

COLUMBIA STREET ANNEX

1150 SOUTH COLUMBIA STREET, CHAPEL HILL, NC 27514

SPECIAL USE PERMIT APPLICATION - 2018/20

PROJECT DATA

EXISTING USE VACANT RESIDENTIAL
PROPOSED USE MIXED USE - RESIDENTIAL, COMMERCIAL, RETAIL
USE GROUP

PARCEL 1 9788204502
PARCEL 2 9788205716
PARCEL 3 9788206500
EXISTING LAND AREA 131,340.04 SF - PARCEL 1
14,228.80 SF - PARCEL 2
8,453.88 SF - PARCEL 3
6,967.75 SF - MONROE ST R/W
160,980.47 SF TOTAL NET LAND AREA

POST RECOMBINATION AREAS: 3.69 ACRES, NET
LAND AREA IN RCD streamside zone 35,935 SF net
LAND AREA IN RCD managed use zone 38,618 SF net
LAND AREA IN RCD upland zone 34,668 SF net
LAND AREA non-RCD 51,769 SF net

GROSS LAND AREA 177,090 SF / 4.065 ACRES

PROJECT AREA 1.64 ACRES NET / 1.804 AC GROSS
DISTURBED AREA 1.64 ACRES

EXISTING ZONING R-2
PROPOSED ZONING MU-V
FAR MU-V ARTERIAL 1.2 x 86,437 = 103,724 sf
RCD - streamside 0.01 x 35,935 = 359 sf
RCD - managed use 0.019 x 38,618 = 734

MAXIMUM BUILDING SIZE 104,817 SF
BASED ON GROSS LAND AREA

EXISTING BUILDING SIZE N/A
PROPOSED BUILDING SIZE 57,000 SF residential
4,000 SF general business
maximum 61,000 SF total (incl mechanical, excl underground parking)
RESIDENTIAL: maximum 52 UNITS TOTAL
(15% WILL BE DESIGNATED AFFORDABLE)
PROPOSED FAR .734

REQUIRED PARKING BASED ON MAXIMUM BLDG SIZE 69 SPACES INCLUDING:
3 VAN ACCESSIBLE ADA (all in underground parking)
21 STANDARD SURFACE SPACES
17 UNDERGROUND SPACES INCLUDING APPROX. 4 COMPACT
28 UNDERGROUND GARAGE (DOUBLE STACKED)

PROPOSED CAR CHARGING STATIONS 1 LOCATED IN UNDERGROUND GARAGE SERVING 2 SPACES (3% OF PARKING)

EXISTING IMPERVIOUS 676 SF
PROPOSED IMPERVIOUS 48,950 SF

REQUIRED BICYCLE PARKING GENERAL BUSINESS: 4 + 2 per 2500 sf = 6 SPACES
(20% CLASS I AND 80% CLASS II)
RESIDENTIAL: 1 per 4 units = 13 SPACES
(90% CLASS I AND 10% CLASS II)

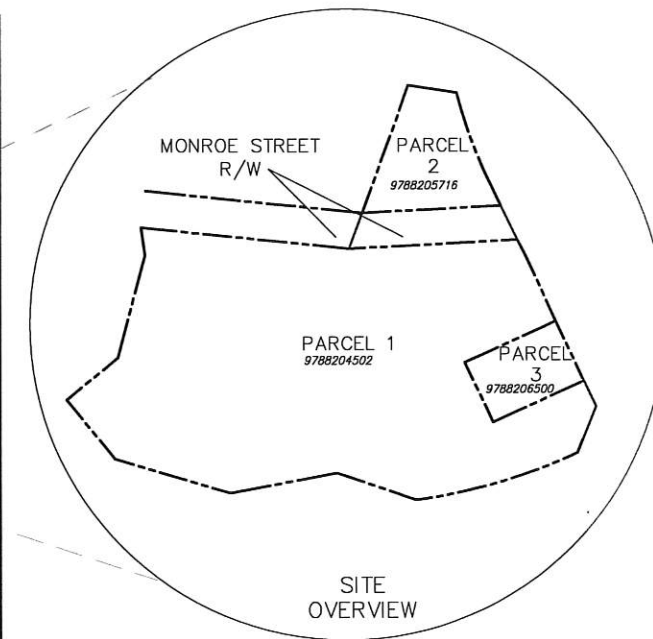
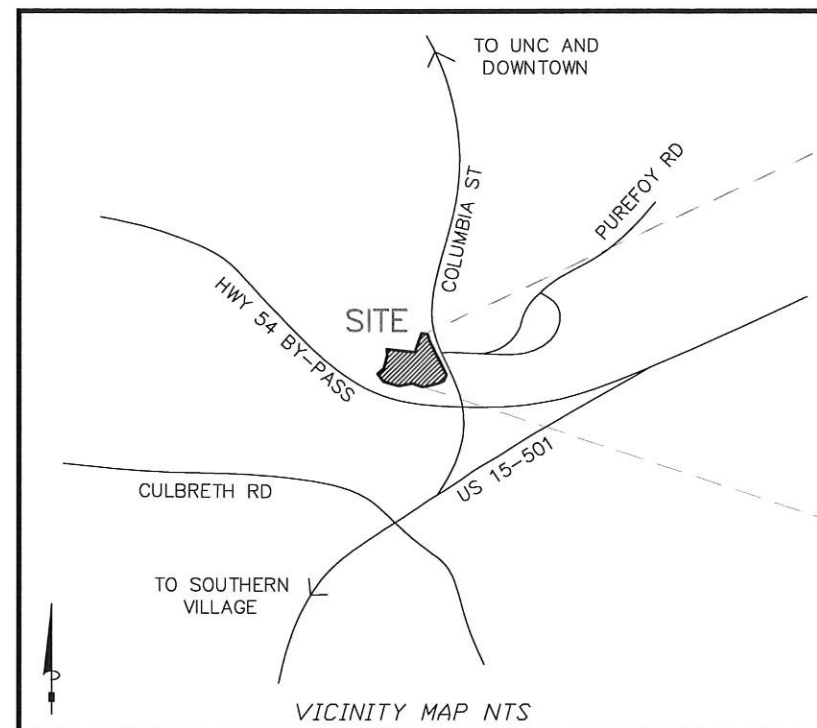
PROPOSED BICYCLE PARKING TOTAL BIKE PARKING REQUIRED WILL MEET LUMO REQUIREMENT
LOCATIONS: UNDERGROUND PARKING, SURFACE PLAZA, IN RESIDENTIAL UNITS

EXISTING TREE CANOPY 134,000 SF = 80.8% OF SITE
REQUIRED TREE CANOPY 40% = 58,724 SF CALCULATION ON SHEET SUP-7.0
PROPOSED TREE CANOPY 66,331 SF (EXISTING RETAINED COVERAGE)

REQUIRED RECREATION SPACE 0.046 RSR
GROSS LOT AREA IS 177,090 SF
PROJECT AREA IS 71,450 SF
RESIDENTIAL PERCENTAGE OF PROJECT IS 93.4%
PROJECT AREA x RECREATION MULTIPLIER x PERCENTAGE RESIDENTIAL
= 71,450 x .046 x .934 = 3,070 SF
PAYMENT IN LIEU IS \$12/SF

RECREATION SPACE PROVIDED 3,070 SF ACTIVE RECREATION SPACE PROVIDED AS FITNESS CENTER IN THE BUILDING FOR TENANTS
SHORTFALL IN FINAL INTERIOR FITNESS SPACE SQUARE FOOTAGE WILL BE MADE UP AS PAYMENT IN LIEU AT \$12/SF

4,000 SF GENERAL BUSINESS
1 SPACE/300 SF TO 1 SPACE /200 SF
= 13 MIN 20 MAX
52 RESIDENTIAL UNITS
MIX OF STUDIO / 1 BDRM / 2 BDRM
1.0 TO 1.75 PER UNIT
= 52 MIN 91 MAX
NON-RESIDENTIAL SPACE IS INTENDED
FOR USE BY RESIDENTS FOR WORK/LIVE
USE. THERE IS NO PARKING
SPECIFICALLY RESERVED FOR THE
NON-RESIDENTIAL SPACE.



LIST OF SHEETS

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SUP-1.0	EXISTING CONDITIONS, TREE SURVEY, DEMOLITION, AND TREE PROTECTION PLAN
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SUP-1.2	TREESAVE PLAN
SUP-2.0	SITE PLAN - OVERALL
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SUP-3.3	STORMWATER MAINTENANCE PLAN
SUP-4.0	EROSION CONTROL PLAN
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A-5.1	ELEVATIONS - EAST, WEST
A-5.2	ELEVATIONS - NORTH, SOUTH
A-5.3	ZONING ENVELOPE DIAGRAM

SPECIAL CONDITIONS OF APPROVAL

- PARCELS MUST BE RECOMBINED PRIOR TO ZCP APPROVAL.
- THE BUILDINGS ARE REQUIRED TO BE SPRINKLED.
- LAYOUT IS BASED ON A RIGHT-IN / RIGHT-OUT DRIVEWAY CONFIGURATION.
- THE APPLICANT MUST SUBMIT A CONSTRUCTION MANAGEMENT PLAN FOR APPROVAL BY THE TOWN PRIOR TO ISSUANCE OF A ZONING COMPLIANCE PERMIT.
- THE PROJECT WILL MEET THE TOWN'S 15% AFFORDABLE HOUSING REQUIREMENT, WITH THE PROVISION OF 7 AFFORDABLE UNITS PROVIDED IN THE BUILDING.
- CONTRACTORS MUST COMPLETE THE TOWN'S TREE PROTECTION SEMINAR PRIOR TO TREE PROTECTION FENCE INSTALLATION. CONTACT ADAM NICHOLSON, URBAN FORESTRY, 919-969-5006.
- DEVELOPER WILL BE REQUIRED TO INSTALL ADA RAMPS AND PEDESTRIAN ACTIVATED LED SIGNAL AT THE EVENTUAL SOUTH COLUMBIA STREET CROSSWALK LOCATION IN FRONT OF OR JUST NORTH OF THE PROJECT SITE.
- REVISED S COLUMBIA STREET TRAFFIC COUNTS WILL BE REQUIRED AT ZCP SUBMITTAL.

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COLUMBIA STREET ANNEX

1150 South Columbia Street
Chapel Hill, North Carolina

OWNER:
CH HOTEL ASSOCIATES LLC.
3008 ANDERSON DRIVE, SUITE 120
RALEIGH NC 27609



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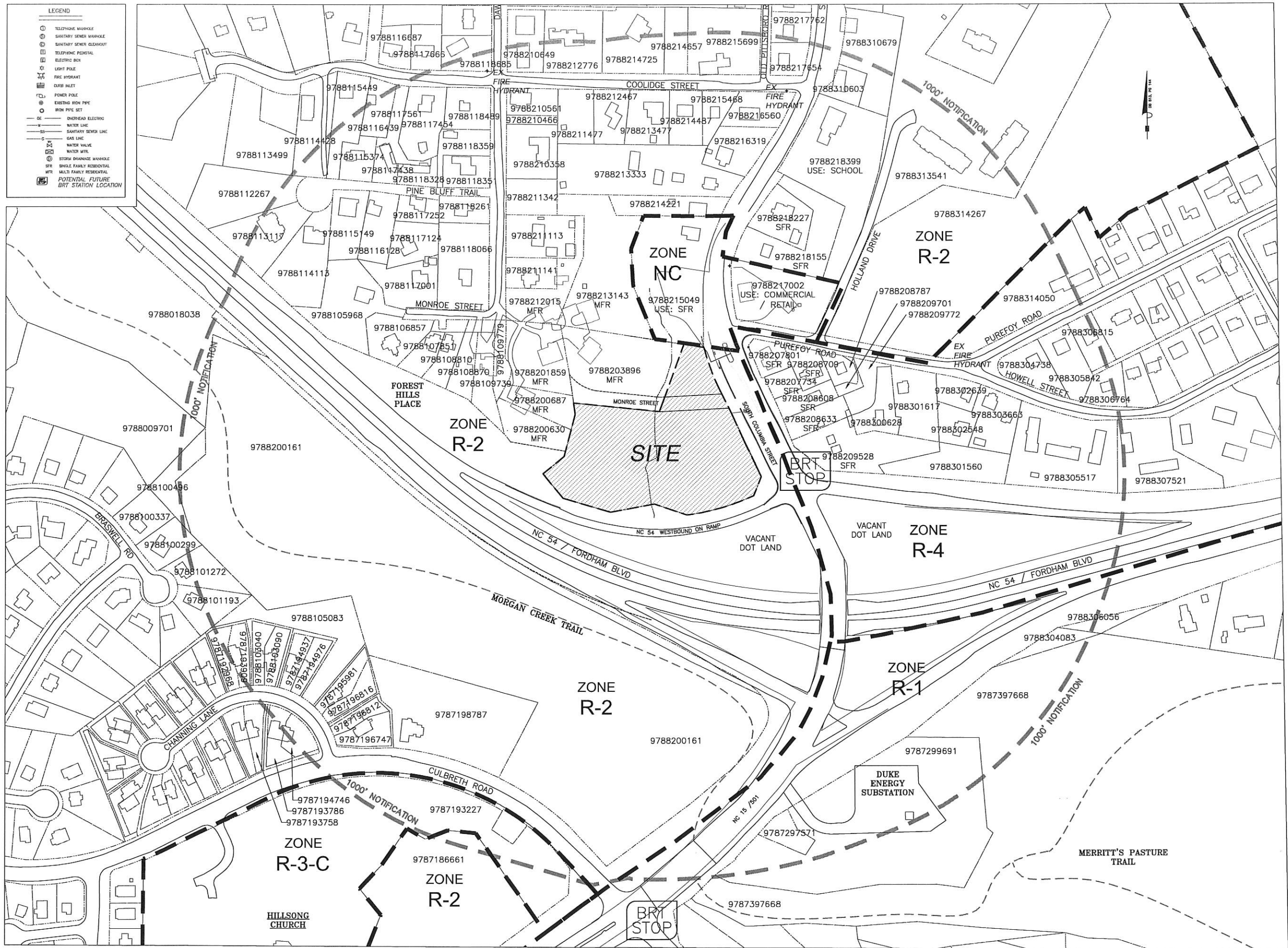
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COVER

SUP-0.0



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100% NORTH CAROLINA
1302
WENDY L. RAMSTON
05-11-2020

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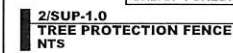
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AREA MAP

SUP-0.1



LEGEND

	EX. CANOPY TREE TO REMAIN
	EX. CANOPY TREE TO BE REMOVED
	EX. PINE TREE TO REMAIN
	LIMITS OF DISTURBANCE

SUP-1.0

TOPOGRAPHY/SLOPES:

BECAUSE OF DOT ROAD CONSTRUCTION IN THE 1990'S, THE SITE SITS MUCH LOWER THAN COLUMBIA STREET AND THERE IS A STEEP DROP FROM THE STREET INTO THE SITE. THE SITE SLOPES FROM NORTH TO SOUTH, AND DROPS APPROXIMATELY 30 FEET OVER THE WIDTH OF THE SITE. THE DEVELOPMENT WILL TAKE ADVANTAGE OF THIS DROP BY SETTING THE BUILDING INTO THE SLOPE AND PROVIDING STREET LEVEL ACCESS TO THE PLAZA AND BUILDING. SERVICE AND PARKING USES WILL BE PLACED BELOW STREET LEVEL. SOME USABLE SPACE WILL FACE AND ACCESS LOWER LEVEL PARKING ON THE WEST SIDE. THE SITE HAS SLOPES OF 4% TO OVER 25%. THE MAJORITY OF THE SITE HAS SLOPES UNDER 10%.

