.
5. THE CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH THE APPLICABLE UTILITY SERVICE PROVIDER REQUIREMENTS AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION AS IDENTIFIED OR REQUIRED FOR PROJECT. THE CONTRACTOR SHALL PROVIDE THE OWNER WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTION AND UTILITY COMPANY REQUIREMENTS.
6. CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF SITE PLAN DOCUMENTS AND ARCHITECTURAL DESIGN FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS, GREASE TRAP REQUIREMENTS/DETAILS, DOOR ACCESS, AND EXTERIOR GRADING. THE UTILITY SERVICE SIZES ARE TO BE DETERMINED BY THE ARCHITECT. THE CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES/SERVICES WITH THE INDIVIDUAL COMPANIES. TO AVOID CONFLICTS AND ENSURE PROPER DEPTHS ARE ACHIEVED, THE JURISDICTION UTILITY REQUIREMENTS SHALL ALSO BE MET, AS WELL AS COORDINATING THE UTILITY TIE-INS/CONNECTIONS PRIOR TO CONNECTING TO THE EXISTING UTILITY SERVICE, WHERE CONFLICTS EXIST WITH THESE SITE PIPES, ENGINEER IS TO BE NOTIFIED PRIOR TO CONSTRUCTION TO RESOLVE SAME.
7. WATER SERVICE MATERIALS, BURIAL DEPTH, AND COVER REQUIREMENTS SHALL BE SPECIFIED BY THE LOCAL UTILITY COMPANY. CONTRACTOR'S PRICE FOR WATER SERVICE SHALL INCLUDE ALL FEES AND APPURTENANCES REQUIRED BY THE UTILITY TO PROVIDE A COMPLETE WORKING SERVICE.
8. ALL NEW UTILITIES/SERVICES, INCLUDING ELECTRIC, TELEPHONE, CABLE TV, ETC. ARE TO BE INSTALLED UNDERGROUND. ALL NEW UTILITIES/SERVICES SHALL BE INSTALLED IN ACCORDANCE WITH THE UTILITY/SERVICE PROVIDER INSTALLATION SPECIFICATIONS AND STANDARDS.
9. SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED IN THE GEOTECHNICAL REPORT. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED AS OUTLINED IN THE GEOTECHNICAL REPORT. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL BE SUBMITTED IN COMPACTON REPORT PREPARED BY A QUALIFIED GEOTECHNICAL ENGINEER, REGISTERED WITH THE STATE WHERE THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT. SUBBASE MATERIAL FOR SIDEWALKS, CURBS, OR ASPHALT SHALL BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBBASE BE DEEMED UNSUITABLE BY OWNER OR OWNER'S REPRESENTATIVE, SUBBASE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL COMPACTED AS DIRECTED BY THE GEOTECHNICAL REPORT.
10. ALL FILL, COMPACTION, AND BACKFILL MATERIALS REQUIRED FOR UTILITY INSTALLATION SHALL BE AS PER THE RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL REPORT AND SHALL BE COORDINATED WITH THE APPLICABLE UTILITY COMPANY SPECIFICATIONS.
11. THE CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST OSHA STANDARDS AND REGULATIONS, OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE "MEANS AND METHODS" REQUIRED TO MEET THE INTENT AND PERFORMANCE CRITERIA OF OSHA, AS WELL AS ANY OTHER ENTITY THAT HAS JURISDICTION FOR EXCAVATION AND/OR TRENCHING PROCEDURES.
12. PAVEMENT SHALL BE SAW CUT IN STRAIGHT LINES TO THE FULL DEPTH OF THE EXISTING PAVEMENT. ALL DEBRIS FROM REMOVAL OPERATIONS SHALL BE REMOVED FROM THE SITE AT THE TIME OF EXCAVATION. STOCKPILING OF DEBRIS WILL NOT BE PERMITTED.
13. THE TOPS OF EXISTING MANHOLES, INLET STRUCTURES, AND SANITARY CLEANOUT TOPS SHALL BE ADJUSTED, IF REQUIRED, TO MATCH PROPOSED GRADES IN ACCORDANCE WITH ALL APPLICABLE STANDARDS.
14. THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR TO ENSURE 0.75% MINIMUM SLOPE ALONG ALL ISLANDS, GUTTERS, AND CURBS; 1.0% ON ALL CONCRETE SURFACES; AND 1.5% MINIMUM ON ASPHALT, TO PREVENT PONDING. ANY DISCREPANCIES THAT MAY AFFECT THE PUBLIC SAFETY OR PROJECT COST MUST BE IDENTIFIED TO THE ENGINEER IN WRITING IMMEDIATELY. PROCEEDING WITH CONSTRUCTION WITHOUT NOTIFICATION IS DONE SO AT THE CONTRACTOR'S OWN RISK.
15. PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 6" ABOVE EXISTING LOCAL ASPHALT GRADE UNLESS OTHERWISE NOTED. FIELD ADJUST TO CREATE A MINIMUM OF 0.75% GUTTER GRADE ALONG CURB FACE. ENGINEER TO APPROVE FINAL CURBING CUT SHEETS PRIOR TO INSTALLATION.
16. IN CASE OF DISCREPANCIES BETWEEN PLANS OR RELATIVE TO OTHER PLANS, THE SITE PLAN WILL TAKE PRECEDENCE. IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY CONFLICTS.
17. CONTRACTOR SHALL BE REQUIRED TO SECURE ALL NECESSARY PERMITS AND APPROVALS FOR ALL OFF-SITE MATERIAL SOURCES AND DISPOSAL FACILITIES. CONTRACTOR SHALL SUPPLY A COPY OF APPROVALS TO ENGINEER AND OWNER PRIOR TO INITIATING WORK.
18. CONNECT 8-INCH FROM YD1 TO PROPOSED 24-INCH STORM SEWER WITH TEE-CONNECTION.