EXISTING SLOPES:
10-15% = 37,161.8 SF (22.4% OF THE SITE)
15-25% = 24,507.7 SF (14.8% OF THE SITE)
>25% = 9,541.8 SF (5.8% OF THE SITE)
57.0% OF THE SITE HAS <10% SLOPE

HYDROLOGICAL FEATURES/DRAINAGE

THERE IS AN PERENNIAL STREAM IN THE CENTER OF THE SITE AND AN EPHEMERAL STREAM ON THE WESTERN SIDE OF THE SITE. THE SITE GENERALLY DRAINS FROM NORTH TO SOUTH.

SOIL TYPES

THE USDA / NRCS WEB SOIL SURVEY CLASSIFIES TWO SOILS ON THIS SITE. THE WESTERN, EASTERN, AND SOUTH-CENTRAL PORTIONS OF THE SITE ARE WEDGEE SANDY LOAM WITH 4% TO >25% SLOPES. THE NORTH-CENTRAL PORTION OF THE SITE IS A APPLING SANDY LOAM WITH 6% TO >25% SLOPES.

SUN/SHADE PATTERNS

THE SUN WILL PASS AROUND THE SOUTH SIDE OF THE STRUCTURE DURING THE COURSE OF THE DAY. THE FRONT ENTRY WILL GET MORNING SUN. SOME EXISTING TREES WILL BE RETAINED SOUTH OF THE BUILDING IN THE BUFFER AGAINST THE NC 54 ON-RAMP. PLANTINGS WILL BE ADDED TO THE COLUMBIA STREET PLAZA AND FRONTAGE.

TREES IN THE PARKING LOT WILL BE CONCENTRATED ALONG THE EAST AND SOUTH SIDES OF THE PARKING BAYS TO PROVIDE MAXIMUM SHADE FOR VEHICLES. SOME PARKING IS LOCATED UNDER THE BUILDING. SOME PARKING IS ON THE NORTH SIDE OF 6 AND 7 STORY BUILDINGS AND WILL BE SHADED BY THE BUILDINGS. THERE WILL BE PLANTINGS AT THE ENTRY AND ALONG THE SIDEWALKS TO PROVIDE MAXIMUM SHADE FOR PEDESTRIANS.

FEMA FLOODPLAIN INFORMATION

THERE IS NO MAPPED FLOODPLAIN ON SITE PER FEMA PANEL 371097800J.

SPECIAL FEATURES

THIS PROPERTY HAS FRONTAGE ON SOUTH COLUMBIA STREET AND THE WESTBOUND NC 54 ON-RAMP.

VEGETATION

THE SITE IS ENTIRELY TREED IN HARDWOODS AND SOME PINES TO THE WEST. THE SITE WEST OF THE PERENNIAL STREAM WILL BE LEFT FORESTED AND UNDISTURBED.

SLOPE DISTURBANCE IN PROJECT AREA

CALCULATIONS ARE FOR AREA EAST OF STREAM CENTERLINE

	SLOPES <10%	
	AREA OF SLOPES 10-15%	24,508 SF
	AREA OF SLOPES 15-25%	34,509 SF
	AREA OF 15-35% SLOPE DISTURBANCE	11,573 SF = 33.5%
	AREA OF SLOPES >25%	9,541 SF
	STEEP SLOPE DISTURBANCE:	9,541 SF = 100%



Scale 1" = 30'

1/SUP-1.1
SITE ANALYSIS
SCALE: 1"=30'

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SITE ANALYSIS

SUP-1.1



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TREE CANOPY PLAN

SUP-1.2

SLOPE DISTURBANCE IN PROJECT AREA
CALCULATIONS ARE FOR AREA EAST OF STREAM CENTERLINE

	SLOPES <10%	
	AREA OF SLOPES 10-15%	24,508 SF
	AREA OF SLOPES 15-25%	34,509 SF
	AREA OF 15-35% SLOPE DISTURBANCE	11,573 SF
	= 33.5%	
	AREA OF SLOPES >25%	9,541 SF
	STEEP SLOPE DISTURBANCE: 9,541 SF	
	= 100%	



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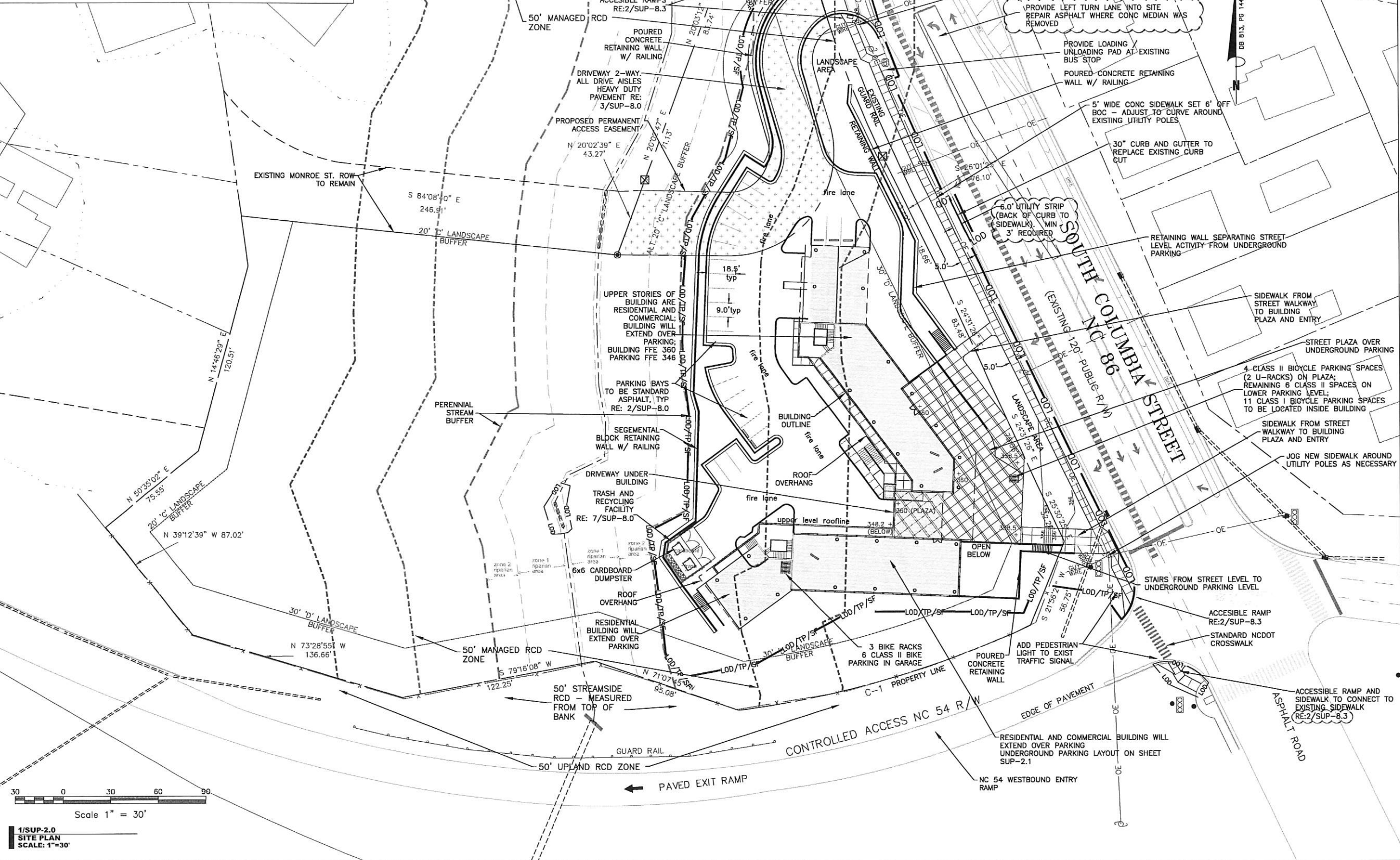
Scale 1" = 30'

1/SUP-1.2
TREE CANOPY PLAN
SCALE: 1"=30'

LEGEND	
	TELEPHONE MANHOLE
	SANITARY SEWER MANHOLE
	SANITARY SEWER CLEANOUT
	TELEPHONE PEDISTAL
	ELECTRIC BOX
	LIGHT POLE
	FIRE HYDRANT
	CURB INLET
	POWER POLE
	EXISTING IRON PIPE
	IRON PIPE SET
	OE OVERHEAD ELECTRIC
	W WATER LINE
	SS SANITARY SEWER LINE
	G GAS LINE
	WATER VALVE
	WATER MTR.
	STORM DRAINAGE MANHOLE
	SFR SINGLE FAMILY RESIDENTIAL
	MFR MULTI FAMILY RESIDENTIAL

STANDARD ORANGE COUNTY SOLID WASTE NOTES:

1. All existing structures 500 SF and larger in size shall be assessed prior to demolition to ensure compliance with the County's Regulated Recyclable Materials Ordinance (RRMO) and to assess the potential for de-construction and/or the re-use of salvageable materials.
2. By Orange County Ordinance, clean wood waste, scrap metal, and corrugated cardboard present in construction or demolition waste must be recycled.
3. By Orange County Ordinance, all haulers of mixed construction and demolition waste that includes any regulated recyclable materials shall be licensed by Orange County.
4. Prior to any demolition or construction activity on the site the Applicant shall hold a pre-demolition/pre-construction conference with the Solid Waste staff. This may be the same pre-construction meeting held with other development/enforcement officials.
5. The presence of any asbestos containing materials ('ACM') and/or other hazardous materials in construction and demolition waste shall be handled in accordance with any and all local, state, and federal regulations and guidelines.



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OVERALL SITE PLAN STREET LEVEL BUILDING PLAN

SUP-2.0



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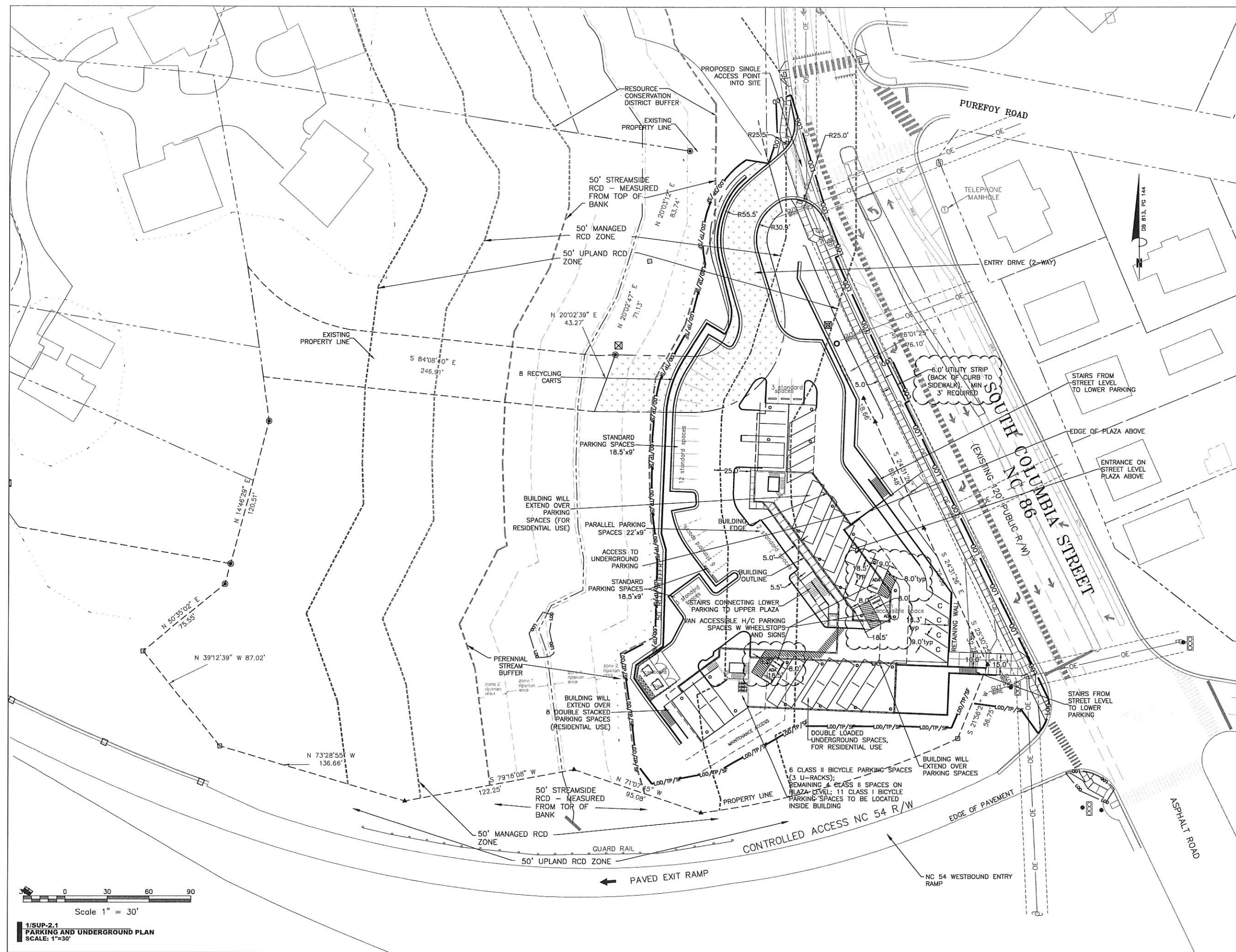
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SITE PLAN UNDERGROUND PARKING LAYOUT

SUP-2.1





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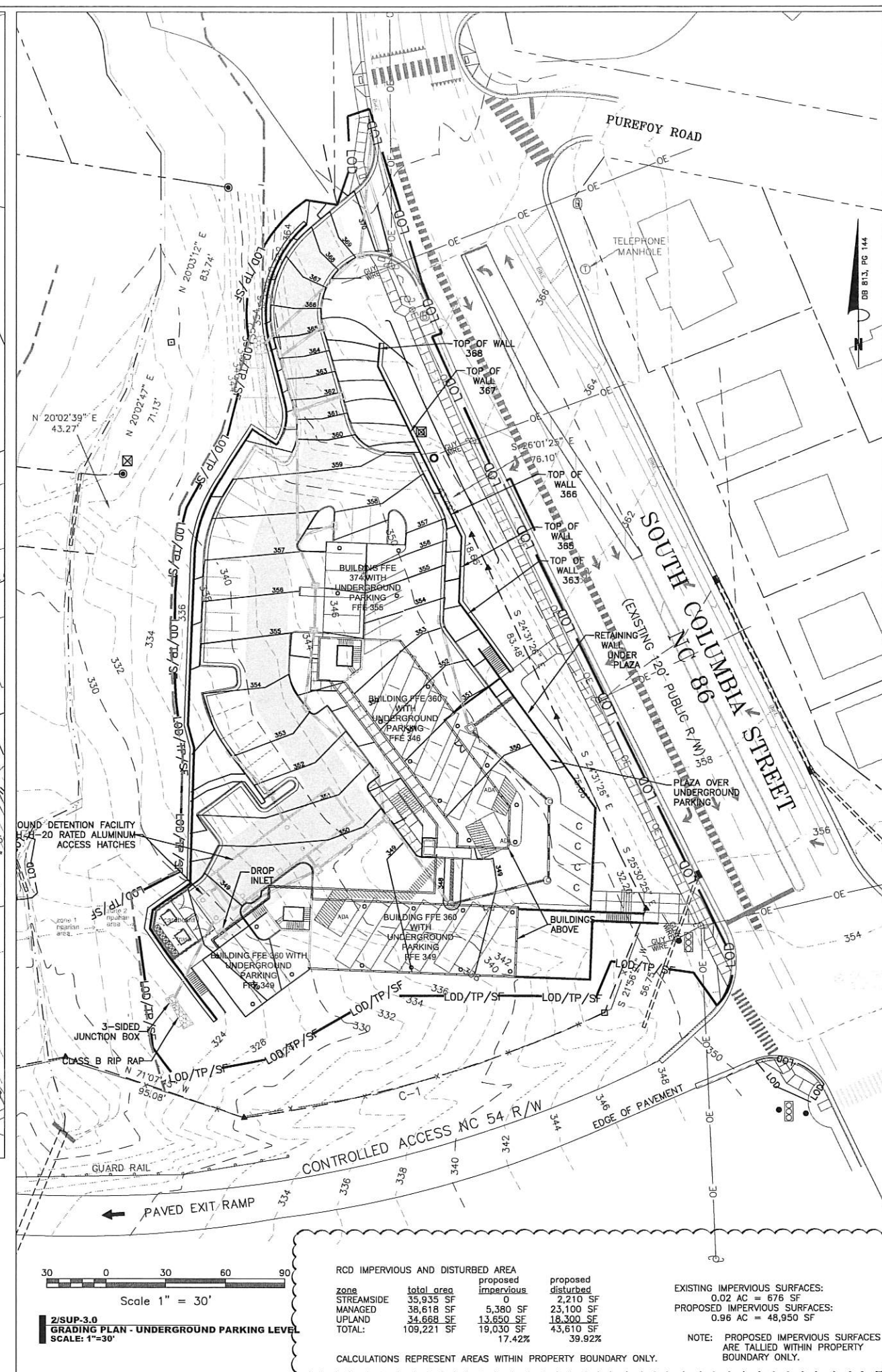
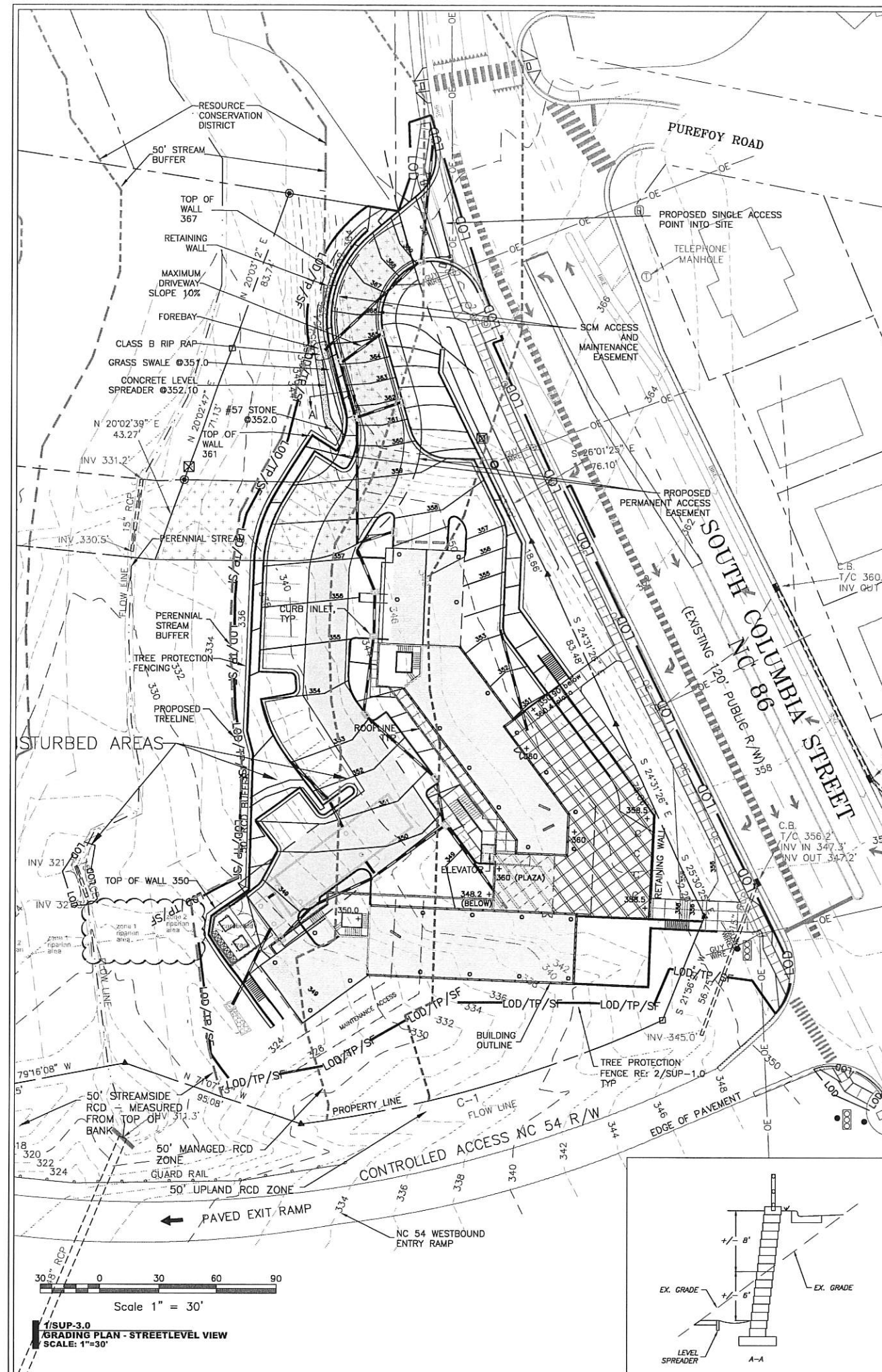
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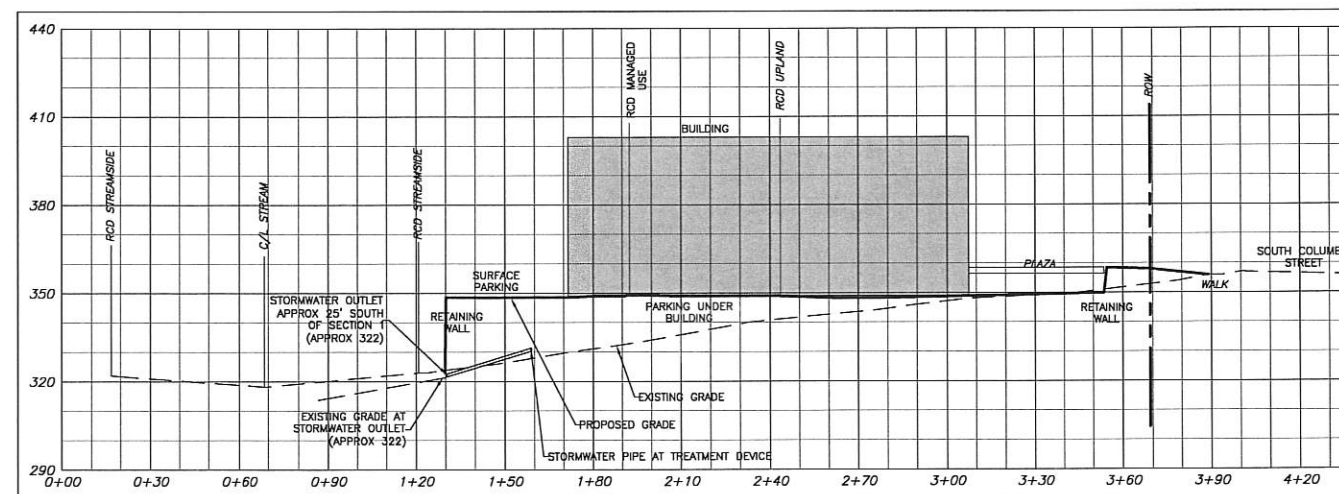
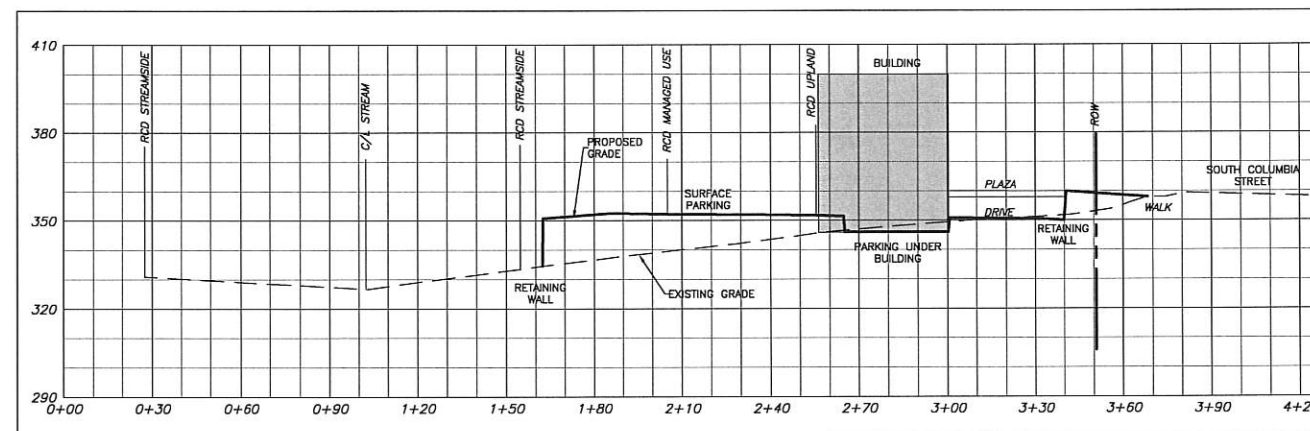
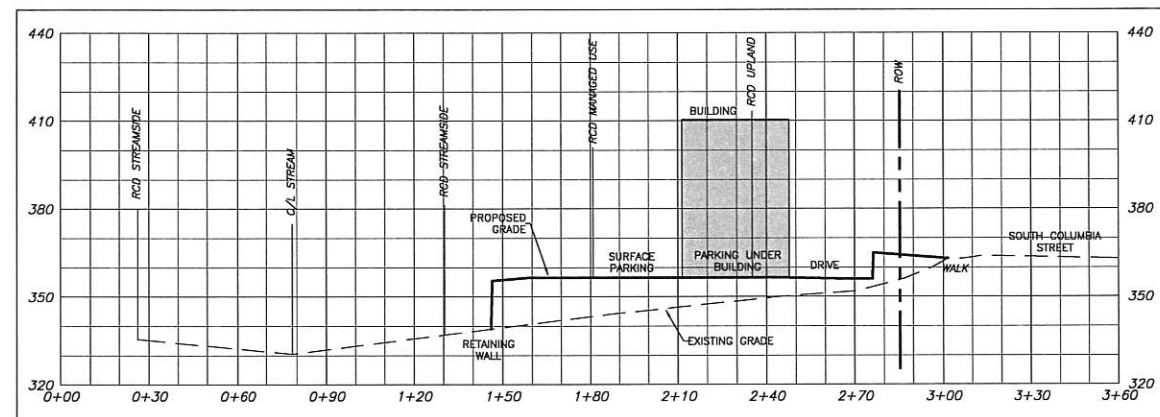
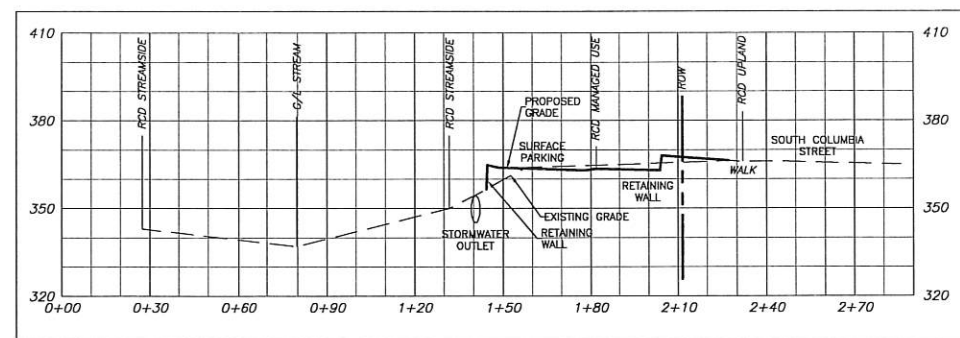
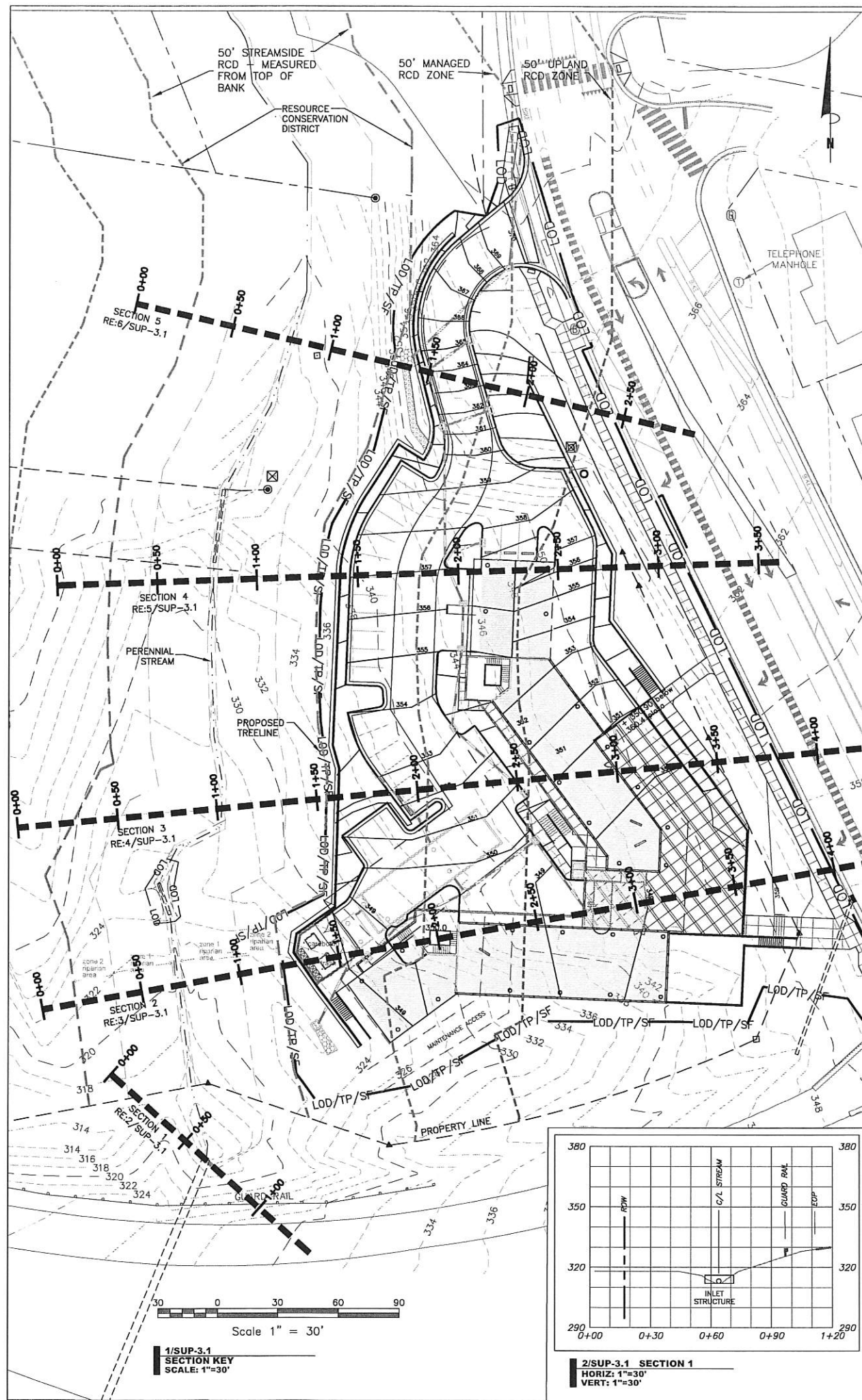
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GRADING, TREE PROTECTION AND STORMWATER PLAN