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CHAPEL HILL UNIVERSITY PLACE FSU
241 SOUTH ESTES DRIVE
CHAPEL HILL, NC 27514

FSU# 04954

REVISION SCHEDULE

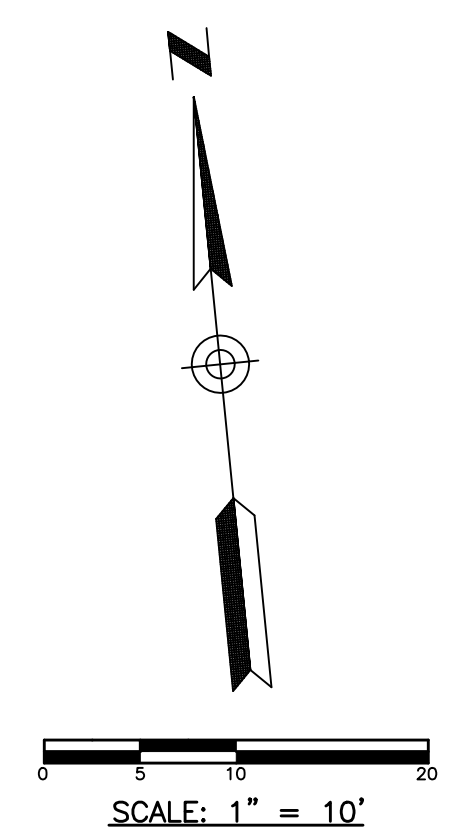
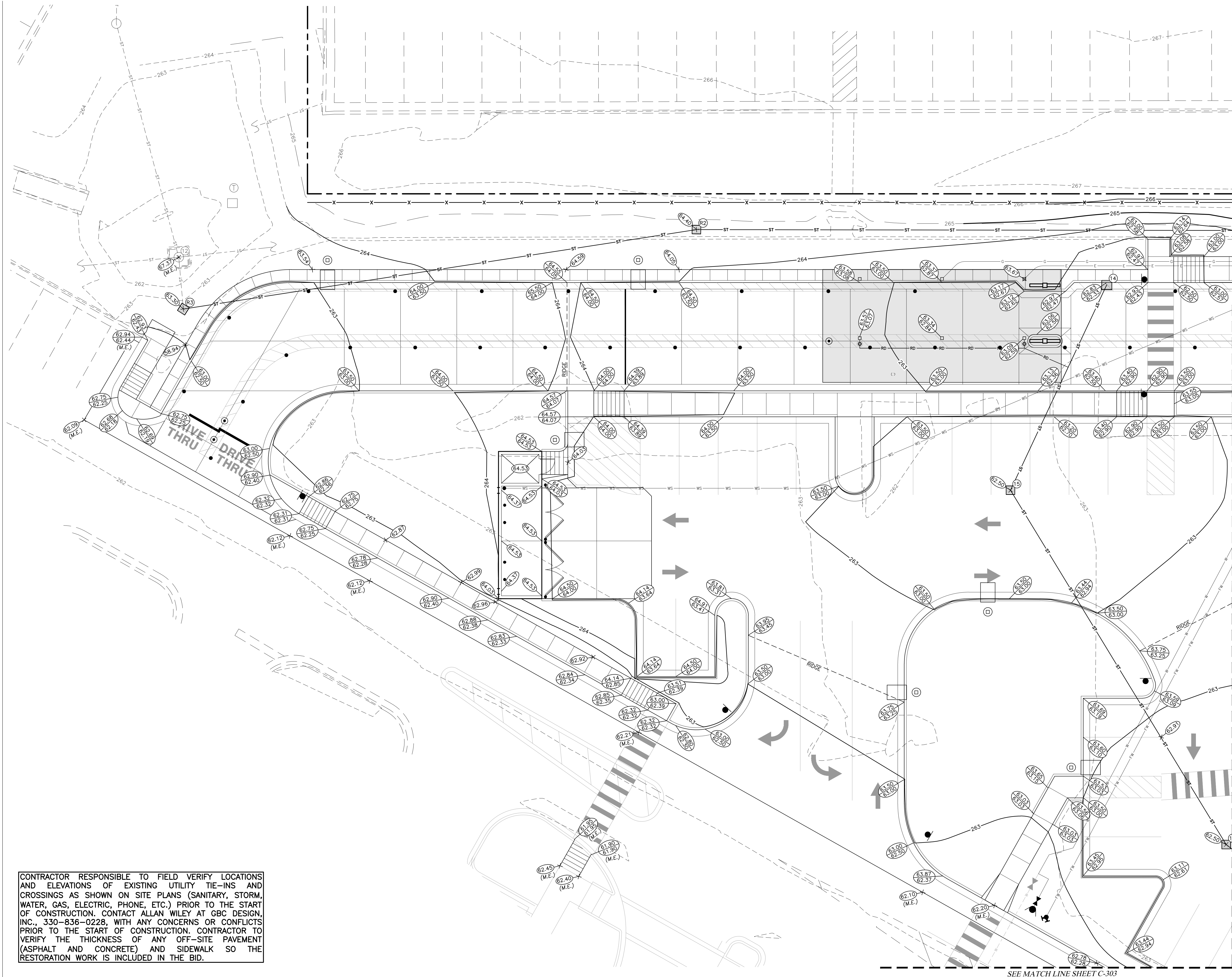
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SHEET
GRADING PLAN