SUP-3.0





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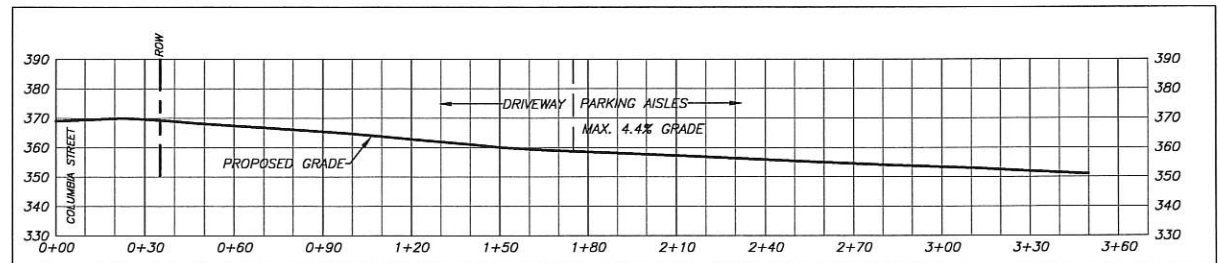
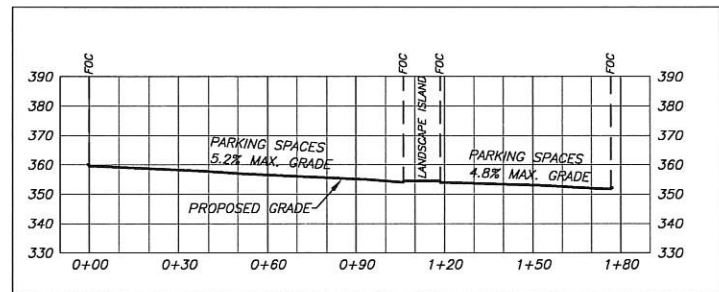
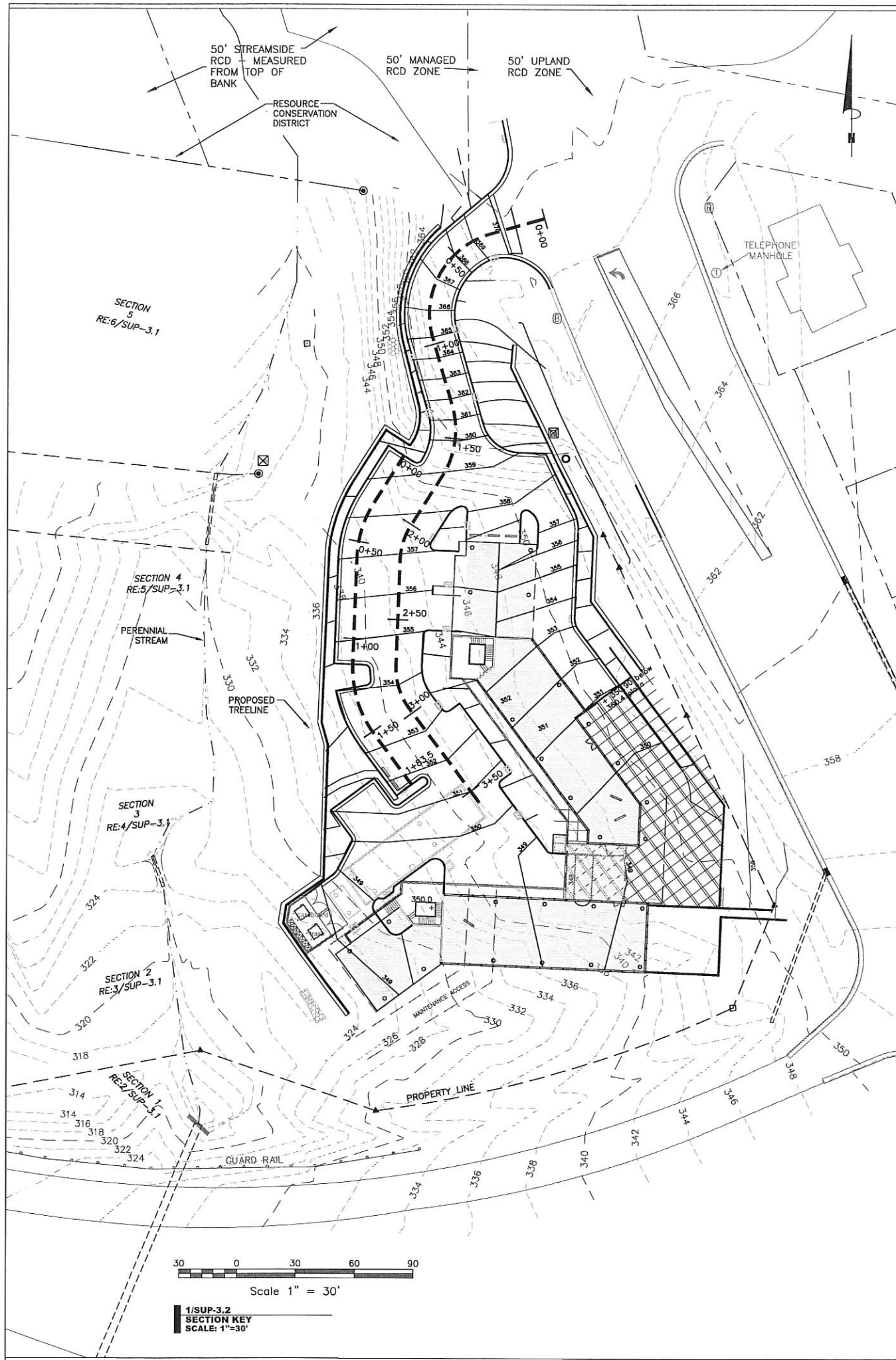
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SITE / RCD
SECTIONS

SUP-3.1



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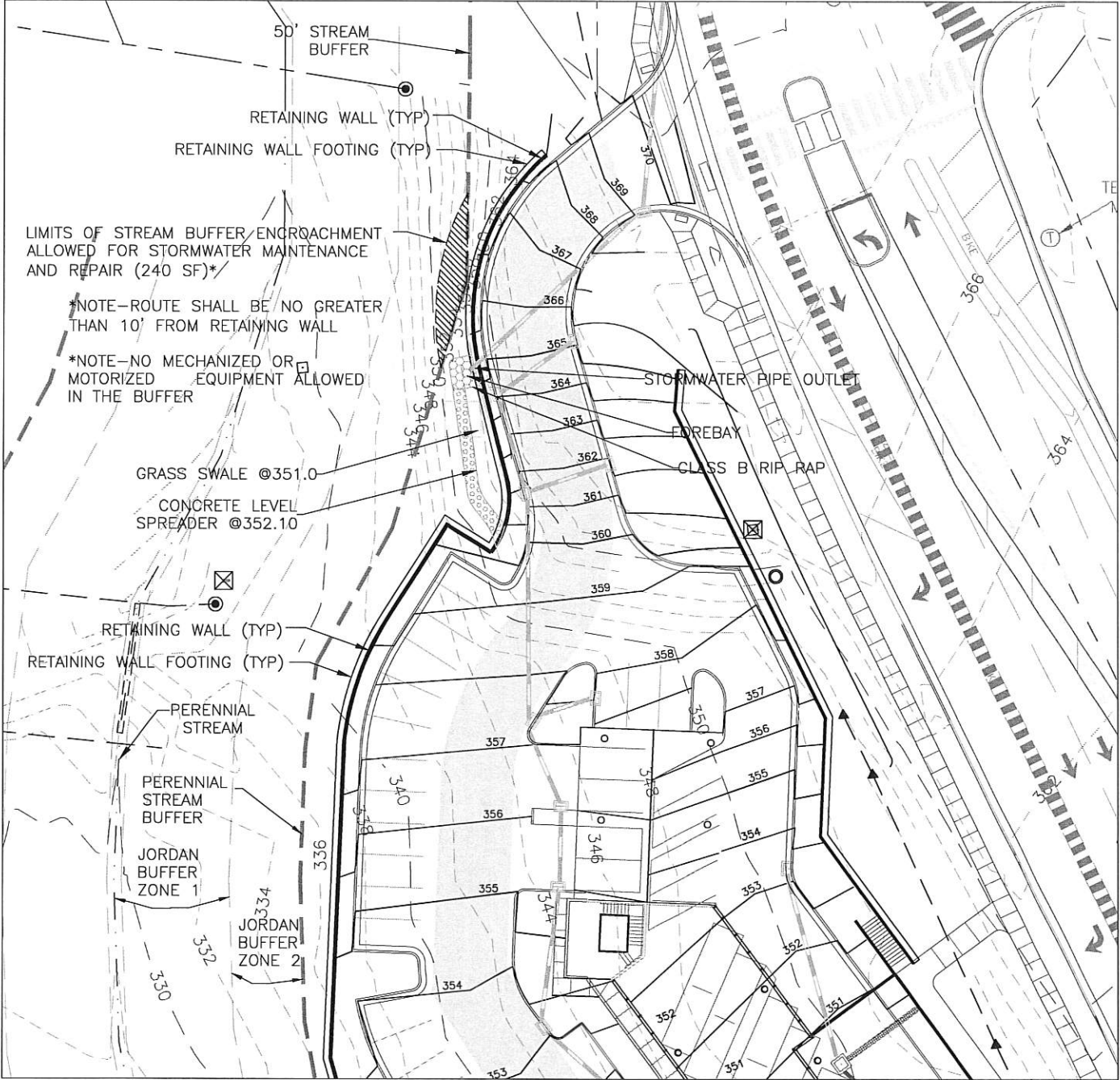
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DRIVE / PARKING SECTIONS

SUP-3.2



20 0 20 40 60
Scale 1" = 20'

1/SUP-3.3
STORMWATER MAINTENANCE PLAN
SCALE: 1"=20'

- NOTES:
1. THE STORMWATER PIPING OUTLET AND LEVEL SPREADER BEHIND THE RETAINING WALL NEAR THE PROJECT ENTRANCE HAS LIMITED ACCESS BECAUSE OF THE PROTECTIVE STREAM BUFFER IN THIS LOCATION. AS SHOWN ON THE DRAWINGS, THE PIPING AND LEVEL SPREADER ARE NOT LOCATED WITHIN THIS BUFFER.
 2. ACCESS TO THE PIPING OUTLET AND LEVEL SPREADER FOR MAINTENANCE AND/OR REPAIR IS ALLOWABLE, WITH STRICT LIMITATIONS AS FOLLOWS:
 3. PERSONNEL WITH HAND OPERATED TOOLS OR EQUIPMENT MAY ACCESS THE STORMWATER PIPING OUTLET AND LEVEL SPREADER ON FOOT ALONG A ROUTE BEHIND THE RETAINING WALL. THE ROUTE SHALL BE LIMITED TO WITHIN 10' OF THE WALL TO AVOID DAMAGE TO THE BUFFER AREA AS MUCH AS POSSIBLE. NO TREES MAY BE REMOVED ALONG THIS ROUTE FOR MAINTENANCE PURPOSES. ANY DISTURBANCE OF THE GROUND BY THIS FOOT TRAFFIC SHALL BE REPAIRED IMMEDIATELY AFTER COMPLETION OF THE STORMWATER MAINTENANCE.
 4. NO MECHANICAL OR MOTORIZED EQUIPMENT IS ALLOWED TO TRAVERSE THIS ROUTE THROUGH THE BUFFER TO ACCESS THE PIPING OUTLET OR LEVEL SPREADER.
 5. IF MECHANICAL OR MOTORIZED EQUIPMENT IS REQUIRED FOR MAINTENANCE OR REPAIR ACTIVITIES BEHIND THE RETAINING WALL, THE EQUIPMENT SHALL BE LOWERED OVER THE WALL SUCH THAT THE EQUIPMENT DOES NOT ENCROACH INTO THE STREAM BUFFER.