Permit SHEET NUMBER **C-300**



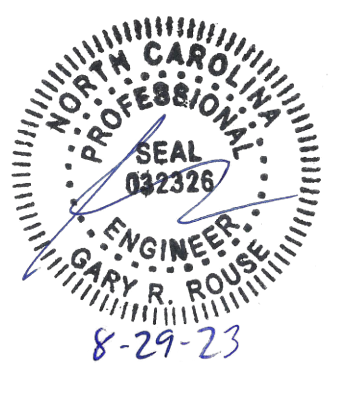
CONTRACTOR RESPONSIBLE TO FIELD VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITY TIE-INS AND CROSSINGS AS SHOWN ON SITE PLANS (SANITARY, STORM, WATER, GAS, ELECTRIC, PHONE, ETC.) PRIOR TO THE START OF CONSTRUCTION. CONTACT ALLAN WILEY AT GBC DESIGN, INC., 330-836-0228, WITH ANY CONCERNS OR CONFLICTS PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR TO VERIFY THE THICKNESS OF ANY OFF-SITE PAVEMENT (ASPHALT AND CONCRETE) AND SIDEWALK SO THE RESTORATION WORK IS INCLUDED IN THE BID.



Chick-fil-A

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Zoning Approved
by Katherine Shor
09/14/2023

CHICK-FIL-A
CHAPEL HILL UNIVERSITY PLACE FSU
241 SOUTH ESTES DRIVE
CHAPEL HILL, NC 27514

FSU# 04954

REVISION SCHEDULE		DESCRIPTION
NO.	DATE	

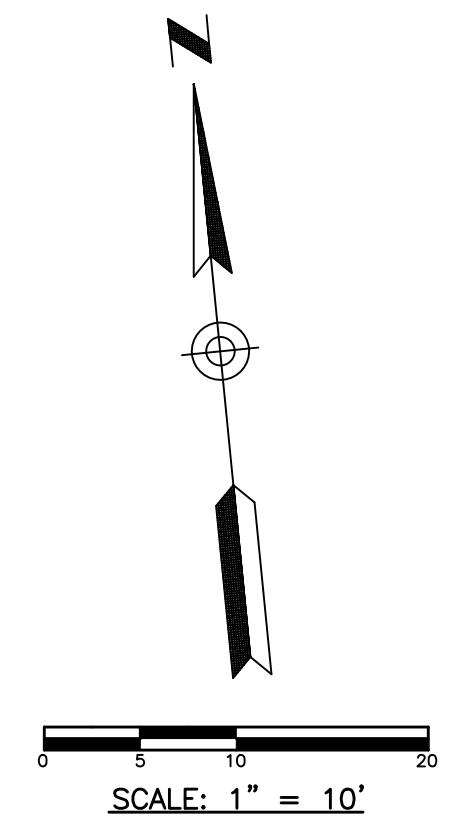
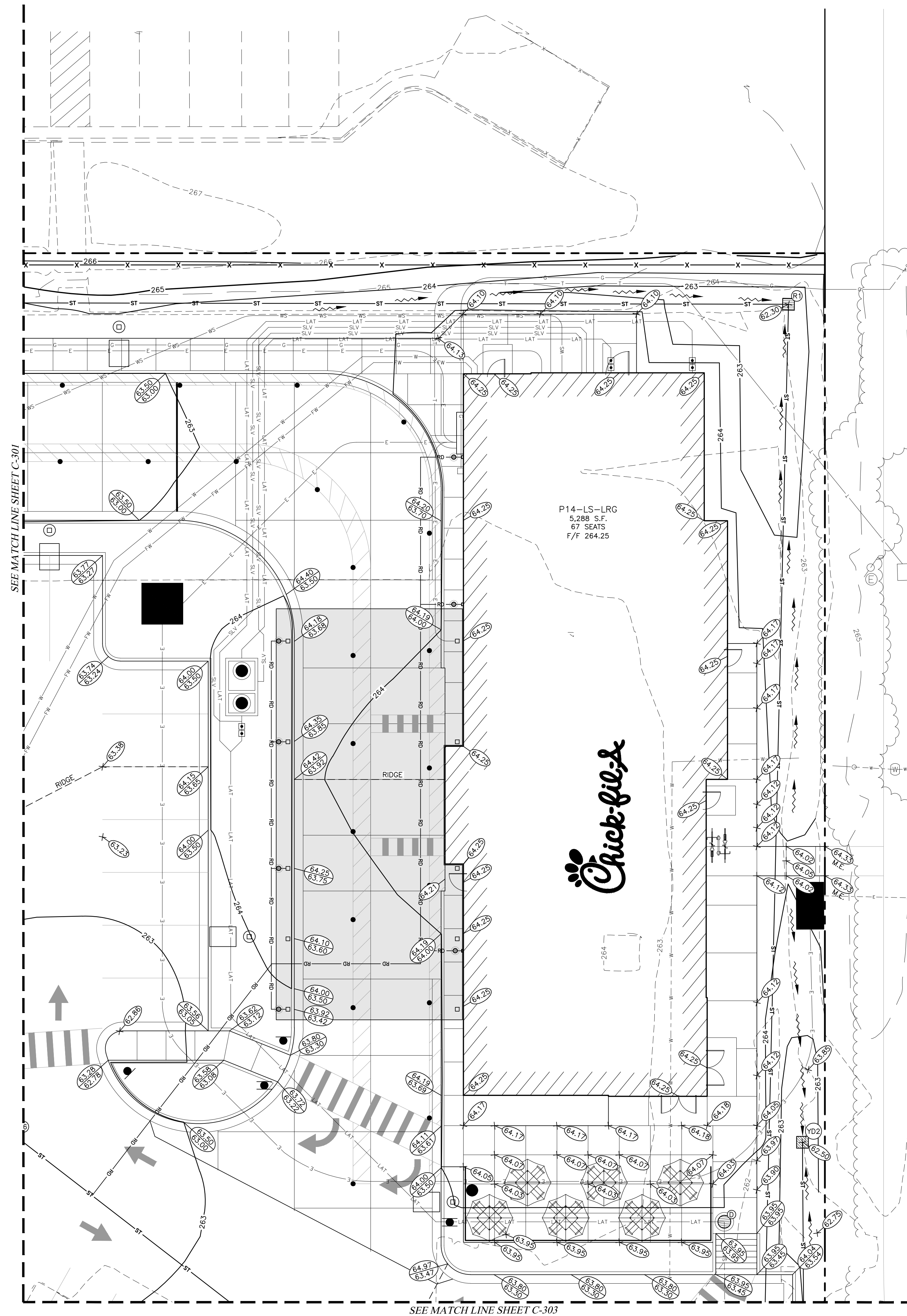
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SHEET
**GRADING PLAN
DETAIL**