1/SUP-3.3
STORMWATER MAINTENANCE PLAN NOTES

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STORMWATER
MAINTENANCE
PLAN

SUP-3.3

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EROSION
CONTROL
PLAN

SUP-4.0

1. INSTALL SILT FENCE PRIOR TO WORK IN ANY AREA TO PREVENT SILT FROM LEAVING SITE.
2. ALL STORMWATER PIPING SHALL BE PROTECTED FROM FLOW UNTIL STABILIZATION IS ACHIEVED. PROTECTION SHALL BE INSTALLED AT THE END OF CONSTRUCTION EACH WORK DAY AND AT ANY TIME RAIN EVENTS CAUSE FLOW INTO OPEN TRENCH, PER DETAILS.
3. ALL STORMWATER STRUCTURES SHALL BE PROTECTED FROM INFLOW UNTIL STABILIZATION IS ACHIEVED USING EITHER STAKED HARDWARE CLOTH OR SILT SACKS, PER DETAILS.
4. CONSTRUCTION ENTRANCES SHOWN ARE IN SUGGESTED LOCATIONS. CONSTRUCTION ENTRANCES SHALL BE INSTALLED AND MAINTAINED SUCH THAT NO CONSTRUCTION TRAFFIC MAY LEAVE THE SITE WITHOUT PASSING OVER THE ENTRANCE DEVICE.

2/SUP-4.0
EROSION CONTROL NOTES

1. INSTALL ALL TREE PROTECTION FENCING REQUIRED.
2. OBTAIN ALL APPROVALS AND PERMITS NECESSARY TO BEGIN AND COMPLETE THE PROJECT. THE APPROVALS AND PERMITS MUST BE OBTAINED BEFORE THE DISTURBANCE BEGINS SO THAT WORK WILL NOT BE INTERRUPTED OR DELAYED.
3. SCHEDULE AND HOLD A PRE-CONSTRUCTION CONFERENCE TO DISCUSS EROSION CONTROL PLAN AND SCHEDULE WITH THE OWNER OR OWNER'S REPRESENTATIVE, GRADING CONTRACTOR, AND EROSION CONTROL PERSONNEL BEFORE STARTING ANY DEMOLITION, TIMBERING, GRUBBING, CLEARING, OR GRADING ACTIVITIES.
4. CLEAR ONLY THE AREA NECESSARY TO GAIN ACCESS TO AND INSTALL THE INITIAL EROSION CONTROL DEVICES. THE CONSTRUCTION ENTRANCE, SILT FENCE AND OUTLETS, DIVERSION DITCHES, ARCH FILTERS, AND CHECK DAMS. ALL DITCHES ARE TO BE SEEDED AND MULCHED IMMEDIATELY AFTER THEY ARE INSTALLED.
5. CLEAR AND GRADE THE REMAINDER OF THE SITE. INSTALL STORM DRAINS AND OTHER UTILITIES.
6. INSTALL TEMPORARY INLET PROTECTION AND RIP RAP APRONS AS SOON AS POSSIBLE AFTER PIPE HAS BEEN INSTALLED AND DRAINAGE STRUCTURES HAVE BEEN INSTALLED AND BACKFILLED. ENSURE THAT UPSTREAM EROSION CONTROL DEVICES ARE IN PROPER WORKING ORDER TO PREVENT RIP RAP APRONS FROM BECOMING CLOGGED WITH SILT.
7. INSTALL CURB AND GUTTER, PAVEMENT BASE, AND PAVEMENT. REMOVE TEMPORARY INLET PROTECTION AND INSTALL SILT SACKS IN INLETS.
8. INSPECT AND MAINTAIN THE SEDIMENT CONTROL DEVICES SO THEY CONTINUE TO FUNCTION PROPERLY. THE PERSON RESPONSIBLE FOR EROSION CONTROL WILL OVERSEE THE INSPECTING AND MAINTENANCE OF THESE DEVICES. MEASURES SHOULD BE INSPECTED WEEKLY AND AFTER A RAINFALL OF MORE THAN 0.5 INCHES. SEDIMENT TO BE REMOVED FROM TRAPS WHEN SEDIMENT DEPTH IS ONE HALF OF THE TOTAL DEPTH OF TRAP. EROSION CONTROL DEVICES SHALL BE REPLACED WHEN DAMAGED OR DO NOT APPEAR TO BE WORKING PROPERLY.
9. IF IT IS DETERMINED DURING THE COURSE OF CONSTRUCTION THAT SIGNIFICANT SEDIMENT IS LEAVING THE PROJECT SITE DESPITE PROPER IMPLEMENTATION AND MAINTENANCE OF THE EROSION CONTROL PLAN, THE PERSON RESPONSIBLE FOR THE LAND DISTURBING ACTIVITY IS OBLIGATED TO TAKE ADDITIONAL PROTECTIVE ACTION.
10. KEEP MUD, DUST, AND DEBRIS OFF THE PUBLIC STREET AT ALL TIMES. IF MUD OR DEBRIS IS TRACKED FROM THE SITE, USE A SHOVEL AND BROOM TO REMOVE IT IMMEDIATELY. IF MUD, DUST, AND DEBRIS ARE NOT KEPT OFF THE STREET, ENFORCEMENT ACTION (REVOKING THE GRADING PERMIT AND/OR A STOP WORK ORDER) MAY BE TAKEN.
11. SILT FENCE AND DIVERSION DITCHES ARE TO BE RELOCATED AS NECESSARY AS GRADING PROGRESSES TO ENSURE THAT NO SEDIMENT LEAVES THE SITE AND RUNOFF ENTERS THE SEDIMENT BASIN.
12. SEEDING AND RESTABILIZATION OF DISTURBED AREAS MUST BE ACCOMPLISHED PER THE PLANS AND SPECIFICATIONS WITHIN THE TIMEFRAMES GIVEN IN THE STABILIZATION TIME TABLE PROVIDED IN THE SEEDING SCHEDULE THAT IS REQUIRED DURING THE PROJECT AT NO ADDITIONAL COST TO THE OWNER.
13. WHEN CONSTRUCTION IS COMPLETED, ALL TEMPORARY EROSION CONTROL DEVICES MUST BE REMOVED AFTER THE DRAINAGE AREA HAS BEEN SUFFICIENTLY STABILIZED TO RESTRAIN EROSION. REMOVE AND PROPERLY DISPOSE OF ACCUMULATED SEDIMENT AND DEBRIS FROM THE DEVICES AND STABILIZE THE LOCATIONS.
14. ARRANGE A FINAL INSPECTION WITH THE EROSION CONTROL INSPECTOR TO CONFIRM THAT ALL THE REQUIREMENTS OF THE APPROVED EROSION CONTROL PLAN HAVE BEEN COMPLETE.
15. SANDFILTERS ARE NOT TO RECEIVE RUNOFF FROM THE SITE UNTIL ALL EROSION AND SEDIMENT PHASES ARE COMPLETED. ALL INLETS TO SANDFILTERS SHALL REMAIN SEALED UNTIL SITE IS COMPLETELY STABILIZED.

3/SUP-4.0
CONSTRUCTION SEQUENCE
NTS

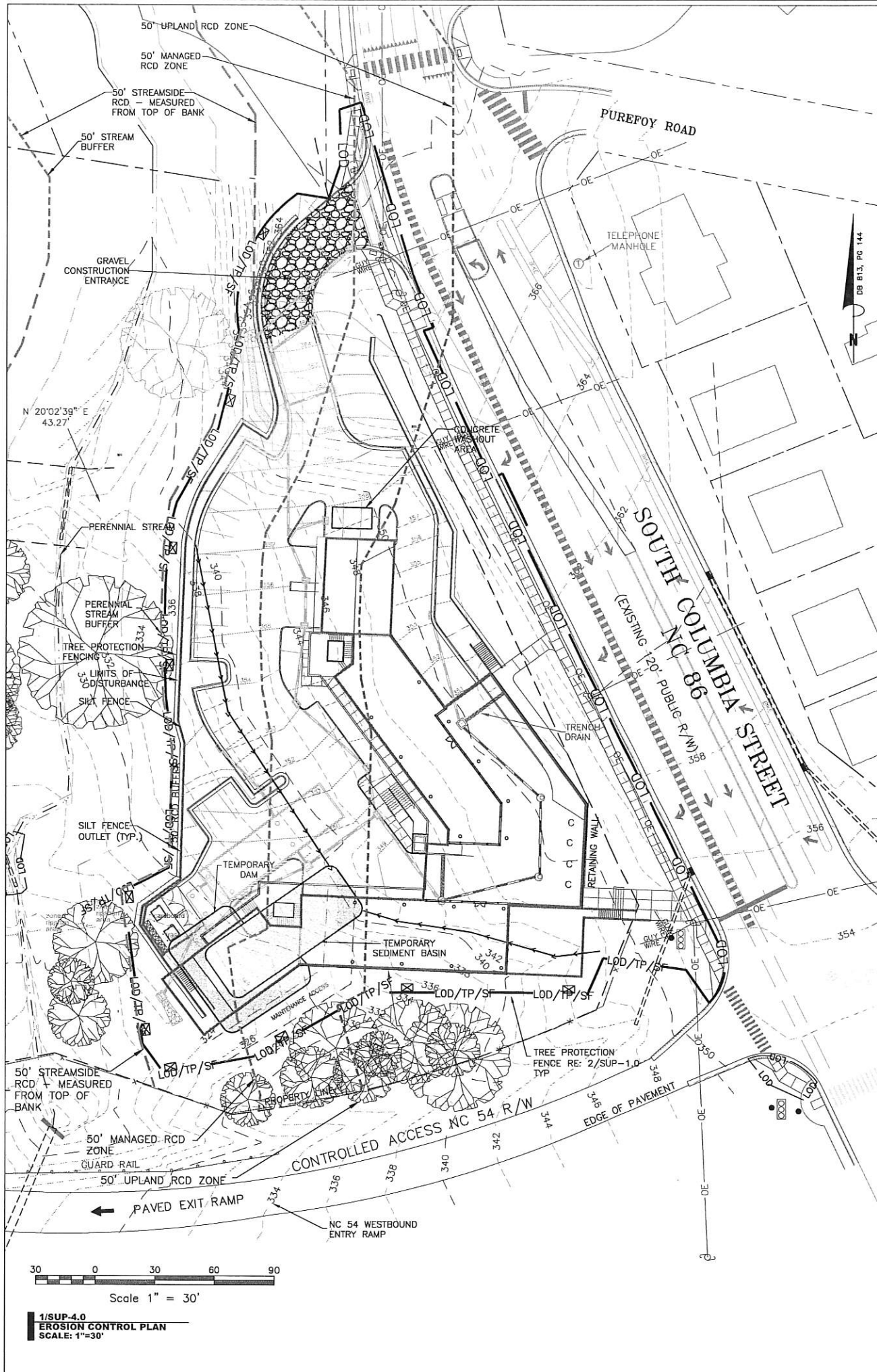
Ground Stabilization*

Site Area Description	Stabilization Time Frame	Stabilization Time Frame Exceptions
Perimeter dikes, swales, ditches, and slopes	7 days	None
High Quality Water (HQW) Zones	7 days	None
Slopes steeper than 3:1	7 days	None
Slopes 3:1 or flatter	7 days	None
All other areas with slopes flatter than 4:3	7 days	None

* Extensions of time may be approved by the permitting authority based on weather or other site-specific conditions that make compliance impracticable (Section 11.8(2)(b))

7-DAY STABILIZATION AREAS INCLUDE:

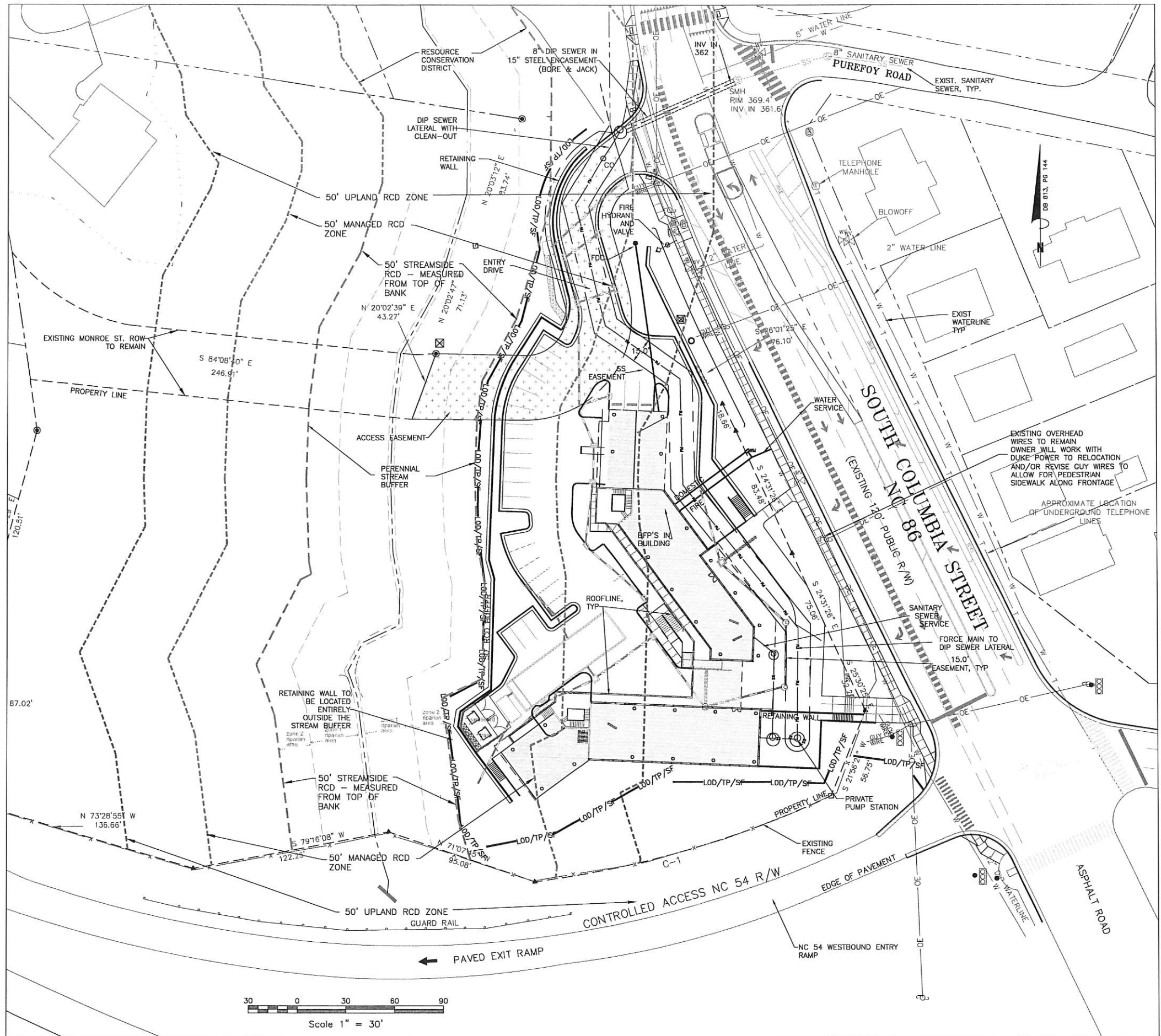
- SWALES 1 - 6
- ALL AREAS BETWEEN LIMITS OF DISTURBANCE AND WALL 3
- ALL AREAS BETWEEN LIMITS OF DISTURBANCE AND STORM LINE FROM MH1 TO MH3



NOTE:
EROSION CONTROL MEASURES SHOWN ARE THE MINIMUM REQUIRED. CONTRACTOR SHALL INSTALL ADDITIONAL MEASURES AS MAY BE NECESSARY TO PREVENT SEDIMENT FROM LEAVING THE SITE OR ENTERING THE EXISTING AND PROPOSED STORMWATER BMP'S. ANY REQUIRED SEDIMENT REMOVAL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

FIRE PROTECTION NOTES:

1. All construction and demolition conducted shall be in compliance of the current edition of Chapter 14 of the NC FPC.
2. When the building being constructed requires standpipes, a temporary standpipe connection will be constructed with ready Fire Department Access when the building is not more than 40' in height. Such standpipes shall provide usable connections adjacent to the stairs and shall continue with building progression always being not more than one floor below the highest floor of the building. NC FPC 2012 Section 1413.



1/SUP-5.0
UTILITY PLAN
SCALE: 1"=30'

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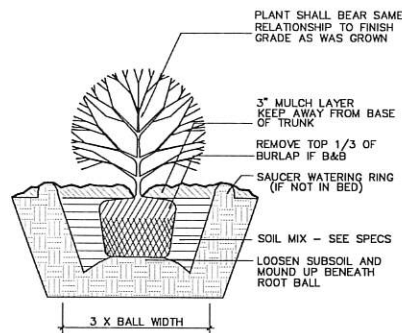
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UTILITY PLAN

SUP-5.0



3/SUP-7.0
SHRUB PLANTING DETAIL

1. PRIOR TO PLANT INSTALLATION IN LANDSCAPE BUFFER, CONTRACTOR SHALL ENSURE REMOVAL OF ALL INVASIVE PLANT MATERIAL AS LISTED IN THE SOUTHEAST EXOTIC PEST PLANT COUNCIL LIST OF INVASIVE PLANT MATERIAL.
2. A MINIMUM OF 10' MUST SEPARATE LIGHT POLES FROM CANOPY TREES.

5/SUP-7.0
PLANTING NOTES

6/SUP-7.0
PLANT SELECTION



CONTROLLED ACCESS

NC 54 WESTBOUND ENTRY RAMP

SOUTH PROPERTY LINE
294 LF TO STREAM
30' WIDE EXTERNAL 'D' BUFFER
REQUIRED PLANTINGS:
18 LARGE TREES
35 SMALL TREES
118 SHRUBS
PLANTINGS PROVIDED:
- EXISTING FOREST & UNDERSTORY TO
REMAIN UNDISTURBED - NO NEW
PLANTINGS

SUP-7.0

Diagram illustrating the cross-section of a 30" curb and gutter assembly, showing the following components and dimensions:

- FINISHED GRADE
- BACKFILL
- ADJACENT PAVEMENT
- CAST-IN-PLACE CONCRETE 3000 PSI
- STONE BASE MATERIAL
- COMPACTED SUBGRADE

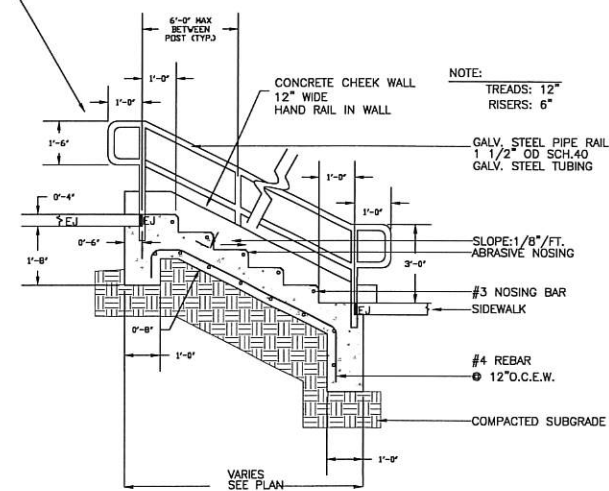
Dimensions and Notes:

- 6" (Curb width)
- 18" ON SITE (Curb width)
- 24" IN ROW (Curb width)
- 30" CURB AND GUTTER IN ROW
- 24" CURB AND GUTTER INSIDE SITE
- 3" R (Radius)
- 1" (Slope)



2/SUP-8.0
STANDARD ASPHALT PAVING - PARKING BAYS
NTS

WHERE RAILING ENDS AT TOP OF
STAIRS, EXTEND 1' PAST THE TOP
TREAD AND ROUND CORNERS



2" - TYPE S-9.5B ASPHALT
 2½" - TYPE I-19.0B ASPHALT
 10" AGGREGATE BASE COURSE COMPACTED
 COMPACTED SUBGRADE

The diagram illustrates the vertical structure of a rigid pavement. It consists of four distinct layers, labeled from top to bottom:

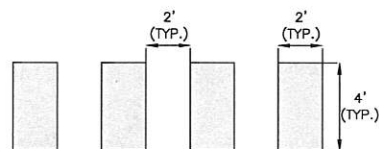
- CONCRETE PAVEMENT**: The top layer, indicated with a vertical dimension of 8".
- WELDED WIRE FABRIC**: A horizontal reinforcement layer located directly beneath the concrete pavement.
- AGGREGATE BASE COURSE COMPACTED**: A layer of compacted aggregate material situated below the wire fabric, with a vertical dimension of 4".
- COMPACTED SUBGRADE**: The bottom-most layer, which is a compacted natural or processed soil.

1. ALL CONCRETE TO 4000 PSI, PROPERLY AIR ENTRAINED FOR EXTERIOR GRADE CONCRETE MIXES.
2. CABC BASE AND SOIL SUBGRADE TO BE COMPACTED TO 98% OF THE ASTM D-698 STD. PROCTOR MDD AND PROOFROLLED AND APPROVED BY GEOTECHNICAL PERSONNEL.

Diagram illustrating the layout of the proposed facility, showing the existing site plan. Key features and dimensions are labeled:

- MASONRY SCREEN WALL
- ROLL-OUT RECYCLE CARTS
- STEEL PIPE BOLLARD
- SOLID WASTE DUMPSTER
- CARBON DUMPSTER
- CONCRETE PAVING
- CANE BOLT LATCH HOLE, TYP.
- Dimensions: 26', 24', 16', 6', 4', 14' TYP.

8/SUP-8.0
BIKE LANE STRIPING
NTS



25'-0" MAX.
12'-0" STD.

SEE NOTE 2

5'

3'-TYPICAL
(MAY VARY WITH TOWN
ENGINEERING APPROVAL)

R/W

CURB

A

A'

CONCRETE SIDEWALK

UTILITY STRIP

1/4" EDGE RADIUS
(SEE NOTE 5)

4"

1/4" ± 1'

5'

3'-0" TYPICAL
(MAY VARY WITH TOWN
ENGINEERING APPROVAL)

COMPACTED
SUBGRADE

TYPICAL SIDEWALK-SECTION A-A'

NOTES:

1. ALL CONCRETE 3000 PSI.
2. SEE STANDARD DETAIL "D-1" FOR THROUGH DRIVEWAY SPECIFICATIONS.
3. EXPANSION JOINTS 50' APART MAXIMUM.
4. CONTROL JOINT EVERY 5 FEET.
5. ALL SIDEWALKS SHALL BE CONSTRUCTED WITH TOOLED 1/4" EDGE RADIUS.
6. IF UTILITY STRIP IS COMPLETELY ELIMINATED, SIDEWALK SHALL BE PLACED DIRECTLY AT BACK-OF-CURB, WITH 1/4" EDGE RADIUS.

NO SCALE

TITLE		REVISIONS	
NO	DATE	BY	
1			
2			
3			
4			
5			

DET. NO. ST-4

SH.1 of

PROPOSED SINGLE ACCESS POINT INTO SITE
 RIGHT IN / RIGHT OUT DRIVEWAY
 FIRE TRUCK TURNING RADIUS (TYP.)
 PURDY ROAD
 ENTRY DRIVE (2-WAY) MAX. 10% SLOPE
 PEDESTRIAN STAIR FROM PLAZA TO UNDERGROUND LEVEL
 SOUTH COLUMBIA STREET
 UPPER STORIES PLAZA WILL EXTEND OVER PARKING
 PARKING SPACES, TYP
 EDGE OF PAVEMENT
 BUILDING WILL EXTEND OVER PARKING
 5 STORIES OVER PARKING
 5 STORIES OVER PARKING
 5 STORIES OVER PARKING
 PLAZA OVER UNDERGROUND PARKING
 PROPERTY LINE
 CONTROLLED ACCESS NC 54 R/W
 RTE 54 WESTBOUND ENTRY RAMP
 PAVED EXIT RAMP
 OCEANO BEACH
 ASPHALT

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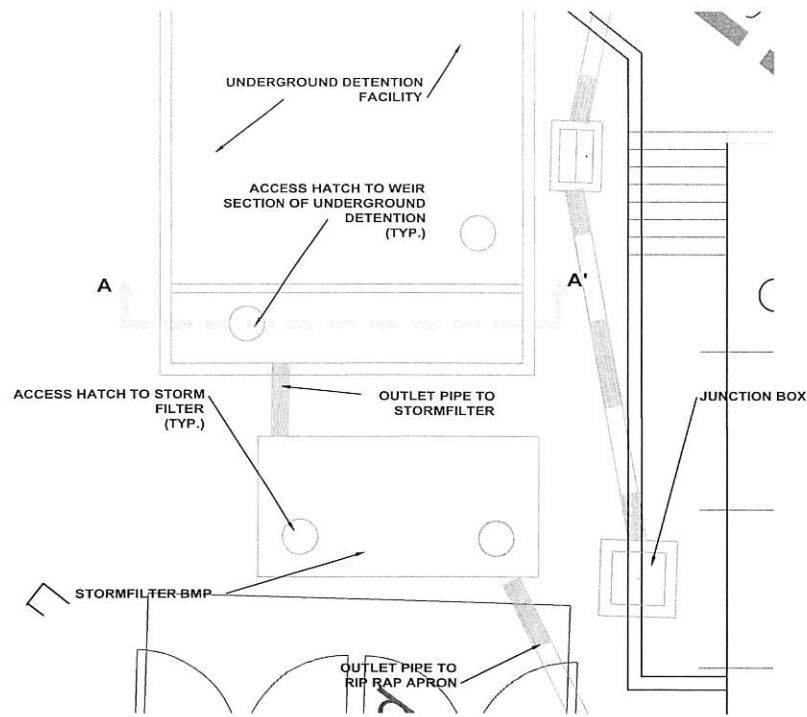
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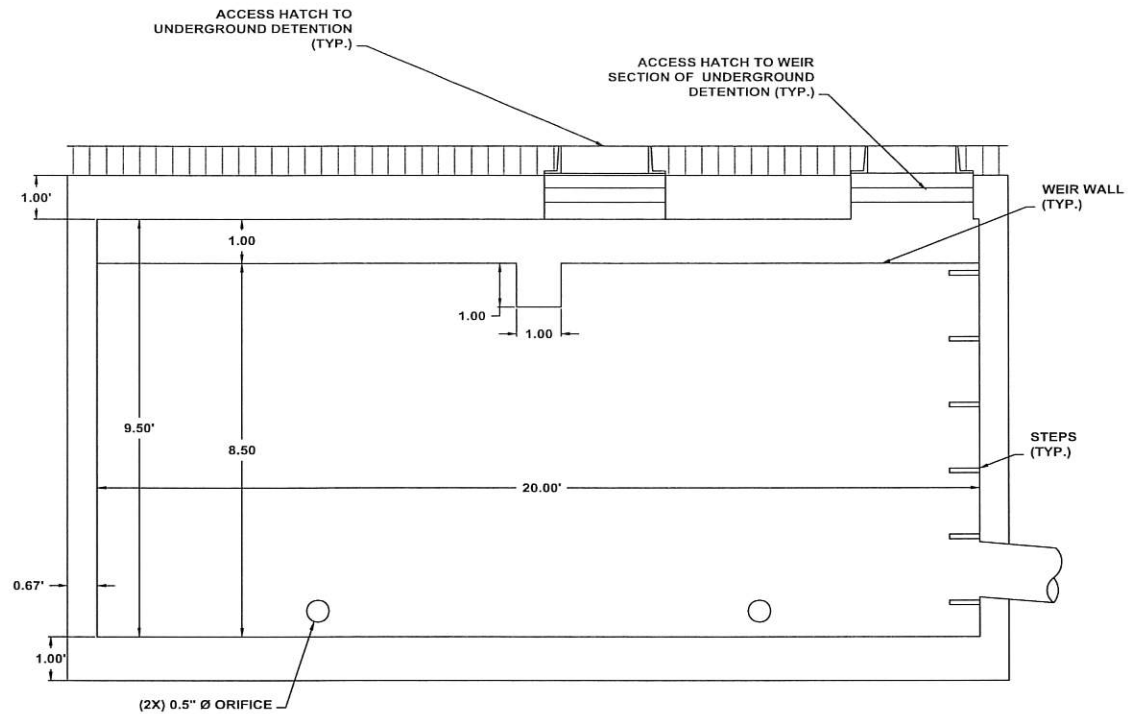
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SITE DETAILS