SHEET NUMBER
C-301

CONTRACTOR RESPONSIBLE TO FIELD VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITY TIE-INS AND CROSSINGS AS SHOWN ON SITE PLANS (SANITARY, STORM, WATER, GAS, ELECTRIC, PHONE, ETC.) PRIOR TO THE START OF CONSTRUCTION. CONTACT ALLAN WILEY AT GBC DESIGN, INC., 330-836-0228, WITH ANY CONCERNS OR CONFLICTS PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR TO VERIFY THE THICKNESS OF ANY OFF-SITE PAVEMENT (ASPHALT AND CONCRETE) AND SIDEWALK SO THE RESTORATION WORK IS INCLUDED IN THE BID.



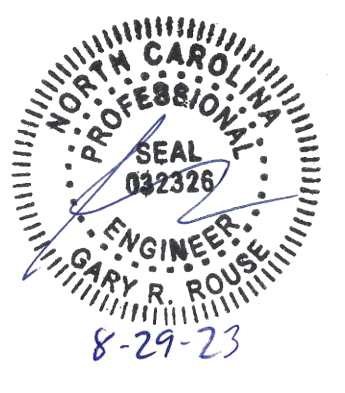
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by Katherine Shor
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Chick-fil-A

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CHICK-FIL-A
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FSU# 04954

REVISION SCHEDULE		DESCRIPTION
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SHEET
**GRADING PLAN
DETAIL**

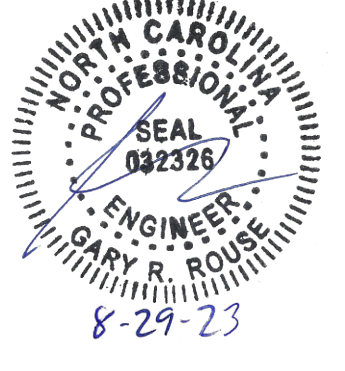
SHEET NUMBER
C-302



Chick-fil-A

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5200 Buffington Road
Atlanta, Georgia 30349-2998

GBC DESIGN, INC.
565 White Pond Dr. Akron, OH 44320-1123
Phone 330-836-0228 www.GBCDesign.com



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CHAPEL HILL UNIVERSITY PLACE FSU
241 SOUTH ESTES DRIVE
CHAPEL HILL, NC 27514

FSU# 04954

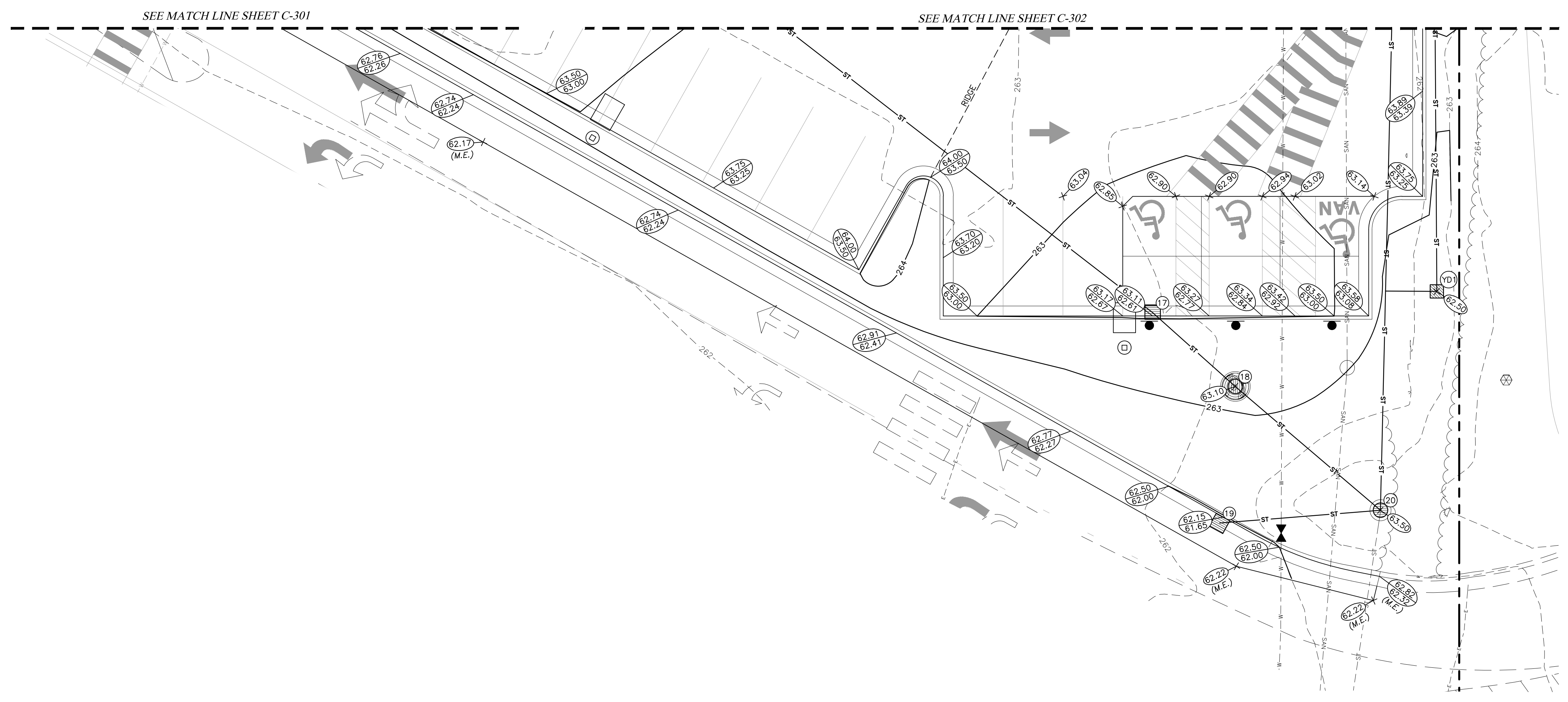
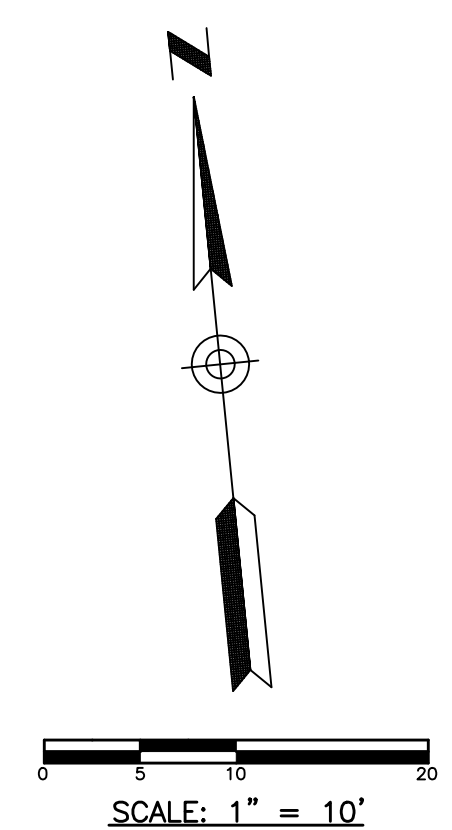
REVISION SCHEDULE	NO.	DATE	DESCRIPTION
GBC PROJECT #	54053A		
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DATE	9/28/22		
DRAWN BY	BAW		

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SHEET
**GRADING PLAN
DETAIL**