SUP-8.0

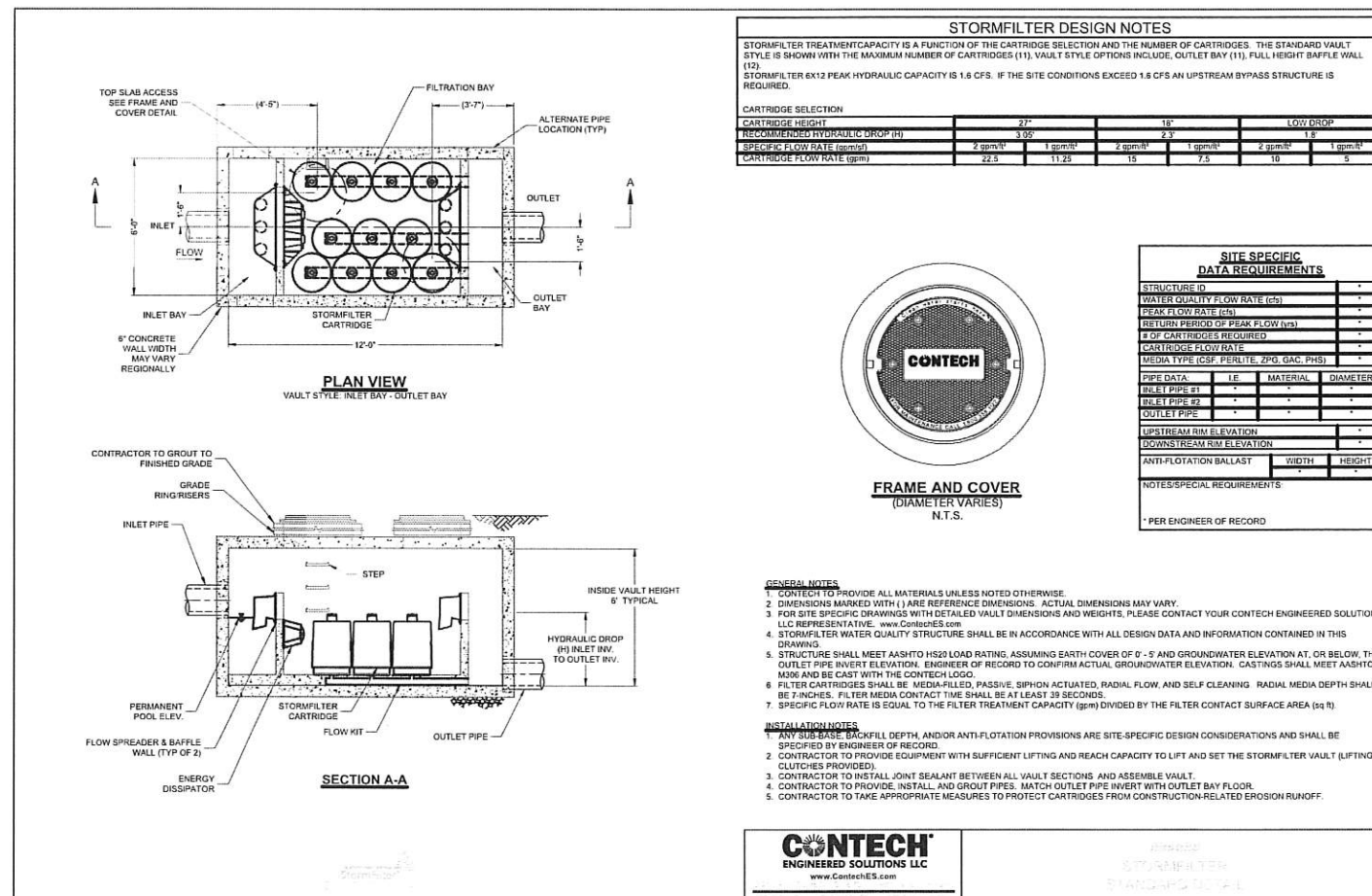


PLAN VIEW



SECTION A-A' VIEW

1/SUP-8.1
UNDERGROUND DETENTION FACILITY
SECTION



2/SUP-8.1
STORMFILTER BMP
NTS

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**COLUMBIA
STREET ANNEX**

1150 South Columbia Street
Chapel Hill, North Carolina

OWNER:
CH HOTEL ASSOCIATES LLC.
3008 ANDERSON DRIVE, SUITE 120
RALEIGH NC 27609



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Date	For
24 May 18	Addition of RCD data
20 May 19	Review Comment Revisions
24 Oct 19	Review Comment Revisions
14 Feb 20	Review Comment Revisions
11 May 20	Review Comment Revisions

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**STORMWATER
DETAILS**

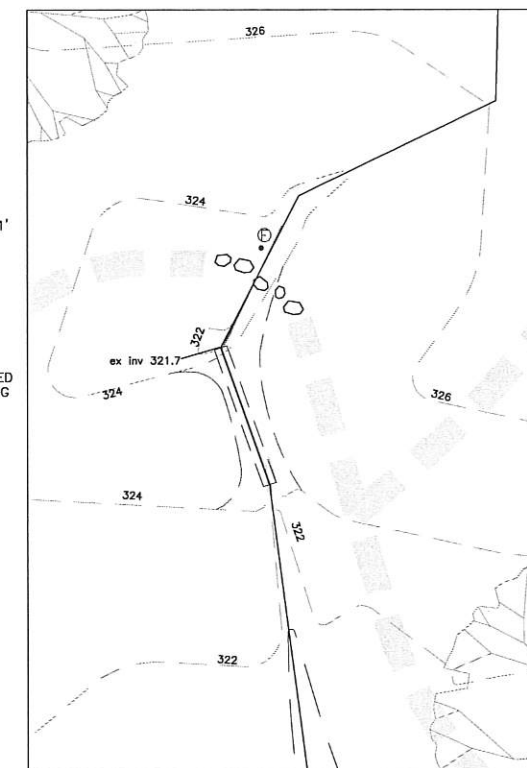
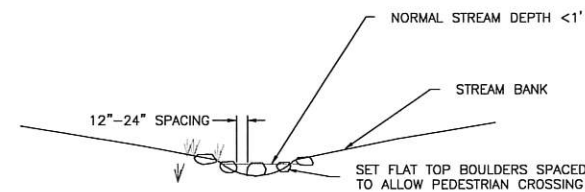
SUP-8.1



- STREAM AREA PROPOSED WORK:
1. REMOVE TRASH FROM THE STREAM AND STREAMSIDE RCD AREA
 2. REMOVE INVASIVE PLANT MATERIAL FROM THE STREAMSIDE RCD AREA
 3. REMOVE CULVERT AND REGRADE TO ALLOW STREAM FLOW THROUGH EXISTING BERM
 4. PLANT SEEDS PLUGS INTO THE DISTURBED AREA NEAR THE CULVERT REMOVAL TO STABILIZE THE DISTURBED AREA.
 5. CREATE A MULCH SURFACE NATURE TRAIL INCLUDING TWO STREAM CROSSINGS OF STRATEGICALLY PLACED BOULDERS

2/SUP-8.2

SUMMARY OF WORK TO BE DONE IN STREAM AREA



3/SUP-8.2
ON SITE STREAM CROSSING
SCALE: 1"=10'

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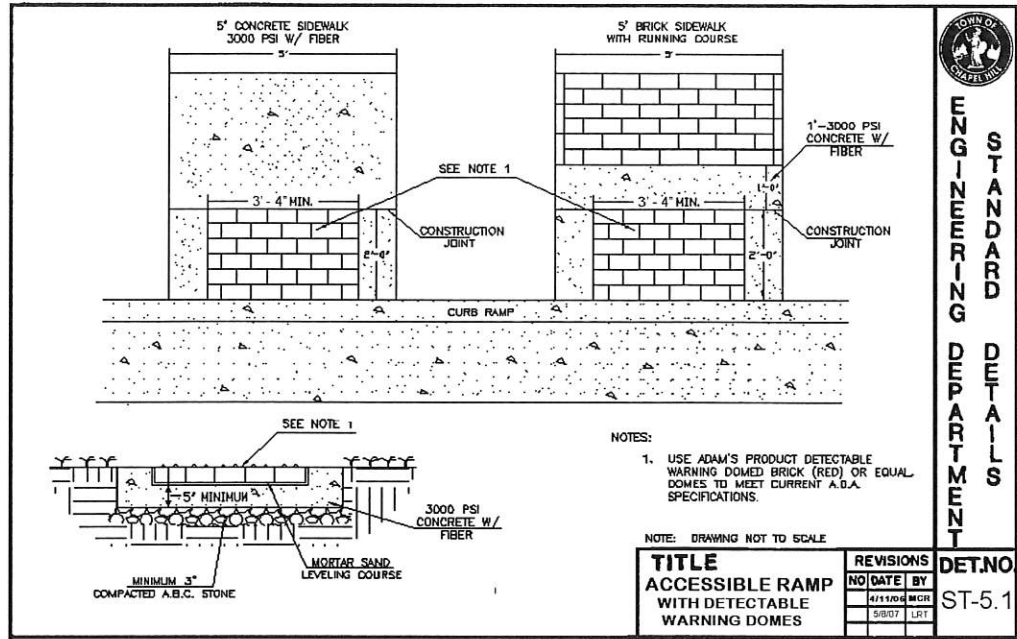
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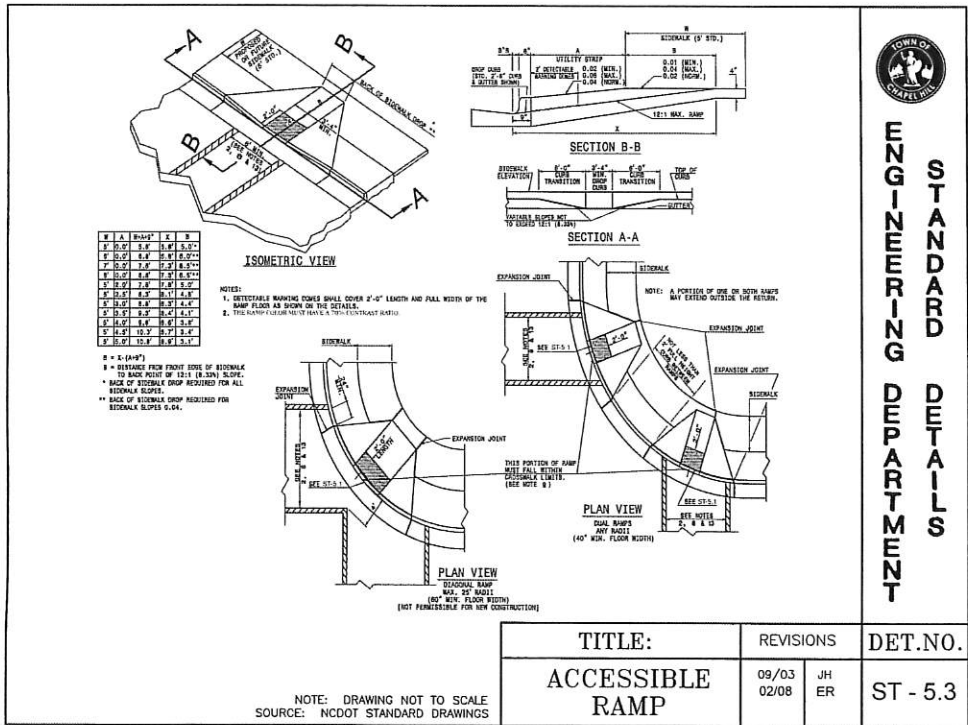
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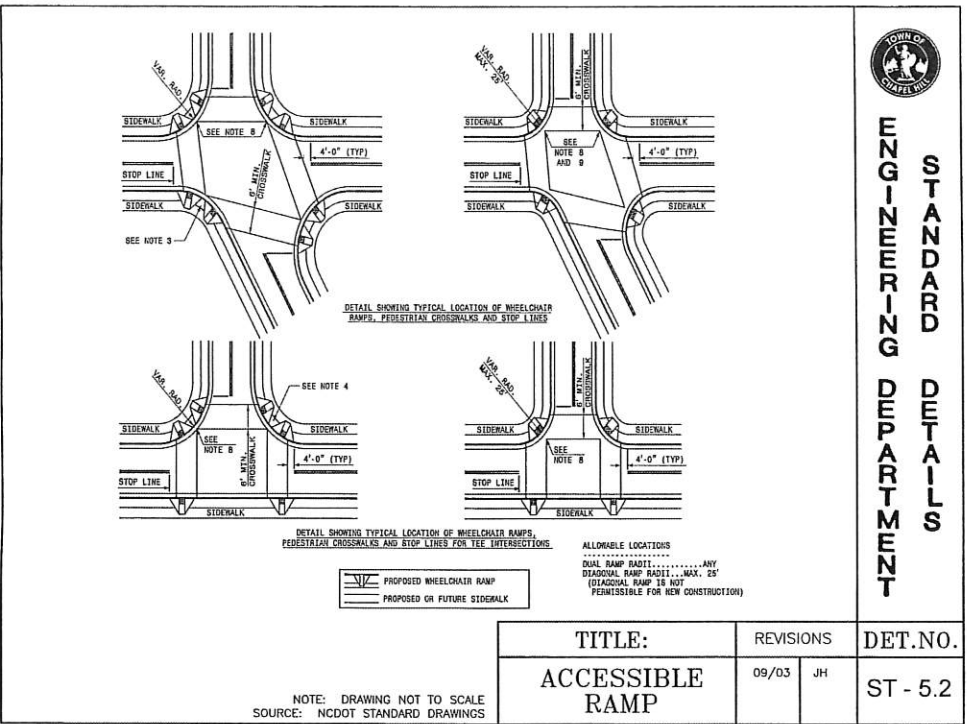
STREAM RESTORATION DETAILS