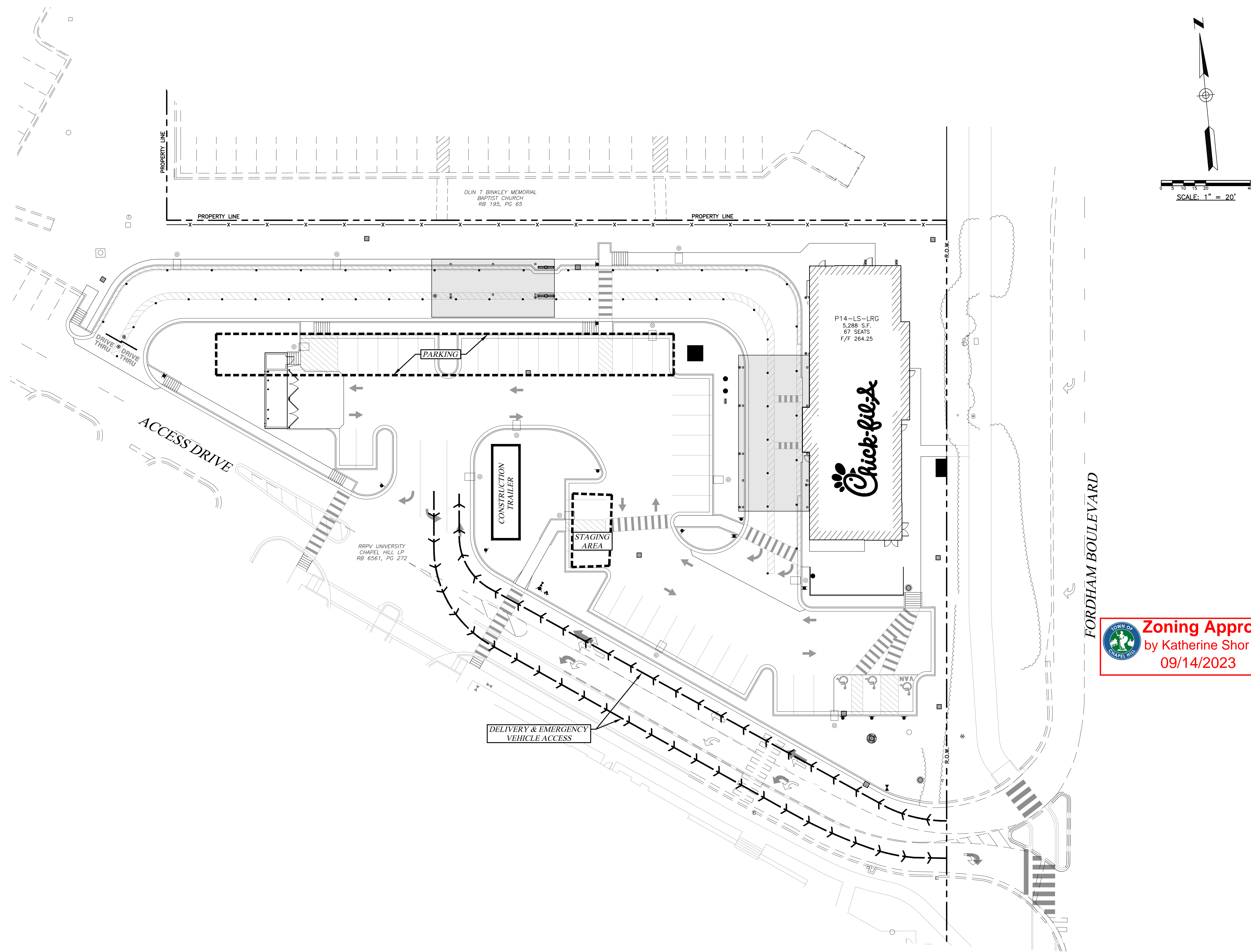
Permit SHEET NUMBER

C-303



Zoning Approved
by Katherine Shor
09/14/2023

CONTRACTOR RESPONSIBLE TO FIELD VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITY TIE-INS AND CROSSINGS AS SHOWN ON SITE PLANS (SANITARY, STORM, WATER, GAS, ELECTRIC, PHONE, ETC.) PRIOR TO THE START OF CONSTRUCTION. CONTACT ALLAN WILEY AT GBC DESIGN, INC., 330-836-0228, WITH ANY CONCERNS OR CONFLICTS PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR TO VERIFY THE THICKNESS OF ANY OFF-SITE PAVEMENT (ASPHALT AND CONCRETE) AND SIDEWALK SO THE RESTORATION WORK IS INCLUDED IN THE BID.



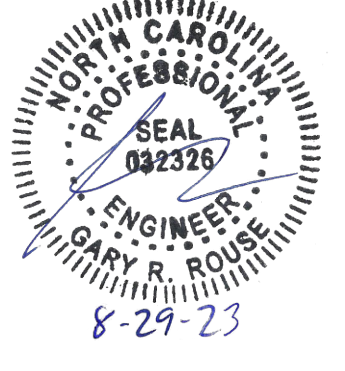
Zoning Approved
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 09/14/2023



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SHEET
CONSTRUCTION MANAGEMENT PLAN

SHEET NUMBER
C-305

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