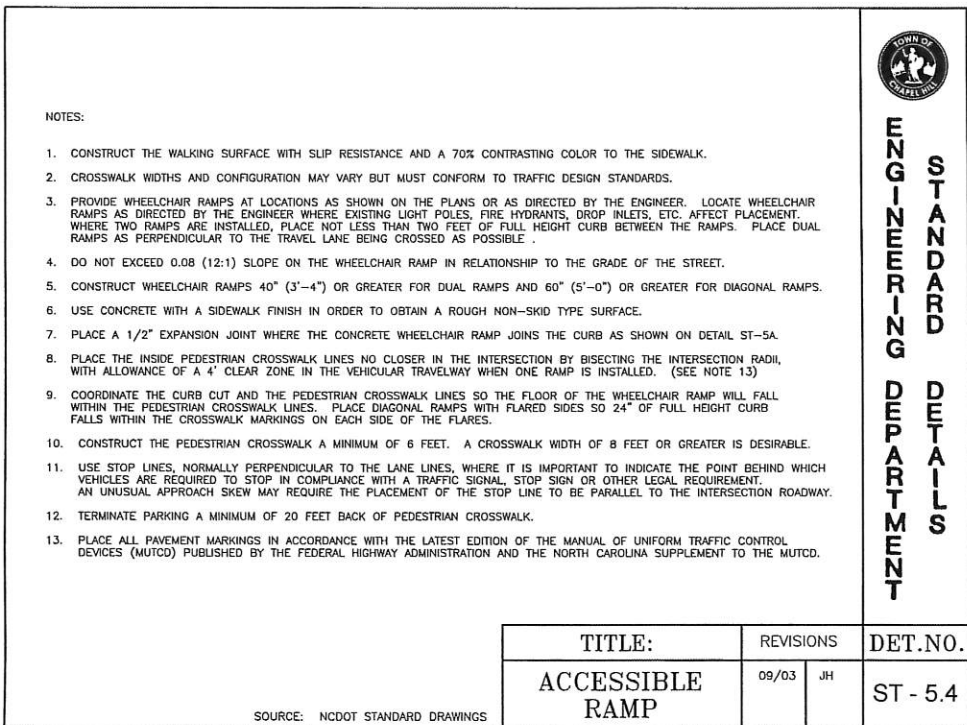
1/SUP-8.3
ACCESSIBLE RAMP
NTS



3/SUP-8.3
ACCESSIBLE RAMP
NTS



2/SUP-8.3
ACCESSIBLE RAMP
NTS



4/SUP-8.3
ACCESSIBLE RAMP NOTES
NTS

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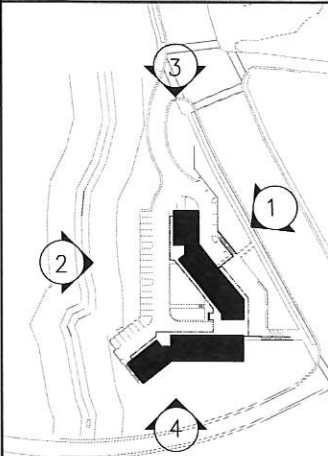
SITE
DETAILS

SUP-8.3

Columbia
Annex

SOUTH COLUMBIA STREET
Chapel Hill, NC

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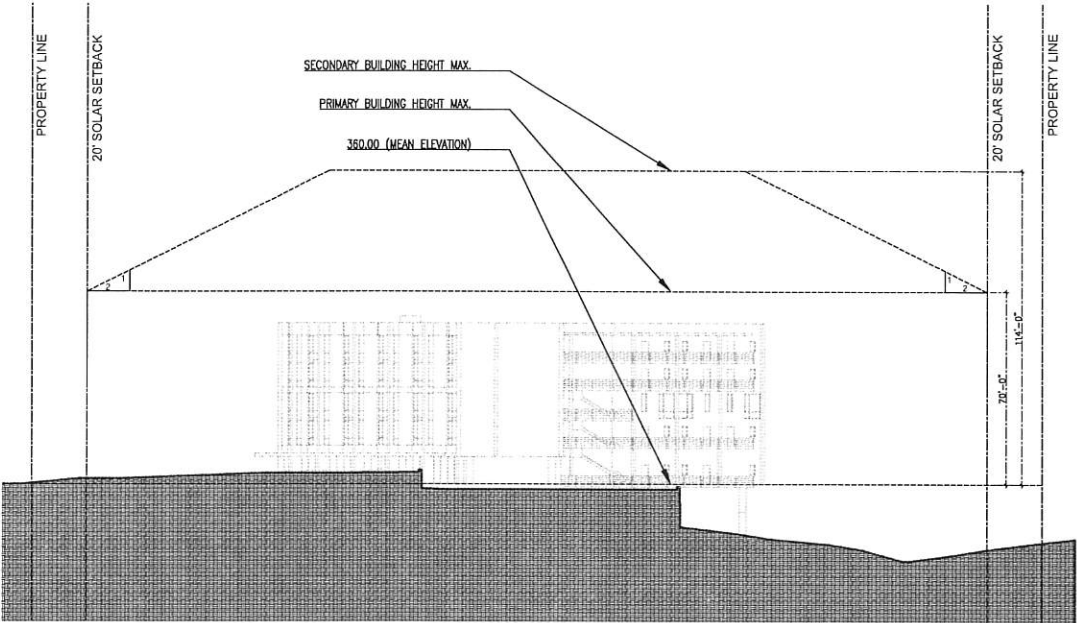


NO.	DATE	DESCRIPTION
1	JULY 24, 2017	CONCEPT PLAN APPLICATION
2	MAY 05, 2019	SUP SUBMITTAL
3	FEB 14, 2020	SUP SUBMITTAL - REVISIONS
4		
5		
6		
7		
8		
9		
10		

A-5.3
EXHIBIT: BUILDING HEIGHT
ZONING ENVELOPE DIAGRAM
SUP SUBMITTAL

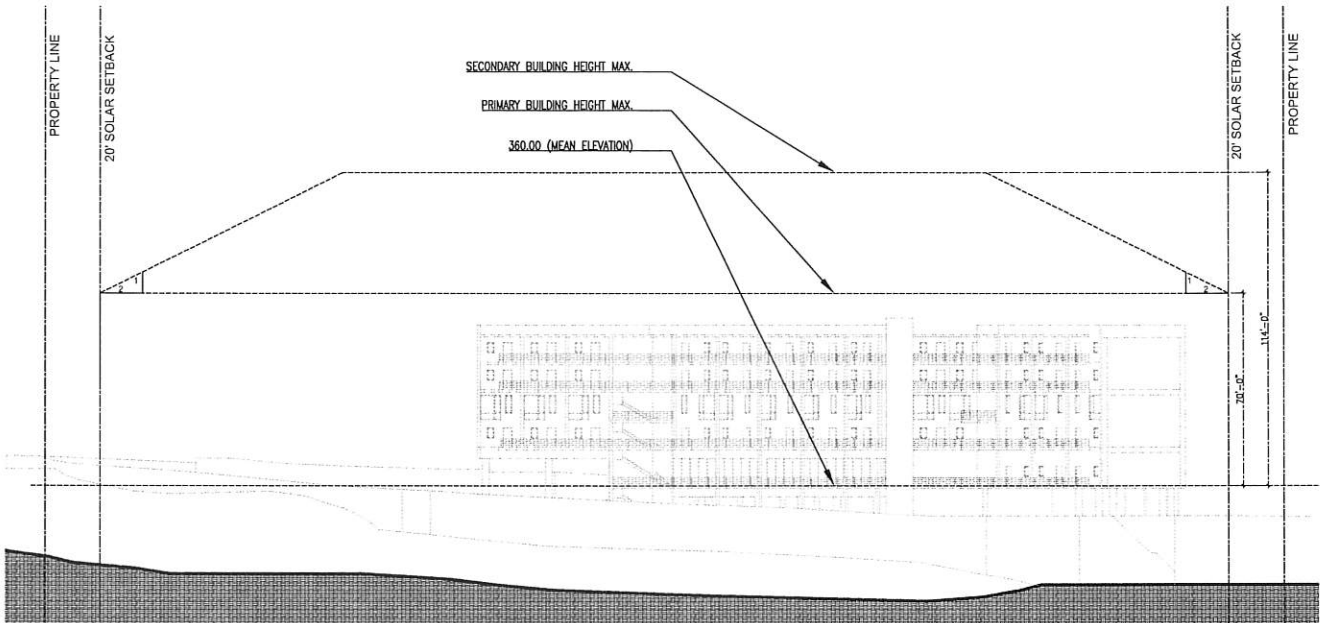
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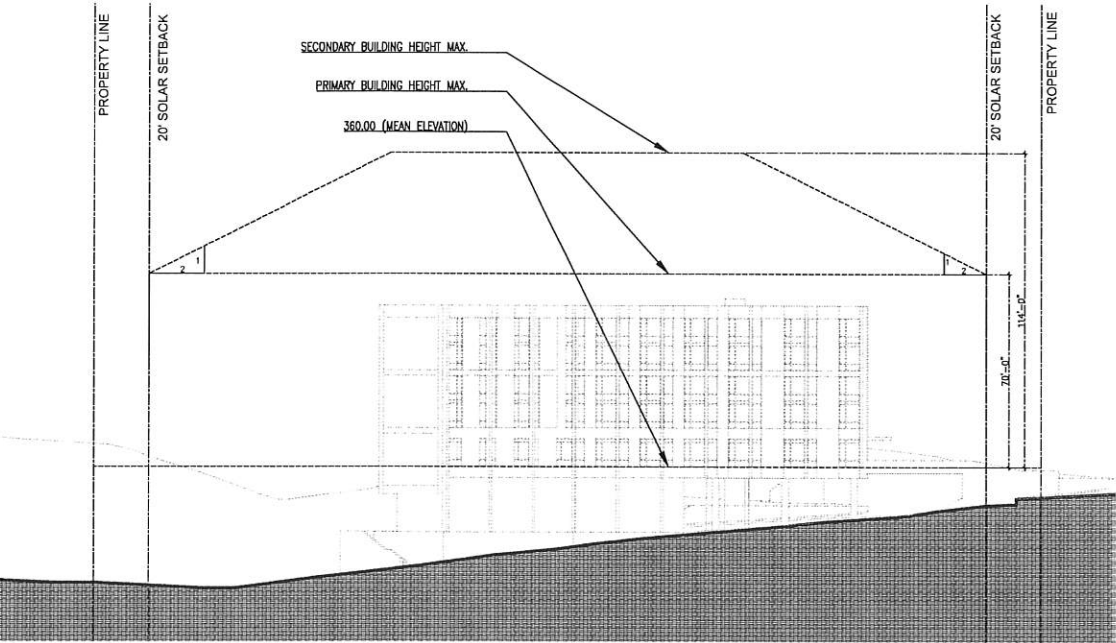
NORTH ELEVATION
Scale: 1/32" = 1'-0"

3



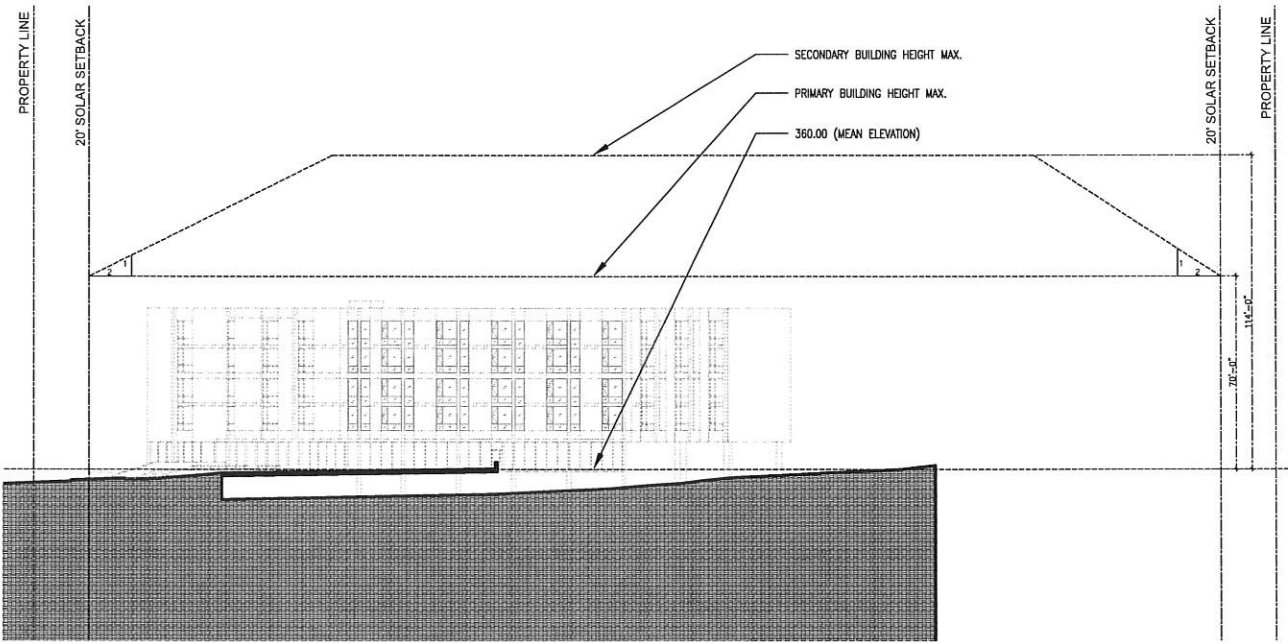
WEST ELEVATION
Scale: 1/32" = 1'-0"

2



SOUTH ELEVATION
Scale: 1/32" = 1'-0"

4



EAST ELEVATION
Scale: 1/32" = 1'-0"

1